

SUBDIVISION AND DEVELOPMENT APPEAL BOARD AGENDA

ROCKY VIEW COUNTY
COUNCIL CHAMBERS
262075 ROCKY VIEW POINT
ROCKY VIEW COUNTY, AB
T4A 0X2

November 20, 2019

A CALL MEETING TO ORDER

B DEVELOPMENT APPEALS

9:00 AM APPOINTMENTS

1. Division 8 File: 05632041; PRDP20192896 Page 2

An appeal against the Development Authority's decision to REFUSE a development permit for the construction of an accessory building (oversized garage) at 36 Meadow Bay (Lot 1 Block 6 Plan 881 0844, S-32-25-02-W5M) located at the northwest junction of Meadow Bay and Meadow Drive.

Appellant: Dominic Urban
Owners: Dominic and Kelsi Urban

2. Division 5 File: 04328013; PRDP20193201 Page 33

An appeal against the Development Authority's decision to REFUSE a development permit for the construction of an accessory building (oversized and over height storage building) at 244151 Range Road 283 (NE-28-24-28-W4M) located in the Conrich area, approximately 0.81 kilometres (1/2 mile) north of Highway 1 and on the west side of Range Road 283.

Appellant/Owner: Thomas Jacob (Alta Genetics Inc.)

10:30 AM APPOINTMENTS

3. Division 8 File: 05735088; PRDP20193107 Page 70

An appeal against the Development Authority's decision to REFUSE a development permit for the construction of two accessory buildings (storage shed and gazebo) and relaxation of the minimum front and side yard setback at 31010 Woodland View (Lot 15 Block 1 Plan 0711356, NE-35-25-03-W5M) located at the northwest junction of Woodland Road and Woodland View.

Appellant: Samuele Langeli
Owners: Samuele Langeli and Luisa Cusano-Langeli

C CLOSE MEETING

D NEXT MEETING: December 11, 2019

PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision and Development Appeal Board

DATE: November 20, 2019 **DIVISION:** 5

FILE: 05632041 **APPLICATION:** B-1; PRDP20192896

SUBJECT: Accessory Building

PROPOSAL: Construction of an accessory building (oversized garage).	GENERAL LOCATION: Located at the northwest junction of Meadow Bay and Meadow Dr.
APPLICATION DATE: August 16, 2019	DEVELOPMENT AUTHORITY DECISION: Discretionary – Refused
APPEAL DATE: October 24, 2019	DEVELOPMENT AUTHORITY DECISION DATE: October 8, 2019
APPELLANT: Dominic and Kelsi Urban	APPLICANT: Dominic and Kelsi Urban
LEGAL DESCRIPTION: Lot 1, Block 6, Plan 8810844; S-32-25-02-W05M (36 Meadow Bay)	MUNICIPAL ADDRESS: 36 Meadow Bay
LAND USE DESIGNATION: Residential One District (R-1)	GROSS AREA: ± 0.81 hectares (± 2.00 acres)
DISCRETIONARY USE: Accessory buildings are a permitted and discretionary use in the R-1 district.	DEVELOPMENT VARIANCE AUTHORITY: Section 12.2 of the Land Use Bylaw allows the Development Authority to grant a maximum of 10% variance of the maximum size of a building.
PUBLIC SUBMISSIONS: The application was circulated to 37 adjacent properties. No letters in support or opposition were received.	LAND USE POLICIES AND STATUTORY PLANS: <ul style="list-style-type: none"> Land Use Bylaw (C-4841-97)

EXECUTIVE SUMMARY:

The proposal is for the construction of an accessory building (oversized garage). The proposed building is intended to be used for storage purposes. The building will be constructed on smart board / brick material. The building is proposed to be 144.56 sq. m (1,556.00 sq. ft.) in size. This exceeds the following requirements of the Land Use Bylaw:

- Section 48.3 with respect to maximum accessory building size; and
- Section 48.9 with respect to the maximum building area for all accessory buildings.

These relaxations exceed the variance discretion of the Development Authority as defined in Section 12.2 of the Land Use Bylaw. Therefore, on October 8, 2019, the Development Authority refused the



ROCKY VIEW COUNTY
Cultivating Communities

application. The Appellant appealed the decision of the Development Authority for the reasons noted within the agenda package.

PROPERTY HISTORY:

August 18, 1988	1988-BP-759 was issued for a dwelling, single detached.
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APPEAL:

See attached report and exhibits.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "S. MacLean", written over a horizontal line.

Sean MacLean
Supervisor, Planning and Development Services

PS/lt



DEVELOPMENT PERMIT REPORT

Application Date: August 16, 2019	File: 05632041
Application: PRDP20192896	Applicant/Owner: Dominic and Kelsi Urban
Legal Description: Lot 1, Block 6, Plan 881 0844; S-32-25-02-W05M (36 Meadow Bay)	General Location: Located at the northwest junction of Meadow Bay and Meadow Dr.
Land Use Designation: Residential One District (R-1)	Gross Area: ± 0.81 hectares (± 2.00 acres)
File Manager: Paul Simon	Division: 8

PROPOSAL:

This proposal is for the construction of an accessory building (oversized garage).

Building Dimensions (Section 48.3)

- Discretionary: Accessory building area: between 80.27 sq. m (861.00 sq. ft.) and 120.00 sq. m (1,291.67 sq. ft.)
- Proposed accessory building: 144.56 sq. m (1,556.00 sq. ft.)
 - This equates to a relaxation request of 20.50%. As per Section 12.2 of the Land Use Bylaw, the Development Authority can grant up to a 10% variance to the maximum building size. **Reason for refusal #1.**

Setback Requirements (Section 48.5)

- Front yard setback from a County road:
 - Required: 15.00 m (49.21 ft.)
 - Proposed accessory building (east setback): 56.14 m (185.04 ft.)
- Side yard setback from internal road / all other:
 - Required: 15.00 m (49.21 ft.) / 3.00 m (9.84 ft.)
 - Proposed accessory building (south setback): Lots
 - Proposed accessory building (north setback): 3.17 m (10.40 ft.)
- Rear yard setback from all other:
 - Required: 7.00 m (22.96 ft.)
 - Proposed accessory building (west setback): 49.33 m (161.84 ft.)

Height Requirements (Section 48.7)

- Accessory building height requirement: 7.00 m (22.96 ft.)
- Proposed accessory building height: 6.67 m (21.87 ft.)

Total Accessory Building Requirements (48.9 & 48.10)

- Maximum total building area for all accessory buildings – 120.00 sq. m (1,291.67 sq. ft.)
- Proposed maximum total building area for all accessory buildings: 144.56 sq. m (1,556.00 sq. ft.)
 - This equates to a relaxation request of 20.50%. The Development Authority does not have any variance discretion with respect to this requirement. **Reason for refusal #2.**



- Maximum number of accessory buildings – Two (2)
- Proposed number accessory buildings: One (1)

Property History:

- August 18, 1988; 1988-BP-759 was issued for a dwelling, single detached.

STATUTORY PLANS:

The application was evaluated in accordance with the Bearspaw Area Structure Plan and City of Calgary / County Intermunicipal Development Plan. Neither statutory plan contains any applicable policies as per the nature of the application; therefore, it was evaluated against the Land Use Bylaw.

INSPECTOR'S COMMENTS:

Date of Inspection: October 3, 2019

- Gates access – homeowner present and opened for inspection.
- Current shed will be removed.
- Tree screening around entire property.
- No construction present of materials.
- Not visible from Meadow Drive.

CIRCULATIONS:

Utility Services:

- No concerns.

Building Services:

- No objection to oversized garage, subject to BP. Must follow "Accessory Building" checklist.

