SUBDIVISION AND DEVELOPMENT APPEAL BOARD AGENDA

November 20, 2019

ROCKY VIEW COUNTY
COUNCIL CHAMBERS
262075 ROCKY VIEW POINT
ROCKY VIEW COUNTY, AB
T4A 0X2

- A CALL MEETING TO ORDER
- B DEVELOPMENT APPEALS

9:00 AM APPOINTMENTS

1. Division 8 File: 05632041; PRDP20192896 Page 2

An appeal against the Development Authority's decision to REFUSE a development permit for the construction of an accessory building (oversized garage) at 36 Meadow Bay (Lot 1 Block 6 Plan 881 0844, S-32-25-02-W5M) located at the northwest junction of Meadow Bay and Meadow Drive.

Appellant: Dominic Urban

Owners: Dominic and Kelsi Urban

2. Division 5 File: 04328013; PRDP20193201 Page 33

An appeal against the Development Authority's decision to REFUSE a development permit for the construction of an accessory building (oversized and over height storage building) at 244151 Range Road 283 (NE-28-24-28-W4M) located in the Conrich area, approximately 0.81 kilometres (1/2 mile) north of Highway 1 and on the west side of Range Road 283.

Appellant/Owner: Thomas Jacob (Alta Genetics Inc.)

10:30 AM APPOINTMENTS

3. Division 8 File: 05735088; PRDP20193107 Page 70

An appeal against the Development Authority's decision to REFUSE a development permit for the construction of two accessory buildings (storage shed and gazebo) and relaxation of the minimum front and side yard setback at 31010 Woodland View (Lot 15 Block 1 Plan 0711356, NE-35-25-03-W5M) located at the northwest junction of Woodland Road and Woodland View.

Appellant: Samuele Langeli

Owners: Samuele Langeli and Luisa Cusano-Langeli

- C CLOSE MEETING
- D NEXT MEETING: December 11, 2019



PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision and Development Appeal Board

DATE: November 20, 2019 DIVISION: 5

FILE: 05632041 **APPLICATION**: B-1; PRDP20192896

SUBJECT: Accessory Building

PROPOSAL : Construction of an accessory building (oversized garage).	GENERAL LOCATION : Located at the northwest junction of Meadow Bay and Meadow Dr.
APPLICATION DATE: August 16, 2019	DEVELOPMENT AUTHORITY DECISION: Discretionary – Refused
APPEAL DATE: October 24, 2019	DEVELOPMENT AUTHORITY DECISION DATE: October 8, 2019
APPELLANT: Dominic and Kelsi Urban	APPLICANT: Dominic and Kelsi Urban
LEGAL DESCRIPTION: Lot 1, Block 6, Plan 8810844; S-32-25-02-W05M (36 Meadow Bay)	MUNICIPAL ADDRESS: 36 Meadow Bay
LAND USE DESIGNATION : Residential One District (R-1)	GROSS AREA: ± 0.81 hectares (± 2.00 acres)
DISCRETIONARY USE : Accessory buildings are a permitted and discretionary use in the R-1 district.	DEVELOPMENT VARIANCE AUTHORITY : Section 12.2 of the Land Use Bylaw allows the Development Authority to grant a maximum of 10% variance of the maximum size of a building.
PUBLIC SUBMISSIONS : The application was circulated to 37 adjacent properties. No letters in support or opposition were received.	• Land Use Bylaw (C-4841-97)

EXECUTIVE SUMMARY:

The proposal is for the construction of an accessory building (oversized garage). The proposed building is intended to be used for storage purposes. The building will be constructed on smart board / brick material. The building is proposed to be 144.56 sq. m (1,556.00 sq. ft.) in size. This exceeds the following requirements of the Land Use Bylaw:

- Section 48.3 with respect to maximum accessory building size; and
- Section 48.9 with respect to the maximum building area for all accessory buildings.

These relaxations exceed the variance discretion of the Development Authority as defined in Section 12.2 of the Land Use Bylaw. Therefore, on October 8, 2019, the Development Authority refused the



application. The Appellant appealed the decision of the Development Authority for the reasons noted within the agenda package.

PROPERTY HISTORY:

August 18, 1988

APPEAL:

See attached report and exhibits.

Respectfully submitted,

Sean MacLean

Supervisor, Planning and Development Services

PS/IIt



DEVELOPMENT PERMIT REPORT

Application Date: August 16, 2019	File: 05632041
Application: PRDP20192896	Applicant/Owner: Dominic and Kelsi Urban
Legal Description: Lot 1, Block 6, Plan 881 0844; S-32-25-02-W05M (36 Meadow Bay)	General Location: Located at the northwest junction of Meadow Bay and Meadow Dr.
Land Use Designation: Residential One District (R-1)	Gross Area: ± 0.81 hectares (± 2.00 acres)
File Manager: Paul Simon	Division: 8

PROPOSAL:

This proposal is for the construction of an accessory building (oversized garage).

Building Dimensions (Section 48.3)

- Discretionary: Accessory building area: between 80.27 sq. m (861.00 sq. ft.) and 120.00 sq. m (1,291.67 sq. ft.)
- Proposed accessory building: 144.56 sq. m (1,556.00 sq. ft.)
 - This equates to a relaxation request of 20.50%. As per Section 12.2 of the Land Use Bylaw, the Development Authority can grant up to a 10% variance to the maximum building size. Reason for refusal #1.

Setback Requirements (Section 48.5)

- Front yard setback from a County road:
 - o Required: 15.00 m (49.21 ft.)
 - Proposed accessory building (east setback): 56.14 m (185.04 ft.)
- Side yard setback from internal road / all other:
 - o Required: 15.00 m (49.21 ft.) / 3.00 m (9.84 ft.)
 - Proposed accessory building (south setback): Lots
 - Proposed accessory building (north setback): 3.17 m (10.40 ft.)
- Rear yard setback from all other:
 - o Required: 7.00 m (22.96 ft.)
 - Proposed accessory building (west setback): 49.33 m (161.84 ft.)

Height Requirements (Section 48.7)

- Accessory building height requirement: 7.00 m (22.96 ft.)
- Proposed accessory building height: 6.67 m (21.87 ft.)

Total Accessory Building Requirements (48.9 & 48.10)

- Maximum total building area for all accessory buildings 120.00 sq. m (1,291.67 sq. ft.)
- Proposed maximum total building area for all accessory buildings: 144.56 sq. m (1,556.00 sq. ft.)
 - This equates to a relaxation request of 20.50%. The Development Authority does not have any variance discretion with respect to this requirement. Reason for refusal #2.



- Maximum number of accessory buildings Two (2)
- Proposed number accessory buildings: One (1)

Property History:

August 18, 1988; 1988-BP-759 was issued for a dwelling, single detached.

STATUTORY PLANS:

The application was evaluated in accordance with the Bearspaw Area Structure Plan and City of Calgary / County Intermunicipal Development Plan. Neither statutory plan contains any applicable policies as per the nature of the application; therefore, it was evaluated against the Land Use Bylaw.

INSPECTOR'S COMMENTS:

Date of Inspection: October 3, 2019

- Gates access homeowner present and opened for inspection.
- Current shed will be removed.
- Tree screening around entire property.
- No construction present of materials.
- Not visible from Meadow Drive.

CIRCULATIONS:

Utility Services:

No concerns.

Building Services:

No objection to oversized garage, subject to BP. Must follow "Accessory Building" checklist.

Enforcement Services

No comments received.

City of Calgary:

No comments received.

OPTIONS:

Option #1 (this would allow for the construction of the accessory building)

That the appeal against the decision of the Development Authority to refuse to issue a Development Permit for the construction of an accessory building (oversized garage) at Lot 1, Block 6, Plan 881 0844; S-32-25-02-W05M (36 Meadow Bay) be revoked, and that a Development Permit be issued, subject to the following conditions:

Description:

- 1) That an Accessory Building (oversize garage) may be constructed on the subject lands in general accordance with the site plan, drawings submitted with the application (Hunter/Tristan Design) and conditions of this permit.
 - a) That the maximum building area of the accessory building (oversize garage) is relaxed from 120.00 sq. m (1,291.67 sq. ft.) to 144.56 sq. m (1,556.00 sq. ft.).
 - b) That the maximum total building area of all accessory building is relaxed from 120.00 sq. m (1,291.67 sq. ft.) to 144.56 sq. m (1,556.00 sq. ft.).



Permanent:

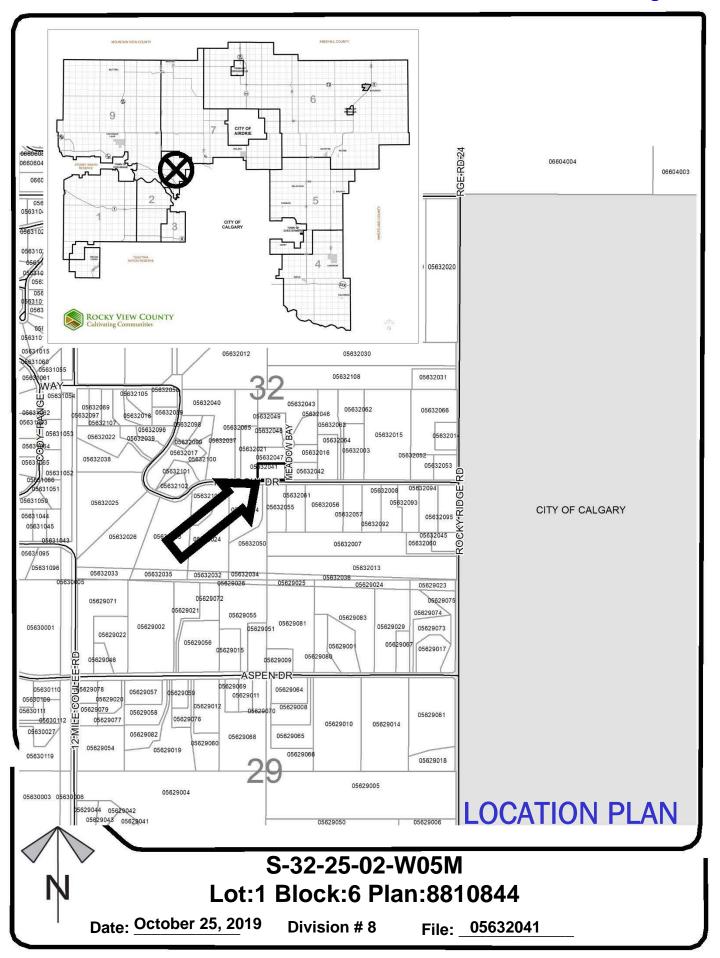
- 2) That the proposed Accessory Building (oversize garage) shall not be used for commercial purposes at any time, except for a Home-Based Business, Type I or an approved Home-Based Business, Type II.
- 3) That the proposed Accessory Building (oversize garage) shall not be used for residential occupancy purposes at any time.
- 4) That the exterior siding and roofing materials of the Accessory Building (oversize garage) shall be similar/ cohesive to the existing dwelling, single-detached and/or area.
- 5) That there shall be no more than 1.00 m (3.28 ft.) of fill placed adjacent to or within 15.00 m (49.21 ft.) of the proposed building under construction, which is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
- 6) That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

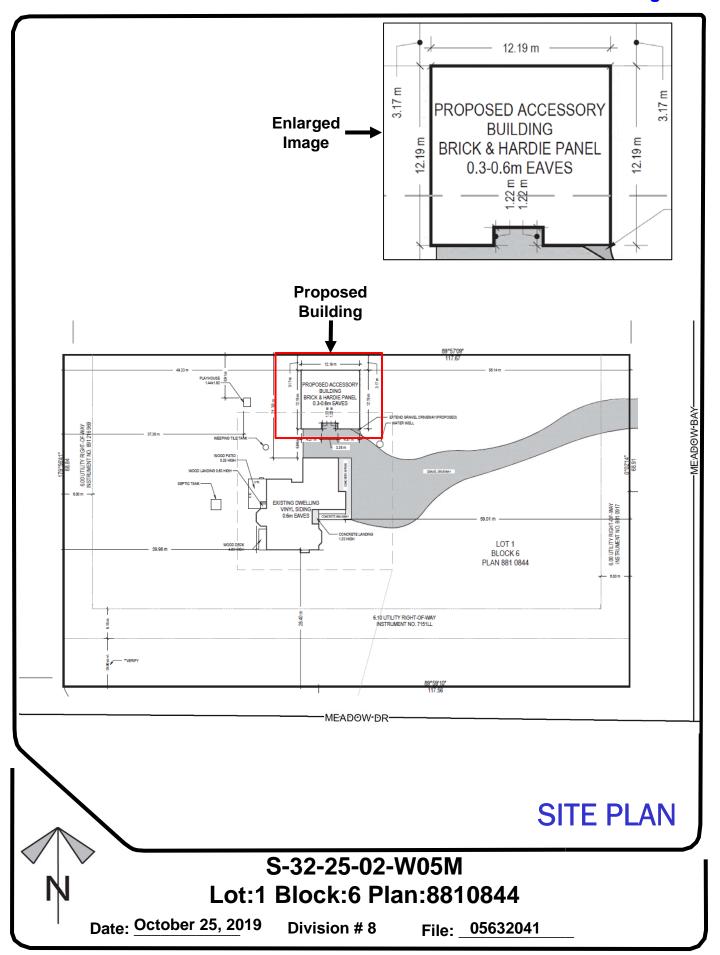
Advisory:

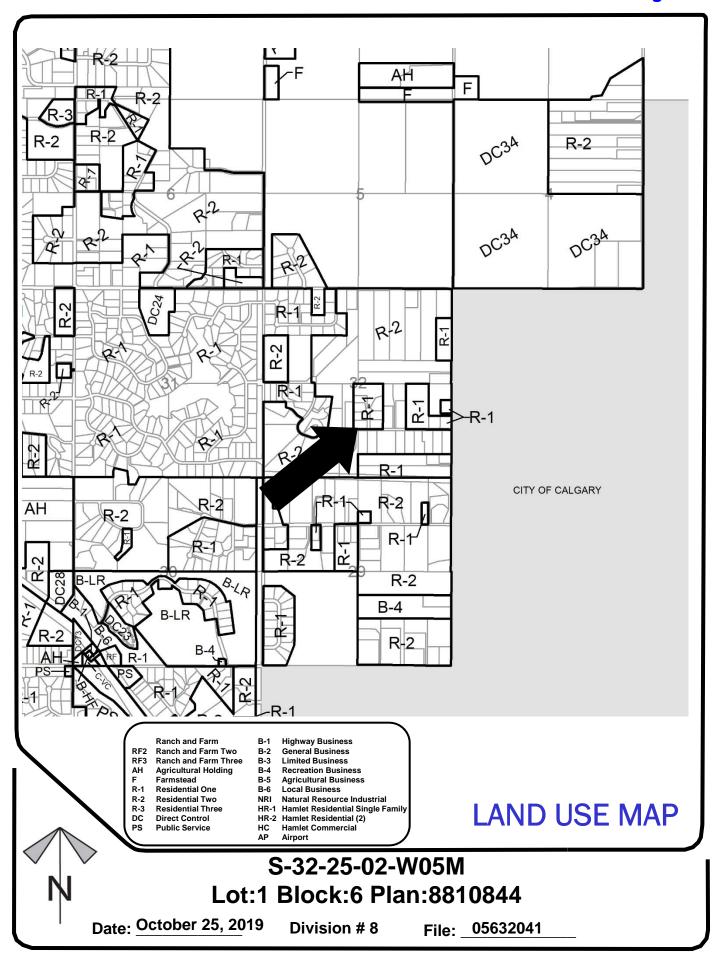
- 7) That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
- 8) That during construction of the Accessory Building, all construction and building materials shall be maintained on site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 9) That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
- 10) That a Building Permit and sub-trade permits shall be obtained through Building Services, prior to any construction taking place.

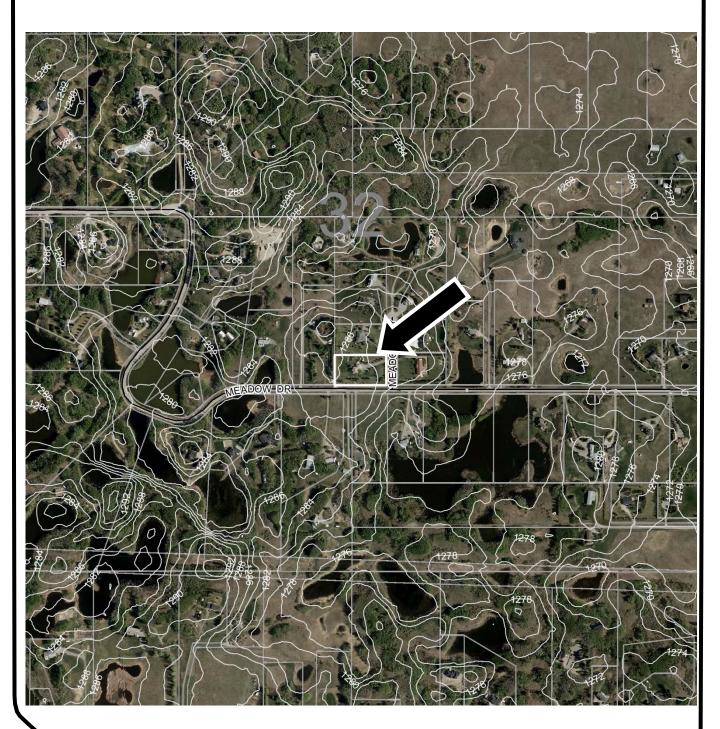
Option #2 (this would not allow for the construction of the accessory building)

That the appeal against the decision of the Development Authority to refuse to issue a Development Permit for the construction of an accessory building (oversized garage) at Lot 1, Block 6, Plan 881 0844; S-32-25-02-W05M (36 Meadow Bay) be denied, and that the decision of Development Authority by confirmed.









Contours are generated using 10m grid points, and depict general topographic features of the area. Detail accuracy at a local scale cannot be guaranteed. They are included for reference use only.

TOPOGRAPHY

Contour Interval 2 M

S-32-25-02-W05M

Lot:1 Block:6 Plan:8810844

Date: October 25, 2019 Division # 8 File: 05632041



Note: Post processing of raw aerial photography may cause varying degrees of visual distortion at the local level.

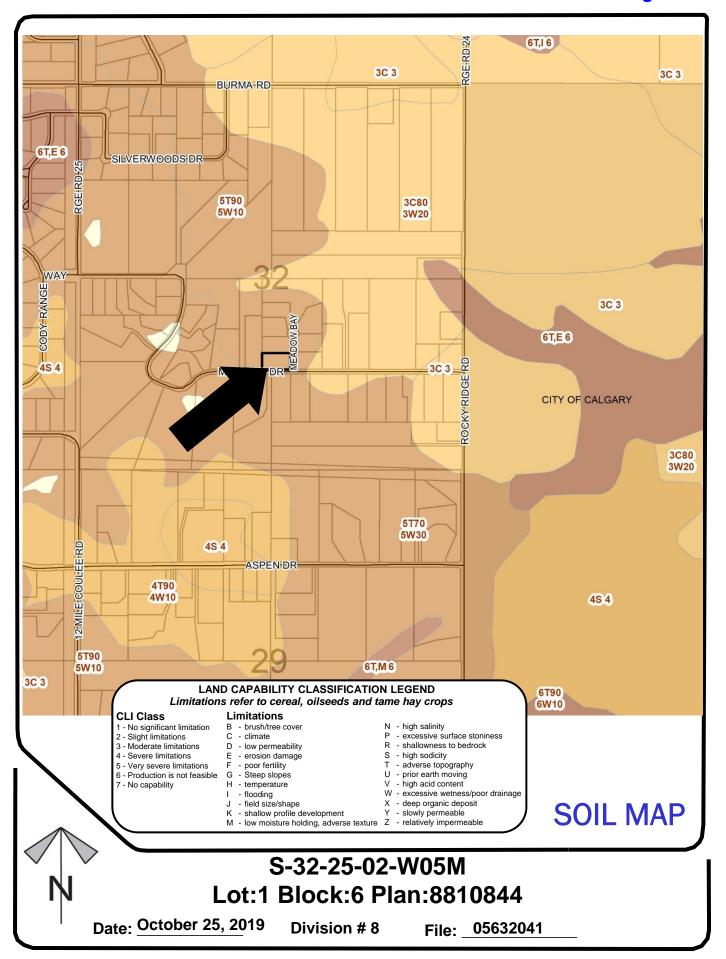
AIR PHOTO

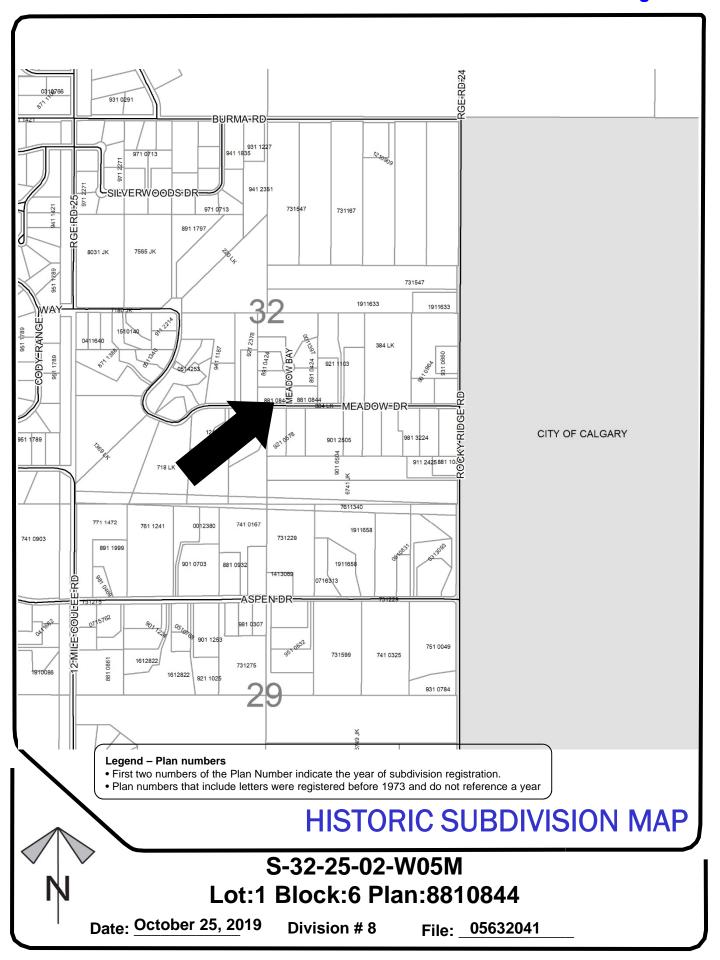
Spring 2018

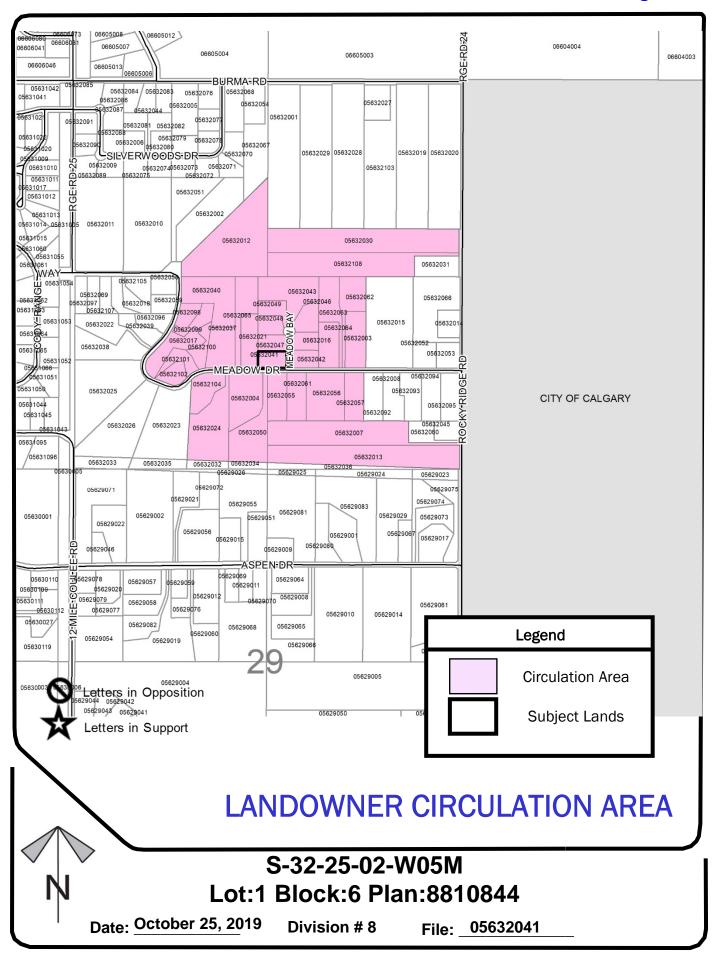
S-32-25-02-W05M

Lot:1 Block:6 Plan:8810844

Date: October 25, 2019 Division # 8 File: 05632041









Last updated: November 16, 2017

Notice of Appeal

Subdivision and Development Appeal Board

Name of Appellant(s)	roan	
Site Information		
Municipal Address	Legal Land Description (lot, block, plan and	/or quarter-section-township-range-meridian)
Development Permit, Subdivision Application, or S	Stop Order # Roll #	
		32041
am appealing: (check one box only)		
Development Authority Decision Approval	Subdivision Authority Decision Approval	Decision of Enforcement Services ☐ Stop Order
☐ Conditions of Approval	☐ Conditions of Approval	a stop order
V Refusal	☐ Refusal	
Reasons for Appeal (attach separate	e page if required)	
- 3 Neighbours 1	rue over sized (garage (shops
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- require space	for our aunis	a Carrily
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		OCT 24 2019
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This information is collected for the Subdivi	sion and Development Appeal Board of I	OCT 2 4 2019 Rocky View County and will be used to
This information is collected for the Subdivi process your appeal and to create a public	record of the appeal hearing. The inform	nation is collected under the authority of
process your appeal and to create a public I the Freedom of Information and Protection Government Act. If you have questions reg	record of the appeal hearing. The inform of Privacy Act, section 33(c) and section	nation is collected under the authority of s 645, 678, and 686 of the Municipal
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911 - 32 Avenue NE | Calgary, AB | T2E 6X6 Phone: 403-230-1401 | Fax: 403-277-597 www.rockyview.ca

REFUSAL

Dominic and Kelsi Urban

Development Permit #: PRDP20192896

Date of Issue:

October 8, 2019

Roll #:

05632041

Your Application dated August 16, 2019, for a Development Permit in accordance with the provisions of the Land Use Bylaw C-4841-97 of Rocky View County in respect of:

Construction of an accessory building (oversized garage).

at Lot 1, Block 6, Plan 881 0844; S-32-25-02-W05M (36 Meadow Bay)

has been considered by the Development Authority and the decision in the matter is that your application be REFUSED for the following reasons:

1. The size of the proposed accessory building (oversize garage) does not meet the maximum size requirement, as defined in Section 48.3 of the Land Use Bylaw.

Required – 120.00 sq. m (1,291.67 sq. ft.); Proposed – 144.56 sq. m (1,556.00 sq. ft.).

2. The size of the proposed accessory building (oversize garage) does not meet the total building area for all accessory buildings requirement, as defined in Section 48.9 of the Land Use Bylaw.

Required - 120.00 sq. m (1,291.67 sq. ft.); Proposed - 144.56 sq. m (1,556.00 sq. ft.).

Please contact Paul Simon at (403) 520-6285 or by email: psimon@rockyview.ca for any further questions.

NOTE: An appeal from this decision may be made to the Subdivision and Development Appeal Board of Rocky View County. Notice of Appeal to the Subdivision and Development Appeal Board from this decision shall be filed with the requisite fee of \$350 with Rocky View County no later than 21 days following the date on which this Notice is dated.

20192896



APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE	E USE ONLY
Fee Submitted \$280.00	File Number
Date of Receipt	Receipt #
Aug 14/19	2019021782

Name of Applicant	Curban-	Email		
Mailing Address				
*	<u> </u>	Postal Code	e _	
Telephone (B)	(H)		Fax	
For Agents please supply Business/A	Agency/ Organization Name			
Registered Owner (if not applicant)_				
Mailing Address				
		Postal Code		
Telephone (B)	(H)		Fax	
LEGAL DESCRIPTION OF LAN				Med again
a) All / part of the1/4 Se				
b) Being all / parts of Lot		jistered Plan Numl	ber <u>891 oct</u>	24
c) Municipal Address 36 me		500 M		
d) Existing Land Use Designation _	Parcel Size	e_dere	Division	
ONEVSIZE	accessory r	uilderg		
a) Are there any oil or gas wells on	or within 100 metres of the su	bject property(s)?	Yes	No
 b) Is the proposed parcel within 1.5 (Sour Gas facility means well, pipers) 		ity?	Yes	No
c) Is there an abandoned oil or gas	well or pipeline on the proper	ty?	Yes	No
d) Does the site have direct access	to a developed Municipal Roa	ad?	Yes	No
REGISTERED OWNER OR PER	SON ACTING ON HIS BE	HALF		AND LOCATED
(Full Name in Block Capitals)	hereby certify that	I am the regis		
and that the information given on this		I am authonze	ed to act on the owr	
and that the information given on this is full and complete and is, to the bes of the facts relating to this application	et of my knowledge, a true st	tatement	Affix Corpo here if own as a nar numbered	er is listed med or
Applicant's Signature	Ow	/ner's Signature _	2	
Date	13/19.	Date _	Aug 14	19.

Development Permit Application

Page 1 of 2



17 of 3
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Receipt#
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APPLICATION FOR AN ACCESSORY BUILDING

Bylaw age needs, tidy	Proposed 1556 21 1556 22 1556 22
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·全产温度	
	Date:

36 Meadow Bay

Garage Development Permit

Cover Letter

August 13, 2019

To whom it may concern

The reason that we have designed this garage is for a number of reasons. We purchased the home about 5 years ago. And with a growing family the main reason for this new garage is for our family use and storage.

Since this home was originally constructed in 1988 it had a few draw backs, mainly on the storage side. We do currently have a 3 car garage, however it was not oversized and currently, I can not even fit my truck in any of the stalls as the existing garage is just to short.

The new garage was designed to fit my truck in it as well as our trailer in the winter. During the design process we also left enough space for our tractor and its components as well. As currently we have to leave the tractor outside as the kids bikes and our motor bikes take up the rest of the original garage not leaving us any room.

The other aspect of this requested development design allows us a space on the second floor which not only allows us to have the additional storage space, as well as an entertaining space. In the existing home we have lost 40% of our basement to a very oversized system water tank. With the amount of space lost in the basement we simply do not have the space required for simple seasonal family storage as well as an entertainment space. Which is why when we designed this new garage we had allowed enough space for our families needs, especially since we know that we will be in this home for another 20-30 years.

I grew up in Bearspaw and we had purchased this home with no intention of ever moving so that we can raise our family in a great quiet area.

Thank you for the time to review this development application and understand our needs that designed this space

Sincerely

The Urban Family



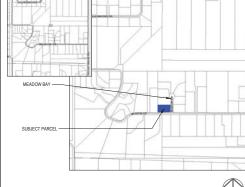


















CONSULTANTS

PRIME CONSULTANT

123 ST Calgary, Alberta POSTAL TEL: 403 605 0688 FAX: hunter | tristan

DESIGN CONSULTANT

hunter | tristan design 700, 1816 Crowchild Trail N.W. Calgary, Alberta T2M 3Y7 TEL: 403 891 1483 FAX: 403 220 1389 www.HunterTristan.com

- SUBJECT PARCEL

SURVEY CONSULTANT

Calgary, Alberta POSTAL TEL: 403 111 1111 FAX:

ENGINEERING CONSULTANT

123 ST Calgary, Alberta POSTAL TEL: 403 111 1111 FAX: JOIST & TRUSS SUPPLIER

ABC INC 123 ST Calgary, Alberta POSTAL TEL: 403 111 1111 FAX: HVAC TECHNICIAN

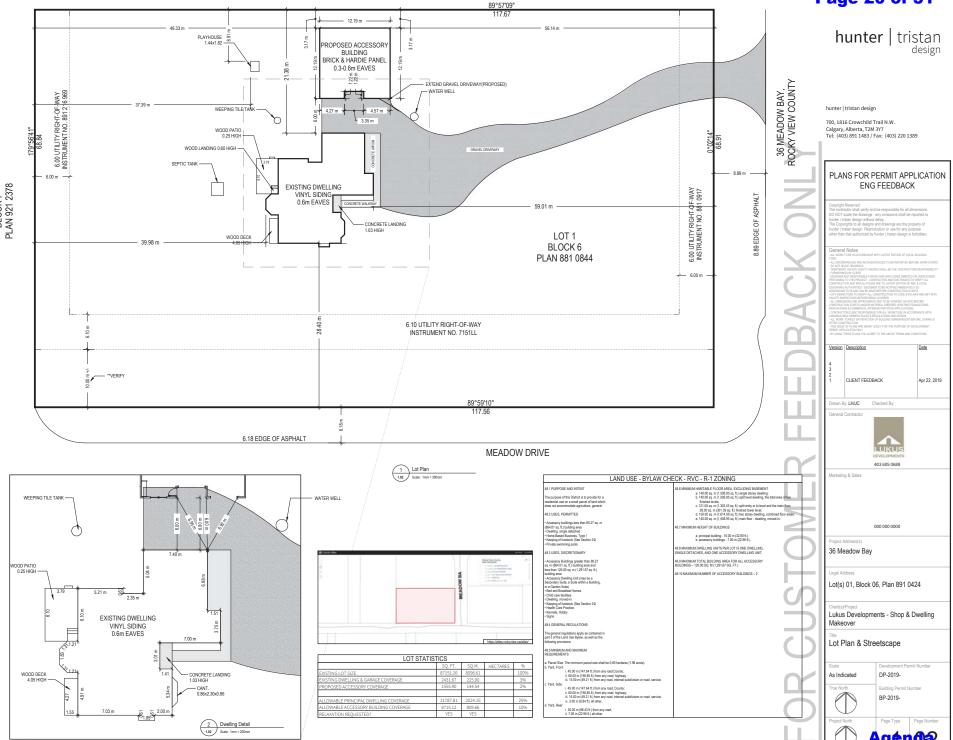
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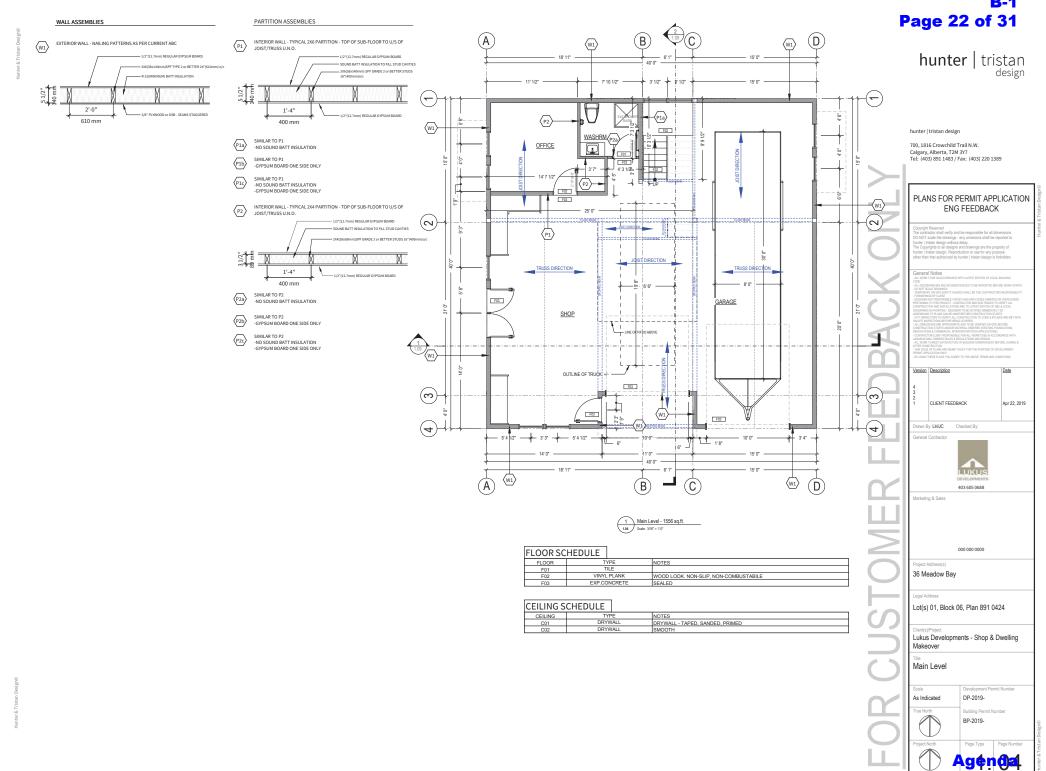
ABC INC 123 ST Calgary, Alberta POSTAL TEL: 403 111 1111 FAX:

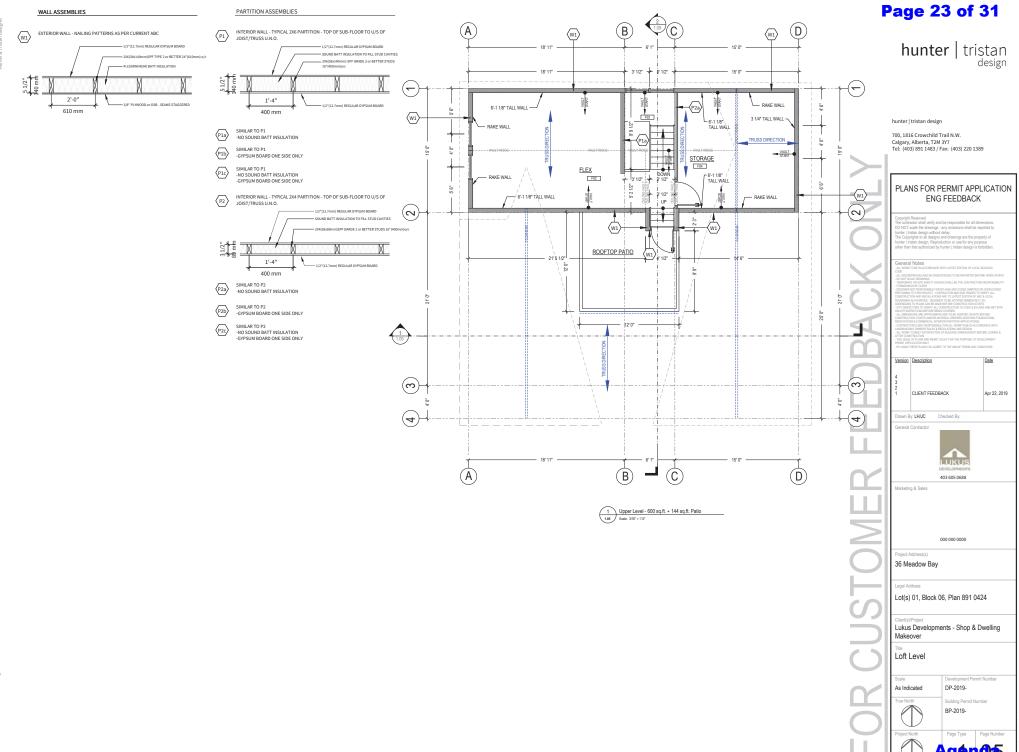
CONSULTANT

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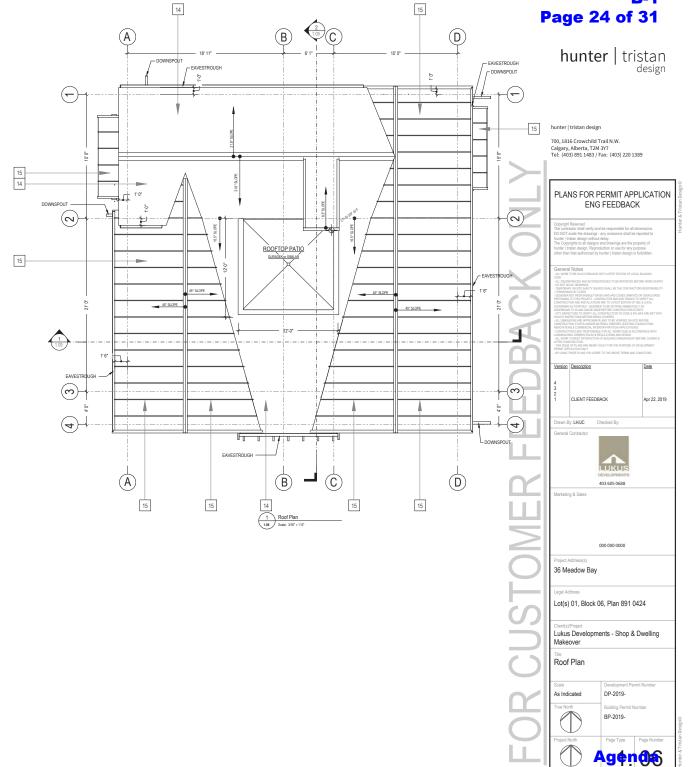


Licoton Paletan Design





Hunter & Tristan Design®

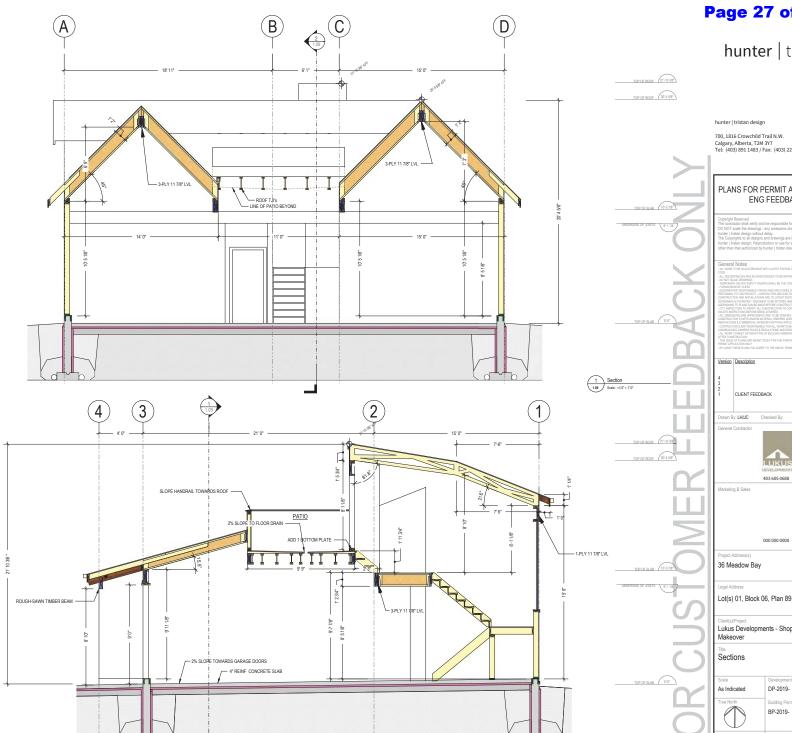


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700, 1816 Crowchild Trail N.W. Calgary, Alberta, T2M 3Y7 Tel: (403) 891 1483 / Fax: (403) 220 1389



CLIENT FEEDBACK Apr 22, 2019

rawn Bv: LH/JC

403 605 0688 farketing & Sales

000 000 0000

36 Meadow Bay

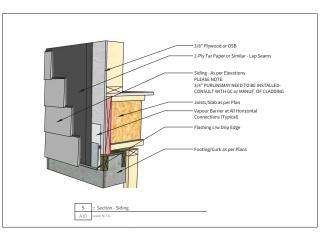
Lot(s) 01, Block 06, Plan 891 0424

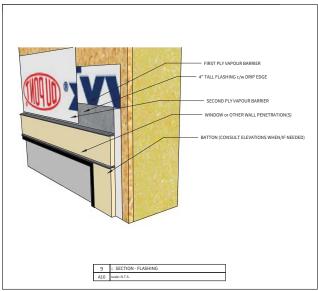
Lukus Developments - Shop & Dwelling Makeover

Exterior Cladding, Window Wrap, Etc

DP-2019-BP-2019-

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Install Window - Level & Plumb

EXTERIOR WALL - VAPOUR BARRIER & WINDOW INSTALL DETAIL

1 :: Window - Vapour Wrap & Flashing Detail

Install Siding/Finish Material as per Schedule

Page 29 of 31

hunter | tristan design

hunter | tristan design

700, 1816 Crowchild Trail N.W. Calgary, Alberta, T2M 3Y7 Tel: (403) 891 1483 / Fax: (403) 220 1389

PLANS FOR PERMIT APPLICATION ENG FEEDBACK

CLIENT FEEDBACK Apr 22, 2019



403 605 0688 farketing & Sales

000 000 0000

36 Meadow Bay

Lot(s) 01, Block 06, Plan 891 0424

Lukus Developments - Shop & Dwelling Makeover

3D's

DP-2019-

BP-2019-

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GA GALV GBR GL (#) GLZ GWB GWG(#)

Gauge Galvanized Grab Bar Glass (Type No.) Glazing Gypsum Wall Board Georgian Wired Glass

Length
Lighting(Type No.)
Laminated
Laminated Glass
Lavatory
Lip of Gutter
Low Point
Level

AB	BRE	VIA	ш

ABBRE	VIATIONS:				
ABC	Alberta Building Code	m	Metre	T/G	Tounge and Goove
A/INS	Acoustic Insulation	M(#)		T/GL	Tourige and Goove
A/INS ARM	Acoustic Insulation		Millwork (Type#)		Tempered Glass
	Air Barrier Membrane	MACT	Metal Acoustic Ceiling Tile	T/INS	Tapered Insulation
ACT	Acoustic Ceiling Tile	MAX	Maximum	TBC	To Be Confirmed
ADD	Addendum	MDF	Medium Density Fiberboard	TBD	To Be Determined
ADJ	Adjustable	MECH	Mechanical	TEI	Telephone
ADO	Automatic Door Opener	MTI	Metal	TEMP	Tempered
AEE	Ahove Finished Floor	MF(#)	Millwork Finish (Type No.)	TERR	Terrazzo
AHU		MF(III)	MILLWORK FIRISH (Type No.)		
	Air Hanging Unit		Make Good	TEX(#)	Textile(Type No.)
ALUM	Aluminum	MH	Maintenance Hole	TF(#)	Textile Flooring(Type No.)
ANOD#	Anodized(Type No.)	MIN	Minimum or Minute	THK	Thick
APPROX	Approximate	MIR	Mirror	THRES	Threshold
AVR	Air/Vapour Barrier	MISC	Miscellaneous	TOC	Top of Curb
AWP	Acoustic Wall Panel	MISC/MTL	Miscellaneous Metal	TOCS	Top of Concrete Slah
71111	PRODUCE FROM FORCE	MIWK	Millwork	TOL	Top of Ledge
R/RD	Backer Board				Top of Leage
		mm	Millimetre	TOS	Top of Steel
BH	Bore Hole	MO	Masonry Opening	TOW	Top of Wall
BLDG	Building	MTL	Metal	TP	Toilet Partition
BLK	Block	MAX	Maximum	TPH	Toilet Paper Holder
BM	Benchmark	MO	Masonry Opening	TR	Tread
BOW	Back of Wall	MECH	Mechanical	TT(#)	Traffic Topping (Type No.)
RSMT	Basement	MEMBR	Membrane	TXE	Textured Finish
RLIP	Built Up Post	MEMBR	Minimum		
BUP	Built Up Post			TYP	Typical
		MRGWB	Moisture-Resistant Gypsum Wall Board		
C(#)	Ceiling(Type No.)	MTL	Metal	U/C	Undercut
CTR	Centre			U/S	Underside
CL	Centre Line	NE	Northeast	U/S S	Underside Soffit
C/W	Complete With	NIC	Not In Contract	LINO	Unless Noted Otherwise
C.O.	Clean Out	No.	Number	UH	Unit Heater
				UH	Unit Heater
CB	Catch Basin	NOM	Nominal		
CBD	Cement Board	NS	Non-slip (Slip Resistant)	VCT(#)	Vinyl Composition Tile
CF	Ceramic Frit	NTS	Not To Scale	VERT	Vertical
CG	Corner Gaurd	NW	Northwest	VEST	Vestibule
CJ	Control Joint			VEN(#)	Veneer (Type No.)
CKBD	Chalkboard	00	On Center	VWC	Vinyl Wall Covering
	Chaikboard			VWL	vinyi wali Covering
CL/AN	Clear Anodized	OD	Outside Diameter		
CL/FIN	Clear Finish	OH	Opposite Hand	w/	With
CL/GL	Clear Glass	OHD	Overhead Door	W/GL	Wire Glass
CL/WR	Clear Wired Glass	OPP	Opposite	WA(#)	Washroom Accessory
CLG	Ceiling	OSB	Oriented Strand Board	WC.	Watercloset
CLR	Colour	OWST	Open Web Steel Joist	WD(#)	Wood(Type No.)
CMU	Concrete Masonry Unit	OWWJ	Open Web Wood Joist	WDPNL	Wood (Type No.)
			Open web wood Joist		
COL	Column	OZ	Ounce	WDU	Waste Disposal Unit
CONC#	Concrete(Type No.)			WF(#)	Wall Finish (Type No.)
CONST	Construction	P(#)	Plumbing (Type No.)	WIC	Walk-in Closet
CONST/J1	T Construction Joint	PCC	Pre-Cast Concrete	WM	Wire Mesh
CONT	Continuous	P/CONC	Pre-Cast Concrete	WMD	Wire Mold
CPH	Concealed Panic Hardware	P/TERR	Precast Terrazzo	WP	Waterproof
CPT (#)	Carpet (Type No.)	PERF	Perforated	WPM	
	Carpet (Type No.)	PERF	Perforated	WPM	Waterproofing Membrane
CT(#)	Countertop (Type No.)	PREFIN	Prefinished	WR	Washroom
CW	Cold Water	PG	Paint Grade	WS	Weather Stripping (perimeter)
		PH	Panic Hardware	WB(#)	Wall Base
DEPT	Department	PL(#)	Plaster (Type No.)	WT(#)	Wall Tile
DF	Drinking Fountain	PLAM(#)	Plastic Laminate		
DIA	Diameter		Plumbing		Yard
		DLUMP			
0.04		PLUMB	Planning	YD (Yd)	rard
DIM	Dimension	PLY	Plywood	YD (Yd)	Tard
DN	Dimension Down	PLY POL	Plywood Polished	YD (Yd)	rard
	Dimension	PLY POL PPT	Plywood Polished Prime Painted	YD (Yd)	Tard
DN DWG	Dimension Down Drawing	PLY POL PPT PREFAB	Plywood Polished Prime Painted Prefabricated	YD (Yd)	Tard
DN	Dimension Down Drawing	PLY POL PPT PREFAB	Plywood Polished Prime Painted Prefabricated	YD (Yd)	Tard
DN DWG EA	Dimension Down Drawing	PLY POL PPT PREFAB PROJ	Plywood Polished Prime Painted Prefabricated Projection	YD (Yd)	Tard
DN DWG	Dimension Down Drawing	PLY POL PPT PREFAB	Plywood Polished Prime Painted Prefabricated Projection Pressure Treated	YD (Yd)	Taru
DN DWG EA EHO ELEC	Dimension Down Drawing Each Electric Hold Open Electrical	PLY POL PPT PREFAB PROJ PRTR PSF	Plywood Polished Prime Painted Prefabricated Projection Pressure Treated Pounds per Square Foot	YD (Yd)	Taru
DN DWG EA EHO ELEC ELEV	Dimension Down Drawing Each Electric Hold Open Electrical Elevator/Elevation	PLY POL PPT PREFAB PROJ PRTR PSF PSI	Plywood Polished Prime Painted Prime Painted Projection Pressure Treated Pounds per Square Foot Pounds per Square Inch	YD (Yd)	Tard
DN DWG EA EHO ELEC ELEV EO	Dimension Down Drawing Each Electric Hold Open Electrical Elevator/Elevation Equal	PLY POL PPT PREFAB PROJ PRTR PSF PSI PT	Plywood Polished Prime Painted Prefabricated Projection Pressure Treated Pounds per Square Foot Pounds per Square Inch Pressure Treated	YD (Yd)	Tard
DN DWG EA EHO ELEC ELEV EQ EQUIP	Dimension Down Down Drawing Each Electric Hold Open Electrical Elevator/Elevation Equal Equipment	PLY POL PPT PREFAB PROJ PRTR PSF PSI PT PT(#)	Plywood Polished Prime Painted Prime Painted Prefabricated Projection Pressure Treated Pounds per Square Foot Pounds per Square Inch Pressure Treated Paint(Type No.)	YD (Yd)	Tard
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST	Dimension Down Down Drawing Each Electric Hold Open Electrical Elevator/Elevation Equal Equipment Existing	PLY POL PPT PREFAB PROJ PRTR PSF PSI PT PT(#) PTN	Plywood Polished Prime Painted Prime Painted Prefebricated Projection Pressure Treated Pounds per Square Foot Pounds per Square Inch Pressure Treated Paint(Type No.) Partition	YD (Yd)	tatu
DN DWG EA EHO ELEC ELEV EQ EQUIP	Dimension Down Down Drawing Each Electric Hold Open Electrical Elevator/Elevation Equal Equipment Existing	PLY POL PPT PREFAB PROJ PRTR PSF PSI PT PT(#) PTN	Plywood Polished Prime Painted Prime Painted Prefebricated Projection Pressure Treated Pounds per Square Foot Pounds per Square Inch Pressure Treated Paint(Type No.) Partition	VD (Yd)	1atu
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXP/ST	Dimension Down Down Drawing Each Electric Hold Open Electrical Elevator/Elevation Equal Equipment	PLY POL PPT PREFAB PROJ PRTR PSF PSI PT PT(#)	Plywood Polished Prime Painted Prime Painted Projection Pressure Treated Paint(Type No.) Partition Pulyvin'in Acetate	AD (Aq)	1210
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXP/ST EXPN/JT	Dimension Down Down Drawing Each Electric Hold Open Electrical Elevator/Elevation Equal Equipment Existing Exposed Structure Expansion Joint	PLY POL PPT PREFAB PROJ PRTR PSF PSI PT PT(#) PTN	Plywood Polished Prime Painted Prime Painted Prefebricated Projection Pressure Treated Pounds per Square Foot Pounds per Square Inch Pressure Treated Paint(Type No.) Partition	VD (Yd)	1210
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXP/ST	Dimension Down Down Drawing Each Electric Hold Open Electrical Elevator/Elevation Equal Equipment Existing Exposed Structure	PLY POL PPT PREFAB PROJ PRTR PSF PSI PT PT(#) PTN PVA PVC	Plywood Polished Prime Painted Prime Parlebricated Pressure Treated Pressure Treated Pounds per Square Foot Pounds per Square Inch Pressure Treated Paint Type No.) Parlition Pa	YD (Yd)	1210
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXP/ST EXPN/JT EXT	Dimension Down Drawing Each Electric Hold Open Electrical Elevator/Elevation Equal Equipment Equipment Expension Joint Exterior	PLY POL PPT PREFAB PROJ PRTR PSF PSI PT PT(#) PTN	Plywood Polished Prime Painted Prime Painted Projection Pressure Treated Paint(Type No.) Partition Pulyvin'in Acetate	VD (Yd)	1210
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXP/ST EXPN/JT EXT	Dimension Down Drawing Each Electric Hold Open Electrical Elevator/Elevation Equal Expained Existing Exposed Structure Expansion Joint Exterior Foamed Insulation	PLY POL PPT PREFAB PROJ PRTR PSF PSI PT PT(#) PTN PVA PVC QUAN	Plywood Pilotished Quantity	YD (Yd)	Taro
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXPN/JT EXT F/INS FA	Dimension Down Drawing Each Electric Hold Open Electrical Electrical Elevator/Elevation Equal Equipment Existing Expandion Joint Expandion Joint Feamed Insulation Frien Alarm	PLY POL PPT PREFAB PROJ PRTR PSF PSI PTT PT(0) PTN PVA PVC QUAN R	Plywood Philibred Philibre	YD (Yd)	Taro
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXP/ST EXPN/JT EXT	Dimension Down Drawing Each Electric Hold Open Electrical Elevator/Elevation Equal Expained Existing Exposed Structure Expansion Joint Exterior Foamed Insulation	PLY POL PPT PREFAB PROJ PRTT PSF PSI PT PTT(#) PTN PVA PVC QUAN R R.C.	Plywood Pilotished Quantity	YD (Yd)	Taro
DN DWG EA EHO ELEC ELEV EQUIP EXIST EXP/ST EXP/ST EXP/JT EXT F/INS FA FCU	Dimension Down Drawing Each Blestric Hold Open Blestric B	PLY POL PPT PREFAB PROJ PRTT PSF PSI PT PTT(#) PTN PVA PVC QUAN R R.C.	Plywood Problemed Problemed Problemed Problemed Problemed Problemed Problemed Problemed Problemed Prosour Treated Promotion Prosour Treated Prosour Treated Prosour Problemed	YD (Yd)	TATO
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXP/ST EXPN/JT EXT F/INS FA FCU FD DN	Dimension Down Drawing Each Electric Noted Open Electrical Electrical Electrical Electrical Electrical Electrical Electrical Electrical Electrical Equipment Found	PLY POL PPT PREFAB PROJ PRTTR PSF PSI PT PTIW) PVA PVC QUAN R R.C. R,INS	Plywood Philished Philishe	VD (Vd)	Taro
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXP/ST EXP/JT EXT F/INS FA FCU FD FEC	Dimension Down Drawing Each Electric Hold Open Electrical Electric	PLY POL PPT PREFAB PROJ PRTR PSF PSI PT PTI() PTN PVA PVC QUAN R R R.C. R/INS RAD	Plywood Philibed Phil	VD (Vd)	TATO
DN DWG EA EHO ELEC EQ EQUIP EXIST EXP/ST EXP/JT F/INS FA FCU FD FEC FF(#)	Dimension Down Drawing Each Each Electricided Open Electricided Open Electricided Elecator/Elevation Equal Equipment Existing Expension Joint Electricided Froamed Insulation Fire Alarm Froamed Insulation Fire Alarm Fino Cultuit Fino Origination Fino Coll Unit Fino Origination Finished Finor (Type No.)	PLY POL PPT PREFAB PROJ PRTR PSF PSI PT PTI0 PTN PVC QUAN R R.C. R/MS RAD RD	Plywood Probled Probled Problem Probled Problem Probl	YD (Yd)	Yard
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXPN/JT EXPN/JT FA FCU FD FEC FF(#) FFL	Dimension Down Drawing Each Electric fold Open Electrical Electrical Elevator/Elevation Elevator Elevator Espaced Structure Expansion Joint Exterior Fran Coll Unit Floor Drain Fran Coll Unit Friender Floor (Type No. Finished Floor Level	PLY POL PPT PREFAB PROJ PRTR PSS PS PS PT PTIP PTIP PVC QUAN R R R R R R R R R R R R R R R R R R R	Plywood Pholished Pholishe	YO (Yd)	YANG
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXP/ST EXPN/JT EXT F/INS FA FCU FD FEC FF(#) FFL FH	Dimension Down Drawing Each Electric lold Open Electrical Electric	PLY POL PPT PREFAB PROJ PROJ PROJ PROJ PROJ PROJ PROJ POL PT PT PT PT PT PV QUAN R R R R R R R R R R R R R R R R R R R	Plywood Problemed Problemed Problemed Problemed Problemed Problemed Problemed Problemed Problemed Proposed Proposed Proposed Proposed Problemed Proposed Problemed Probleme	YD (Yd)	TATO
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DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXP/ST EXPN/JT EXT F/INS FA FCU FD FEC FF(#) FFL FH	Dimension Down Drawing Each Electric fold Open Electrical Elevator/Elevator Elevator Elevator Elevator Elevator Elevator Elevator Elevator Expansion Joint Expansion Joint Expansion Joint Fan Cell Unit Fan Cell Un	PLY POL PPT PREFAB PROJ PRTR PS PS PS PS PT PTIN PVA PVC QUAN R R.C. R/INS RAD RD RD RD REF	Plywood Problemed Problemed Problemed Problemed Problemed Problemed Problemed Problemed Problemed Proposed Proposed Proposed Proposed Problemed Proposed Problemed Probleme	YD (Yd)	YANG
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXPN/JT EXT F/INS FA FCU FD FEC FF(#) FFL FH FHC FFL FIN	Dimension Down Drawing Each Electric fold Open Electrical Elevator/Elevator Elevator Elevator Elevator Elevator Elevator Elevator Elevator Expansion Joint Expansion Joint Expansion Joint Fan Cell Unit Fan Cell Un	PLY POL PPT PREFAB PROJ PRTR PS PS PS PS PT PTIN PVA PVC QUAN R R.C. R/INS RAD RD RD RD REF	Plywood Politiced Pol	YD (Yd)	TATO
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXP/ST EXP/ST EXP/JT EXP/JT F/INS FA FCU FD FEC FF(#) FFL FH FHC FIN FIL FIN FIN FIL FIN FIL FIN	Dimension Down Drawing Each Electric Noted Open Electric Noted Open Electrical Equipment Equipment Forential Forential Fire Atlantia Fire Atlanguisher Cabinet Fire Marguisher Cabinet Fire Hopfard	PLY POL PPT PREFAB PRT PREFAB PRT PRT PTI PTI PTI PTI PTI PTI PTI PTI R R R R R R R R R R R R R R R R R R R	Plywood Problemed Problemed Problemed Problemed Problemed Problemed Problemed Problemed Problemed Processor Problemed Processor Problemed Processor Problemed Processor Problemed Problem	YO (Yd)	YANG
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXPN/JT EXT F/INS FA FCU FPL FH FI	Dimension Down Drawing Drawing Each Electric fold Open Electrical Electrical Elevator/Elevation Elevator Elevation Elevator Elevation Espaced Structure Expansion Joint Estaterior Facamed Insulation Fire Alarm Fan Coll Unit Floor Drain Horo Eron Fire Fire Marm Fan Coll Unit Floor Drain Fire Horo Expansion	PLY POL. PFT PFT PFT PFT PSF PSF PSF PSF PSF PTT(0) PTN PVA PVC QUAN R R.C. R/MS BBC REF REV RBM BBC RFP RBM BBC R	Plywood Pholished Pholishe	YD (Yd)	YANG
DN DWG EA EHO ELEC ELEC ELEV EQ EQUIP EXIST EXP/ST EXP/ST EXPN,/JT EXT F/INS FA FCU FD FFC FF(#) FFL FH FHC FIN FL FIL FL/GR FLOUR	Dimension Down Drawing Drawing Each Electric lold Open Electrical Establication Food Paris Food Paris Food Paris Food Paris Food Paris Food Paris Fine Marin Flood Paris Fine Marin Flood Cabinet Finisher Fine Mora Cabinet Finish Fine Marin Flood Paris	PLY POL. POL. POEFFAI POEFFAI POEFFAI POEFFAI POEFFAI POEFFAI POEFFAI POEFFAI R R R R R R R R R R R R R R R R R R R	Plywood Pribined Problemed Proposed Problemed Proposed Problemed P	YO (Yd)	YANG
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXP/ST EXP/ST EXT F/INS FA FCU FCU FFC FFC FFC FFL FFL FFL FFL FR FL/GR FL/GR FL/GR FR	Dimension Down Drawing Drawing Each Electric Hold Open Electrical Elevator/Elevation Equipment Equipment Equipment Expension Joint Exterior Foamed Insulation Fire Alarm Fan Call Unit Floor Drain Fire Exinguisher Cabinet Finished Floor (Type No.) Finish	PLY POL PFT PFT PFT PFT PSF PSF PSF PSF PT PTN PTN PTN PVC QUAN R R.C. R/INS RAD RAD REC REF REV RM RSB RSS(8) RSS(8)	Plywood Phylothed Phylothe	YD (Yd)	YANG
DN DWG EA EHO ELEC ELEC EQ EQUIP EXIST EXPN/ST EXPN/JT EXT F/INS FA FCU FD FEC FF(#) FFL FH FH FH FH FH FL FL FG FR FR FR FR FR FR	Dimension Down Drawing Drawing Each Electric lold Open Electrical Establication Food Paris Food Paris Food Paris Food Paris Food Paris Food Paris Fine Marin Flood Paris Fine Marin Flood Cabinet Finisher Fine Mora Cabinet Finish Fine Marin Flood Paris	PLY POL. POL. POEFFAI POEFFAI POEFFAI POEFFAI POEFFAI POEFFAI POEFFAI POEFFAI R R R R R R R R R R R R R R R R R R R	Plywood Pribined Problemed Proposed Problemed Proposed Problemed P	YO (Yd)	YANG
DN DWG EA EHO ELEC ELEV EQ EQUIP EXIST EXP/ST EXP/ST EXT F/INS FA FCU FCU FFC FFC FFC FFL FFL FFL FFL FR FL/GR FL/GR FL/GR FR	Dimension Down Drawing Drawing Each Electric Hold Open Electrical Elevator/Elevation Equipment Equipment Equipment Expension Joint Exterior Foamed Insulation Fire Alarm Fan Call Unit Floor Drain Fire Exinguisher Cabinet Finished Floor (Type No.) Finish	PLY POL PFT PFT PFT PFT PSF PSF PSF PSF PT PTN PTN PTN PVC QUAN R R.C. R/INS RAD RAD REC REF REV RM RSB RSS(8) RSS(8)	Plywood Polithed Hole Polithed P	YD (Yd)	YANG
DN DWG EA EHO ELEC ELEC ELEC ELEC EXIST EXPN,/JT EXT F/INS FA FCU FD FEC FF(#) FFL FH FHC FIL/GR FL/GR FR FRG FRG FRG FRG FRG FRG FRG FRG FR	Dimension Down Drawing Drawing Each Electric fold Open Electrical Electrical Elevator/Elevation Elevator/Elevation Elevator/Elevation Existing Equipment Existing Exposed Structure Exposed Structure Exposed Structure Exposed Structure Exposed Formation Exterior Ext	PLY POL. POEFAI ROBE ROBE ROBE ROBE ROBE ROBE ROBE ROBE	Plywood Problemed Pro	YD (Yd)	TATO
DN DWG EAD EHO ELLEV EQ EQUIP EXIST EXPN/JT EXT F/INS FA FCU FD FFL FH FH FH FH FH FL FI	Dimension Down Drawing Drawing Each Electric fold Open Electrical Electrical Elevator/Elevation Elevator Elevation Elevator Elevation Espaced Structure Expansion Joint Estaterior Feamed Insulation Fire Alarm Fan Coll Unit Floor Drain Horo Eropen Fire Marm Fan Coll Unit Floor Drain Fire Marm Fan Coll Unit Floor Orain Fire Marm Fan Coll Unit Floor Orain Fire Marm Fire Open Fire Marm Fi	PLY POL POT	Plywood Pholished Pholishe	YD [Yd]	YANG
DN DWG EA EHO ELLEV EQUIP EXP/ST EXP/ST EXPN/JT EXT F/INS FA FCU FD FEC FF(#) FFL FH FH FH FH FH FFL FR	Dimension Down Drawing Drawing Each Electric slold Open Electrical Expansion Electrical Expansion Foot Drain Fire Alarm Floor Drain Fire Estangianher Cabinet Finished Floor (Type No.) Finished Floor (Electrical Finish	PLY POL. POL. POL. POSEFAIO POSEFAIO POSEFAIO POSEFAIO POSEFAIO POSEFAIO POSEFAIO POSEFAIO POSEFAIO R R R R R R R R R R R R R R R R R R R	Flywood Prichized Flywood Prichized Floridated Floridat	YD [Yd]	YANG
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700, 1816 Crowchild Trail N.W.