Enforcement Services

- No comments received.

City of Calgary:

- No comments received.

OPTIONS:

Option #1 (this would allow for the construction of the accessory building)

That the appeal against the decision of the Development Authority to refuse to issue a Development Permit for the construction of an accessory building (oversized garage) at Lot 1, Block 6, Plan 881 0844; S-32-25-02-W05M (36 Meadow Bay) be revoked, and that a Development Permit be issued, subject to the following conditions:

Description:

- 1) That an Accessory Building (oversize garage) may be constructed on the subject lands in general accordance with the site plan, drawings submitted with the application (Hunter/Tristan Design) and conditions of this permit.
 - a) That the maximum building area of the accessory building (oversize garage) is relaxed from **120.00 sq. m (1,291.67 sq. ft.)** to **144.56 sq. m (1,556.00 sq. ft.)**.
 - b) That the maximum total building area of all accessory building is relaxed from **120.00 sq. m (1,291.67 sq. ft.)** to **144.56 sq. m (1,556.00 sq. ft.)**.



Permanent:

- 2) That the proposed Accessory Building (oversize garage) shall not be used for commercial purposes at any time, except for a Home-Based Business, Type I or an approved Home-Based Business, Type II.
- 3) That the proposed Accessory Building (oversize garage) shall not be used for residential occupancy purposes at any time.
- 4) That the exterior siding and roofing materials of the Accessory Building (oversize garage) shall be similar/ cohesive to the existing dwelling, single-detached and/or area.
- 5) That there shall be no more than 1.00 m (3.28 ft.) of fill placed adjacent to or within 15.00 m (49.21 ft.) of the proposed building under construction, which is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
- 6) That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

Advisory:

- 7) That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
- 8) That during construction of the Accessory Building, all construction and building materials shall be maintained on site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 9) That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
- 10) That a Building Permit and sub-trade permits shall be obtained through Building Services, prior to any construction taking place.

Option #2 (this would not allow for the construction of the accessory building)

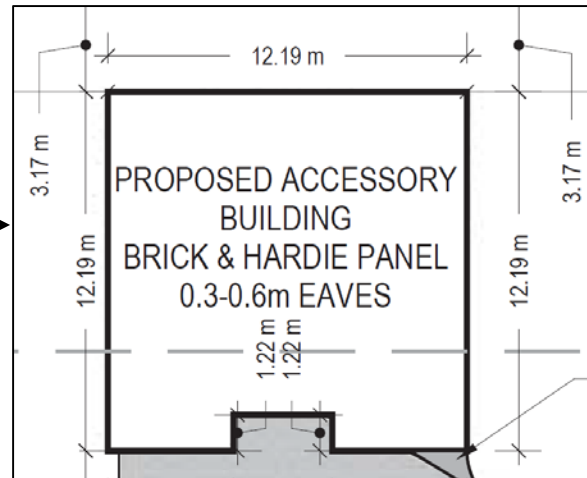
That the appeal against the decision of the Development Authority to refuse to issue a Development Permit for the construction of an accessory building (oversized garage) at Lot 1, Block 6, Plan 881 0844; S-32-25-02-W05M (36 Meadow Bay) be denied, and that the decision of Development Authority be confirmed.