As Indicated

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RESPONSIBILITY OF THE GENERAL CONTRACTOR/PROJECT MANAGER-

2. LOCATING ALL UTILITIES, NOTIFYING AUTHORITY HAVING JURISDICTION WHEN ANY WORK IS PLANNED IN THE VICINITY OF THE UTILITY, RELOCATION OR REMOVAL OF EXISTING SERVICES AS REQUIRED, AND SUPPORT, ADEQUATE PROTECTION, AND MAINTENANCE OF SERVICES. AFFECTED BY WORK LINDER THIS CONTRACT

3. BLIII DING PERMIT AND ANY OTHER REPMITS REQUIRED FOR COMPLETION OF WORK 3. BOILDING PERMIT AND AINT OF THER PERMIT S REQUIRED FOR COMPILE TION OF WORD AND ALL CLOSED THE FOLLOWING WITH ACTUAL CHARGES FOR THE FOLLOWING, WITH ACTUAL CHARGES BEING PAID BY THE OWNER DIRECTLY; ELECTRICAL SERVICES GAS SERVICE WATER & SEWER SERVICES CURB CUT CHARGES AND PHONE &

CABLE SERVICES.

5. START OF ANY CONSTRUCTION MEANS ACCEPTANCE OF THE EXISTING CONDITIONS.

6. COORDINATION WITH ALL SUB TRADES AND SUPPLIERS.

7. GETTING ANY REQUESTED SHOP DRAWINGS OR SAMPLES TO THE OWNER FOR APPROVAL

8. REPAIRING OR REPLACING ANY OTHER WORK OR PROPERTY DAMAGED BY WORK FROM THIS CONTRACT, MAKE GOOD EXISTING SIDEWALKS AND CURBS.

CONSTRUCTION INSURANCE:

1. THE CONTRACTOR WILL BE REQUIRED TO CARRY THE FOLLOWING INSURANCE

a PERSONAL BODILY IN ILIRY INCLUDING DEATH INSURANCE IN THE AMOUNT OF NOT

b. PROPERTY DAMAGE INSURANCE IN THE AMOUNT NOT LESS THAN \$2,000,000.00.
c. OWNER AUTOMOBILE LIABILITY INSURANCE IN THE AMOUNT NOT LESS THAN

d BUILDERS RISK INSURANCE IN THE TOTAL AMOUNT OF THE CONTRACT.

2. NO CONSTRUCTION WORK IS TO BEGIN UNTIL SUCH INSURANCE IS IN PLACE AND EVIDENCE

SUB TRADES RESPONSIBILITY:

 ALL SUB TRADES ARE TO REVIEW AND CONFIRM THE EXISTING SITE & SERVICE CONDITIONS
PRIOR TO START OF CONSTRUCTION, AND REPORT ANY ERRORS OR DISCREPANCIES TO THE ENGINEER, FAILURE TO DO SO WILL MEAN ACCEPTANCE OF THE STATED CONDITIONS AS

2. THE SCOPE OF EVERY SLIB TRADE'S WORK SHALL BE IN ACCORDANCE WITH THE TRADE DEFINITIONS OF THE ALBERTA CONSTRUCTION TENDERING SYSTEM (ACTS).

3. EVERY SUB TRADE MUST EXAMINE ALL DRAWINGS AND ALL SPEC'S INCLUDING MECHANICAL AND ELECTRICAL DIVISIONS, SO THAT THEY ARE FULLY CONVERSANT WITH ALL CONDITIONS. WHICH WILL AFFECT THE EXECUTION OF THE CONTRACT DURING CONSTRUCTION.

1. THE OWNER OR CONTRACTOR MUST CONTACT HUNTER TRISTAN DESIGN TO PERFORM ON SITE ARCHITECTURAL AND STRUCTURAL INSPECTIONS AT THE FOLLOWING STAGES:

a. FOUNDATION INSPECTIONS AS SPECIFIED ON FOUNDATION DRAWINGS b. OVERALL STRUCTURAL FRAMING INSPECTION PRIOR TO INSTALLATION OF DRYWALL

c. FINAL COMPLETION INSPECTION (IF REQUIRED BY HUNTER TRISTAN DESIGN) 2. HUNTER TRISTAN DESIGN IS TO BE INFORMED A MINIMUM OF 24 HOURS PRIOR TO EACH

DIMENSIONS:

1. ALL DIMENSIONS ARE TO BE CONFIRMED PRIOR TO STARTING CONSTRUCTION AND ANY ERRORS OR DISCREPANCIES ARE TO BE REPORTED TO HUNTER TRISTAN DESIGN BEFORE WORK

MINIMUM CONSTRUCTION STANDARDS:

ALL CONSTRUCTION IS TO MEET THE FOLLOWING CODES & STANDARDS, THE MORE STRINGENT TO GOVERN:

a. ALBERTA BUILDING CODE h NATIONAL BUILDING CODE

c LOCAL BYLAWS

d. WORKMEN'S COMPENSATION ACT.

1 ALL MANUFACTURERS ARE TO CONFIRM THE SITE CONDITIONS AND SITE MEASUREMENTS VITH THE GENERAL CONTRACTOR PRIOR TO ANY FABRICATION AND REPORT TO ARCHITECT

WRITTEN 1-YEAR GUARANTEE:

WRITT LEN I-TEAR QUARANTEE:

1. ALL MATERIAL USED WITHIN THE BUILDING SHALL BE NEW, FIRST QUALITY, REGULAR PRODUCTION RUN ITEMS, FREE FROM DEFECTS AND COMPLETE WITH APPLICABLE

2. ALL INSTALLATIONS SHALL BE DONE AS PER MANUFACTURER'S PRINTED INSTRUCTIONS AND DATA, OR TO COMMON ACCEPTED TRADE PRACTICES, BUT NOT LESS THAN TO OWNER!

DATE, OR TO COMMENTATION OF THE CENTRAL FURNISH THE OWNER WITH A WRITTEN 1-YEAR GUARANTEE (FROM DATE OF ACCEPTANCE), COVERING ALL MATERIALS, TO COMMENT OF THE CENTRAL SHAPE OF THE CENTRAL SHAPE OF THE CENTRAL SHAPE OF T FOLIPMENT AND WORKMANSHIP AND MAKE GOOD ON ANY DEFECTS ARISING DURING THAT

MECHANICAL/ELECTRICAL SUB TRADES RESPONSIBILITIES:

THE MECHANICAL/ELECTRICAL CONTRACTOR IS TO SUBMIT THE FOLLOWING IN DUPLICATE
 TO THE OWNER UPON SUBSTANTIAL COMPLETION OF THE PROJECT:

a. MECHANICAL OPERATION & MAINTENANCE MANUALS; C/W APPLICABLE GUARANTEE CERTIFICATES ON ALL EQUIPMENT.

b. ELECTRICAL OPERATION & MAINTENANCE MANUALS: CAV APPLICABLE GUARANTEE

CERTIFICATES ON ALL FOLIPMENT

CERTIFICATES OF THE EQUIPMENT.

2. THE MECHANICAL/ELECTRICAL CONTRACTOR IS TO CO-ORDINATE WITH THE FOUNDATION AND FRAMING CONTRACTORS TO ENSURE ALL SLEEVES, HOLES AND OPENINGS REQUIRED. FOR THE MECHANICAL/ELECTRICAL WORK ARE ALLOWED FOR PRIOR TO CONSTRUCTION. 3. ALL MECHANICAL AND ELECTRICAL SERVICE PENETRATIONS THROUGH FIRE RATED SSEMBLIES ARE TO BE FIRE STOPPED IN ACCORDANCE WITH THE ULC FIRE STOP SYSTEM

BUILDING ELEVATION:

 THE ACTUAL GEODETIC ELEVATIONS OF THE BUILDING'S MAIN FLOOR, RELATIVE TO THE SURROUNDING SITE, SITE SERVICES, SITE DRAINAGE AND ROAD, IS TO BE THE RESPONSIBILITY OF GENERAL CONTRACTOR, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

1. ALTERNATES FOR ANY ITEM/MATERIAL/EQUIPMENT STATED ON THESE DRAWINGS ARE DEEMED APPROVED IF:

a. THEY MEET OR EXCEED THE RECOMMENDED STANDARDS SET OUT IN THE ALBERTA

a. THEF MEET UPERACED THE RECOMMENDED STANDARDS SET OF IN THE REDERING AND NATIONAL BUILDING CODES, AND IN ATTOMAL BUILDING CODES, AND IN THE MEET OR EXCEED THE SPECIFICATIONS SET OUT FOR THAT PARTICULAR ITEM, MATERIAL AND/OR EQUIPMENT STATED ON THE DRAWINGS, OR C. THEY MEET OR EXCEED THE SPECIFICATIONS SET OUT IN OUR SPECIFICATIONS BOOK,

IF APPLICABLE OR IN OUR DRAWING NOTES.

2. ITEMS THAT MUST HAVE WRITTEN APPROVAL FROM THE OWNER OR ENGINEER ARE:

a. BUILDING AND CONSTRUCTION DESIGNS AND MATERIALS THAT MAY ALTER ANY

PHYSICAL SIZE, OR DETAIL, SHOWN IN THESE PLANS. b. ANY ITEM THAT DEALS WITH THE STRUCTURAL RIGIDITY OF ANY STRUCTURAL

PORTION OF THE BUILDING ITSELE

c. ANY ITEM WHERE THERE WOULD NOW BE A NEW COLOUR, TEXTURE, AND/OR FINISH

OTHER THAN THAT SPECIFIED ON OUR DRAWINGS.

3. IF A SUB TRADE OR SUPPLIER MAKES THE ASSUMPTION THAT THEIR ITEM IS ACCEPTABLE. 3. IF A SUB-TRADE OR SUPPLIER MARES THE ASSUMPTION THAT THEIR TEM IS ACCEPT AS BUT IS THEN FOUND TO NOT MEET OR EXCEED THE SPECIFICATIONS AFTER IT IS INSTALL THEN THAT SUB-TRADE OR SUPPLIER MAY BE REQUIRED TO REMOVE, CORRECT AND/OR REPLACE THAT ITEM, AT THEIR OWN COST, AS REQUIRED, TO BRING IT UP TO THE

LEGAL SURVEY CERTIFICATE:

 GENERAL CONTRACTOR IS TO PROVIDE THE OWNER WITH A LEGAL SURVEY CERTIFICATE. WITHIN 30 DAYS OF COMPLETION OF THE FOUNDATION. THIS CERTIFICATE IS TO SHOW THE NEW BUILDING LOCATION AND ALL STRUCTURES ON THE SITE. A COPY OF THIS CERTIFICATE

GENERAL SPECIFICATIONS:

THE PLANS AND DESIGN HEREIN ARE AND AT ALL TIMES REMAIN THE EYCLUSIVE PROPERTY OF RICK BALBI ARCHITECT LTD., AND CANNOT BE USED OR REPRODUCED WITHOUT WRITTEN

2. ANY DISCREPANCIES WITHIN THE DRAWINGS ARE TO BE REPORTED TO THE ARCHITECT

2. ANY DISJURE/PAYCLES WILLIAM THE THE PROPRIED TO THE COMMENCEMENT OF ANY WORK.

3. THE CONTRACTOR OR THE OWNER SHALL VERIFY ALL DIMENSIONS, MATERIALS, AND CONDITIONS SHOWN ON THE DRAWINGS OR NOTED IN THE SPECIFICATIONS.

ANY VARBANCES WITHIN THE DRAWINGS OR NOTED IN THE SPECIFICATIONS, OR FROM CONDITIONS. ENCOUNTERED AT THE JOB SITE, ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO THE MMENCEMENT OF ANY WORK

CONTRACTOR AND THE OWNER SHALL ENSURE THAT THE CONSTRUCTION COMPLIES WITH ALL NATIONAL, PROVINCIAL, AND LOCAL STATUTES AND REGULATIONS.

5. THE CONTRACTOR OR OWNER SHALL INSTALL ALL MATERIALS, EQUIPMENT AND COMPONENTS ETC. IN ACCORDANCE WITH THE MANUEACTURER'S INSTRUCTIONS AND ACCEPTED METHODS.

ETC. IN ALCORDANCE WITH 1 THE MANUFAL TORER 3 INSTRUCTIONS AND ALCEPTED METHOD. OF GOOD BUILDING PRACTICE. 6. CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS

OR USE OF EQUIPMENT SHALL NOT EXCEED THE DESIGN LOADINGS. OR USE OF EQUIPMENT SHALL NOT EXCEED THE DESIGN LOADINGS.

THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY DEPARTURE FROM THE DRAWINGS
AND SPECIFICATIONS AUTHORIZED BY ANY OFFICIAL DURING THE COURSE OF CONSTRUCTION.

8. DIMENSIONS SHALL IN ALL CASES TAKE PRECEDENCE TO SCALE.

9. ROOFING MATERIALS TO COMPLY WITH THE APPLICABLE SECTION OF THE ALBERTA BUILDING CODE AND SUPPLIERS' WARRANTY CONDITIONS

 ALL TOPSOIL, ORGANIC MATTER, EXISTING CONCRETE AND STRUCTURES, UNACCEPTABLE FILL AND DEBRIS IS TO BE REMOVED FROM THE BUILDING AREA AND ALSO FROM AN SIDEWALK AND PAVED AREAS

2. ANY SOFT SPOTS ENCOUNTERED ARE TO BE REMOVED AND FILLED WITH AN APPROVED NON-EXPANDING MATERIAL PLACED IN 8" (200mm) LIFTS AND COMPACTED TO 100% STD PROCTOR MAX DRY DENSITY OR AS APPROVED BY SOILS CONSULTANT PRIOR TO WORK BEING

3. BASE GRAVEL UNDER SLABS, SIDEWALKS, CONCRETE APRONS, ASPHALT PAVING AND EXTERIOR STAIRS (AS NOTED/SHOWN ON THE DRAWINGS AND/OR SPECIFICATIONS) ARE NOT INCLUDED IN ANY SITE WORK ALLOWANCES SPECIFIED IN THE TENDER DOCUMENTS

SITE GRADING ADJACENT TO BUILDING AND ROOF WATER

1. SITE GRADING SHOULD BE SUCH AS TO SHED SURFACE RUNOFF AWAY FROM THE STRUCTURE.

GRADING OF SIDEWALKS AND ENTRANCE SLABS:

1. ALL EXTERIOR SIDEWALKS, ENTRANCE SLABS AND LANDINGS ARE TO BE CONSTRUCTED SO THAT THEY SLOPE AWAY FROM THE BUILDING WITH A MINIMUM SLOPE OF 1:50 U/N, SO THAT DRAINAGE OF SURFACE WATER AWAY FROM THE BUILDING IS GUARANTEED.

MILLWORK

MILLWORK (CABINETRY):

1. MILLWORK FABRICATOR IS TO VISIT THE SITE AND VERIFY ALL DIMENSIONS PRIOR TO PRODUCING SHOP DRAWINGS, AND IS TO DOUBLE CHECK DIMENSIONS PRIOR TO

DETAILED SHOP DRAWINGS ON ALL MILLWORK ARE TO BE SUBMITTED TO RICK BALBI ARCHITECT LTD. FOR REVIEW PRIOR TO ANY FABRICATION.
3. DESIGNER/OWNER SHALL PROVIDE COLOURS AND FINISHES AS SELECTED FROM

MANUTEACTURERS STANDARD SAMPLES AS REQUIRED. 4. GENERAL CONTRACTOR IS TO INSTALL BLOCKING AS REQUIRED FOR SUPPORT OF ALL WALL

MOUNTED CABINETS. 5. ALL CABINETRY DOORS TO BE COMPLETE WITH FULLY CONCEALED, SPRINGLOADED, 125 DEG., NICKEL PLATED STEEL HINGES, "BLUM" OR EQUIVALENT. PROVIDE RUBBER CUSHON. STOP FOR ALL DOORS, (DESIGNER TO CONFIRM ALL FINISHES PRIOR TO INSTALLATION).

1. SHEET VAROUR RAPPIER TO CONSIST OF POLIVETHYLENE FILM TO CAN (CGSR-51.34-M86.6MI) SHEET VAPOUR BARRIER TO CONSIST OF POLYE HYELEN FILM TO CAN/CSSB-51.34-MB6, 6N (150 MICROMETRES) THICK. CAULKING SEALANT SHALL BE NON-HARDENING, NON-SKIMMING PERMANENTLY FLEXIBLE, ACOUSTICAL SEALANT CONFORMING TO CGSB 19-GB-21M.
 INSTALL SHEET VAPOUR BARRIER ON THE WARM SIDE OF THE ASSEMBLY DIRECTLY BENEATH FINISH MATERIAL WITH LARGEST PRACTICAL SIZE SHEETS TO MINIMIZE JOINTS 3. ALL VAPOUR BARRIER IS TO BE LAPPED A MIN. OF 4" (100mm) AT JOINTS AND IF POSSIBLE 3. ALL VAPOUR BARKREN'S TO BE CAPPED A MIN. OF 4 (IDMINISTRATE) FASSIBLE OVER A SOLID MEMBER (E.G. STUD, JOIST BOTTOM, WALL PLATE, OR SOLID BLOCKING), WITH CAULKING BETWEEN POLY AND STAPLED INTO THE SUPPORT MEMBER.

4. ALL STAPLING OF THE POLY IS ONLY TO BE DONE OVER AND THROUGH CALL KING

4.ALLS INFLINED OF THE POLIT'S ONLY TO BE DONE OVER AND THROUGH CAULINING LOCATIONS AT EDGES AND ENDS OF POLY SHEETS.

5.ALL PENETRATIONS THROUGH VAPOUR BARRIER ARE TO HAVE A POLYETHYLENE COLLAR APPLIED AND SEALED TO COMPONENT AND VAPOUR BARRIER.

6. INSTALL POLYETHYLENE PANS BEHIND ELECTRICAL BOXES IN EXTERIOR WALLS SEALED TO

WALL WITH CALLKING STAPLED AND SEALED TO AD JACENT VAPOUR RAPRIER SEAL WALL WITH CAUCHING, 31 APLED AND SEALED TO ADJACENT VAPOUR BARRIER, SEAL PENETRATIONS THROUGH PANS WITH A COUSTIC SEALANT. 7. THOROUGHLY INSPECT VAPOUR BARRIER PRIOR TO INSTALLATION OF DRYWALL AND REPAIR

PUNCTURES. RIPS AND TEARS WITH SEALING TAPE.

1. BATT INSULATION SHALL BE FRICTION FIT BATTS TO CSA A101-M1983, TYPE 1 TO THICKNESS

OR R (RSI) VALUE INDICATED.

2. RIGID INSULATION (FOUNDATION) SHALL BE POLYSTYRENE EXPANDED TYPE TO 2. Ridgi INSULATION (FOUNDATION) SHALL BE POLYSTYRENE EXPANDED I YVE LO CGGSB-13-04 TYPE 4 TO THICKNESS INDICATED, ADHESINES, TYPE C-MEDIUM TROWEL CONSISTENCY AND/OR TYPE D-GUN OR KNIFE CONSISTENCY. 3. RIGID INSULATION (ROOF) SHALL BE EXPANDED POLYSTYRENE TYPE 1 OR 2 TO

CGSB-51.20-M87, SINGLE PLYTHICKNESS AS REQUIRED FOR R20 (RSI3.52) INSULATING VALUE 4. LOOSE FILL/BLOWN INSULATION SHALL BE POLYURETHANE RIGID CELLULAR SPRAY USED AS I AIR STOP AT WALL/ROOF JUNCTIONS AND AROUND WINDOWS

THERMAL/MOISTURE PROTECTION:

DAMPPROOFING EXTERIOR FOUNDATION WALL:

1. INSTALL IQUID NEOPRENE BITUMINOUS MEMBRANE CONFORMING TO CSGB-37-GP-36, EMULSIFIED ASPHALT FOR DAMPPROOFING OR WATERPROOFING, FULL HEIGHT ON FOUNDATION WALLS UP TO FINISHED GRADE.

APPLY IN TWO CONTINUOUS AND LINIFORM COATS. TO EXTENT INDICATED ON THE DRAWINGS. APPET IN YOU CON INDUCES AND UNIFICAM COATS, TO EXTENT INDICATED ON THE DRAWIT AND TO MANUFACTURERS RECOMMENDATIONS.
 DO NOT APPLY EMULSIFIED ASPHALT IN TEMPERATURES UNDER 50°F (10°C). CONCRETE IS TO HAVE AGED A MIN. OF 28 DAYS PRIOR TO APPLICATION OF WATERPROOFING.

4. WATERPROOFING IS TO BE APPLIED TO THE FOUNDATION WALL PRIOR TO THE INSTALLATION OF RIGID INSULATION, IF APPLICABLE.

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH CSA A82.31. MANUFACTURER'S INSTRUCTIONS AND THE MANUAL OF GYPSUM WALLBOARD CONSTRUCTION OF THE GYPSUM DRYWALL CONTRACTORS INTERNATIONAL.

2. APPLY PLASTIC MILLCORE EDGE MOULDING TO ALL EDGES (AND ENDS) OF DRYWALL WHERE

ADJOINING ANY OTHER MATERIAL AND ABOUT ALL WALL OPENINGS. 3 LISE METAL BEADS ON ALL EXTERIOR CORNERS

4. FASTEN PANELS WITH SCREWS SPACED AS REQUIRED FOR NAILS IN CSA A82.31.

1. THE ENTIRE POOFING SYSTEM IS TO BE CONSTRUCTED TO AT LEAST THE MINIMUM. THE ENTIRE ROOFING SYSTEM IS TO BE CONSTRUCTED TO AT LEAST THE MINIMUM REQUIREMENTS AS SET FORTH IN THE "MANUAL ON GOOD ROOFING PRACTICES" BY THE ALBERTA ROOFING CONTRACTORS ASSOCIATION LTD. (AR.C.A.).
 ROOFING SUPPLIER IS TO SUPPLY THE OWNER, THROUGH THE CONTRACTOR, WITH A 15 YEAR WRITTEN GUARANTEE ON THE ROOFING MATERIALS.

3. A 2 YEAR A.R.C.A. LTD. CERTIFICATE OF ASSURANCE IS TO BE PROVIDED COVERING THE ENTIRE ROOFING SYSTEM UPON COMPLETION OF THE PROJECT.

FLASHING & SHEET METAL:

I. GALVANIZED FLASHING &/OR TRIM FOR UNEXPOSED AREAS SHALL BE SHEET STEEL 26ga, TO ASTM A526-80 WITH 2275 DESIGNATION ZINC COATING TO ASTM A525M-80. NAILED WITH #12 HOT DIPPED ZINC COATED, ANNUI AR RINGED NAILS.

2. PREFINISHED FLASHING &/OR TRIM FOR EXPOSED AREAS SHALL BE SHEET STEEL 26ga, TO ASTM 1526-80 WITH FACTORY APPLIED BAKED ENAMEL FINISH, 5000 SERIES. SCREWED WITH CADMIUM PLATED OR COLOUR COATED, SELF-TAPPING SCREWS.

3. PROVIDE EL ASHINGS FOR ELAT RODE PERIMETERS, RODE CLIRRS & SIMILAR OPENINGS 3. PROVIDE FLASHINGS FOR FLAT ROOF PERMISELERS, ROOF CURSS & SIMILIAR OPENINGS, EAVES, RAKES, VALLEYS, OVER EXT. WINDOWS & DOORS, ANY HORIZONTAL TRANSITIONS BETWEEN DIFFERENT EXTERIOR FINISH MATERIALS, AND ANY OTHER AREAS INDICATED ON

4. PROVIDE EDGE TRIM AT ALL OPENING EDGES AND AT ALL VERTICAL TRANSITIONS BETWEEN

THE VEHICLE COST THE VIEW OF THE VEHICLE OF THE VEHICLE CONTROLL TO ALL DESTRICT THE VEHICLE OF DRIP EDGE ON BOTTOM OF VERTICAL FLASHINGS

UMP ELDEE ON BUT I OM OF VERTICAL FLASHINDS.

6. BACK PAINT SHEET METAL WITH BITUMINOUS PAINT ON ALL SURFACES IN CONTACT WITH
CONCRETE, MASONRY OR OTHER CEMENTITIOUS MATERIAL.

7. INSTALL COUNTER FLASHING FOR ALL FLAT ROOF PERIMETERS AND ANY PROJECTIONS

THROUGH MEMBRANE ROOFING. 8 EYPOSED ELASHING TO MATCH AD JACENT FINISHING MATERIALS WHERE NOTED ON

ACRYLIC STUCCO (OVER RIGID INSULATION):

KLYPLIC STUCCEO (1924 RIGID IN SOLITATION):

A CRYLIC STUCCO IS ONLY TO BE APPLIED WHEN TEMPERATURES ARE ABOVE 5°C (40°F),

INLESS MEANS ARE PROVIDED TO PROTECT WORK FOR ENTIRE CURING PROCESS.

STUCCO MIXING, PROPORTIONING AND APPLYING ARE TO BE AS PER MANUFACTURERS.

3. INSULATION SHALL BE EXPANDED POLYSTYRENE BOARD (EPS) CONFORMING TO CAN/CGSB-51.21-M87 TYPE 1 ADHERED TO SUBSTRATE WITH APPROVED MASTIC ADHESIVE. FOR BUILDING OVER 3 STOREYS OR FOR INSULATION THICKNESS EXCEEDING 2" (50mm), THE INSULATION BOARDS MUST BE MECHANICALLY FASTENED USING GALVANIZED SCREWS AND DISC-TYPE WASHERS SPACED AT MIN. 12" (300mm) EACH WAY 4. GLASS FIBRE REINFORCING MESH, MINIMUM 4.5 oz/SQ YD (183g/sq m) WEIGHT WITH MIN 150lb/inch TENSILE STRENGTH EMBEDDED IN ACRYLIC BASE COAT (PRIMER/ADHESIVE) APPLIED TO 1/16" (2mm) THICK OF MEDIUM TEXTURE FINISH, OR TO FINISH TYPE AND STYLE AS SPECIFIED ON THE DRAWINGS.

STYLE AS SPECIFIED ON THE DRAWINGS.

5. APPLY FINISH COAT OF ACRYLIC WALL COATING APPROX. 1/16" (2mm) THICK OF MEDIUM
TEXTURE FINISH, OR TO FINISH TYPE AND STYLE AS SPECIFIED ON THE DRAWINGS.

6. FOR HIGH IMPACT AREAS (BOTTOM 4"-0" OF WALLS) & BUILD-OUT CORNERS, APPLY HEAVY DUTY GLASS FIBRE REINFORCING MESH, MIN. 80oz/sq yd (306g/sq m) WEIGHT WITH MIN. 540lbs/inch TENSII E STRENGTH

EXTERIOR STUCCO (PORTLAND CEMENT STUCCO FINISH):

1. STUCCO IS ONLY TO BE APPLIED & CURED WHEN AIR TEMPERATURES OF ABOVE 40°F (5°C) ARE GUARANTEED, UNLESS MEANS ARE PROVIDED TO HEAT AND PROTECT WORK FOR ENTIRE CLIPING PROCESS

. GALVANIZED 16ga SELF-FURRING WIRE MESH OR 2.5lb/sq yd DIAMOND MESH REINFORCING LATH APPLIED WITH 1 1/2" (38mm) NAILS @ 6" (152mm) O/C HORIZ. OVER BUILDING PAPER OR SUITABLE WALL SHEATHING PAPER. INSTALL STUCCO STOPS, CORNER BEADS AND CONTROL JOINTS SPACED AT A MAXIMUM OF 12'-0" (3600mm) O/C UNLESS OTHERWISE

CON TROL JOINT'S SPACED AT A MAXIMUM OF 12-0" (3600MM) O/C UNLESS OTHE SHOWN ON BUILDING ELEVATIONS. 3. STUCCO MIXING, PROPORTIONING AND APPLYING ARE TO BE TO THE MINIMUM REQUIREMENTS SET FORTH BY THE LATH AND PLASTER INSTITUTE SPECIFICATIONS MANUAL

OR TO MANUFACTURER'S SPECIFICATIONS. OR TO MANOPACTORER'S SPECIFICATIONS.
4. THE SCRATCH COAT APPLIED OVER THE WIRE MESH IS TO BE AT LEAST 1/2" (13mm) THICK.
5. THE BROWN COAT APPLIED OVER THE SCRATCH COAT IS TO BE AT LEAST 1/4" (6mm) THICK. AND APPLIED AFTER THE FIRST COAT HAS SET SUFFICIENTLY.

6. AFTER THE FIRST 2 COATS HAVE SUFFICIENTLY CURED. APRILY ONE FINISH COAT OF STUCCO. 6. AT LER THE PIRST 2 COATS THE SUPERIOR THE CORED, APPLET ONE THIS COAT OF A MIN. OF 1,4% (3mm) THICK, SMOOTH OR TEXTURED FINISH WITH COLOUR & FINISH AS SELECTED BY THE OWNER, UNLESS NOTED OTHERWISE ON THE BUILDING ELEVATIONS. 7. FOR STUCCO APPLIED OVER BUILD-OUTS APPLY 2.5Ib FLAT DIAMOND GALVANIZED WIRE MESH AND FASTEN THROUGH BUILD-OUT WITH GALVANIZED SCREWS AND DISC-TYPE WASHERS SPACED AT MINIMUM 12" (300mm) O/C EACH WAY. APPLIED OVER BUILDING PAPER OR SUITABLE WALL SHEATHING PAPER.

GVPSHM WALL BOARD

STANDARD GYPSUM BOARD:

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH CSA 482.31, MANUFACTURER'S INSTRUCTIONS AND THE MANUAL OF GYPSUM WALLBOARD CONSTRUCTION OF THE GYPSUM

DRYWALL CONTRACTORS INTERNATIONAL. 2. DRYWALL SHALL CONFORM TO CSA 482 27.M THICKNESS AND PATING AS PEOLIPPED AS

2. DRIWALL STALL CONFORM IN CAS ASSEZEM, FINCHNESS AND RATING, AS RI SPECIFIED ON THE DRAWINGS AND AS NOTED BELOW: a. DRYWALL USED IN COLD OR UNHEATED SPACES SHALL BE EXTERIOR GRADE. b. DRYWALL USED IN HIGH HUMIDITY AREAS OR WHERE EXPOSED TO WATER SHALL BE WATER RESISTANT GRADE

C. WHETHER EXTERIOR RATED OR WATER RESISTANT, ALL DRYWALL USED IN FIRE SEPARATIONS & ASSEMBLIES, AS PER DWGS, MUST ALSO BE FIRE RATED (ie.: TYPE 'X'). 3. TYPE 'X' FIREGUARD DRYWALL WHEN USED IN FIRE RATED ASSEMBLIES SHALL BE INSTALLED VERTICALLY OR IE INSTALLED HORIZONTALLY SHALL HAVE BLOCKING

INSTALLED VER INSCALLED WE INSTALLED HURZZON FALLT SHALL PAVE BLUCKING INSTALLED BEHIND HORIZONTAL JOINTS. 4. APPLY PLASTIC MILLCORE EDGE MOULDING TO ALL EXPOSED ENDS OR EDGES ABOUT ALL WALL OPENINGS AND WHERE DRYWALL JOINS ANY OTHER MATERIAL, USE METAL CORNER

BEADS ON ALL EXTERIOR CORNERS. 5. FASTEN PANELS WITH SCREWS SPACED AS RED'D FOR NAILS IN CSAAR2 31. 8 FOR SINGLE 3. FASTER PAINELS WITH SCREWS SPALED AS REQ DIFORMALISTIC SARAZEST, & FUR SINGL LAYER OR BASE LAYER USE TYPE 'S' SCREWS MIN. 10MM (3/8") FROM PANEL EDGES. FOR FACE (2ND LAYER) INSTALL TYPE 'G' SCREWS AT ALL BUTT ENDS MIN. 38mm (1.1/2") FROM

PACE LONG SET TYPE 'S SCREWS ALONG LONG EDGES MIN. 38mm (L 1/2") FROM EDGES.

6. IN TARING, USE THE THERE COAT METHOD WITH THE WIDTH OF THE SKIM COATS BEING MIN.

12. (365mm) FOAT PAEPERE DEGES AND 24" (610mm) FOR BUTT JOINTS.

7. DRYWALL CONTROL JOINTS MUST BE INSTALLED FOR WALLS WHERE DIMENSION EXCEEDS. 30'-0" (9.0m) OR 300 SO FT (30 sq m) AND LOCATED BESIDE OPENINGS, WHERE POSSIBLE. 8. APPLY F.R.P. PANEL GLUED TO DRYWALL 3'-0" (915mm) ABOUT JANITORS MOP SINK, IF

 APPLY F.R.P. PANEL GLUED TO DROWALL 3"0" (915mm) ABOUT JANITORS MOP SINK, IF APPLICABLE, COMPLETE WITH CAULKING ALL AROUND.
 MECHANICAL FLUE LOCATED ABOVE RATED CEILINGS SHALL BE ENCLOSED & RATED T THE UNDERSIDE OF THE ROOF DECK WITH CONSTRUCTION HAVING A FIRE RESISTANCE RATING EQUAL TO THE ROOF RATING.

10. THE DRYWALL SUBTRADE/CONTRACTOR IS RESPONSIBLE FOR ENCLOSING ALL RECESSED ELECTRICAL LIGHT FIXTURES WITH RATED DRYWALL WHERE FIXTURES PENETRATE A RATED CEILING/WALL (TO MATCH FIRE SEPARATION RATING). SIMILAR TO ULC DESIGN #1517.

INTERIOR PAINTING AND FINISHING:

WATER RESISTANT GYPSUM WALLBOARD:

1. WATER RESISTANT GYPSUM WALLBOARD TO CSAA82.27-M SIMILAR TO 'GEORGIA PACIFIC MOISTURE-GUARD', OR EQUIVALENT, IS TO BE INSTALLED ON THE WALLS OF BATHTUB AND SHOWER AREAS.

2. EOR TILED RATHTUR AND SHOWER AREAS INSTALL 'DENSHIELD TILE RACKER BY GEORGIA 1. ALL COLOURS ARE TO BE SPECIFIED BY THE OWNER, UNLESS NOTED OTHERWISE.

WOOD DOORS AND FRAMES:

INTERIOR WOOD DOORS SHALL CONFORM TO CSA 0123.2 FITHER 1.3/4" (45mm) SOLID OR 3/8" (35mm) HOLLOW CORE (AS DETAILED ON DRAWINGS). PAINT GRADE DOOR SHALL BE UNFINISHED HARDBOARD, STAIN GRADE DOORS SHALL BE OAK VENEE

2. WOOD FRAMES ARE TO BE SOLID WOOD FOR JAMBS, STOPS AND CASING, FINISH TO MATCH DOOR LINLESS NOTED

MATICH DOOR, OILESS NOTED.

3. WOOD DOORS IN WOOD FRAMES AS DETAILED ON DOOR AND HARDWARE SCHEDULE TO BE PREHUNG FLUSH DOOR UNITS TO FINISH SPECIFIED.

PREMANUFACTURED WOOD WINDOWS:

I. PREMANUFACTURED SOLID DOUGLAS FIR FRAMES WITH EXPOSED INTERIOR SURFACES AND EXTERIOR OF HEAVY DUTY EXTRUDED ALUMINUM METAL CLADDING COMPLETE

2 WINDOWS TO MEET OR EXCEED CAN/CSA-A440-M90 AND HAVE A WIND LOAD

2. WINDOWS TO MEET OKENCEED CANYLSA-AA4Q-M9U AND HAVE A WIND LOAD RESISTANCE RATING OF C-3. FOR FIXED WINDOWS HAVE A WATER TIGHTNESS RATING OF B-3, AND FOR OPERABLE WINDOWS A RATING OF B-7. AIR TIGHTNESS RATING OF A-3 FOR OPERABLE WINDOWS, COLOUR TO BE CHOSEN BY OWNER FROM MANUFACTURERS STANDARD PANGE OF COLOURS

NANNOE OF COLOUDS.

3. GLAZING SHALL BE FACTORY SEALED UNITS OF 1/8" (3MM) FLOAT GLASS USING A DUAL SEAL CONSTRUCTION WITH 1/2" (12mm) AIR SPACE.

4 SCREENS FOR OPERABLE WINDOWS TO BE ALLIMINUM MESH WITH EXTRUDED ALUMINUM SASH. MANUFACTURERS STANDARD HARDWARE IN FINISH TO MATCH

WINDOW FRAME.

5. ERECT AND SECURE WINDOWS IN PREPARED OPENINGS PLUMB AND SQUARE FREE OF WARPS OR SUPERIMPOSED LOADS. PROVIDE SHIMS UNDER SILL FRAME AT SETTING BLOCK LOCATIONS CONCEAL ALL ANCHORS INSTALL SEALANT AROUND WINDOW

1. HARDWARE SHALL BE MEDIUM DUTY GRADE AS CHOSEN BY THE OWNER WITH SUPPLIERS REGISTERED IN THE PROVINCE OF ALBERTA, BE WELL ESTABLISHED, WITH ADEQUATE EQUIPMENT, MAINTENANCE AND ADVERTISING FACILITIES.

ADEQUATE EQUIPMENT, MAINTENANCE AND ADVENTISING PACIFICIES.

2. ENSURE ALL HARDWARE IS ADJUSTED AND WORKING PROPERLY PRIOR TO TAKE OVER
BY OWNER, PROVIDE MANUFACTURERS INSTRUCTION, AND 2 SETS OF WRENCHES FOR LOSERS AND LOCKSETS, AS APPLICABLE OWNER IS RESPONSIBLE TO GET ALL LOCKSETS SET TO THE KEYING SYSTEM THEY

4. THRESHOLDS, AS NOTED FOR DOORS, SHALL BE OF APPROPRIATE WIDTH TO SUIT

OVERALL JAMB THICKNESS. 5. DOOR STOPS SHALL BE INSTALLED FOR DOORS AS NOTED AND BE: O WALL BASE MOUNTED WHERE DOOR SWINGS AGAINST A WALL. O RUBBER DOME BUMPER MOUNTED ON MILLWORK WHEN DOOR SWINGS AGAINST

MILLWORK. D FLOOR OR HINGE MOUNTED FOR ANY OTHER DOOR NOT AGAINST WALL

o FLOOR STOPS SHALL NOT BE USED IN ANY LOCATION WHERE PERSONS MAY TYPICALLY WALK WHEN DOOR IS CLOSED.

6. DOOR HINGES SHALL BE BALL BEARING TYPE FOR RATED, SOLID WOOD AND INTERIOR METAL DOORS, EXTERIOR DOORS TO HAVE NON-REMOVABLE PIN HINGES AND LOCK

GUARDS.
7. WEATHERSTRIPPING AS INDICATED SHALL BE SURFACE MOUNTED NEOPRENE AND TO INCLUDE SURFACE MOUNTED NEOPRENE DOOR BOTTOM SWEEP

FAVESTROLIGHING & DOWNSPOLITS:

EAVES INCOGNING & DOWNSPOUTS:

1. PREFINISHED EAVESTROUGHING & DOWNSPOUTS SHALL BE FORMED FROM SHEET STEEL
26ga CONFORMING TO ASTM A526-80 WITH FACTORY APPLIED BAKED ENAMEL FINISH, 5000 SERIES TO MIN. 5" (125mm) SOUARE UNLESS NOTED, USING CONTINUOUS ROLLING PROCESS 2. SECURE EAVESTROUGHING TO BUILDING WITH PREFINISHED GALV. STEEL STRAPS &

2. SECURE EAVES INDUSTRING TO BUILDING WITH PREFINISHED GALV. STEEL STRAFS SPACERS, IN MAXIMUM 50-0" (15m) LENGTHS SLOPED TO DOWNSPOUTS. 3. INSTALL DOWNSPOUTS WITH ELLS & TEES AS REQUIRED, SECURED TO WALL WITH PREFINISHED GALV. STEEL STRAPS AT 6'-0" (1829mm) CENTERS, MIN. 2 PER DOWNSPOU 4. ALL DOWNSPOUTS WHICH DO NOT DISCHARGE ONTO GRASS SHALL HAVE PRECAST SPLASH PADS INSTALLED SLOPED TO DRAIN RAIN WATER AWAY FROM BUILDING. 5. VERTICAL PORTIONS OF DOWNSPOUTS SHALL BE OPEN FACED, UNLESS NOTED OTHERWISE

ADDITIONAL NOTES:

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hunter | tristan

hunter | tristan design

700. 1816 Crowchild Trail N.W. Calgary, Alberta, T2M 3Y7 Tel: (403) 891 1483 / Fax: (403) 220 1389

PLANS FOR PERMIT APPLICATION ENG FEEDBACK

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Version Description Date CLIENT FEEDBACK Apr 22, 2019

rawn By: LH/JC Checked By



403 605 0688

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36 Meadow Bay

Lot(s) 01, Block 06, Plan 891 0424

Lukus Developments - Shop & Dwelling Makeover

General Notes DP-2019-

As Indicated

RP-2019-

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PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision and Development Appeal Board

DATE: November 20, 2019 **DIVISION**: 5

FILE: 04328013 **APPLICATION**: B-2; PRDP20193201

SUBJECT: Construction of an accessory building (oversized and over-height storage building),

relaxation of the maximum building area for an accessory building, and relaxation of the

maximum building height for an accessory building.

APPEAL DATE: October 22, 2019	DEVELOPMENT AUTHORITY DECISION DATE: October 16, 2019
APPELLANT: Thomas Jacob (Alta Genetics Inc.)	APPLICANT: Thomas Jacob (Alta Genetics Inc.)
LEGAL DESCRIPTION: NE-28-24-28-W04M	MUNICIPAL ADDRESS: 244151 Range Road 283
Land Use Designation: Agricultural Holdings District (AH)	Gross Area: ± 20 acres
DISCRETIONARY USE : Accessory buildings greater than 190.00 sq. m (2,045.14 sq. ft.) building area on parcels less than 16.20 hectares (40.03 acres).	DEVELOPMENT VARIANCE AUTHORITY: As per Section 12 of the Land Use Bylaw, the Development Authority may apply a variance up to 10% of the maximum building area for an accessory building, and up to 25% of the maximum building height if the variance would not materially interfere with or affect the use, enjoyment or value of the neighbouring properties.
PUBLIC SUBMISSIONS:	LAND USE POLICIES AND STATUTORY PLANS:
The application was circulated to 60 adjacent landowners. At the time this report was prepared, no letters were received in support or objection to the application.	 County Plan Land Use Bylaw Conrich Area Structure Plan Buffalo Hill Conceptual Scheme

EXECUTIVE SUMMARY:

The proposal is for the construction of an accessory building (oversized and over-height storage building), relaxation of the maximum building area for an accessory building, and relaxation of the maximum building height for an accessory building.

The size of the proposed accessory building exceeds the discretionary value of 190.00 sq. m (2,045.14 sq. ft.) and would require a relaxation of 76%. The Development Authority only has the ability to grant a relaxation up to 10.00% of the building area for an accessory building under Section 12 of the Land Use Bylaw. As such, the proposed size of the accessory building is included as a reason for refusal of the application.



The proposed accessory building also exceeds the maximum height allowed under the Land Use Bylaw, and would require a relaxation of 104.5%. The Development Authority only has the ability to grant a relaxation up to 25% of the building height under Section 12 of the Land Use Bylaw. As such, the proposed height of the accessory building is included as a reason for refusal of the application.

PROPERTY HISTORY:

2006	Development Permit (2005-DP-11793) for Agriculture, General, for cattle reproduction, construction of a laboratory building was Issued on June 27, 2006.
2000	

APPEAL:

See attached report and exhibits.

Respectfully submitted,

Sean MacLean

Supervisor, Planning and Development Services

JKwan/Ilt



DEVELOPMENT PERMIT REPORT

Application Date: September 6, 2019	File: 04328013
Application: PRDP20193201	Applicant/Owner: Thomas Jacob (Alta Genetics Inc.)
Legal Description: NE-28-24-28-W04M	General Location: Located in the Conrich area, approximately 0.81 km (1/2 mile) north of Highway 1 and on the west side of Range Road 283.
Land Use Designation: Agricultural Holdings District (AH)	Gross Area: ± 20 acres
File Manager: Johnson Kwan	Division: 5

PROPOSAL:

The proposal is for the construction of an accessory building (oversized and over-height storage building), relaxation of the maximum building area for an accessory building, and relaxation of the maximum building height for an accessory building.

Section 46 Agricultural Holdings District (AH)

Section 46.3 Uses, Discretionary

Accessory buildings greater than 190.00 sq. m (2,045.14 sq. ft.) building area on parcels less than 16.20 hectares (40.03 acres).

- The proposed accessory building (oversized and over-height storage building) is approximately 334.45 sq. m (3,600 sq. ft.) in size.
- The size of the proposed accessory building exceeds the discretionary value of 190.00 sq. m (2,045.14 sq. ft.) and would require a relaxation of 76%.
- The Development Authority only has the ability to grant a relaxation up to 10.00% of the building area for an accessory building under Section 12 of the Land Use Bylaw. As such, the proposed size of the accessory building is included as a reason for refusal of the application.

Section 46.5 Setback Requirements

(b)(i) Front yard setback from a County Road:

• **Minimum:** 45.00 m

Proposed: more than 60 m

(c)(iv) Side yard setback from all other:

Minimum: 6.00 m

• **Proposed:** ± 80 m to the north; ± 90 m to the south

(d)(ii) Rear yard setback from all other:

• **Minimum:** 30.00 m

• **Proposed:** ± 140 m to the west



Section 46.7 Maximum height of accessory buildings

Permitted: 5.50 mProposed: ± 11.25 m

- The proposed accessory building exceeds the maximum height allowed under the Land Use Bylaw, and would require a relaxation of 104.5%.
- The Development Authority only has the ability to grant a relaxation up to 25% of the building height under Section 12 of the Land Use Bylaw. As such, the proposed height of the accessory building is included as a reason for refusal of the application.

Section 12 Decisions on Development Permit Applications

- 12.2 (c) Upon receipt of a completed application for a Development Permit for a use, discretionary, the Development Authority may decide upon an application for a Development Permit, notwithstanding that the proposed development does not comply with required yard, front, yard, side, yard, rear or building height dimensions set out in this Bylaw, if, in the opinion of the Development Authority, the granting of the variance would not:
 - (i) unduly interfere with the amenities of the neighbourhood;
 - (ii) materially interfere with or affect the use, enjoyment, or value of the neighbouring properties and the amount of the variance does not exceed 25% of the required distance or height, or does not exceed 10% of the required maximum building area for an accessory building or does not exceed 10% of the required maximum floor area for an Accessory Dwelling Unit;

Development Permit History:

PRDP20153081	Issued September 16, 2015; Renewal of Farm dwelling, mobile home.
2010-DP-14279	Issued November 9, 2010; Renewal of Farm dwelling, mobile home.
2005-DP-11793	Issued June 27, 2006; Agriculture, General, for cattle reproduction (existing), construction of a laboratory building.
2005-DP-11762	Issued December 6, 2005; Agriculture, General, for cattle reproduction (existing), re-construction of a building.
2005-DP-11571	Issued August 9, 2005; Renewal Dwelling, single wide mobile home for farm help.
2004-DP-10970	Issued July 27, 2004; Renewal Dwelling, single wide mobile home for farm help.
2003-DP-10431	Issued July 31, 2003; Renewal Dwelling, single wide mobile home for farm help.
2002-DP-9918	Issued August 8, 2002; Renewal Dwelling, single wide mobile home for farm help.

STATUTORY PLANS:

The subject land is located in the Conrich Area Structure Plan (C-7468-2015) and the Buffalo Hills Conceptual Scheme (C-6288-2006).

The Conrich Area Structure Plan Land Use Strategy (Map 5) identify the subject land as Future Policy Area. The objectives of the Future Policy area is to limit land use and development to agricultural



redesignation approved subdivisions, and allowed uses until the current land use districts, the hamlet of Conrich boundaries, community core, residential development areas, and other land uses are determined.

- In accordance with Policy 7.1, Local plans, land use redesignation, and new subdivision shall not be supported within the future policy area, as shown on Map 5.
- In accordance with Policy 7.2, notwithstanding Policy 7.1, development consistent with Section 12: Agriculture of this plan shall be allowed.
- In accordance with Policy 12.1, Existing agricultural operations within the plan boundary are encouraged to continue until development of those lands to another use is deemed desirable and that use is determined to be in accordance with the policies of this plan.

The Buffalo Hills Conceptual Scheme is a non-statutory document adopted by Council in 2006 via a Bylaw. The Conceptual Scheme identifies the subject land as future residential development (figure 5 of the Conceptual Scheme), In accordance with Policy 4.4.1 of the Conceptual Scheme, land uses within SE33 and NE28 shall include primarily residential dwellings and associated uses such as parks, schools, utilities and local convenience commercial.

INSPECTOR'S COMMENTS:

- Landscape along Range Road 283 and around the property
- Buildings not visible from the road

CIRCULATIONS:

City of Calgary

- The City of Calgary has reviewed the below noted circulated application referencing the Rocky View/Calgary Intermunicipal Development Plan (IDP) and other applicable policies.
- The City of Calgary has no comments regarding Application PRDP20193201 for construction of an oversized accessory building.

Building Services

No objection to oversized accessory building, subject to Farm Location permit.

Engineering Services

· No comments.

Transportation Services

- Applicant to contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
- Any on site exterior lighting to be "dark sky" compliant.

<u>Utility Services</u>

No concerns.