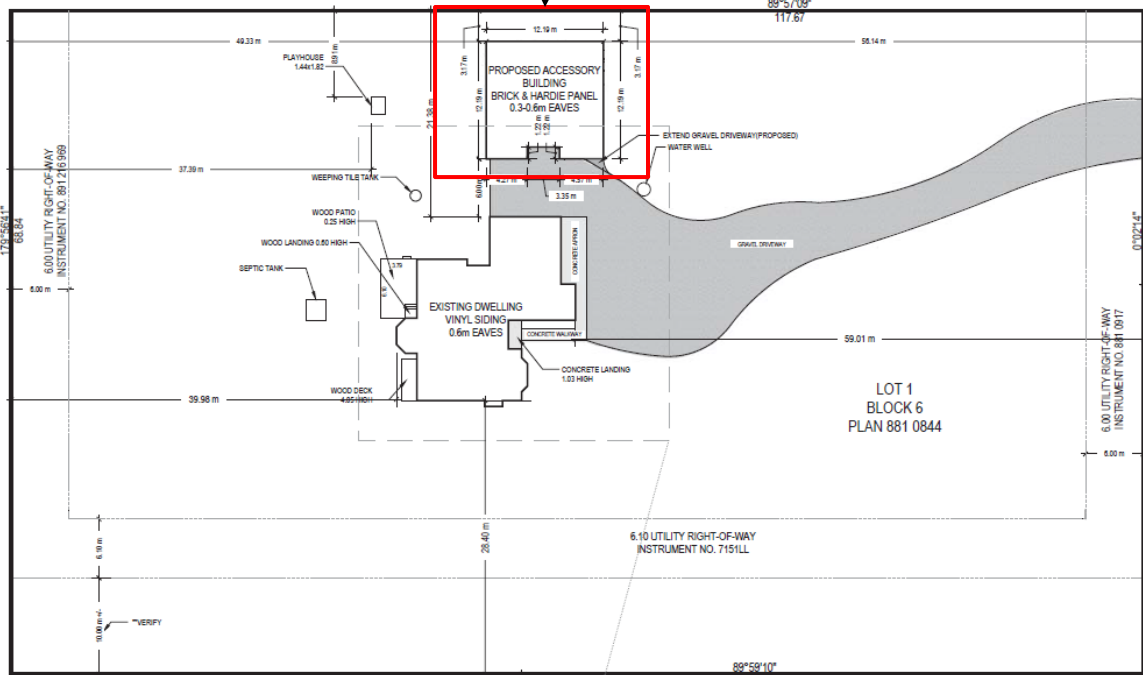
Lot:1 Block:6 Plan:8810844

File: 05632041

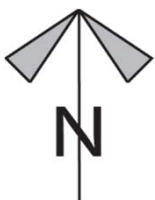
Enlarged
Image



Proposed
Building

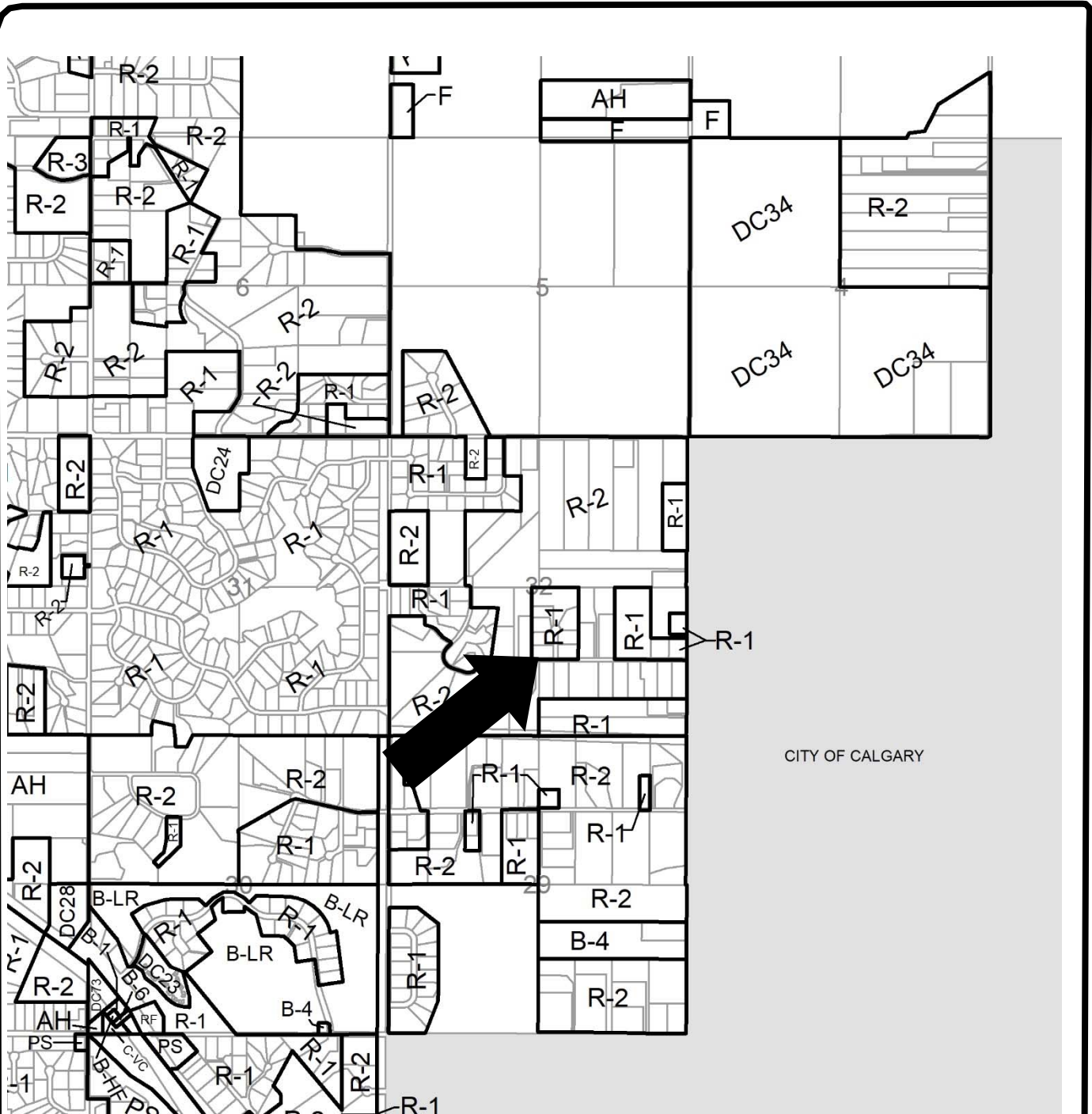


SITE PLAN



S-32-25-02-W05M
Lot:1 Block:6 Plan:8810844

Date: October 25, 2019 Division # 8 File: 05632041



Ranch and Farm	B-1 Highway Business
RF2 Ranch and Farm Two	B-2 General Business
RF3 Ranch and Farm Three	B-3 Limited Business
AH Agricultural Holding	B-4 Recreation Business
F Farmstead	B-5 Agricultural Business
R-1 Residential One	B-6 Local Business
R-2 Residential Two	NRI Natural Resource Industrial
R-3 Residential Three	HR-1 Hamlet Residential Single Family
DC Direct Control	HR-2 Hamlet Residential (2)
PS Public Service	HC Hamlet Commercial
	AP Airport

LAND USE MAP

S-32-25-02-W05M

Lot:1 Block:6 Plan:8810844

Date: **October 25, 2019**

Division # **8**

File: **05632041**

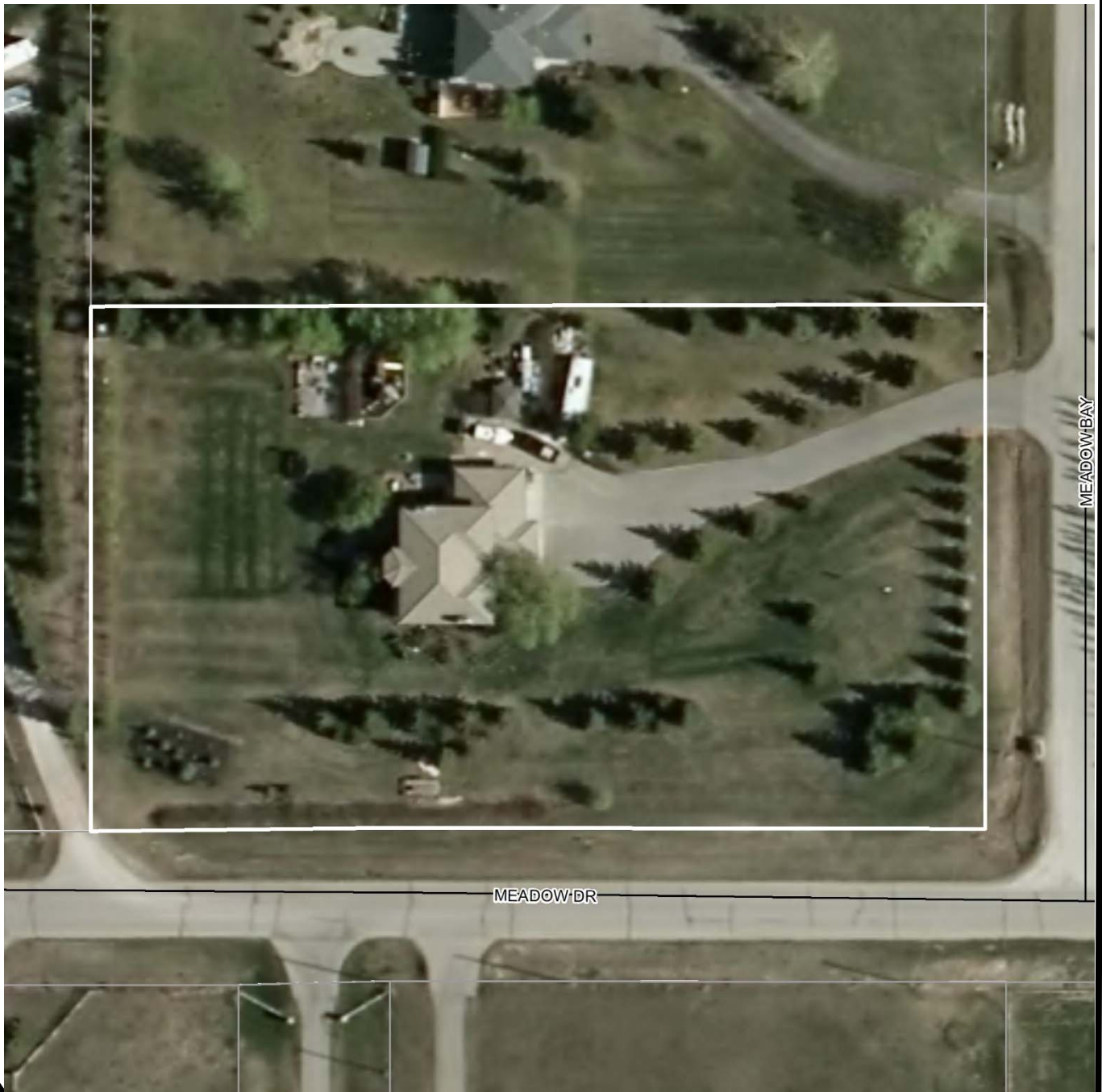


TOPOGRAPHY

Contour Interval 2 M



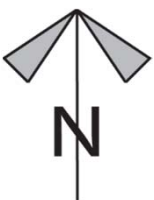
Agenda
Page 10 of 113



Note: Post processing of raw aerial
photography may cause varying degrees
of visual distortion at the local level.