OPTIONS:

Option #1 (this would approve the construction of the accessory building with relaxations)

That the appeal against the decision of the Development Authority to refuse to issue a Development Permit for construction of an accessory building (oversized and over-height storage building), relaxation of the maximum building area for an accessory building, and relaxation of the maximum building height for an accessory building at NE-28-24-28-W04M (244151 Range Road 283) be upheld that the decision of the Development Authority be revoked, and that the Development Permit be issued, subject to the following conditions:

Description:

- 1) That an accessory building (oversized and over-height storage building) may be constructed on the subject land in general accordance with the site plan and drawings submitted with the application and the conditions set below.
 - a) That the maximum building area for the proposed accessory building (oversized and over-height storage building) is relaxed from 190.00 sq. m (2,045.14 sq. ft.) to 334.45 sq. m (3,600 sq. ft.).
 - b) That the maximum building height for the proposed accessory building (oversized and over-height storage building) is **relaxed from 5.50 m to 11.25 m.**

Permanent:

- 2) That the proposed accessory building (oversized and over-height storage building) shall not be used for commercial purposes at any time, except for a Home-Based Business, Type I or an approved Home-Based Business, Type II.
- 3) That the accessory building (oversized and over-height storage building) shall not be used for residential occupancy at any time.
- 4) That the exterior siding and roofing materials of the proposed accessory building (oversized and over-height storage building) shall be similar to the existing dwelling, single-detached and accessory buildings.
- 5) That there shall be no more than 1.00 m (3.28 ft.) of fill placed adjacent to or within 15.00 m (49.21 ft.) of the proposed building under construction, which is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
- 6) That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

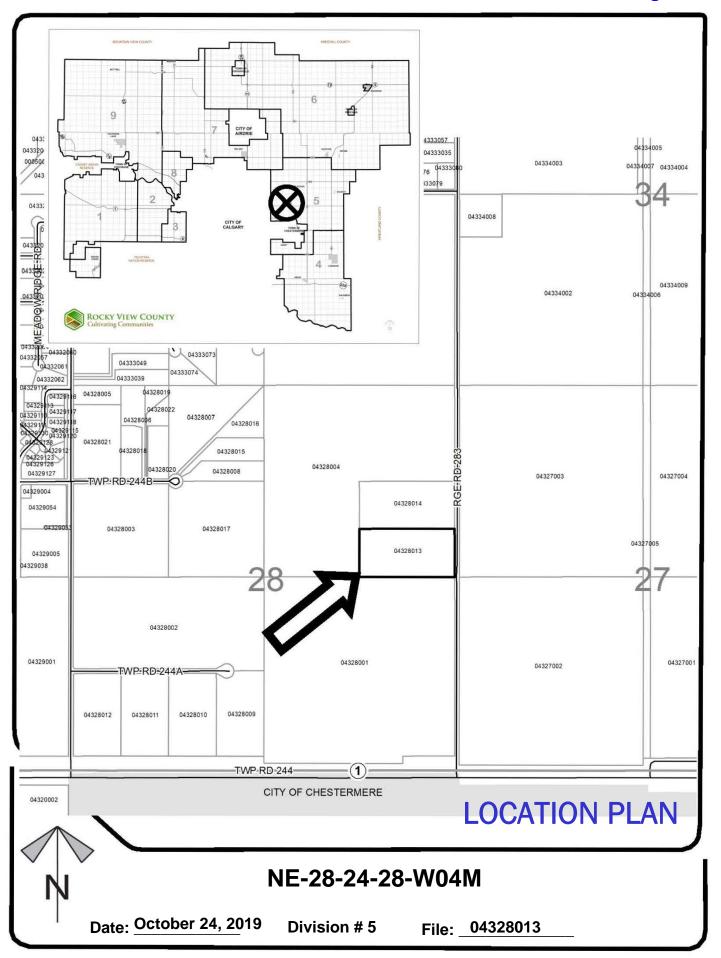
Advisory:

- 7) That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
- 8) That during construction of the Accessory Building, all construction and building materials shall be maintained on site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 9) That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
- 10) That a Building Permit and sub-trade permits shall be obtained through Building Services, prior to any construction taking place.

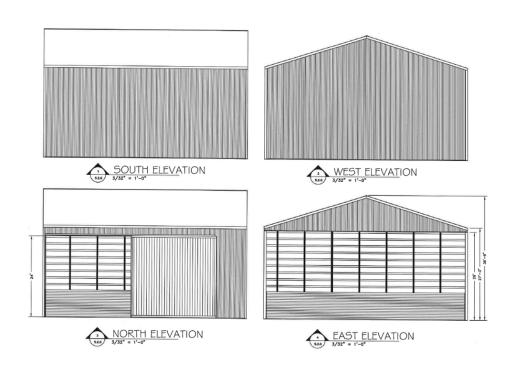


Option #2 (this would not approve the construction of the accessory building with relaxations)

That the appeal against the decision of the Development Authority to refuse to issue a Development Permit for construction of an accessory building (oversized and over-height storage building), relaxation of the maximum building area for an accessory building, and relaxation of the maximum building height for an accessory building at NE-28-24-28-W04M (244151 Range Road 283) be denied, that the decision of the Development Authority be confirmed.



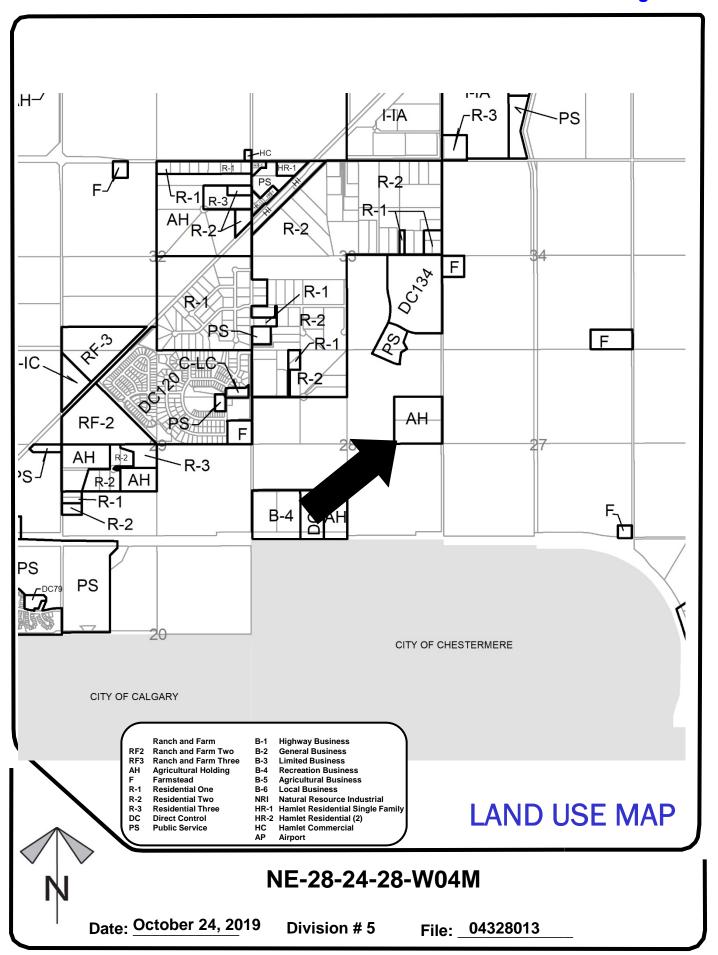




SITE PLAN

NE-28-24-28-W04M

Date: October 24, 2019 Division # 5 File: 04328013

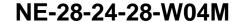




Contours are generated using 10m grid points, and depict general topographic features of the area. Detail accuracy at a local scale cannot be guaranteed. They are included for reference use only.

TOPOGRAPHY

Contour Interval 2 M



Date: October 24, 2019 Division # 5 File: 04328013



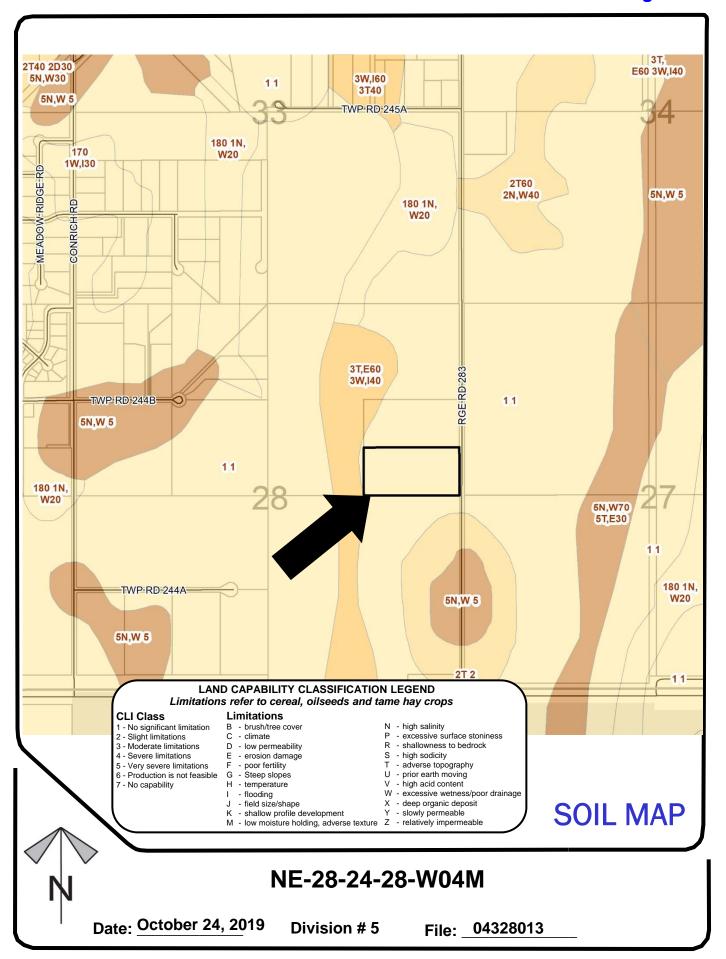
Note: Post processing of raw aerial photography may cause varying degrees of visual distortion at the local level.

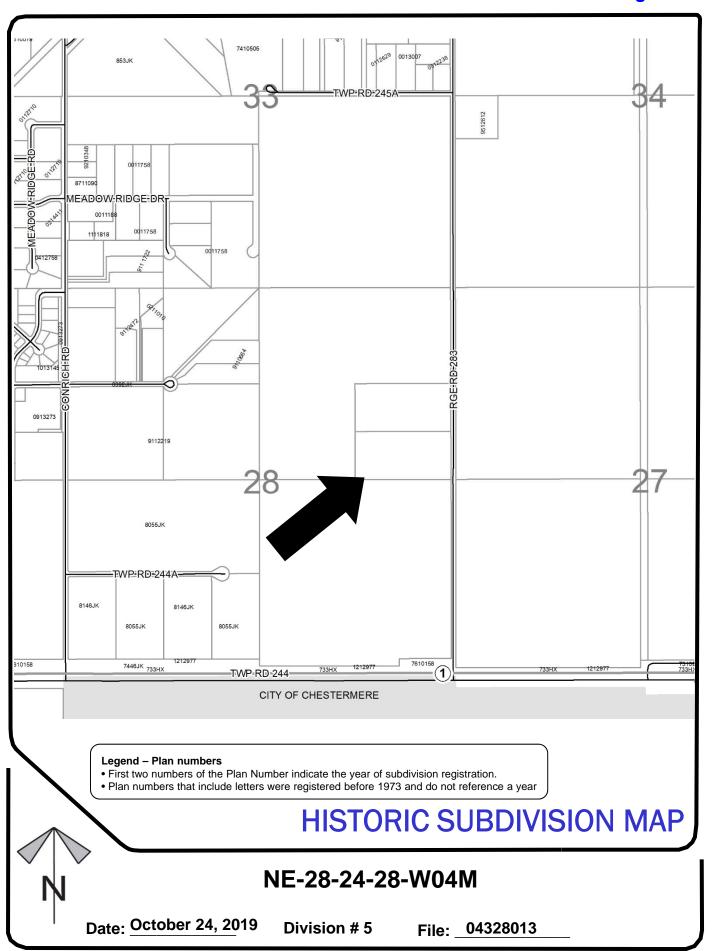
AIR PHOTO

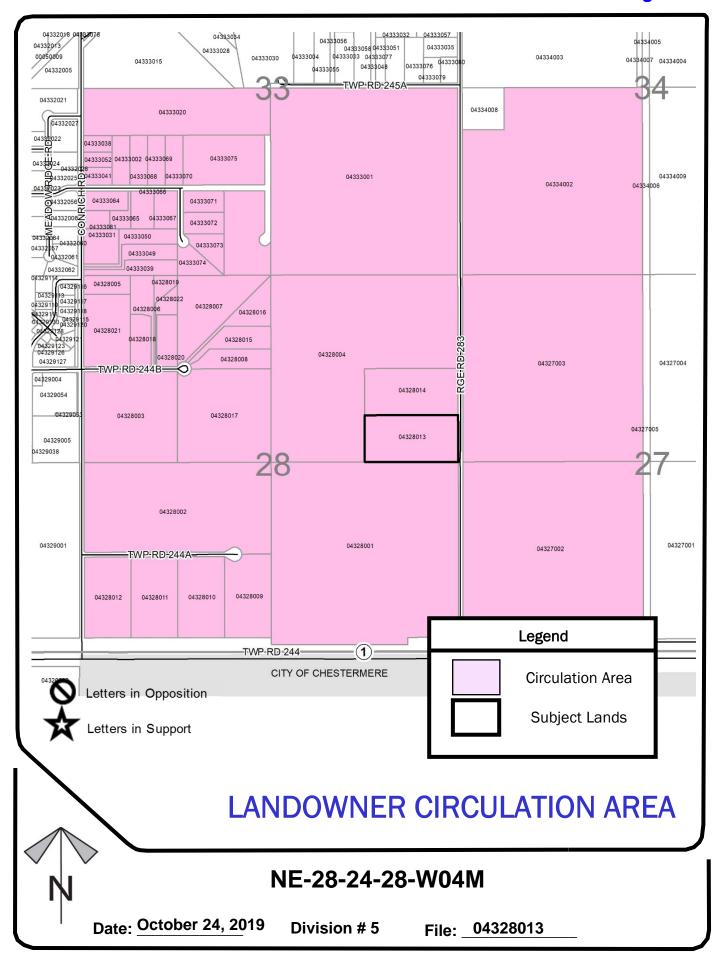
Spring 2018

NE-28-24-28-W04M

Date: October 24, 2019 Division # 5 File: 04328013





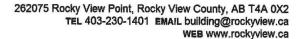




Notice of Appeal

Subdivision and Development Appeal Board Enforcement Appeal Committee

A (11 A 1 f							
Appellant Information							
Name of Appellant(s) Thon	nas Jaco	b (Alt	a G	enetics In	C.)		
Mailing Address		•		Municipality		Province	Postal Code
1-263090 Range Road 1				Rocky View Cou	inty	AB	T4B 2T3
Main Phone # 403-226-4207	Alternate Phone # 403-463-07		100000000000000000000000000000000000000	ddress las.jacob@urus.ol	rg		
Site Information							
Municipal Address						quarter-section-	township-range-meridian)
244151 Range Road 283 NE-28-24-28-W04M							
04328013	Property Roll # Development Permit, Subdivision Application, or Enforcement Order # PRDP20193201						
I am appealing: (check one	box only)						
Development Authorit	ty Decision			thority Decision			cement Services
☐ Approval		1	Appro			Stop Order	
☐ Conditions of Ap	proval	1		tions of Approval		I Compliance	e Order
☑ Refusal			Refusa	al .			
Reasons for Appeal (atta	ch separate pa	ge if requ	ired)				
We are appealing against the	e refusal of above	e developm	ent pe	mit application for the	he following	g reasons:	
We need the square footage do this to increase our feedir	of the building to	be able to maintain th	store e e best	enough ground hay a feed quality possible	and baled le at our Co	hay under co nrich product	ver. We would like to tion centre.
Ground hay is needed to allo twice a month. This is due to							tor do the grinding
The current hay storage met storage shed we will be able building. This would decrease	to keep most ba	le stacks in	side ar	d the ground feed w	vould all be	undercover	in the proposed
With the proposed storage by and allow for more flexibility road bans on Range Road 20	for hay deliveries	able to dec	crease rucks.	the traffic of hay grin This especially gives	nding equip s an advan	oment to less tage if there a	than once a month are any seasonal
The proposed building height and square footage is necessary to be able to enter the proposed hay storage shed with a tractor and hay grinding equipment and to stack large square bales as efficiently as possible without increasing the overall footprint of the building.							
We appreciate the time you a Alta genetics and reduces the						will create so	me efficiencies for
Best regards Thomas Jacob							
This information is collected for and will be used to process your the Freedom of Information and the Municipal Clerk at 403-230-1 Appellant's Signature	appeal and to cree Protection of Prive 401	ate a public acy Act. If yo	record o	of the appeal hearing.	The inform	nation is collec	ted in accordance with information, contact
Last updated: 2018 Novembe	Last updated: 2018 November 13 Page 1 of 2						





REFUSAL

Thomas Jacob (Alta Genetics Inc) 1-263090 Range Road 11 Rocky View County, AB T4B 2T3

Development Permit #: PRDP20193201

Date of Issue: October 16, 2019

Roll #: 04328013

Your Application dated September 6, 2019 for a Development Permit in accordance with the provisions of the Land Use Bylaw C-4841-97 of Rocky View County in respect of:

construction of accessory building (oversized and over height storage building), relaxation of maximum height and the maximum building area requirements

at NE-28-24-28-W04M (244151 Range Road 283, Rocky View County AB)

has been considered by the Development Authority and the decision in the matter is that your application be **REFUSED** for the following reasons:

- The size of accessory building exceeds the maximum permitted as defined in Section 46.3 of the Land Use Bylaw C-4841-97.
 (Permitted – 190.00 sq. m (2,045.14 sq. ft.); Proposed – 334.45 sq. m (3,600 sq. ft.))
 (Maximum variance – 10 %; requested – 76 %)
- 2) The height of the proposed accessory building exceeds the maximum permitted as defined in Section 46.7 of the Land Use Bylaw C-4841-97 (Permitted 5.50 m (18.04 ft.); Proposed 11.25 m (36.9 ft.)) (Maximum variance 25 %; Requested variance 104.5%)

An appeal from this decision may be made to the Subdivision and Development Appeal Board of Rocky View County. Notice of Appeal to the Subdivision and Development Appeal Board from this decision shall be filed with the requisite fee of \$350 with Rocky View County no later than 21 days following the date on which this Notice is dated.

If you require further information or have any questions regarding the appeal process, please contact Legislative Services at 403-230-1401 or email sdab@rockyview.ca and include the application number.

Regards,

Rocky View County Development Authority 20193201



APPLICATION FOR A DEVELOPMENT PERMIT

B-2
age 18 of 37
USE ONLY
File Number
04378013
Receipt #
2019022022

	Name of Applicant Thomas acob (Alta GENETICS IN) Email thomas acob @ UTUS Org
	Mailing Address 1-263090 Range Road 11: Rocky View County AB
	748 273 Postal Code 748 273
	Telephone (B) 403-226-4207 (E) 403-463-0785 Fax
	For Agents please supply Business/Agency/ Organization Name Alta GENETICS INC.
	To rigotic product supply Estimated rigotics rigotic rigotics rigotics rigotics rigotics rigotics rigotics rigotic rigotics rigotic rigot
	Registered Owner (if not applicant) Alta Genetics Inc.
	Mailing Address 1-263040 Range Road II Rocky View County, AB
	14B 2T3; Canada Postal Code 74B 2T3
	Telephone (B) 403 - 226 - 0666 (H) Fax
1.	LEGAL DESCRIPTION OF LAND
	a) All / part of the
	b) Being all / parts of Lot Block Registered Plan Number
	c) Municipal Address 244/5/ Range Road 283
	d) Existing Land Use Designation AH Parcel Size 20 acres Division
2.	APPLICATION FOR
	Overheight + oversized accessory building
2	
3.	a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes No
	b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes No
	(Sour Gas facility means well, pipeline or plant)
	c) Is there an abandoned oil or gas well or pipeline on the property?
	d) Does the site have direct access to a developed Municipal Road? Yes No
4.	REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF
	Thomas lack hardward that
	(Full Name in Block Capitals)
	I am authorized to act on the owner's behalf
	and that the information given on this form is full and complete and is, to the best of my knowledge, a true statement Affix Corporate Seal Ahere if owner is listed
	is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.
	is full and complete and is, to the best of my of the facts relating to this application. knowledge, a true statement of the facts relating to this application.
	Applicant's Signature Owner's Signature
	Date 566/2019 Date 56th 2019
	7.0

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.

Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Thomas Jacob , hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

Signature

Date



FOR OFFICE	USE ONLY
Fee Submitted	File Number
Date Received	Receipt #

APPLICATION FOR AN ACCESSORY BUILDING

Alberta Telephone (B) 403 - 226 - 420	Range Road 11, Pos 7 (4) 403 - 463	stal Code	4B 2 T3
1. DETAILS OF ACCESSORY BUILDING			
	E	Sylaw	Proposed
Accessory building size maximum	>20	45.14 sg/ft	3600 It2
Accessory building height	18.0		36'9"
Number of existing accessory buildi			8
Total size of all accessory buildings	_	- +	1-9300sg/f4
e) If no permits were issued - list age of	buildings		
2. DESCRIBE THE USE OF THE ACCES	SSORY BUILDING		
	sory building will be used hay	for stora	rge of hay
		for store	rge of hay
The accessory builded	hay will be used	for stora	rge of hay
The accessory buildy bales and ground B. ADDITIONAL REQUIREMENTS	hay will be used hay addition to your application:	for stora	rge of hay



262075 Rocky View Point Rocky View County AB, T4A 0X2

> 403-230-1401 questions@rockyview.ca www.rockyview.ca

LETTER OF AUTHORIZATION

I, (We)	Hans	Hannem	a be	ing the ow	ner (s	s) of	
Lot	Block	Plan					
Legal:							
		28 Township					
give	Thomas	Jacob		permission	to ac	t on m	ıy
(our) be	half in applying fo	or a Development P	ermit for the abo	ve subject	prope	erty.	
Signatu			The state of the s	Genetics	A C. T.		
Signatu	Synt 6th	2019		Managan Market Commenter of the Comment of the Comm			

Alta Genetics Inc.

Range Road 11 Rocky View County, Alberta. T4B 2T3

Phone: 403-226-0666 Fax:403-226-4299

September 6, 2019

Rocky View County 262075 Rocky View Point Rocky View County, AB T4A 0X2

Subject: Development Permit for Feedshed at 244151 Range Road 283

Dear Sir or Madam,

Please find our application for a development permit for building a hayshed at our Conrich facility, located at 244151 Range Road 283 and the legal land description NE 28-24-W4M in the attachment. The building will be used for hay storage for the livestock located on the premises.

Sincerely

Thomas Jacob Production Manager

Alta Genetics Inc.

403 226-4207

403 463-0785 (cell)

thomas.jacob@urus.org





Summary

Roll Number 04328013

Legal Desc NE-28-24-28-W04M

Divison 05

Lot Block Plan

Linc Number 16072027

Title Number 901299018

Parcel Area 20.00000

Municipal Address 244151 RGE RD 283

Contact Information Alta Genetics Inc. 80046588580000

4032264233terr

Rocky View County AB T4B 2T3

Land Use Information AH (AGRICULTURAL HOLDING)

Plan

Planning Applications Information

{There is no related Application}

Plan Name Conrich **RV Number**



Conceptual Scheme

Plan Name

RV Number

Planner

BUFFALO HILLS

2005-RV-175

DAVID WYATT

Permit

Building Permit

_		
Permit Number	Permit Type	Date Issued
2011-GP-12062	Gas	Thu Sep 29, 2011
2007-EP-7999	Electrical	Thu Nov 08, 2007
2007-GP-7848	Gas	Thu Sep 27, 2007
2007-PL-5029	Plumbing	Thu Sep 27, 2007
2007-PS-2341	Private Sewage	Mon Sep 24, 2007
2007-BP-20452	Building	Thu Sep 20, 2007
2006-GP-5553	Gas	Mon Apr 03, 2006
2006-EP-6083	Electrical	Mon Apr 03, 2006
2006-PL-3865	Plumbing	Mon Apr 03, 2006
FBL20051221_579	Building	Wed Dec 21, 2005
1991-BP-2533	Building	Wed Oct 02, 1991
1991-BP-2428	Building	Thu Sep 19, 1991
2006-BP-19100	Building	

Development Permit Information

Permit Number	Date Issued
PRDP20153081	Wednesday, September 16, 2015
2010-DP-14279	Tuesday, November 9, 2010
2005-DP-11793	Tuesday, June 27, 2006
2005-DP-11762	Tuesday, December 6, 2005
2005-DP-11571	Tuesday, August 9, 2005
2004-DP-10970	Tuesday, July 27, 2004
2003-DP-10431	Thursday, July 31, 2003
2002-DP-9918	Thursday, August 8, 2002
2001-DP-9385	Tuesday, July 24, 2001
2000-DP-8916	Tuesday, July 11, 2000
PRDP20193201	
1999-DP-8392	

Alert

{There is no related Development Enforcement Data}

Geospatial Boundary

Boundary Category

Page 25 c	age
Conrich	
BUFFALO HILLS	
CALGARY IDP Study Area	
No APVA	
Gurbir Nijjar	
No Water Coop	
ATCO GAS	
4	
0	
Yes	
Yes	
No School Boundary	
Chestermere-Conrich	
BALZAC	
107	
111	
116	
	BUFFALO HILLS CALGARY IDP Study Area No APVA Gurbir Nijjar No Water Coop ATCO GAS 4 0 Yes Yes No School Boundary Chestermere-Conrich BALZAC 107 111

Coconatial Adiaconas	
Geospatial Adjacency	

Boundary	Category	Distance
Closest Highway	No HWY within 800 M	
Closest Gravel Pit	River Pit	24590.73 M
Sour Gas	No Sour Gas Pipe passes	From closest sour pipe:2376.13 M
Closest Road Name	RGE RD 283(Surface Type:Gravel)	8.3 M
Closest Railway	CNR	2051.77 M
Closest Western Irrigation Districts	Within 10Km	
Closest Waste Water Treatment	Within 10Km	1252.06 M



Closest Municipality

CITY OF CHESTERMERE

824.92 M

Closest Confined Feeding Operation Within 10 KM





Page 61 of 113

FRAMING GENERAL NOTES:

- 1. VERIFY GRADE ELEVATION RELATIVE TO SITE WITH OWNER PRIOR TO CONSTRUCTION.
- 2. ALL INSULATING FILL MATERIAL SHALL BE PLACED IN AREAS NOT EXCEEDING 6" AND SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
- 3. ALL FRAMING LUMBER SHALL COMPLY WITH RELEVANT SECTIONS OF CSA-086 AND CSA-0141, AND TO THE NATIONAL LUMBER GRADES AND STANDARD GRADING RULES.
- 4. MOISTURE CONTENT SHALL NOT EXCEED 19% FOR EXTERIOR CONSTRUCTION AND 12% FOR INTERIOR CONSTRUCTION
- 5. SHEETING STAPLES: HOT DIP GALVANIZED, TO CONFORM TO CSA-B111
- 6. HARDWARE: BOLTS, NUTS, WASHERS, LAGS, PINS, SCREWS, HOT DIP GALVANIZED TO CONFORM TO CSA-G164
- 7. WOOD PRESERVATIVE: CCA PRESERVATIVE TO CONFORM TO CSA-080.15 & BRUSH TREAT FIELD CUTS WITH COPPER NAPHTHENATE
- 8. CONTRACTOR IS TO NOTIFY ENGINEER OF ANY DISCREPANCIES OR DEVIATIONS IN THE EXISTING SITE PRIOR TO COMMENCING CONSTRUCTION AND AWAIT FURTHER INSTRUCTIONS.
- 9. CONTRACTOR TO PROVIDE THE ENGINEER WITH SHOP DRAWINGS OF THE TRUSSES FOR REVIEW
- 10. FRAMING MATERIAL; UNLESS OTHERWISE NOTED, SHALL BE GRADE #2 OR BETTER

CONCRETE GENERAL NOTES:

- 1. CONCRETE FLOOR:
 - -MIN THICKNESS: 4"
 - -MIN COMPRESS STRENGTH (28DAY): 27MPa
 - -AGGREGATE SIZE (MAX): 3/4"
 - -TYPE 10 CEMENT
- 2. CONCRETE PILES/FOOTINGS:
 - -MIN THICKNESS: 10"
 - -MIN COMPRESS STRENGTH (28DAY): 20MPa
 - -TYPE 50 CEMENT

DESIGN BUILDING LOADS, AIRDRIE:

GROUND SNOW LOAD

1.2 kPa

RAIN LOAD
WIND LOAD

0.21 kPa 0.38 kPa

TRUSS DESIGN TO COMPLY TO PART 4 OF ABC 2006, AND CSA 086-01 FOR COMMERCIAL OR INDUSTRIAL BUILDING REQUIREMENTS

GENERAL NOTES:

- 1. PRIOR TO CONSTRUCTION: STRIP ALL TOP SOIL TO ENSURE ALL ORGANIC MATERIAL IS REMOVED
- 2. ALL NEW GRADE WORK IS TO BE SLOPED AWAY FROM BUILDING
- 3. BUILDING FOUNDATION DESIGNED IN ACCORDANCE WITH THE CURRENT ALBERTA BUILDING CODE
- 4. FOUNDATION DESIGN BASED ON A SOIL BEARING PRESSURE OF 2400psf FOR A CONFINED FOOTING IN COMPACT GRAVEL, SAND OR SILT

DRAWING NOTES:

DRAWINGS ARE NOT TO BE SCALED, BUT ARE TO BE USED TO DETERMINE THE GENERAL LAYOUT. ALL DIMENSIONAL DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE ENGINEER.



ALSTRAN CORP. APEGA PERMIT No. P10591

DRAWINGS ISSUED FOR CONSTRUCTION



PROJECT NO. W150030 REV

SCALE NOT TO SCALE DATE (04/70/77) 08/26/19

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PROJECT

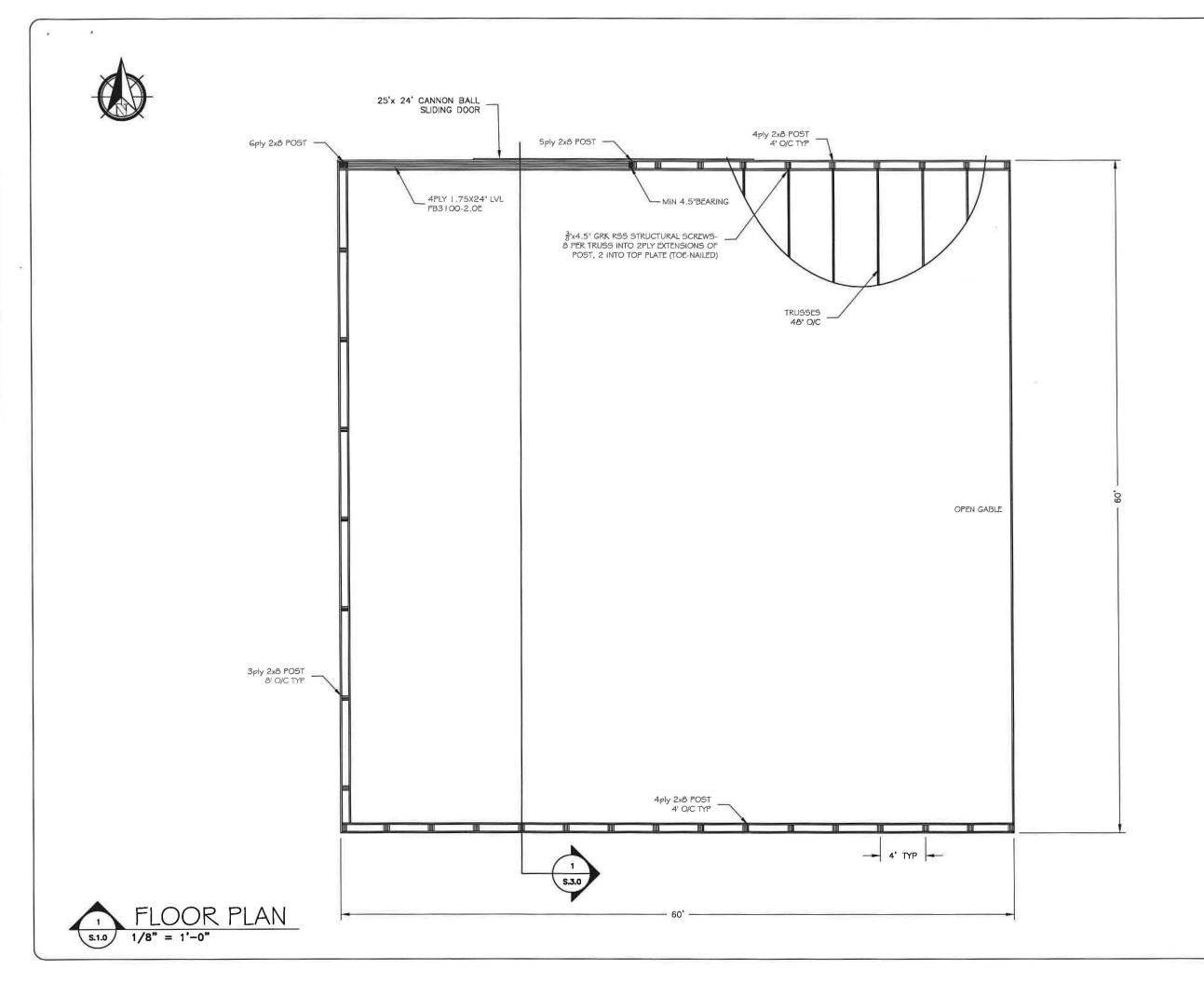
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ROCKYVIEW, ALBERTA

DWG NO.

S.5.0 GENERAL NOTE Agenda

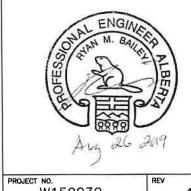
Page 62 of 113





ALSTRAN CORP. APEGA PERMIT No. P10591

DRAWINGS ISSUED FOR CONSTRUCTION



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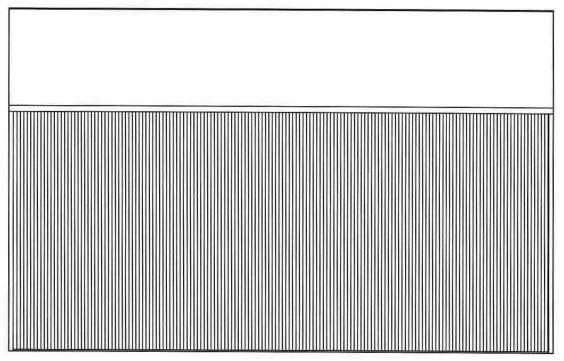
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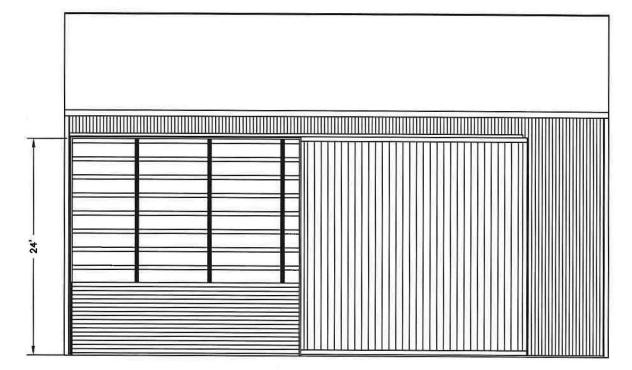
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ROCKYVIEW, ALBERTA

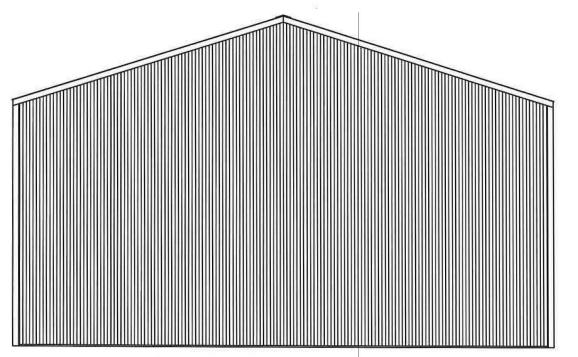
S.1.0 FLOOR PLAN Agenda



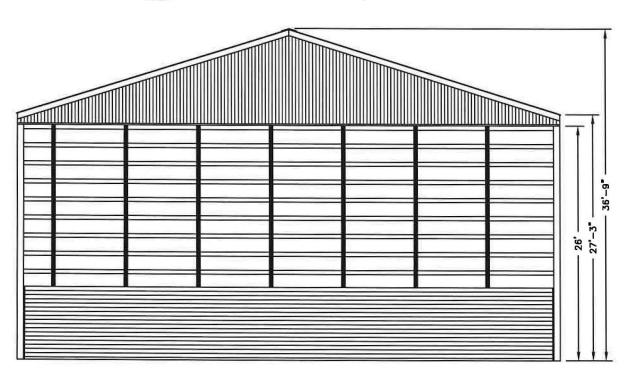




NORTH ELEVATION
3/32" = 1'-0"











ALSTRAN CORP. APEGA PERMIT No. P10591

DRAWINGS ISSUED FOR CONSTRUCTION



W150030

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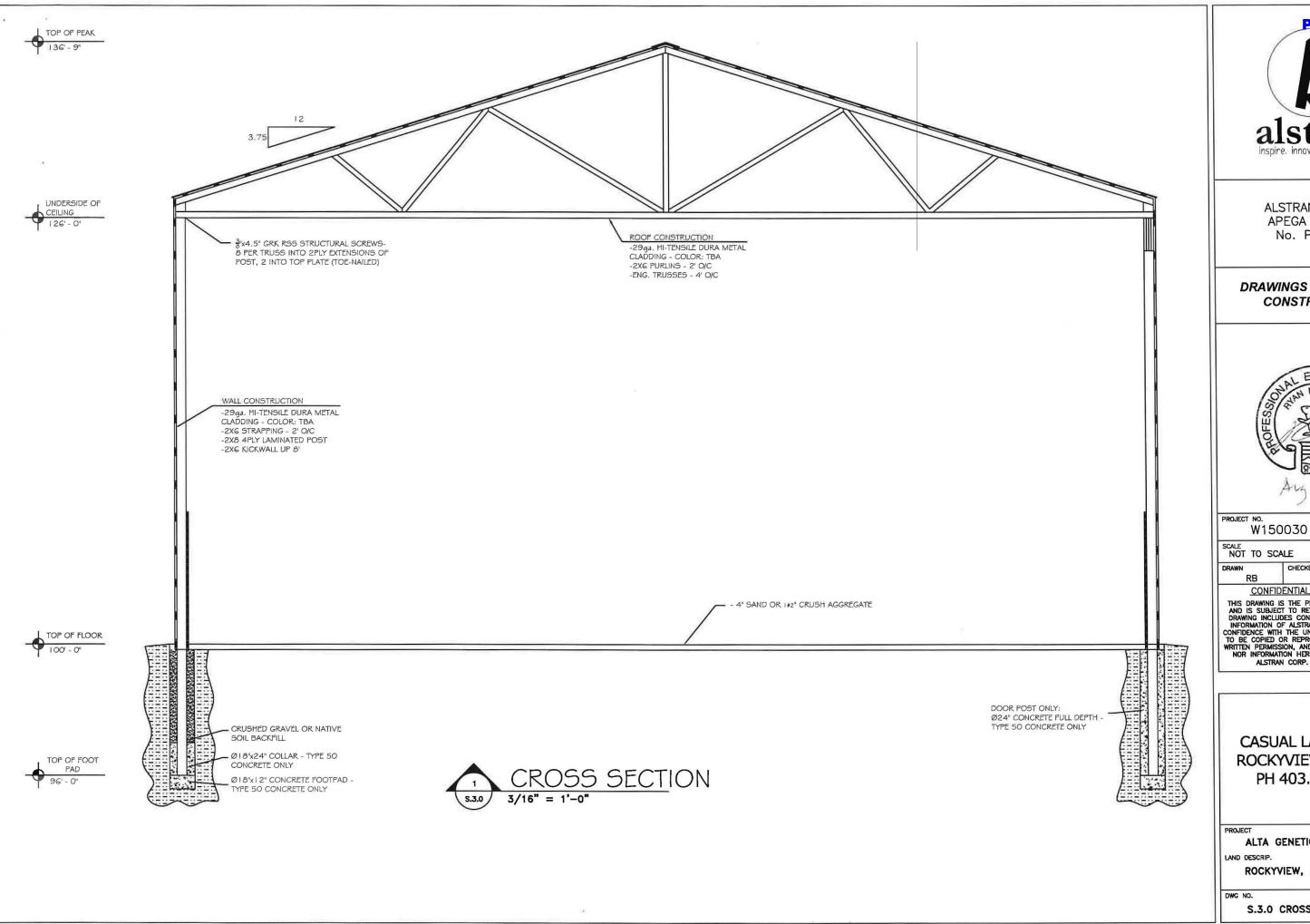
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LAND DESCRIP.

ROCKYVIEW, ALBERTA

S.2.0 ELEVATION VIEYEgenda

Page 64 of 113





ALSTRAN CORP. APEGA PERMIT No. P10591

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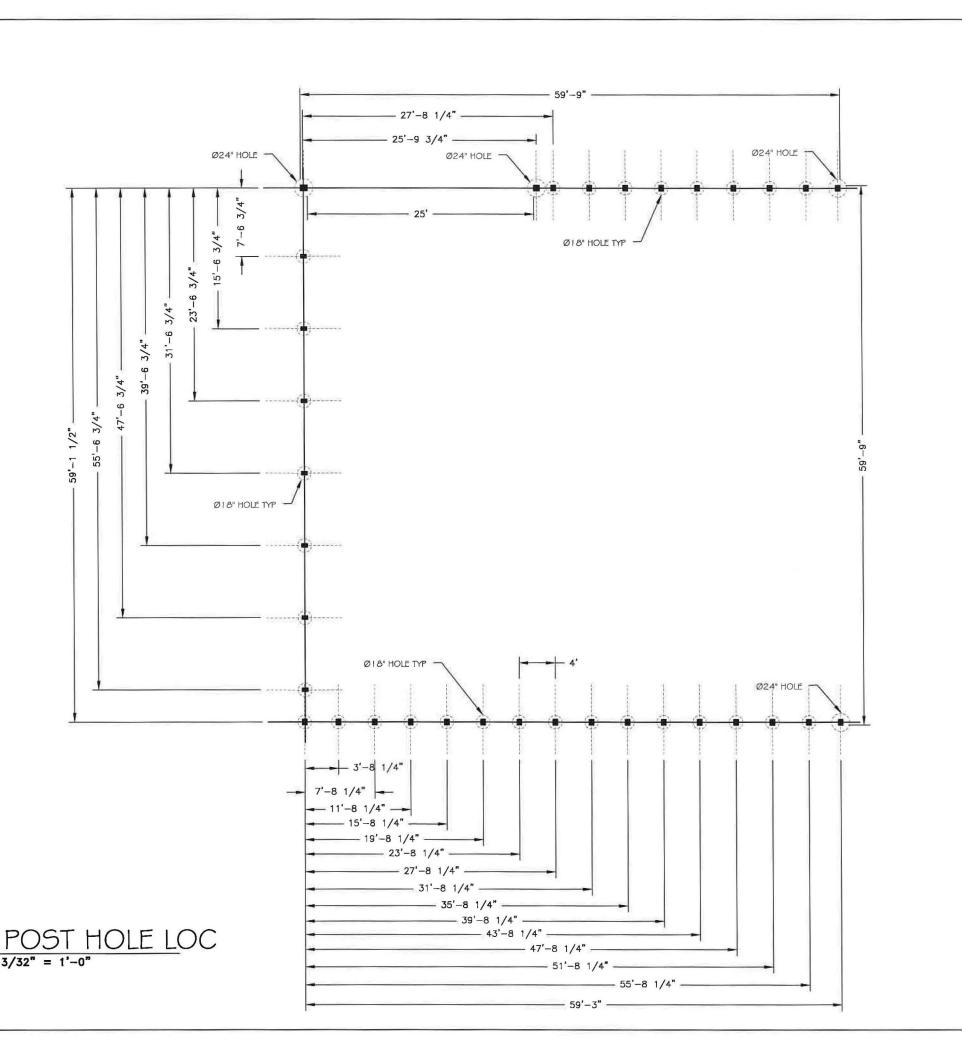
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ROCKYVIEW, ALBERTA

S.3.0 CROSS SECTION genda





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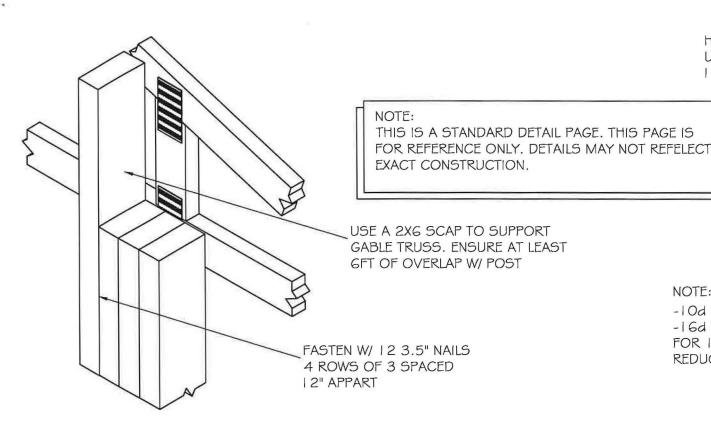
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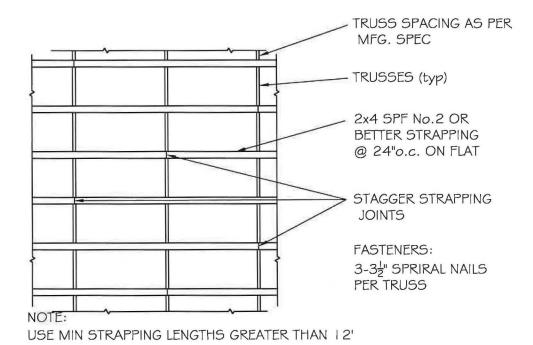
ROCKYVIEW, ALBERTA

S.4.0 POST HOLE LOAgenda

Page 66 of 113

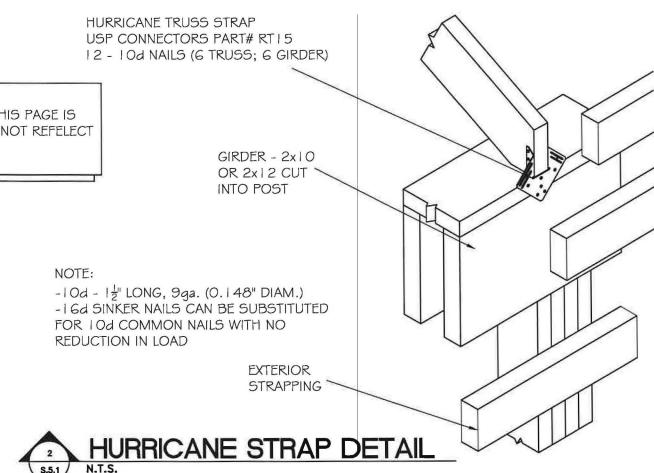


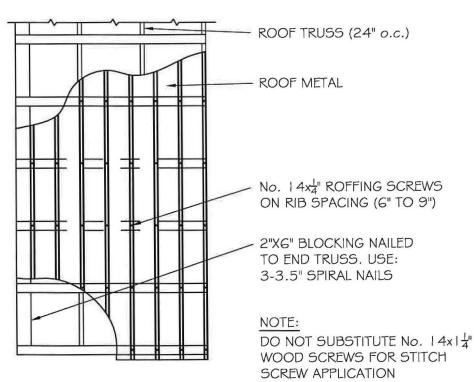
GABLE GUSSET DETAIL s.5.1 N.T.S.



THIS DETAIL IS SUPERCEDED BY TRUSS MFG.'S SHOP DRAWINGS







ROOF METAL DETAIL

N.T.S.

alstran
inspire, innovate, integrate

ALSTRAN CORP. APEGGA PERMIT No. P10591

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TYPICAL DETAILS

LAND DESCRIP.

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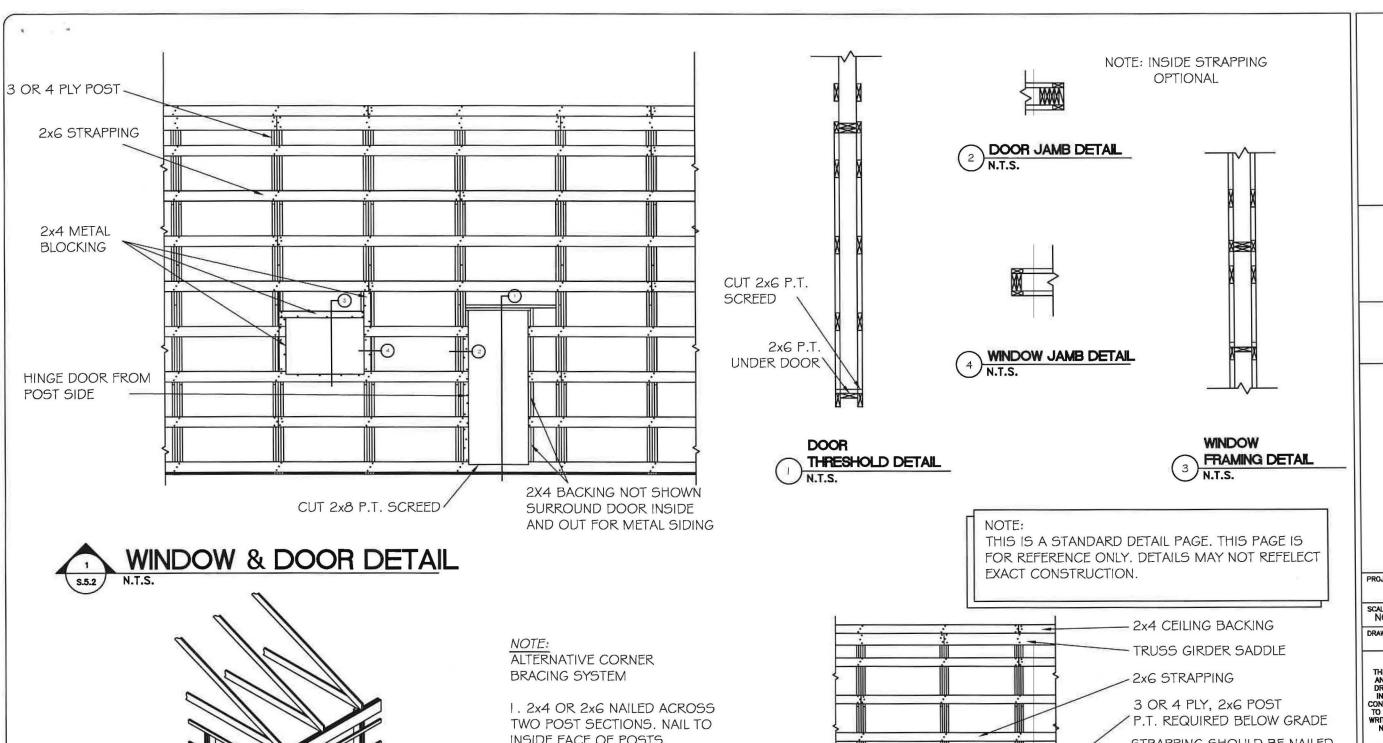
DWG NO.

S.5.1 GENERALA DETAIL

Page 67 of 113

REVISED: FEB 2019

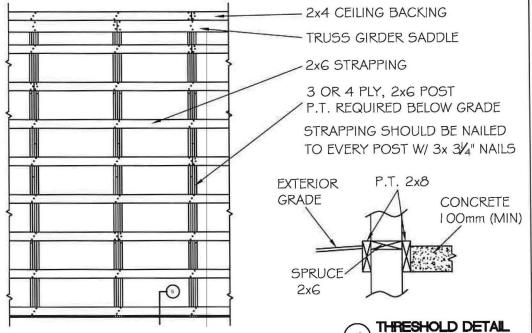
2 S.5.1 N.T.



INSIDE FACE OF POSTS.

x6 STRAPPING

- 2. PLYWOOD SHEETING TO EITHER FACE OF WALL, OR AN INTERIOR FINISH (SHEET ROCK, METAL, OSB ETC.) REPLACES NEED FOR STRAPPING
- 3. 2x6 ANGLED BRACING REQUIRED WHEN INTERIOR IS NOT FINISHED OR STRAPPED.



CORNER BRACING DETAIL

WALL STRAPPING DETAIL

REVISED: FEB 2019

Page 36 of 37

ALSTRAN CORP. APEGGA PERMIT No. P10591

DRAWINGS ISSUED FOR CONSTRUCTION



2 **DBD500** SCALE NOT TO SCALE DATE (MM/MD/M) 02/09/19

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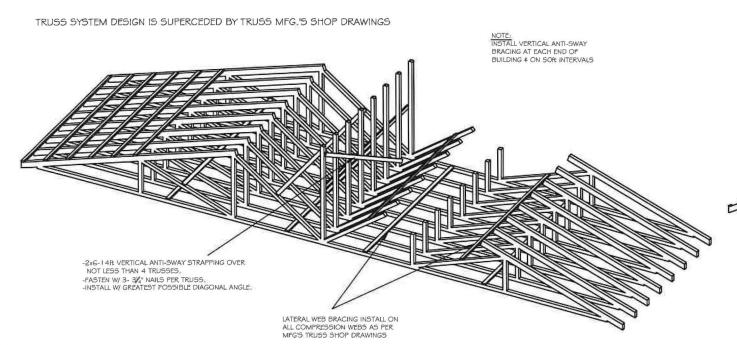
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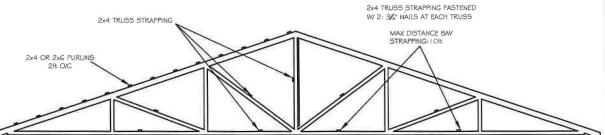
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DWG NO. S.5.2 GENERALA DETAILA

Page 68 of 113



NOTE: TRUSS MFG SHOP DRAWINGS SUPERCEDE TRUSS DETAIL



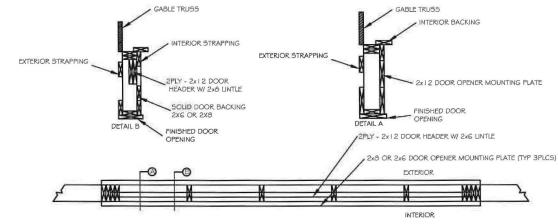
TRUSS SYSTEM DESIGN IS SUPERCEDED BY TRUSS MFG.'S SHOP DRAWINGS

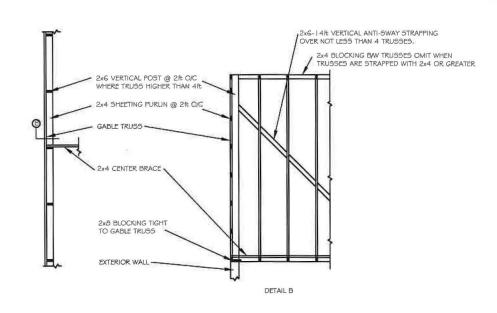
TRUSS BRACING DETAIL S.5.3 N.T.S.

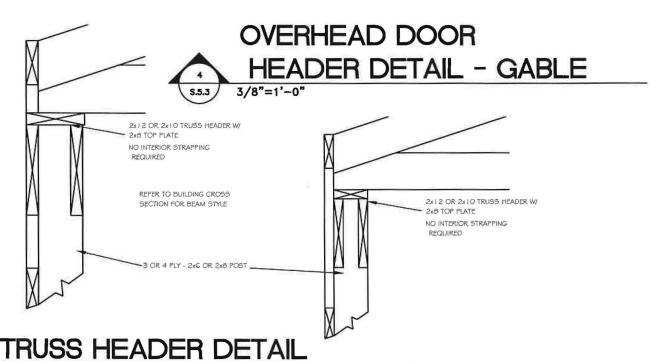
VERTICAL SWAY BRACING & ANCHOR BRACING DETAIL S.5.3 N.T.S.

NOTE:

THIS IS A STANDARD DETAIL PAGE. THIS PAGE IS FOR REFERENCE ONLY. DETAILS MAY NOT REFELECT EXACT CONSTRUCTION.







ROOF GABLE BRACING DETAIL

REVISED: FEB 2019



ALSTRAN CORP. APEGGA PERMIT No. P10591

DRAWINGS ISSUED FOR CONSTRUCTION



DBD500 2

SCALE NOT TO SCALE 02/09/19

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LAND DESCRIP.

TYPICAL DETAILS

AIRDRIE, ALBERTA

s.5.3 GENERALADETALIA

Page 69 of 113

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PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision and Development Appeal Board

DATE: November 20, 2019 DIVISION: 8

FILE: 05735088 **APPLICATION:** B-3; PRDP20193107

SUBJECT: Accessory Buildings

PROPOSAL : Construction of two (2) accessory buildings (storage shed and gazebo), relaxation of the minimum front and side yard setback requirements.	GENERAL LOCATION : Located approximately 0.81 km (1/2 mile) north of Hwy. 1A and on the west side of Woodland Rd.
APPLICATION DATE: August 30, 2019	DEVELOPMENT AUTHORITY DECISION : Discretionary – Refused
APPEAL DATE: November 1, 2019	DEVELOPMENT AUTHORITY DECISION DATE : October 30, 2019
APPELLANT: Langeli, Samuele	APPLICANT: Langeli, Samuele
LEGAL DESCRIPTION: Lot 15 Block 1 Plan 0711356, NE-35-25-03-W05M	MUNICIPAL ADDRESS: 31010 WOODLAND VIEW
LAND USE DESIGNATION: Residential One District (R-1)	GROSS AREA: ± 0.80 hectares (± 1.98 acres)
PERMITTED USE : Accessory buildings are a permitted and discretionary use in the R-1 district.	DEVELOPMENT VARIANCE AUTHORITY: Section 12.2 of the Land Use Bylaw allows the Development Authority to grant a maximum of 25% variance of the minimum setback requirement.
PUBLIC SUBMISSIONS: The application was circulated to 38 adjacent landowners. At the time this report was prepared, no letters were received in support or objection to the application.	LAND USE POLICIES AND STATUTORY PLANS: •County Plan •Land Use Bylaw •Bearspaw ASP

EXECUTIVE SUMMARY:

The proposal is for the construction of two (2) accessory buildings. The proposed buildings are a 23.78 sq. m (255.97 sq. ft.) storage shed and a 12.58 sq. m (135.41 sq. ft.) gazebo with a fireplace. Both will be finished with the same stucco as the existing dwelling.

The proposed locations of both accessory buildings do not meet the minimum front and side yard setback requirements of the Land Use Bylaw.

• The front yard setback (east) of the proposed accessory building (storage shed) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.



o Required: 45.00 m (147.64 ft.) Requested: 42.00 m (137.80 ft.)

o Variance: 6.67%

 The side yard setback (north) of the proposed accessory building (storage shed) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.

o Required: 15.00 m (49.21 ft.) Requested: 7.40 m (24.28 ft.)

o Variance: 50.67%

 The front yard setback (east) of the proposed accessory building (gazebo) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.

o Required: 45.00 m (49.21 ft.) Requested: 9.80 m (32.15 ft.)

o Variance: 78.22%

 The side yard setback (north) of the proposed accessory building (gazebo) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.

o Required: 15.00 m (49.21 ft.) Requested: 14.00 m (45.93 ft.)

o Variance: 6.67%

The Development Authority can apply a variance of up to 25% for setback relaxations, as defined in Section 12.2 of the Land Use Bylaw. Two of the proposed setbacks exceed this variance. Therefore, the Development Authority refused the application on October 30, 2019.

The Appellant appealed the decision of the Development Authority for the reasons noted within the agenda package.

PROPERTY HISTORY:

September 23, 2016	PRDP20161838 issued for construction of a dwelling, single detached, relaxation of maximum height requirement, relaxation of minimum front yard setback requirement, relaxation of the minimum side yard setback requirement and single-lot regrading and the placement of clean fill	
January 10, 2019	PRBD20161823 finalled for construction of a single family dwelling	
June 5, 2015	PRDP20150022 issued for the placement of clean fill	

APPEAL:

See attached report and exhibits.