AIR PHOTO

Spring 2018

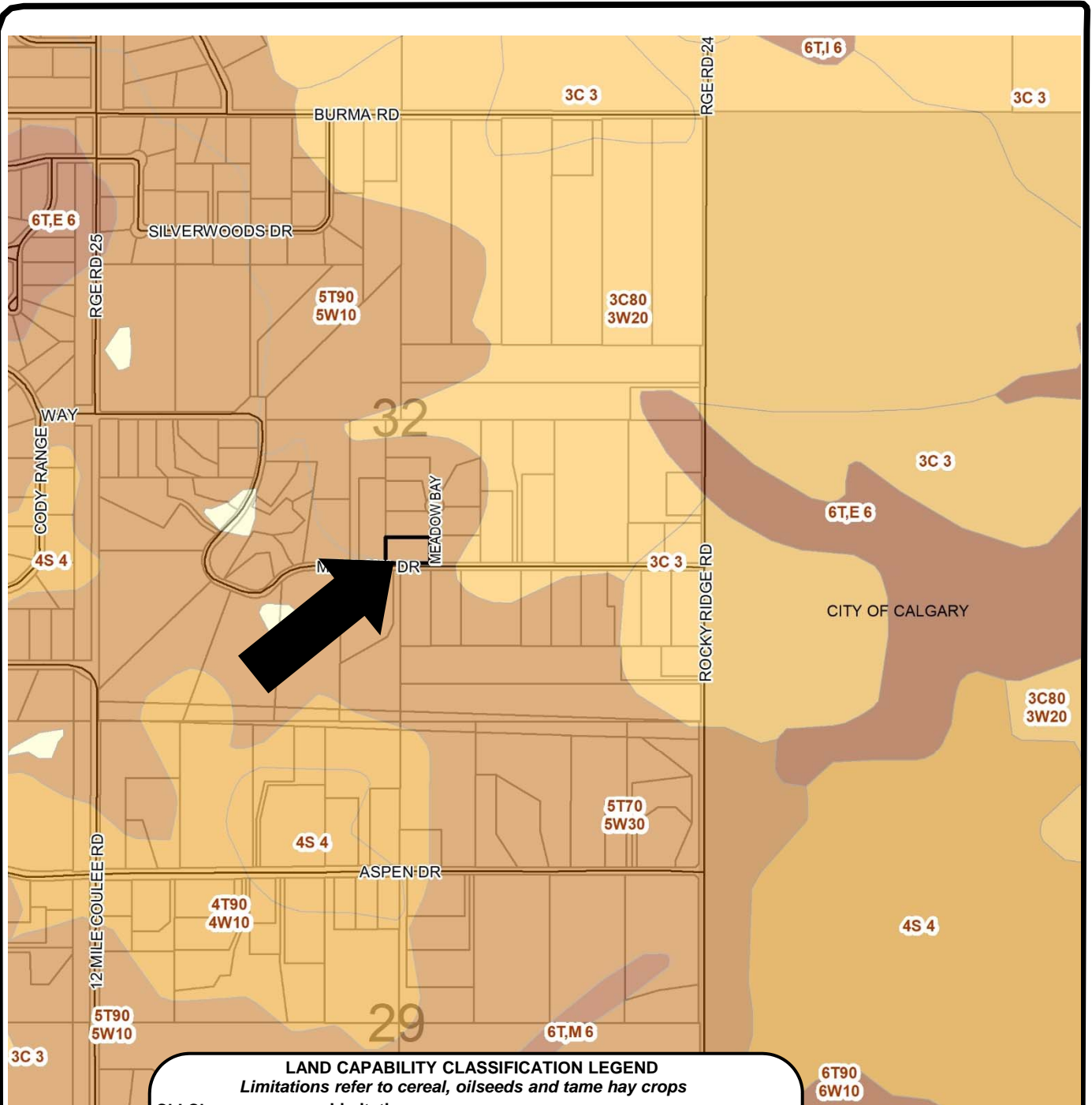


S-32-25-02-W05M
Lot:1 Block:6 Plan:8810844

Date: October 25, 2019

Division # 8

File: 05632041



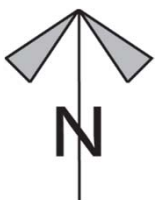
LAND CAPABILITY CLASSIFICATION LEGEND
Limitations refer to cereal, oilseeds and tame hay crops

CLI Class

- 1 - No significant limitation
- 2 - Slight limitations
- 3 - Moderate limitations
- 4 - Severe limitations
- 5 - Very severe limitations
- 6 - Production is not feasible
- 7 - No capability

Limitations

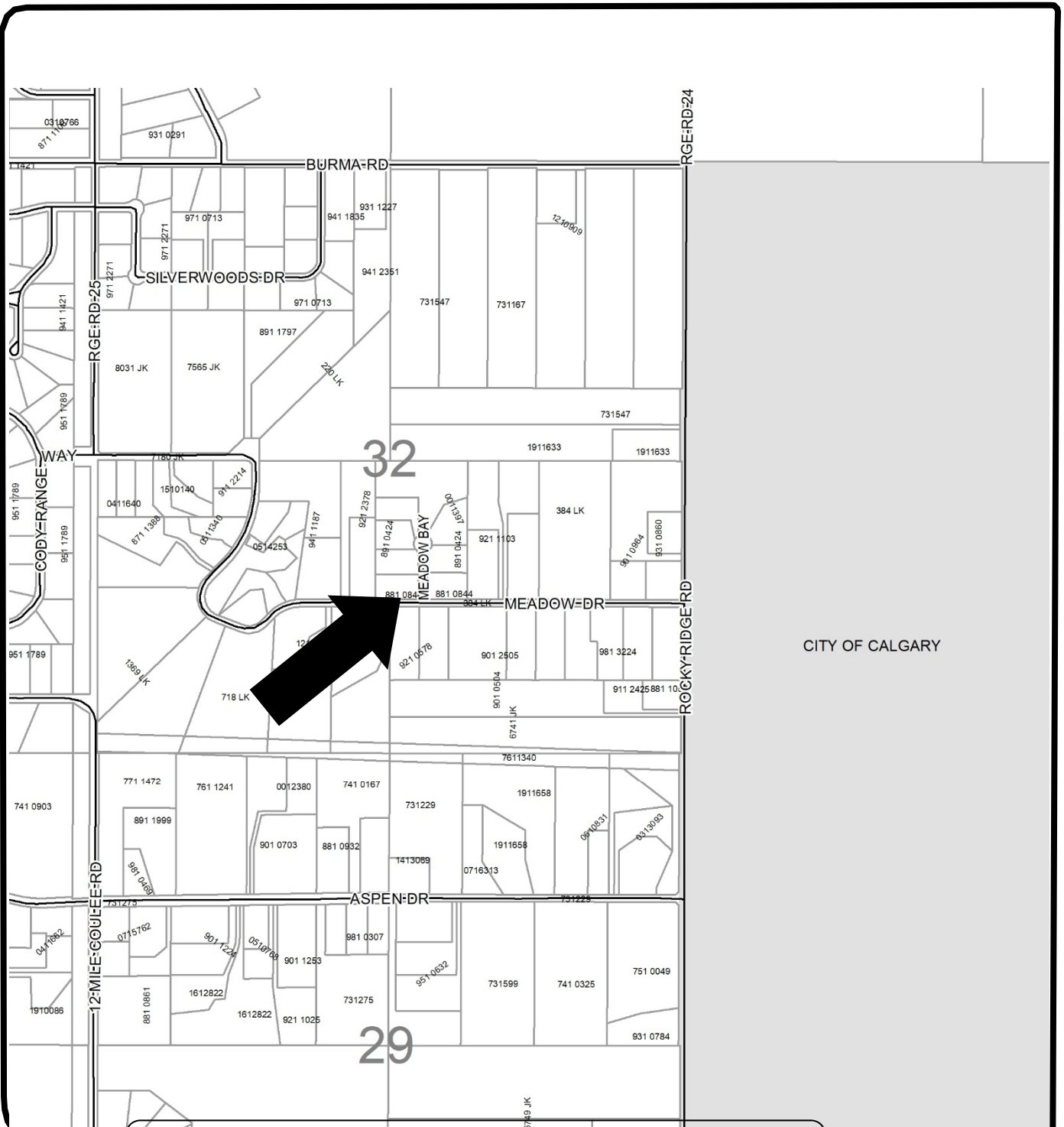
- B - brush/tree cover
- C - climate
- D - low permeability
- E - erosion damage
- F - poor fertility
- G - Steep slopes
- H - temperature
- I - flooding
- J - field size/shape
- K - shallow profile development
- M - low moisture holding, adverse texture
- N - high salinity
- P - excessive surface stoniness
- R - shallowness to bedrock
- S - high sodicity
- T - adverse topography
- U - prior earth moving
- V - high acid content
- W - excessive wetness/poor drainage
- X - deep organic deposit
- Y - slowly permeable
- Z - relatively impermeable