Respectfully submitted,

Sean MacLean
Supervisor Planning

SKh/IIt

(R-1, R-S, R-2, and R-3)



Application No.	PRDP20193107 (roll 05735088)	File Manager	Sandra Khouri	
District	Residential One (R-1)	Gross Area (ha)	0.80	
Use	construction of two (2) accessory buildings (storage shed and gazebo), relaxation of the minimum front and side yard setback requirements			

Use and District Intent Check	
Is the proposed development a listed use?	Yes
Does the proposed development meet the use defintion?	
Does the proposed development meet the Purpose and Intent?	Yes

Area property lines adjacent to a paved road?					
Front Yard	Yes	Side Yard 1	Yes	Side Yard 2	No

		Regulation	Min/Max	Proposed	Δ	Variance	
::	48.5 (b)	Front Yard Setback (m)			0.00		
ing	(c)	Side Yard Setback (m)			0.00		
uilding:	(c)	Side Yard Setback (m)			0.00		
B	(d)	Rear Yard Setback (m)			0.00		
Principal	48.6	Habitable Floor Area (m²)			0.00		
ri	48.7	Building Height (m)			0.00		
	20.3	SDD/lot	1	1	0.00		
	48.5 (b)	Front Yard Setback (m)	45.00	42.00	-3.00	6.67%	
#	(c)	Side Yard Setback (m)	15.00	lots	#VALUE!		
Bld	(c)	Side Yard Setback (m)	15.00	7.40	-7.60	50.67%	REFUSAL
Acc. E	(d)	Rear Yard Setback (m)	7.00	31.40	24.40		
¥	48.7 (b)	Building Height (m)	7.00	3.96	-3.04		
	48.2	Single Acc. Bld Area (m²)	120.00	23.78	-96.22		
	48.5 (b)	Front Yard Setback (m)	45.00	9.80	-35.20	78.22%	REFUSAL
#5	(c)	Side Yard Setback (m)	15.00	lots	#VALUE!		
Bld	(c)	Side Yard Setback (m)	15.00	14.00	-1.00	6.67%	
Acc. E	(d)	Rear Yard Setback (m)	7.00	lots	#VALUE!		
¥	48.7 (b)	Building Height (m)	7.00	3.40	-3.60		

Comments

The proposed buildings are a storage shed and gazebo with fireplace.

Comments

Front yard is the east P/L, Side yard 1 is the south P/L, Side yard 2 is the north P/L, and the rear yard is the west P/L

Comments

On SFD DP (PRDP20161838) Woodland Rd was considered the front yard so that the north property line could be considered a side. As it is an open service road, if it's considered a rear, the setback would be 30 m; this way the setback can be 15 m. In order to remain consistent, same front and side will be used

Storage Shed: the requested front yard relaxation is within the DA's variance (50%). However, the requested side yard relaxation is greater than the DA's variance (25%). As such, this application is refused.

Gazebo: the requested side yard relaxation is within the DA's variance (25%). However, the requested front yard relaxation is greater than the DA's variance (50%). As such, this application is refused.

(R-1, R-S, R-2, and R-3)



	າ				
48.2	Cinalo Aco Did Aron (m²)	120.00	1 12 50	107/12	
40.2	Single Acc. Bld Area (m²)	1 120.00	12.50	-10/.42	

	General Accessory Building Regulations				
20.3	ADU/lot	1	0	-1.00	
48.9	Total Acc. Bld Area (m ²)	120.00	36.36	-83.64	
48.10	No. Acc. Bld	2.00	2	0.00	

Does the proposed development (including variances):	Yes/No
Unduly interfere with the amenities of the neighbourhood?	No
Materially interfere with or affect the use, enjoyment or value of neighbouring parcels of	No
land?	140

Doc Type	Policy Name	Applicable Policies?	Compliance with Policies
IGP	Interim Growth Plan	No	
IDP	NA	N/A	
MDP	County Plan	Yes	
ASP	Bearspaw	No	
CS	NA	N/A	

PRDP20150022 for placement of clean fill (approved)

Comments

The total number of proposed accessory buildings and the total area for all accessory buildings is compliant with the LUB

Comments

These are relatively small buildings, no concerns with impact to adjacent lands

Comments			

BP/DP Histo	PRDP20161838 for SFD, relaxation of maximum height, relaxation of minimum front and side yard setbacks, single lot regarding and the placement of clean fill (approved) PRBD20161823 for SFD (approved)
Inspector	Construction occurring on SFD; Construction of the proposed accessory building is observed on north side of property; Tidy property; Very little screening from the roads
Overall Assessmen	The proposed buildings will be constructed with the same materials and finishing of the house (sand coloured stucco). The property has a large wetland on the south side and is fronting a road to the east and south and an open road allowance to the north. As such, the developable area is limited. The Applicant has indicated that the proposed locations for these buildings would be the most suitable location. However, the variances required for the setback from the north and east property lines exceeds the variance granted to the Development Authority in the LUB (25% for an unpaved road and 50% for a paved road). As such, the application has been refused.

(R-1, R-S, R-2, and R-3)



Non-Standard Conditions

OPTIONS:

Option #1 (this would allow for the construction of the accessory buildings)

That the appeal against the decision of the Development Authority to refuse to issue a Development Permit for the construction of two (2) accessory buildings (storage shed and gazebo), relaxation of the minimum front and side yard setback requirements at Lot 15, Block 1, Plan 0711356; NE-35-25-03-W05M (31010 WOODLAND VIEW) be upheld, that the decision of the Development Authority be revoked, and that a Development Permit be issued, subject to the following conditions:

Description:

- 1) That the construction of two (2) accessory buildings (storage shed and gazebo) may take place on the subject lands in accordance with the site plan submitted with the application and conditions of this permit.
 - a) That the front yard setback (east) of the proposed accessory building (storage shed) is relaxed from 45.00 m (147.64 ft.) to 42.00 m (137.80 ft.).
 - b) That the side yard setback (north) of the proposed accessory building (storage shed) is relaxed from 15.00 m (49.21 ft.) to 7.40 m (24.28 ft.).
 - c) That the front yard setback (east) of the proposed accessory building (gazebo) is relaxed from 45.00 m (49.21 ft.) to 9.80 m (32.15 ft.).
 - d) That the side yard setback (north) of the proposed accessory building (gazebo) is relaxed from 15.00 m (49.21 ft.) to 14.00 m (45.93 ft.).

Permanent:

- 2) That the accessory buildings (storage shed and gazebo) shall not be used for commercial purposes at any time, except for a Home-Based Business, Type I, or an approved Home-Based Business, Type II.
- 3) That the accessory buildings (storage shed and gazebo) shall not be used for residential occupancy at any time.
- 4) That there shall be no more than 1.00 m (3.28 ft.) of fill placed adjacent to or within 15.00 m (49.21 ft.) of the proposed building under construction, which is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
- 5) That if the development authorized by this Development Permit is not commenced with reasonable diligence within twelve (12) months from the date of issue, and completed within twenty-four (24) months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

Advisory:

- 6) That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
- 7) That during construction of the Accessory Building, all construction and building materials shall be maintained on site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.

- 8) That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
- 9) That a Building Permit and sub-trade permits shall be obtained through Building Services, prior to any construction taking place.

Option #2 (this would not allow for the construction of the accessory buildings)

That the appeal against the decision of the Development Authority to refuse to issue a Development Permit for the construction of two (2) accessory buildings (storage shed and gazebo), relaxation of the minimum front and side yard setback requirements at Lot 15, Block 1, Plan 0711356; NE-35-25-03-W05M (31010 WOODLAND VIEW) be denied, and that the decision of the Development Authority be confirmed.

From: Lahnert, Jessica < Jessica.Lahnert@atco.com>
Sent: Tuesday, September 17, 2019 11:13 AM

To: Sandra Khouri

Subject: RE: PRDP20193107 Circulation

Categories: CityView Permitting Attachment

Hi Sandra,

ATCO Gas has no objection to the proposed.

Thanks,

Jessica Lahnert

Administrative Coordinator Natural Gas Distribution Pipelines & Liquids Global Business Unit

P. 403 245 7443

From: SKhouri@rockyview.ca < SKhouri@rockyview.ca>

Sent: Thursday, September 12, 2019 12:20 PM

To: BuildingServicesCirculations@rockyview.ca; DevelopmentCompliance@rockyview.ca; DHafichuk@rockyview.ca; SJewison@rockyview.ca; JKoole@rockyview.ca; jfleischer@rockyview.ca; cnelson@rockyview.ca; sracz@rockyview.ca; SHulsman@rockyview.ca; JMcHattie@rockyview.ca; bgellately@rockyview.ca; bRiemann@rockyview.ca; South Land Administration <SouthLandAdministration@atco.cul.ca>; Solis-Jarek, Isabel <Isabel.Solis@atco.com>;

landserv@fortisalberta.com; circulations@telus.com

Subject: PRDP20193107 Circulation

Caution – This email is from an external source. If you are concerned about this message, please forward it to spam@atco.com for analysis.

Hello,

Please review the attached application and reply with comments, if any, to SKhouri@rockyview.ca by October 3, 2019.

Thank you,

SANDRA KHOURI

Development Officer | Planning and Development Services

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520-3934

skhouri@rockyview.ca| www.rockyview.ca

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The information transmitted is intended only for the addressee and may contain confidential, proprietary and/or privileged material. Any

From: Solis-Jarek, Isabel <Isabel.Solis@atco.com>
Sent: Wednesday, October 16, 2019 10:17 AM

To: Sandra Khouri

Subject: 19-3331 Response - PRDP20193107 Circulation

Attachments: PRDP20193107 Circulation.pdf

Categories: CityView Permitting Attachment

Good Morning,

ATCO PIPELINES has no objection.

Thank you,

Isabel Solis-Jarek

Sr. Administrative Coordinator | Gas Transmission ATCO Pipelines & Liquids Global Business Unit

P. 780 420 3896

From: SKhouri@rockyview.ca [mailto:SKhouri@rockyview.ca]

Sent: Thursday, September 12, 2019 12:19 PM

To: BuildingServicesCirculations@rockyview.ca; DevelopmentCompliance@rockyview.ca; DHafichuk@rockyview.ca; SJewison@rockyview.ca; JKoole@rockyview.ca; jfleischer@rockyview.ca; cnelson@rockyview.ca; sracz@rockyview.ca; SHulsman@rockyview.ca; JMcHattie@rockyview.ca; bgellately@rockyview.ca; bRiemann@rockyview.ca; South Land Administration <SouthLandAdministration@atco.cul.ca>; Solis-Jarek, Isabel <Isabel.Solis@atco.com>;

landserv@fortisalberta.com; circulations@telus.com

Subject: PRDP20193107 Circulation

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ROCKY VIEW COUNTY

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From: Building Services Circulations

Sent: Wednesday, October 02, 2019 11:16 AM

To: Sandra Khouri

Subject: RE: PRDP20193107 Circulation

Categories: CityView Permitting Attachment

Hi Sandra,

No objection to setback relaxations, subject to BP. Must follow "Accessory Building" checklist.

Thanks,

GORDON RAUSCH, CET

Building Safety Codes Officer | Building Services

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520-8178

grausch@rockyview.ca | www.rockyview.ca

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From: Sandra Khouri <SKhouri@rockyview.ca> Sent: Thursday, September 12, 2019 12:19 PM

To: Building Services Circulations <BuildingServicesCirculations@rockyview.ca>; Development Compliance <DevelopmentCompliance@rockyview.ca>; Doug Hafichuk <DHafichuk@rockyview.ca>; Stuart Jewison

<SJewison@rockyview.ca>; Jennifer Koole <JKoole@rockyview.ca>; Jeff Fleischer <jfleischer@rockyview.ca>; Cole Nelson <cnelson@rockyview.ca>; Sheldon Racz <sracz@rockyview.ca>; Steven Hulsman <SHulsman@rockyview.ca>; Jayme McHattie <JMcHattie@rockyview.ca>; Brenda Gellately

Spellately@rockyview.ca>; Byron Riemann

<bRiemann@rockyview.ca>; southlandadmin@atcogas.com; Isabel.Solis@atcopipelines.com;

landserv@fortisalberta.com; circulations@telus.com

Subject: PRDP20193107 Circulation

Hello,

Please review the attached application and reply with comments, if any, to SKhouri@rockyview.ca by October 3, 2019.

Thank you,

SANDRA KHOURI

Development Officer | Planning and Development Services

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520-3934

skhouri@rockyview.ca www.rockyview.ca

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From: Doug Hafichuk

Sent: Monday, September 30, 2019 2:44 PM

To: Sandra Khouri

Subject: RE: PRDP20193107 Circulation

Categories: CityView Permitting Attachment

Capital Projects has no concerns.

From: Sandra Khouri <SKhouri@rockyview.ca> Sent: Thursday, September 12, 2019 12:19 PM

To: Building Services Circulations <BuildingServicesCirculations@rockyview.ca>; Development Compliance <DevelopmentCompliance@rockyview.ca>; Doug Hafichuk <DHafichuk@rockyview.ca>; Stuart Jewison

<SJewison@rockyview.ca>; Jennifer Koole <JKoole@rockyview.ca>; Jeff Fleischer <jfleischer@rockyview.ca>; Cole Nelson <cnelson@rockyview.ca>; Sheldon Racz <sracz@rockyview.ca>; Steven Hulsman <SHulsman@rockyview.ca>; Jayme McHattie <JMcHattie@rockyview.ca>; Brenda Gellately

bgellately@rockyview.ca>; Byron Riemann

<bRiemann@rockyview.ca>; southlandadmin@atcogas.com; Isabel.Solis@atcopipelines.com;

landserv@fortisalberta.com; circulations@telus.com

Subject: PRDP20193107 Circulation

Hello,

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Thank you,

SANDRA KHOURI

Development Officer | Planning and Development Services

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520-3934

skhouri@rockyview.ca| www.rockyview.ca

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From: Aldcroft, Erin <erin.aldcroft@fortisalberta.com> on behalf of Land Service

<landserv@fortisalberta.com>

Sent: Monday, September 16, 2019 10:39 AM

To: Sandra Khouri

Subject: PRDP20193107 Circulation

Categories: CityView Permitting Attachment

FortisAlberta has no concerns.

Warm Regards,

Erin Aldcroft

Erin Aldcroft | Land Coordinator

FortisAlberta Inc. | 15 Kingsview Rd. SE Airdrie, AB T4A 0A8 | Tel: 587-775-6331

<u>Project Status Portal</u> Check the status of your New Service Connection or Project.

Get Connected | Getting connected with us is a five-phase process. Learn more here.



For more information please visit fortisalberta.com

From: SKhouri@rockyview.ca <SKhouri@rockyview.ca>

Sent: Thursday, September 12, 2019 12:19 PM

To: BuildingServicesCirculations@rockyview.ca; DevelopmentCompliance@rockyview.ca; DHafichuk@rockyview.ca; SJewison@rockyview.ca; JKoole@rockyview.ca; jfleischer@rockyview.ca; cnelson@rockyview.ca; sracz@rockyview.ca; SHulsman@rockyview.ca; JMcHattie@rockyview.ca; bgellately@rockyview.ca; bRiemann@rockyview.ca; southlandadmin@atcogas.com; Isabel.Solis@atcopipelines.com; Land Service <landserv@fortisalberta.com>; circulations@telus.com

Subject: ? EXTERNAL PRDP20193107 Circulation

Hello,

Please review the attached application and reply with comments, if any, to SKhouri@rockyview.ca by October 3, 2019.

Thank you,

SANDRA KHOURI

Development Officer | Planning and Development Services

ROCKY VIEW COUNTY

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Phone: 403-520-3934

skhouri@rockyview.ca| www.rockyview.ca

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From: Chris Rvachew < CHRIS.RVACHEW@telus.com > on behalf of circulations

<circulations@telus.com>

Sent: Friday, September 13, 2019 8:54 AM

To: Sandra Khouri

Subject: RE: PRDP20193107 Circulation

Categories: CityView Permitting Attachment

TELUS Communications Inc. has no objections to the above mentioned circulation.

Chris Rvachew | Real Estate Specialist

Customer Network Implementation | TELUS | Rights of Way

2930 Centre Avenue NE, Calgary, AB T2A 4Y2 Phone: (403) 384-3066 | circulations@telus.com

Please do NOT e-mail me directly. To avoid delays in processing, send all e-mails to circulations@telus.com.

TELUS Restricted - Privileged & Confidential

Not to be forwarded or copied without express consent of the originator.

From: SKhouri@rockyview.ca [mailto:SKhouri@rockyview.ca]

Sent: September 12, 2019 12:19 PM

To: BuildingServicesCirculations@rockyview.ca; DevelopmentCompliance@rockyview.ca; DHafichuk@rockyview.ca; SJewison@rockyview.ca; JKoole@rockyview.ca; jfleischer@rockyview.ca; cnelson@rockyview.ca; sracz@rockyview.ca; SHulsman@rockyview.ca; JMcHattie@rockyview.ca; bgellately@rockyview.ca; bRiemann@rockyview.ca; southlandadmin@atcogas.com; Isabel.Solis@atcopipelines.com; landserv@fortisalberta.com; circulations <circulations@telus.com>

Subject: PRDP20193107 Circulation

Hello,

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Thank you,

SANDRA KHOURI

Development Officer | Planning and Development Services

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520-3934

skhouri@rockyview.ca| www.rockyview.ca

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From: Jayme McHattie

Sent: Monday, October 07, 2019 11:48 AM

To: Sandra Khouri

Subject: RE: PRDP20193107 Circulation

Categories: CityView Permitting Attachment

Hello,

Below you will find the recommendations & advisories from Transportation Services for the subject line DP

- -Applicant to contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - -Applicant to confirm access to development / subdivided lots.
- ☐ -Any on site exterior lighting to be "dark sky" compliant.

JAYME MCHATTIE

Administrative Assistant Transportation Services

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520-3930

JMcHattie@rockyview.ca | www.rockyview.ca

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From: Sandra Khouri < SKhouri@rockyview.ca>

Sent: September-12-19 12:19 PM

To: Building Services Circulations <BuildingServicesCirculations@rockyview.ca>; Development Compliance <DevelopmentCompliance@rockyview.ca>; Doug Hafichuk <DHafichuk@rockyview.ca>; Stuart Jewison

<SJewison@rockyview.ca>; Jennifer Koole <JKoole@rockyview.ca>; Jeff Fleischer <jfleischer@rockyview.ca>; Cole Nelson <cnelson@rockyview.ca>; Sheldon Racz <sracz@rockyview.ca>; Steven Hulsman <SHulsman@rockyview.ca>; Jayme McHattie <JMcHattie@rockyview.ca>; Brenda Gellately

Spellately@rockyview.ca>; Byron Riemann

bRiemann@rockyview.ca>; southlandadmin@atcogas.com; Isabel.Solis@atcopipelines.com;

landserv@fortisalberta.com; circulations@telus.com

Subject: PRDP20193107 Circulation

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Phone: 403-520-3934

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From: Stuart Jewison

Sent: Monday, September 23, 2019 4:05 PM

To: Sandra Khouri

Subject: RE: PRDP20193107 Circulation

Categories: CityView Permitting Attachment

Hi Sandra,

Utility Services: No Concerns.

Thanks,

STUART JEWISON

Manager | Utility Services

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520-1189

sjewison@rockyview.ca | www.rockyview.ca

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Sent: Thursday, September 12, 2019 12:19 PM

To: Building Services Circulations <BuildingServicesCirculations@rockyview.ca>; Development Compliance <DevelopmentCompliance@rockyview.ca>; Doug Hafichuk <DHafichuk@rockyview.ca>; Stuart Jewison <SJewison@rockyview.ca>; Jennifer Koole <JKoole@rockyview.ca>; Jeff Fleischer <jfleischer@rockyview.ca>; Cole

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Spellately@rockyview.ca>; Byron Riemann

landserv@fortisalberta.com; circulations@telus.com

Subject: PRDP20193107 Circulation

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Thank you,

SANDRA KHOURI

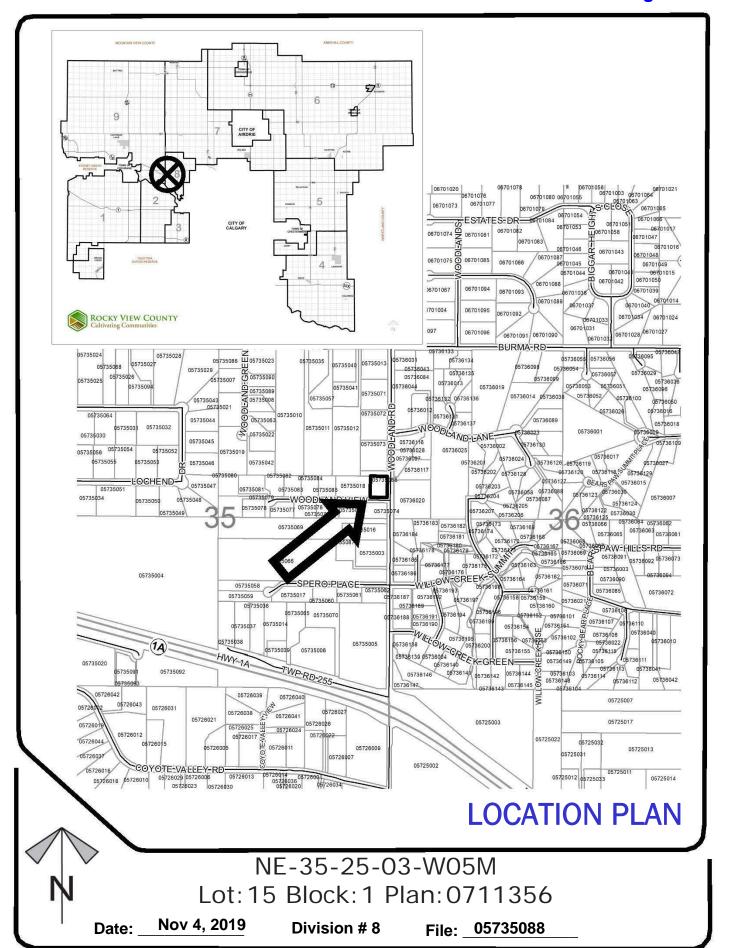
Development Officer | Planning and Development Services

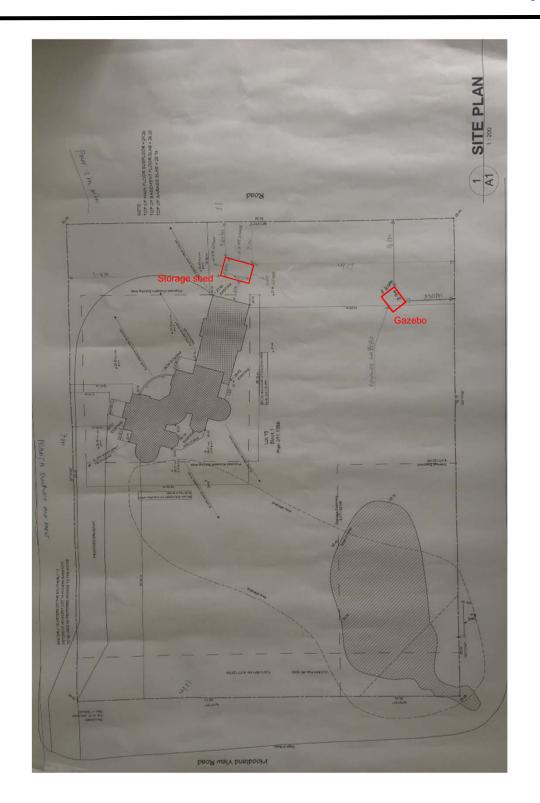
ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520-3934

skhouri@rockyview.ca www.rockyview.ca



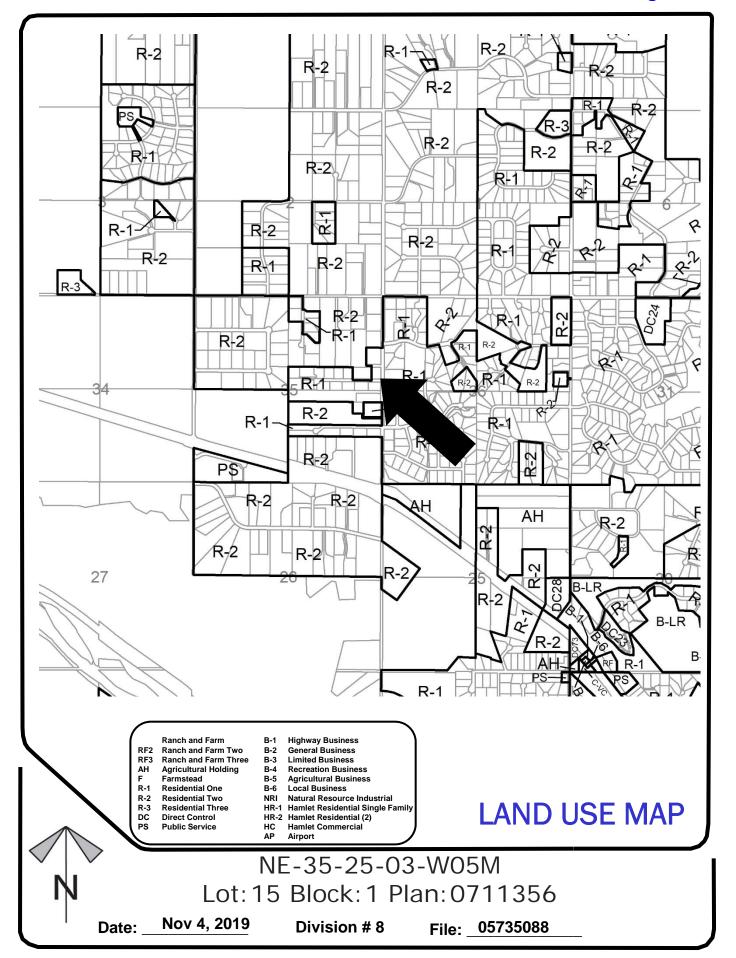


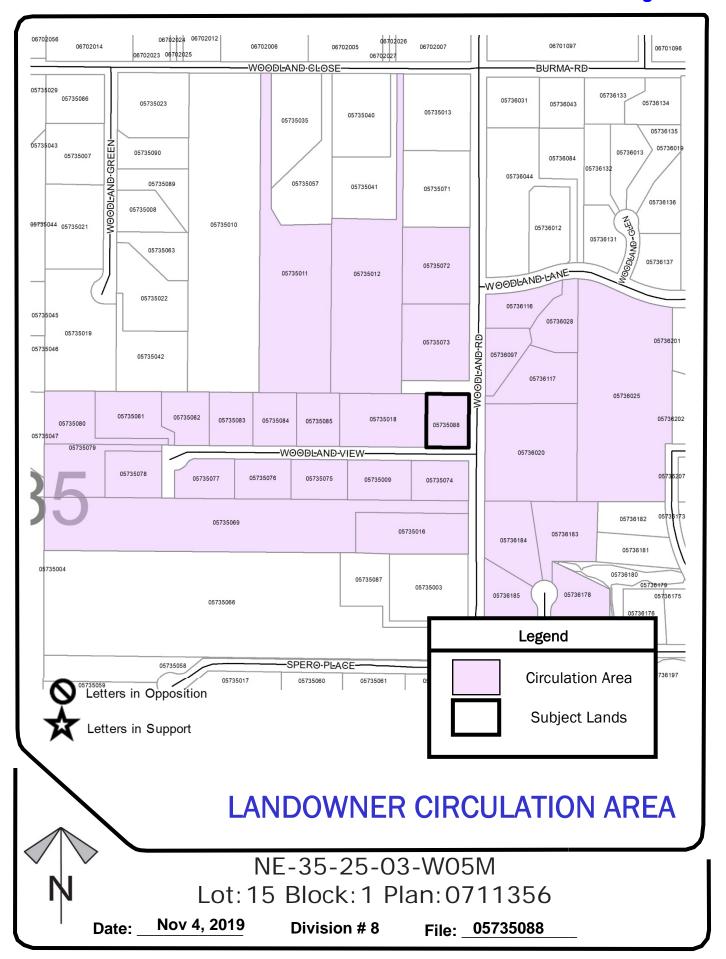
SITE PLAN

NE-35-25-03-W05M

Lot: 15 Block: 1 Plan: 0711356

Date: Nov 4, 2019 Division # 8 File: 05735088







262075 Rocky View Point Rocky View County, AB, T4A 0X2

> 403-230-1401 questions@rockyview.ca www.rockyview.ca

REFUSAL

Langeli, Samuele

Development Permit #: PRDP20193107

Date of Issue: October 30, 2019

Roll #: 05735088

Your Application dated August 30, 2019 for a Development Permit in accordance with the provisions of the Land Use Bylaw C-4841-97 of Rocky View County in respect of:

construction of two (2) accessory buildings (storage shed and gazebo), relaxation of the minimum front and side yard setback requirements

at Lot 15 Block 1 Plan 0711356, NE-35-25-03-05; (31010 WOODLAND VIEW)

has been considered by the Development Authority and the decision in the matter is that your application be **REFUSED** for the following reasons:

1) The front yard setback (east) of the proposed accessory building (storage shed) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.

Required: 45.00 m (147.64 ft.) Requested: 42.00 m (137.80 ft.)

2) The side yard setback (north) of the proposed accessory building (storage shed) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.

Required: 15.00 m (49.21 ft.) Requested: 7.40 m (24.28 ft.)

3) The front yard setback (east) of the proposed accessory building (gazebo) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.

Required: 45.00 m (49.21 ft.) Requested: 9.80 m (32.15 ft.)

4) The side yard setback (north) of the proposed accessory building (gazebo) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.

Required: 15.00 m (49.21 ft.) Requested: 14.00 m (45.93 ft.)

If you require further information or have any questions regarding this development, please contact Sandra Khouri at 403-520-3934 or email SKhouri@rockyview.ca and include the application number.

Development Authority Rocky View County

NOTE: An appeal from this decision may be made to the Subdivision and Development Appeal Board of Rocky View County. Notice of Appeal to the Subdivision and Development Appeal Board from this decision shall be filed with the requisite fee of \$350 with Rocky View County no later than 21 days following the date on which this Notice is dated.



the Municipal Clerk at 403-230-1401.