S-32-25-02-W05M
Lot:1 Block:6 Plan:8810844

Date: October 25, 2019 Division # 8 File: 05632041

SOIL MAP



Legend – Plan numbers

- First two numbers of the Plan Number indicate the year of subdivision registration.
- Plan numbers that include letters were registered before 1973 and do not reference a year

HISTORIC SUBDIVISION MAP

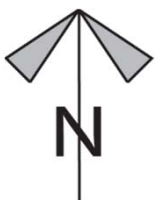
S-32-25-02-W05M

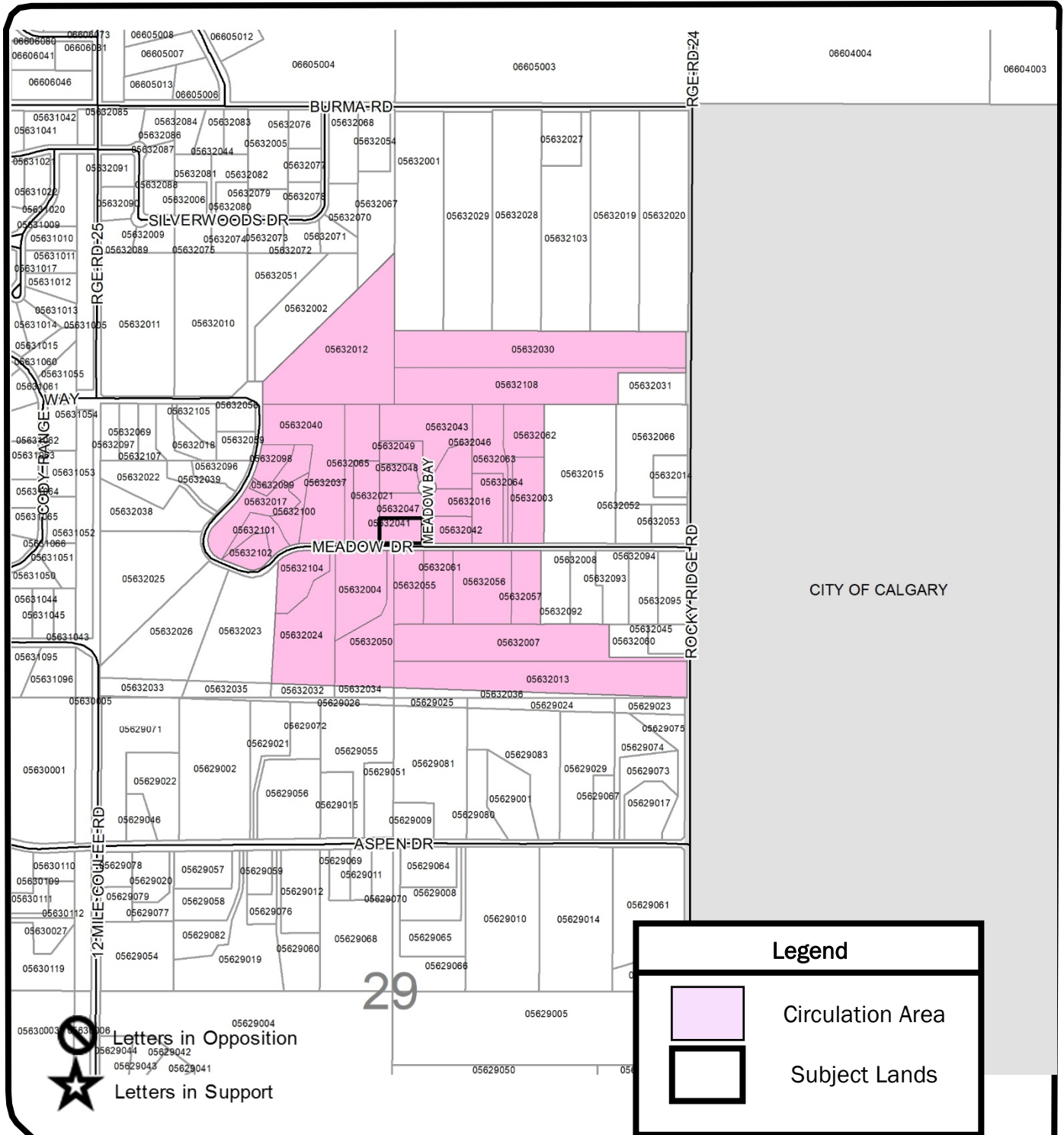
Lot:1 Block:6 Plan:8810844

Date: **October 25, 2019**

Division # **8**

File: **05632041**





LANDOWNER CIRCULATION AREA

S-32-25-02-W05M

Lot:1 Block:6 Plan:8810844

Date: **October 25, 2019**

Division # **8**

File: **05632041**



Notice of Appeal

Subdivision and Development Appeal Board

Appellant Information		
Name of Appellant(s) Dominic Urban		
[Redacted]		
Site Information		
Municipal Address 36 Meadow Bay	Legal Land Description (lot, block, plan and/or quarter-section-township-range-meridian)	
Development Permit, Subdivision Application, or Stop Order #	Roll # 05632041	
I am appealing: (check one box only)		
Development Authority Decision <input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input checked="" type="checkbox"/> Refusal	Subdivision Authority Decision <input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	Decision of Enforcement Services <input type="checkbox"/> Stop Order
Reasons for Appeal (attach separate page if required)		
<ul style="list-style-type: none">- 3 Neighbours have over sized garage/shops- our 1988 home has a very small garage- our 1988 home has a lost space in Basement for our well holding tank- require space for our growing family- the proposed shop will be finished the same as our home and become a visual architectural fit in.		
<div>ROCKY VIEW COUNTY RECEIVED OCT 24 2019</div>		

This information is collected for the Subdivision and Development Appeal Board of Rocky View County and will be used to ~~process your appeal and to create a public record of the appeal hearing.~~ The information is collected under the authority of the ~~Freedom of Information and Protection of Privacy Act~~, section 33(c) and sections 645, 678, and 686 of the ~~Municipal Government Act~~. If you have questions regarding the collection or use of this information, contact the Manager of Legislative and Legal Services at 403-230-1401.