Appellant's Signature

Notice of Appeal

Subdivision and Development Appeal Board Enforcement Appeal Committee

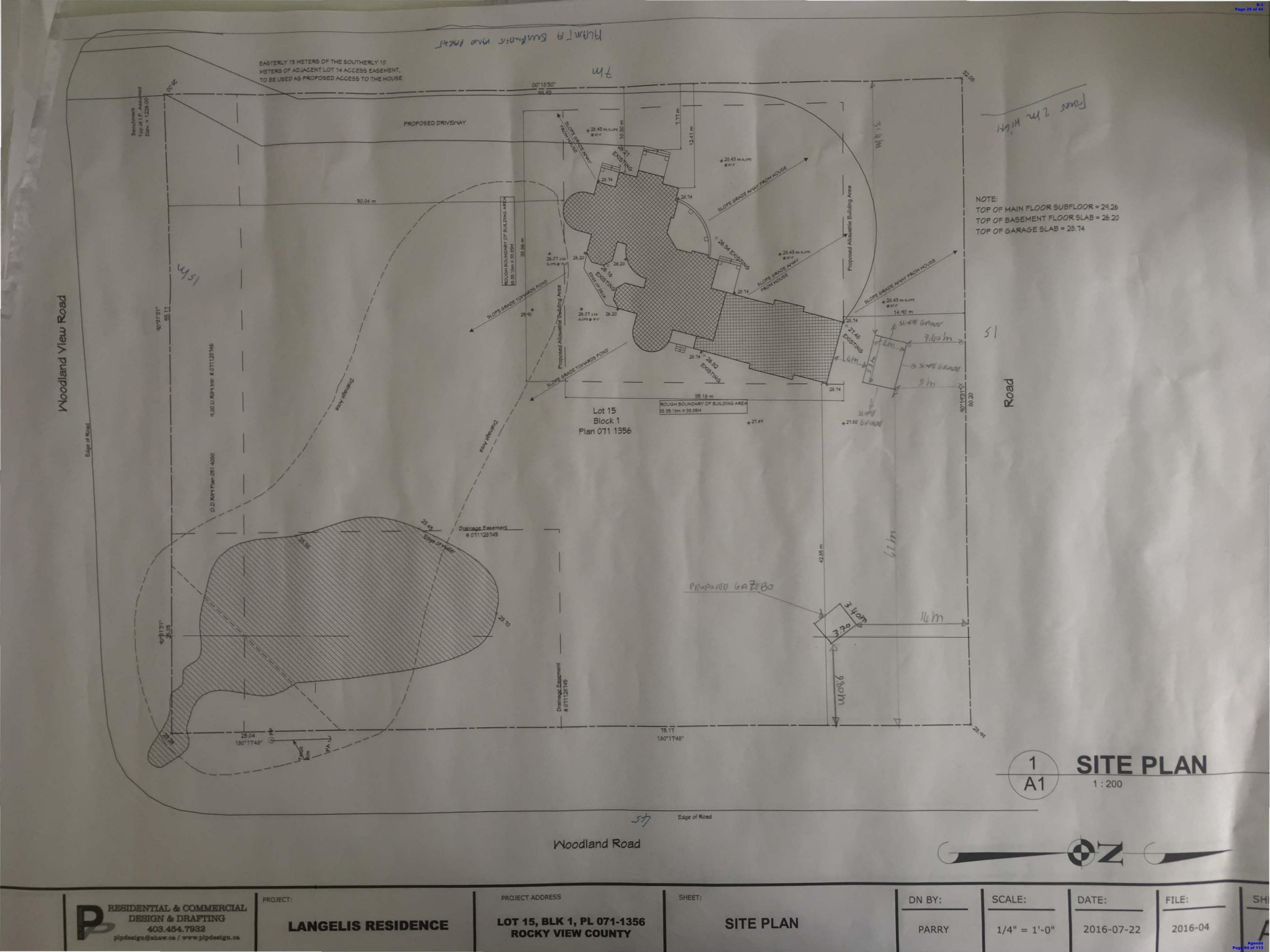
Appellant Information		
same of Appellant(s) SAN LANG	GELI	
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	9	
Site Information Aunicipal Address	Legal Land Description flot, bloc	k, plan OR quarter-section-township-range-meridia
31010 MOODLAND VIEW	LOT 15, ALOGE 1.	PLAN 07/1356
05735088	PR OP 2019 3107	or Enforcement Order #
am appealing: (check one box only)		
Development Authority Decision Approval	Subdivision Authority Decision	Decision of Enforcement Services
Conditions of Approval	☐ Approval ☐ Conditions of Approval	☐ Stop Order ☐ Compliance Order
M Refusal	Refusal	
Reasons for Appeal (attach separate p	age if required)	
HB CONSTRUCTION O	F THE TWO ACCESSO	RY BUILDINGS
(STORAGE SHOO AND L	SARBBO) WOULD HAND	NO IMPACT ON
	HE SERVICE ROAD EAST	
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the Freedom of Information and Protection of Privacy Act. If you have questions regarding the collection or use of this information, contact

NOVE 19 10 2, 2019

Agenda
Page 93 of 113

CIPAL CLERK'S





20193107

FOR OFFICE	age 26 of USE ONLY
Fee Submitted	File Number 05 7350
Date of Receipt	Receipt #

B-3

APPLICATION FOR A DEVELOPMENT PERMIT

Name of Applicant SATUEL	e Langeli	Email		
Mailing Address				
-		Postal Code		
Telephone (B)	(H)		Fax	
For Agents please supply Busines	ss/Agency/ Organization Name			
Registered Owner (if not applican	t) SAME AS ABOVE	E		
Mailing Address				
Telephone (B)	(H)		Fax	
LEGAL DESCRIPTION OF LA				
a) All / part of the	Section3 Township _	25 Range 3.	West of	/ @ Meridiar
b) Being all / parts of Lot			er <u>0711356</u>	
c) Municipal Address	O WOODLAND VIEW			
d) Existing Land Use Designation	on <u>R-1</u> Parcel S	ize 1.98 ACRES	Division	
APPLICATION FOR	ilda - relazanon	for side va	and (East) of	Front
APPLICATION FOR New Accessory B	ildg - relaxanon	for side ya	isod (East) 4	Front land
APPLICATION FOR New Accessory B ADDITIONAL INFORMATION		and the	Manual All	Front and .
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APPLICATION FOR New Accessory B ADDITIONAL INFORMATION a) Are there any oil or gas wells b) Is the proposed parcel within (Sour Gas facility means well	on or within 100 metres of the s	subject property(s)? cility?	Yes Yes	No V No V
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APPLICATION FOR New Accessory B ADDITIONAL INFORMATION a) Are there any oil or gas wells b) Is the proposed parcel within (Sour Gas facility means well c) Is there an abandoned oil or g d) Does the site have direct acce REGISTERED OWNER OR P	on or within 100 metres of the solution of the solution of a sour gas fact, pipeline or plant) gas well or pipeline on the properties to a developed Municipal RERSON ACTING ON HIS ENTRY that	subject property(s)? cility? erty? Road? BEHALF I am the regist	Yes Yes Yes/	No V No V No No
APPLICATION FOR New Accessory B ADDITIONAL INFORMATION a) Are there any oil or gas wells b) Is the proposed parcel within (Sour Gas facility means well c) Is there an abandoned oil or g d) Does the site have direct acce REGISTERED OWNER OR P I SANGELE LANGELE (Full Name in Block Capitals) and that the information given on	on or within 100 metres of the solution of the solution of a sour gas fact, pipeline or plant) gas well or pipeline on the properties to a developed Municipal Resonacting on HIS England hereby certify that	subject property(s)? cility? erty? Road? BEHALF I am the regist	Yes Yes Yes Yes Yes Yes Affix Corporation	No V No V No No vr's behalf
APPLICATION FOR New Accessory B ADDITIONAL INFORMATION a) Are there any oil or gas wells b) Is the proposed parcel within (Sour Gas facility means well c) Is there an abandoned oil or g d) Does the site have direct acce REGISTERED OWNER OR P I SANGELE (Full Name in Block Capitals) and that the information given on is full and complete and is, to the	on or within 100 metres of the solution of the solution of a sour gas fact, pipeline or plant) gas well or pipeline on the properties to a developed Municipal Resonacting on HIS England hereby certify that this form best of my knowledge, a true	subject property(s)? cility? erty? Road? BEHALF I am the regist	Yes Yes Yes Yes Yes Yes Yes Affix Corporate of the owner of the owner of the owner	No V No V No V r's behalf ate Seal
APPLICATION FOR New Accessory B ADDITIONAL INFORMATION a) Are there any oil or gas wells b) Is the proposed parcel within (Sour Gas facility means well c) Is there an abandoned oil or g d) Does the site have direct acce REGISTERED OWNER OR P I SANGELE LANGELE (Full Name in Block Capitals) and that the information given on	on or within 100 metres of the solution of the solution of a sour gas fact, pipeline or plant) gas well or pipeline on the properties to a developed Municipal Resonacting on HIS England hereby certify that this form best of my knowledge, a true	subject property(s)? cility? erty? Road? BEHALF I am the regist	Yes Yes Yes Yes Yes Yes Gered owner In the owner Affix Corporation of the owner Affix Corp	No V No V No No visible ate Seal is listed ed or
APPLICATION FOR New Accessory B ADDITIONAL INFORMATION a) Are there any oil or gas wells b) Is the proposed parcel within (Sour Gas facility means well c) Is there an abandoned oil or g d) Does the site have direct acce REGISTERED OWNER OR P I SANGELE (Full Name in Block Capitals) and that the information given on is full and complete and is, to the	on or within 100 metres of the solution of the solution of a sour gas fact, pipeline or plant) gas well or pipeline on the properties to a developed Municipal Resonacting on HIS England hereby certify that this form best of my knowledge, a true	subject property(s)? cility? erty? Road? BEHALF I am the regist	Yes Yes Yes Yes Yes Yes Yes Affix Corporate of the owner of the owner of the owner	No V No V No No visible ate Seal is listed ed or
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5.	RIGHT	OF	ENT	RY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.

Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Spille Law Gey , hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

A

Signature

AV6-V5 30,2019
Date



FOR OFFICE	USE ONLY	
Fee Submitted	File Number	9
Date Received AUG 30/19	Receipt#	

APPLICATION FOR AN ACCESSORY BUILDING

	Postal Code	
Telephone (B)		Fax
DETAIL O OF A COFFOODY BUILD BING		
DETAILS OF ACCESSORY BUILDING	Million a little in The Control	
	Bylaw	Proposed
Accessory building size maximum		256 SDF
Accessory building height		13ef 1
Number of existing accessory buildings on site		0
Total size of all accessory buildings		256 DF
Date when building permits were issued for existing but If no permits were issued - list age of buildings	(
GARAGE STORAGE	ING	NAME OF STREET
ADDITIONAL REQUIREMENTS	Zorowa sa sa pro	014
The following items must be provided in addition to your	r application:	
Elevation drawing(s) / floor plan(s) Site plan(s) showing all dimensions and setbac	rke	



262075 Rocky View Point Rocky View County AB, T4A 0X2

> 403-230-1401 questions@rockyviewica www.rockyviewica

LETTER OF AUTHORIZATION

63		
-/	/.	
I, (We) SATUBUS LAN	GEU	being the owner (s) of
Lot Block	Plan <u>0711356</u>	
Legal:		
NW/NE/SE/SW Section	Township	Range <u>25</u> W <u>35</u> M
give		permission to act on m
(our) behalf in applying for a D	evelopment Permit	for the above subject property.
Signature		
Signature		
Date		

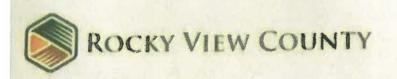
DATE AUGUST 30, 2019

THIS IS TO REQUEST THE RELAXATION OF SIDEYARD FROM IS IN TO 7 IN

AND FROM YARD FROM 45 IN TO 42 IN FOR THE FOLLOWING REASONS
IN REGARDS TO THE CONSTRUCTION OF A SINGLE GARAGE STORAGE AREA:

- * NO INPACT TO EASTERN NEIGHBOUR SINGS SERVICE ROAD IS CLOSED AND NOT IN USE.
- * SFD APPROVED A 42.65 M REVAYATION IN D.D 20161838
- A METURNO AND CANNOT BE BUILT ON, LEAVING THE DEAR OF THE PEOPERTY
 AS THEOMY AVAILABLE AREA TO BUILD.

SAMUEUS LANGELI'



262075 Rocky View Point Rocky View County AB 14A 0X2

> 403-230-1401 questions@rockyview.ca www.rockyview.ca

LETTER OF AUTHORIZATION

I, (We) LUISA CUSANO LANGELI being the owner (s) of
Lot 1 Block 15 Plan 0711356
Legal:
NW/NE/SE/SW Section 3 Township 25 Range 35 W NE M
give SAMUEUE LANGELI permission to act on my
(our) behalf in applying for a Development Permit for the above subject property.
Alfandel.
Signature
Signature
August 30, 2019 Date



Summary

05735088 Roll Number

NE-35-25-03-W05M Legal Desc

Divison 80

Lot Block Plan Lot:15 Block:1 Plan:0711356

32307746 Linc Number

Title Number 101144684

Parcel Area 1.98000

31010 WOODLAND VIEW Municipal Address

Langeli, Samuele **Contact Information**

Land Use Information R-1 (RESIDENTIAL ONE)

Plan

Planning Applications Information

{There is no related Application}

Area Structure Plan

Plan Name **RV Number**

Bearspaw

Conceptual Scheme

{There is no related Conceptual Scheme}

Permit

Building Permit Date Issued Permit Number Permit Type PRPS20161828 Private Sewage Wed May 17, 2017 PRBD20161823 Building Wed Nov 23, 2016 Wed Nov 23, 2016 PREL20161824 Electrical Gas Wed Nov 23, 2016 PRGS20161826 Gas Wed Nov 23, 2016 PRGS20161827 PRPL20161825 Plumbing Wed Nov 23, 2016

Development Permit Information

Permit Number Date Issued

PRDP20161838 Friday, September 23, 2016 PRDP20150022

ps://parcelinfo.mdrockyview.ab.ca/app/PrintFriendly.aspx?EntityUID=05735088_31010 WOODLAND VIEW

Department	Issued By	Date Issued	Date Closed	Status	Reference No.	Description	Page	33	Gever
		Wednesday, April 30, 2008	Monday, August 31, 2009	С		EF-1346 Contravention:Too Many L.M.U.			2
		Wednesday, Ma 14, 2008	Thursday, Y August 13, 2009	С		Original Note: This property is under Enforceme Completed Note: Efile 1346 is now closed	nt Action		2
		Tuesday, December 23, 2014	Tuesday, April 14, 2015	² C		EF-2155 Contravention:Fill, Ponds & Excavation	ı		2
CE	TessaH	Tuesday, June 30, 2015	Monday, July 27, 2015	С	CEWC20150122	Case Number: CEWC20150122 Case Description growing in the piles of dirt. Weeds must be contributed to Case Number: CEWC20160138 Case Description	rolled.		1
CE	JaymeL	Wednesday, June 15, 2016	Tuesday, July 26, 2016	c'c	CEWC20160138	henbane plants growing on exposed soil in oper looks like a vegetable garden and near pond. Muthroughout property which are high concern area regulated weed growth. Cannot find any contact	n area near v any dirt piles as for more	what s	1
0									

Geospatial Bo	undary	1
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Boundary	Category
Division	8

Area Structure Plan Bearspaw

Conceptual Scheme No Conceptual Scheme

IDP No IDP

Airport Vincinity No APVA

Engineer Milan Patel

Water Coop ROCKY VIEW WATER CO-OP LTD.

Gas Coop Service ATCO GAS

No.of Lots Within 600 M 69

No.of App Subdiv Within 600 M 0

Developed Road Allowance Yes

Riparian Area Yes

School No School Boundary

Recreation Bearspaw-Glendale

Fire District BEARSPAW

Primary Fire Station 103
Secondary Fire Station 151
Tertiary Fire Station 102

Geospatial Adjacency

Boundary	Category	Distance	
Closest Highway	No HWY within 800 M		
Closest Gravel Pit	Kennel Pit	6315.81 M	
Sour Gas	No Sour Gas Pipe passes	From closest sour pipe: 17975.95 M	
Closest Road Name	WOODLAND VW(Surface Type:Paved)	12.61 M	
Closest Railway	CPR	3137.69 M	
Closest Western Irrigation Districts	Within 10Km		
Closest Waste Water Treatment	Within 10Km	6274.41 M	

Closest Municipality

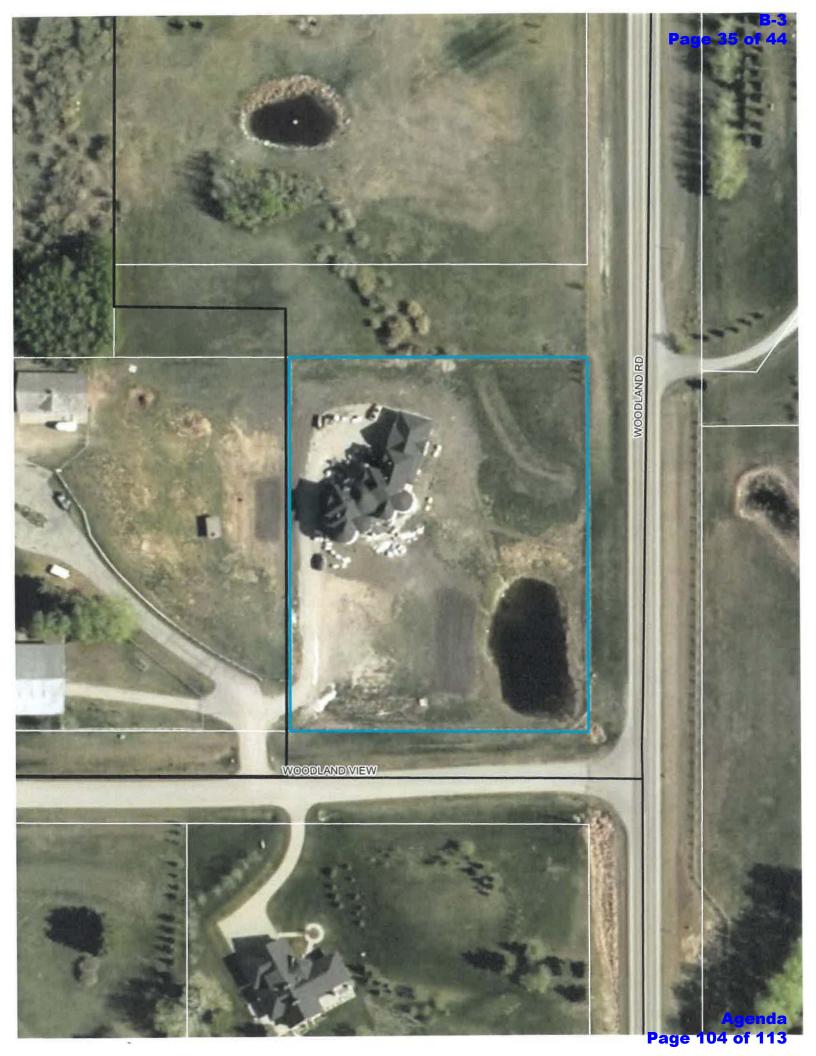
CITY OF CALGARY

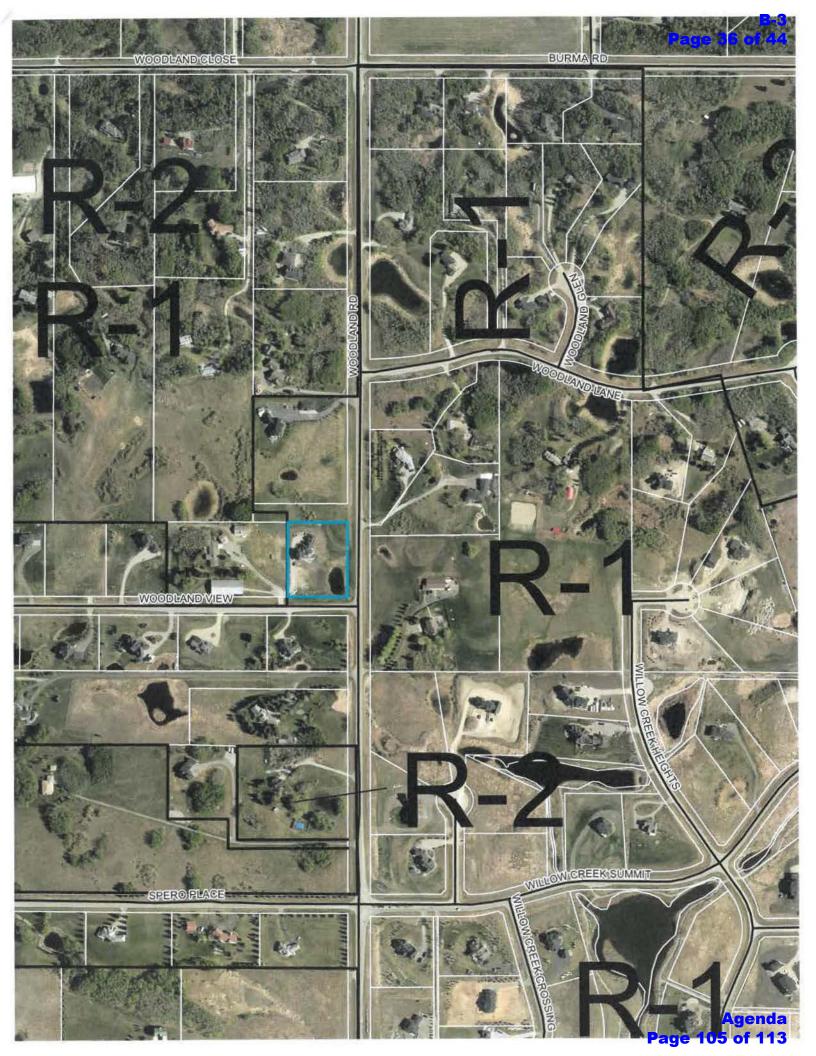
4106.42 M

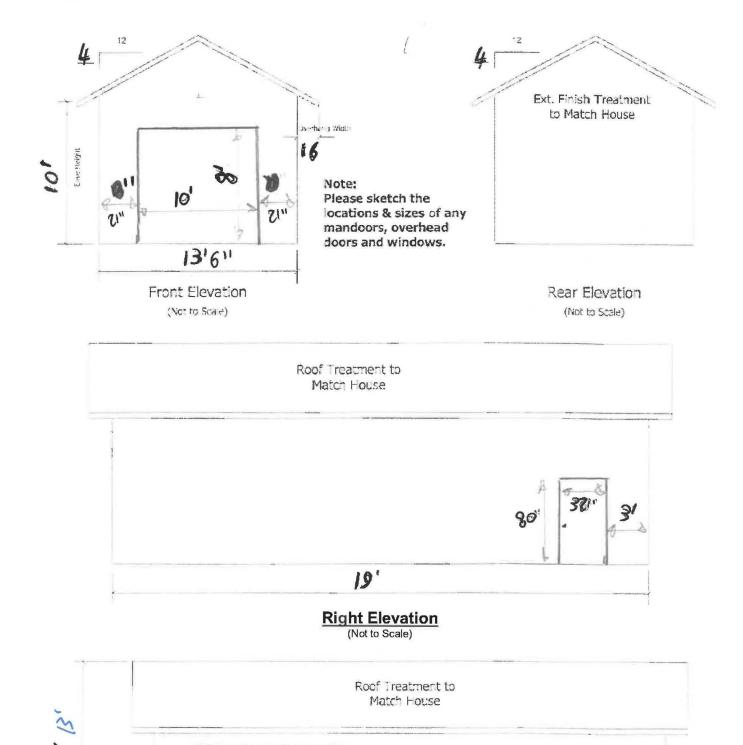
Page 34 of 44

Closest Confined Feeding Operation

9794.43 M







Left Elevation
(Not to Scale)

3



Accessory Building Detail Sheet

PLEASE NOTE:

Windows cannot be placed in a wall that is closer than 4'-0" to the neighbor's property line.

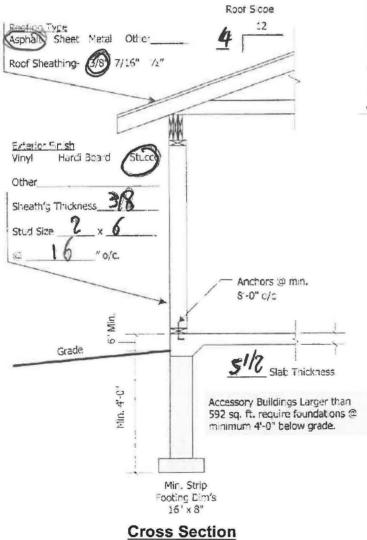
If the roof framing members transfer roof loading to the overhead garage door beam, please specify the size of the garage door lintel(s).

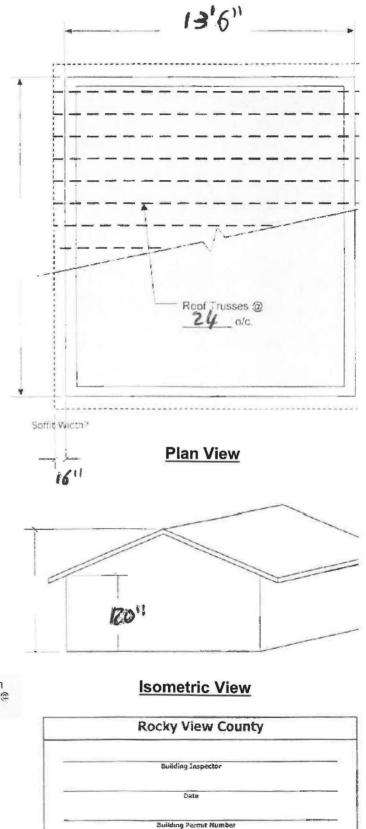
Roofing of OSB or Plywood that is less than 1 ½" in thickness requires 'H' Clips and ridge blocking.

Note:

Please sketch the locations & sizes of any mandoors, overhead doors and windows.

Please see other side of page for more info.





Letters in opposition to the appeal

From: Janet Bantle

Sent: Sunday, November 10, 2019 11:50 AM

To: PAA_SDAB

Subject: Notice of hearing- for /31010 Woodland View

Subject: Notice of hearing

Property: 31010 Woodland View

Owner: Samuele Langeli

We, Janet and Larry Bantle and live at 255193 Woodland Rd. Our property is two lots north of the development.

We are opposed to the development of construction of two accessory buildings: a storage shed and gazebo and relaxation of the minimum front and side yard setback on the property at 31010 Woodland View.

This property, since its initial development application has had to appeal for numerous variances in all the planning applications.

Some of the important appeals have been with regard to:

variances of the front yard setback

variances of the side yard setback and placement of 13,000 m³ of clean fill to change the grade elevation.

variances of the maximum height requirements of a single detached dwelling

variance in location of the building property water and drainage issues

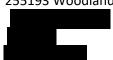
Now a 6 foot brick fireplace/pizza oven combination fire pit has been built approximately 2/3 of the distance from the house and 1/3 the distance from the fence on Woodland Road.

The proposed gazebo over the fireplace will make this area their backyard facing Woodland Road, this will make the gazebo structure too close to Woodland Road.

Information regarding the storage shed construction with regard to square footage, height and finishing materials and the exact placement of the shed on the property is not available, and must be known to those affected neighbors before approval can begin to be given. Given that they are appealing to another minimum side yard setback we have to assume that is where the storage shed will be placed.

This house has had numerous contentious approved appeals, it is time for the Rocky View County Subdivision and Development Appeal Board to say NO to the current appeals and inform the Applicant that they must follow the Building Act.

Janet and Larry Bantle 255193 Woodland Rd



Letters in support of the appeal

From: Marianne Bøgh Jensen

Sent: Tuesday, November 12, 2019 2:31 AM

To: PAA_SDAB

Subject: File number 05735088, PRDP20193107

Dear Sirs,

I am the property owner of 31079 Woodland View and would hereby like to support Luisa and Sam Langeli in their application to be allowed to build both the gazebo and the storage shed on their property.

The craftmanship of their house tells me that the two structures will be of good quality and an addition to their property. The proposed locations do not from my perspective obstruct oversight and views in any way.

Med venlig hilsen / Best regards



Marianne Bøgh Jensen

From: GERRY NEUSTAEDTER

Sent: Monday, November 11, 2019 2:54 PM

To: PAA_SDAB

Subject: Sam and Luisa Langeli gazebo and tractor garage.

Attachments: 10982339.pdf

November 11, 2019.

Re: File # 05735088, PRDP20193107

Sam and Luisa Langeli gazebo and tractor garage.

31010 Woodland View, RVC

I have reviewed the application for the above mentioned file and family. I am their closest neighbour and I am fine with this application.

I have no issue with the proposed development. The home this family has built is exceptional and enhances our community. They have a large family, are very outside oriented, and have improved their property very nicely. I am sure that the end result will be good as well.

The storage shed is great for them to keep various "acreage" items stored, instead of those items being outside in the open. The gazebo will be a nice feature for the family to use and entertain their friends and family. Please approve this development application.

Yours Truly,

Gerry Neustaedter

31020 Woodland View (adjacent and west of the Langelis)

From: adnan zalzala

Sent: Monday, November 11, 2019 5:44 PM

To: PAA_SDAB
Cc: Suad Jwad

Subject: File # 05735088, PRDP20193107

Greeting,

This letter is regarding Sam and Luisa Langeli gazebo and tractor garage permit, on 31010 Woodland View.

As much as our family is concerned, we do not have any concerns with the subject application. If nicely finished, the gazebo might be a good thing to look out from our house office window, or when driving by.

Best regards

Suad and Adnan Zalzala 31025 Woodland View