Appellant's Signature

Appellant's Signature
Last updated: November 16, 2017

Oct. 18/19
Date

Date _____

Page 1 of 2



911 - 32 Avenue NE | Calgary, AB | T2E 6X6
Phone: 403-230-1401 | Fax: 403-277-5977
www.rockyview.ca

REFUSAL

Dominic and Kelsi Urban
[REDACTED]

Development Permit #: PRDP20192896
Date of Issue: October 8, 2019
Roll #: 05632041

Your Application dated August 16, 2019, for a Development Permit in accordance with the provisions of the Land Use Bylaw C-4841-97 of Rocky View County in respect of:

Construction of an accessory building (oversized garage).

at Lot 1, Block 6, Plan 881 0844; S-32-25-02-W05M (36 Meadow Bay)

has been considered by the Development Authority and the decision in the matter is that your application be **REFUSED** for the following reasons:

1. The size of the proposed accessory building (oversize garage) does not meet the maximum size requirement, as defined in Section 48.3 of the Land Use Bylaw.
Required – 120.00 sq. m (1,291.67 sq. ft.); Proposed – 144.56 sq. m (1,556.00 sq. ft.).
2. The size of the proposed accessory building (oversize garage) does not meet the total building area for all accessory buildings requirement, as defined in Section 48.9 of the Land Use Bylaw.
Required – 120.00 sq. m (1,291.67 sq. ft.); Proposed – 144.56 sq. m (1,556.00 sq. ft.).

A handwritten signature in black ink, appearing to read "Paul Simon", is written over a horizontal line.

Development Authority

Please contact Paul Simon at (403) 520-6285 or by email: psimon@rockyview.ca for any further questions.

NOTE: An appeal from this decision may be made to the Subdivision and Development Appeal Board of Rocky View County. Notice of Appeal to the Subdivision and Development Appeal Board from this decision shall be filed with the requisite fee of \$350 with Rocky View County no later than 21 days following the date on which this Notice is dated.



ROCKY VIEW COUNTY
Cultivating Communities

20192896

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted \$280.00	File Number 05632041
Date of Receipt Aug 14/19	Receipt # 2019021782

Name of Applicant Dominic Urban Email [REDACTED]

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) _____

Mailing Address _____

Postal Code _____

Telephone (B) _____ (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

a) All / part of the S ¼ Section 32 Township 25 Range 2 West of 5 Meridian

b) Being all / parts of Lot 1 Block 6 Registered Plan Number 891 0424

c) Municipal Address 36 Meadow Bay

d) Existing Land Use Designation R1 Parcel Size 2 Acre Division _____

2. APPLICATION FOR

garage - relaxation for oversized accessory building

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No ✓
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No ✓
(Sour Gas facility means well, pipeline or plant)
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No ✓
- d) Does the site have direct access to a developed Municipal Road? Yes _____ No ✓

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I Dominic Urban hereby certify that ✓ I am the registered owner
(Full Name in Block Capitals)

_____ I am authorized to act on the owner's behalf

and that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.

Affix Corporate Seal here if owner is listed as a named or numbered company

Applicant's Signature Dominic Urban

Date Aug 13/19

Owner's Signature Dominic Urban

Date Aug 14/19



ROCKY VIEW COUNTY
Cultivating Communities

APPLICATION FOR AN ACCESSORY BUILDING

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date Received	Receipt #

Name of Applicant Dominic Urban Email [REDACTED]
 Mailing Address [REDACTED] Postal Code [REDACTED]
 Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

1. DETAILS OF ACCESSORY BUILDING

	Bylaw	Proposed
Accessory building size maximum		1556 sq ft
Accessory building height		21' 10 3/8"
Number of existing accessory buildings on site		1
Total size of all accessory buildings		1556 sq ft

Description of Accessory Buildings:

- a) Building materials giant board / Brick
 b) Exterior colour white
 c) Please include why relaxations for buildings are needed (location, storage needs, tidy property, etc.)
Garage & storage
 d) Date when building permits were issued for existing buildings _____
 e) If no permits were issued - list age of buildings _____

2. DESCRIBE THE USE OF THE ACCESSORY BUILDING

Garage / storage / Man cave

3. ADDITIONAL REQUIREMENTS

The following items must be provided in addition to your application:

- ☒ Elevation drawing(s) / floor plan(s)
☒ Site plan(s) showing all dimensions and setbacks

Signature of Applicant [Signature]

Date: Aug 14 / 19

36 Meadow Bay
Garage Development Permit
Cover Letter

August 13, 2019

To whom it may concern

The reason that we have designed this garage is for a number of reasons. We purchased the home about 5 years ago. And with a growing family the main reason for this new garage is for our family use and storage.

Since this home was originally constructed in 1988 it had a few draw backs, mainly on the storage side. We do currently have a 3 car garage, however it was not oversized and currently, I can not even fit my truck in any of the stalls as the existing garage is just to short.

The new garage was designed to fit my truck in it as well as our trailer in the winter. During the design process we also left enough space for our tractor and its components as well. As currently we have to leave the tractor outside as the kids bikes and our motor bikes take up the rest of the original garage not leaving us any room.

The other aspect of this requested development design allows us a space on the second floor which not only allows us to have the additional storage space, as well as an entertaining space. In the existing home we have lost 40% of our basement to a very oversized system water tank. With the amount of space lost in the basement we simply do not have the space required for simple seasonal family storage as well as an entertainment space. Which is why when we designed this new garage we had allowed enough space for our families needs, especially since we know that we will be in this home for another 20-30 years.

I grew up in Bearspaw and we had purchased this home with no intention of ever moving so that we can raise our family in a great quiet area.

Thank you for the time to review this development application and understand our needs that designed this space

Sincerely

The Urban Family

hunter | tristan design

700, 1816 Crowchild Trail N.W.
Calgary, Alberta, T2M 3Y7
Tel: (403) 891 1483 / Fax: (403) 220 1389

PLANS FOR PERMIT APPLICATION
ENG FEEDBACK

Copyright Reserved
The contractor shall verify and be responsible for all dimensions.
DO NOT scale the drawings - any omissions shall be reported to
hunter | tristan design without delay.
The Copyrights to all designs and drawings are the property of
hunter | tristan design. Reproduction or use for any purpose
other than that authorized by hunter | tristan design is forbidden.

General Notes
ALL WORK SHALL BE IN ACCORDANCE WITH LATEST EDITION OF LOCAL BUILDING
CODES.
ALL DISCREPANCIES AND INCONSISTENCIES TO BE REPORTED BEFORE WORK STARTS
DO NOT SCALE DRAWINGS
TEMPORARY ON SITE SAFETY GUARDS SHALL BE THE CONTRACTORS RESPONSIBILITY
FURNISHING BY CLIENT
DESIGNER NOT RESPONSIBLE FOR TYPING AND CODES OMISSIONS OR OVERLOOKED
REVISIONS TO THE PROJECT - CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL
CONSTRUCTION AND INSTALLATIONS ARE TO LATEST EDITION OF ALL LOCAL
MUNICIPALITY APPROVED - DISCREPANCY TO BE REPORTED IMMEDIATELY TO ALL
APPROVED TO PLANS CAN BE MADE BEFORE CONSTRUCTION STARTS
CONTRACTOR TO VERIFY ALL CONSTRUCTION TO CODE & PLANS ARE MET WITH
ON SITE INSPECTIONS BEFORE BEING COVERED
ALL DIMENSIONS ARE APPROXIMATE AND TO BE VERIFIED ON SITE BEFORE
CONSTRUCTION STARTS AND/OR MATERIAL ORDERED (FOUNDATIONS, FOOTINGS,
FOUNDATIONS & COMMERCIAL INTERIOR PARTITION APPLICATIONS)
CONTRACTOR IS RESPONSIBLE FOR ALL WORK TO BE IN ACCORDANCE WITH
APPROVED CHANGES MADE & REGULATIONS AND CODES
THIS DRAWING IS THE PROPERTY OF HUNTER | TRISTAN DESIGN & SHALL REMAIN SO
AFTER CONSTRUCTION
THIS DRAWING IS FOR PERMIT APPLICATION ONLY
PRINT APPLICATION ONLY
BY USING THESE PLANS YOU AGREE TO THE ABOVE TERMS AND CONDITIONS

Version	Description	Date
4		
3		
2		
1	CLIENT FEEDBACK	Apr 22, 2019

Drawn By: LHUC Checked By:

General Contractor

403 605 0688

Marketing & Sales
000 000 0000

Project Address(s)
36 Meadow Bay

Legal Address
Lot(s) 01, Block 06, Plan 891 0424

Client(s)/Project
Lukus Developments - Shop & Dwelling
Makeover

Title
Cover Page, Context, TOC

Scale As Indicated	Development Permit Number DP-2019-
True North 	Building Permit Number BP-2019-
Project North 	Page Type Page Number

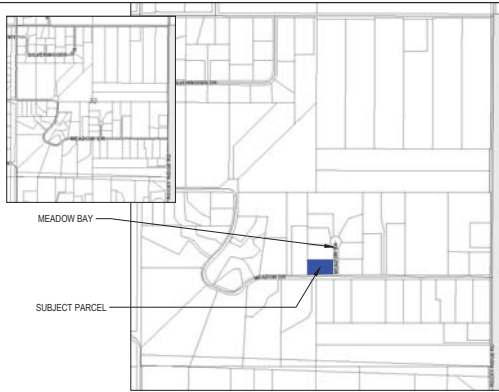
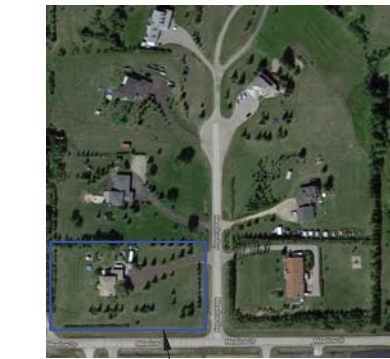
36 Meadow Bay - Detached Garage - Lukus Dev. Det. Gar.



DRAWINGS LIST	
Page	Page Name
1.1	CONSULTANTS, COVER, TOC
1.2	EXISTING & PROPOSED LOT PLAN
1.3	FOOTING & FOUNDATION LAYOUT
1.4	MAIN LEVEL
1.5	SECOND LEVEL
1.6	ROOF PLAN
1.7	ELEVATIONS
1.8	ELEVATIONS
1.9	SECTIONS
1.10	EXTERIOR CLADDING, WINDOW WRAP, ETC.
1.11	3DS
1.12	DEFINITIONS
1.13	GENERAL NOTES

FINISH SCHEDULE	
1	FLASHING - MATCH ROOF COLOUR
2	WINDOW/DOOR - BLACK FRAME/DOOR VINYL JAMB
3	FASCIA/TRIM - HARDIE TRIM - BEHR - POLAR BEAR TS (OFF WHITE)
4	SIDING - JAMES HARDIE - PANEL - POLAR BEAR TS (OFF WHITE)
5	WINDOW/DOOR TRIM/CARPENTRY - HARDIE TRIM SMOOTH BATTEN - BEHR - IRON MOUNTAIN
6	TIMBER - WESTERN RED CEDAR - ROUGH SAWN - SEALED
7	BRICK - FULL FACE - REDDISH-BROWN
8	BLACK METAL - ADDRESS NUMBERS/SIGNAGE
9	EXPOSED AGGREGATE
10	
11	EAVE TROUGH & DOWNSPOUTS - TO MATCH FLASHING/WINDOW FRAMES
12	ELECTRICAL FIXTURES - BLACK
13	FOUNDATION - EXPOSED TO HAVE PAVING
14	ROOFING - ASPHALT SHINGLES - DARK GREY (ALMOST BLACK)
15	ROOFING - STANDING SEAM - BLACK
16	ALL EXT WALL PERFORATING VENTS/ETC - BLACK (MAY NOT BE SHOWN)
17	GARAGE DOOR - WOOD or WOOD LOOK (COLOUR TO MATCH TIMBER(S))
18	CAPSTONE - DARK GREY
19	SOFFIT - ANCHITY CHESTNUT (NON-VENTED WITHIN 1.2m OF SIDE YARD)
20	SOFFIT - DARK GREY (NON-VENTED WITHIN 1.2m OF SIDE YARD)
21	DOWNSPOUT - CHAIN - BRONZED or COPPER COLOUR

	1		8		15
	2		9		16
	3		10		17
	4		11		18
	5		12		19
	6		13		20
	7		14		21



1 Context Plan - Google Maps
1:01 Scale: NTS



2 ZONING CONTEXT - RVC ZONING MAP
1:01 Scale: NTS

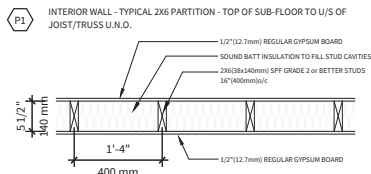


3 Existing Site Conditions - Google Maps
1:01 Scale: NTS

CONSULTANTS							
 PRIME CONSULTANT	hunter tristan DESIGN CONSULTANT	SURVEY CONSULTANT	ENGINEERING CONSULTANT	JOIST & TRUSS SUPPLIER	HVAC TECHNICIAN	CONSULTANT	CONSULTANT
Lukus Developments 123 ST Calgary, Alberta POSTAL TEL: 403 891 1483 FAX: 403 605 0688	hunter tristan design 700, 1816 Crowchild Trail N.W. Calgary, Alberta T2M 3Y7 TEL: 403 891 1483 FAX: 403 220 1389 www.HunterTristan.com	ABC INC 123 ST Calgary, Alberta POSTAL TEL: 403 111 1111 FAX:	ABC INC 123 ST Calgary, Alberta POSTAL TEL: 403 111 1111 FAX:	ABC INC 123 ST Calgary, Alberta POSTAL TEL: 403 111 1111 FAX:	ABC INC 123 ST Calgary, Alberta POSTAL TEL: 403 111 1111 FAX:	ABC INC 123 ST Calgary, Alberta POSTAL TEL: 403 111 1111 FAX:	ABC INC 123 ST Calgary, Alberta POSTAL TEL: 403 111 1111 FAX:

PARTITION ASSEMBLIES

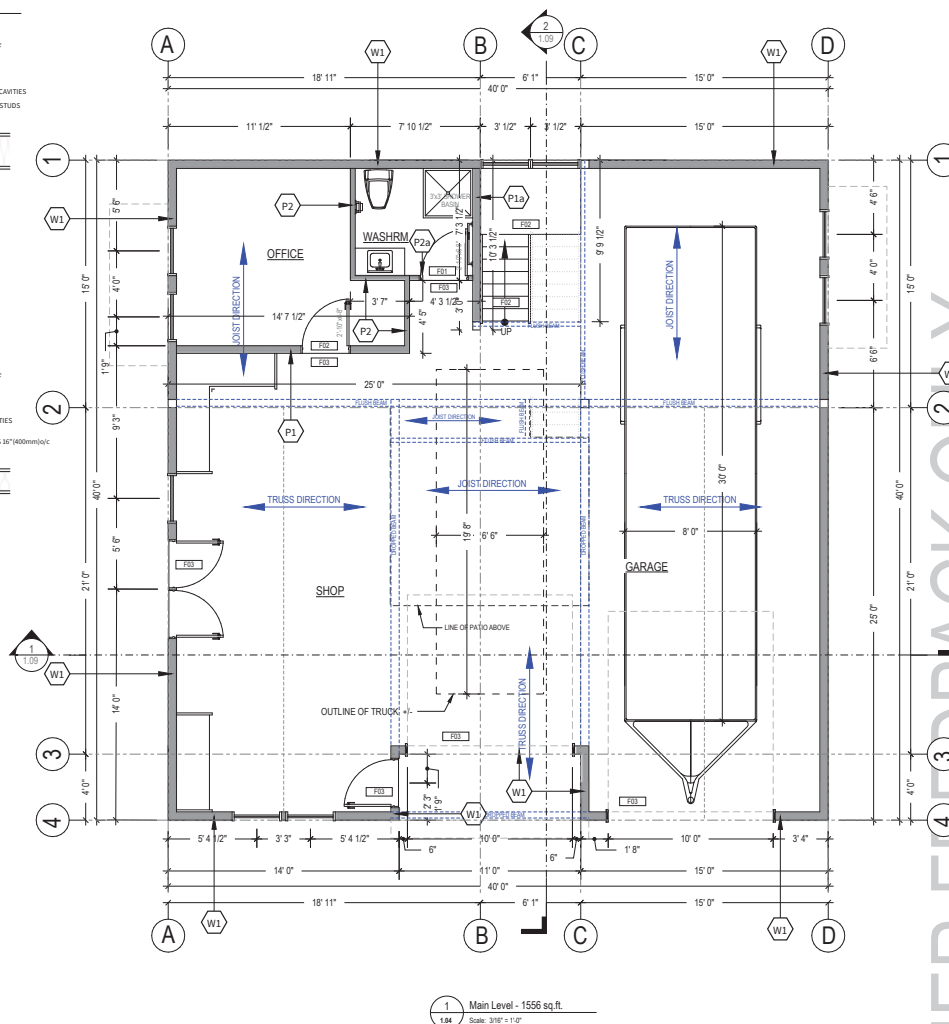
INTERIOR WALL - TYPICAL 2X6 PARTITION - TOP OF SUB-FLOOR TO U/S OF
JOIST/TRUSS U.N.O.



P1c SIMILAR TO P1
-NO SOUND BATT INSULATION
-GYPSUM BOARD ONE SIDE ONLY



P2c SIMILAR TO P2
-NO SOUND BATT INSULATION
-GYPSUM BOARD ONE SIDE ONLY



FLOOR	TYPE	NOTES
F01	TILE	
F02	VINYL PLANK	WOOD LOOK. NON-SLIP, NON-COMBUSTIBLE
F03	EXP CONCRETE	SEAL ED

CEILING	TYPE	NOTES
C01	DRYWALL	DRYWALL - TAPED, SANDED, PRIMED
C02	DRYWALL	SMOOTH

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- CONTRACTOR IS RESPONSIBLE FOR BYLAWS AND CODES OBTAINED OR CHECKED PERTAINING TO THIS PROJECT - CONSTRUCTION AND SUB-TRADES TO VERIFY ALL CONSTRUCTION AND INSTALLATIONS ARE TO LATEST EDITION OF ABC & LOCAL GOVERNING AUTHORITIES - DESIGNER TO BE NOTIFIED IMMEDIATELY ON ANY VIOLATION AND CAN BE MADE BEFORE CONSTRUCTION STARTS
- CITY INSPECTORS TO VERIFY ALL CONSTRUCTION TO CODE & BYLAWS ARE BEFORE CITY INSPECTIONS BEFORE BEING COVERED
- ALL MATERIALS ARE APPROVED AND MUST BE VERIFIED ON SITE BEFORE CONSTRUCTION STARTS AND/OR MATERIAL ORDERED (EXISTING FOUNDATIONS, REINFORCEMENTS & CONCRETE), INTERIOR PARTITION EXISTING FOUNDATIONS, ROOFING, MECHANICAL, ELECTRICAL, PLUMBING, HVAC, AND AIR CONDITIONING WILL UNDOUBTINGLY COME UNDER RULES & REGULATIONS AND DESIGN
- ALL WORK TO MEET SATISFACTION OF BUILDING OWNERS BEFORE COMMENCEMENT OF NEXT PHASE OF CONSTRUCTION
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- CONTRACTOR SHALL BE RESPONSIBLE FOR THE ABOVE TYPICAL CASE PHOTOGRAPHS

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Project Address(s)
36 Meadow Bay

Legal Address

Lot(s) 01, Block 06, Plan 891 0424

Client(s)/Project	Project Manager	Project Start Date	Project End Date	Project Status	Project Description	Project Budget	Project Actuals	Project Variance	Project Risk	Project Impact	Project Lessons Learned
Client A	John Doe	2010-01-01	2010-03-31	Completed	Project A Description	\$100,000	\$100,000	\$0	Low	High	Project A Lessons Learned
Client B	Jane Smith	2010-04-01	2010-06-30	In Progress	Project B Description	\$200,000	\$150,000	-\$50,000	Medium	Medium	Project B Lessons Learned
Client C	Mike Johnson	2010-07-01	2010-09-30	On Hold	Project C Description	\$150,000	\$100,000	-\$50,000	High	Low	Project C Lessons Learned
Client D	Sarah Brown	2010-10-01	2010-12-31	Not Started	Project D Description	\$120,000	\$0	-\$120,000	Low	High	Project D Lessons Learned

Lukus Developments - Shop & Dwelling Makeover

Title
Main Level

Scale

As Indicated

Development Permit Number	
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DP-2019-

True North

Building Pe

BP-2019-



Project North

Page Type

Agenda

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BUILDING CODES
CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE
ADDITIONAL TO PLANS CAN BE MADE BEFORE CONSTRUCTION STARTS
LOCAL INSPECTIONS TO VERIFY ALL CONSTRUCTION TO CODE & PLANS ARE MET WITH
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CONSTRUCTION STARTS AND/OR MATERIAL ORDERED EXISTING FOUNDATIONS,
FOUNDATIONS & CONCRETE, INTERIOR PARTITION APPLICATIONS
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Version	Description	Date
4		
3		
2		
1	CLIENT FEEDBACK	Apr 22, 2019

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Project Address(s)
36 Meadow Bay

Legal Address
Lot(s) 01, Block 06, Plan 891 0424

Client(s)/Project
Lukus Developments - Shop & Dwelling
Makeover

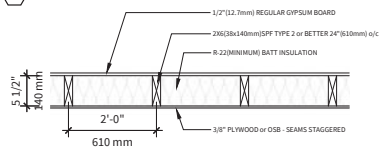
Title
Loft Level

Scale
As Indicated
Development Permit Number
DP-2019-
Building Permit Number
BP-2019-

Project North
Page Type
Page Number

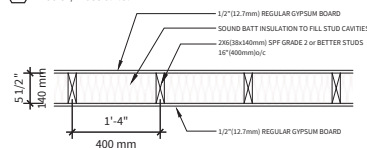
WALL ASSEMBLIES

EXTERIOR WALL - NAILING PATTERNS AS PER CURRENT ABC



PARTITION ASSEMBLIES

INTERIOR WALL - TYPICAL 2X6 PARTITION - TOP OF SUB-FLOOR TO U/S OF JOIST/TRUSS U.N.O.

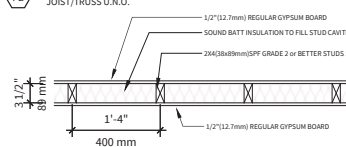


P1a SIMILAR TO P1
-NO SOUND BATT INSULATION

P1b SIMILAR TO P1
-GYPSUM BOARD ONE SIDE ONLY

P1c SIMILAR TO P1
-NO SOUND BATT INSULATION
-GYPSUM BOARD ONE SIDE ONLY

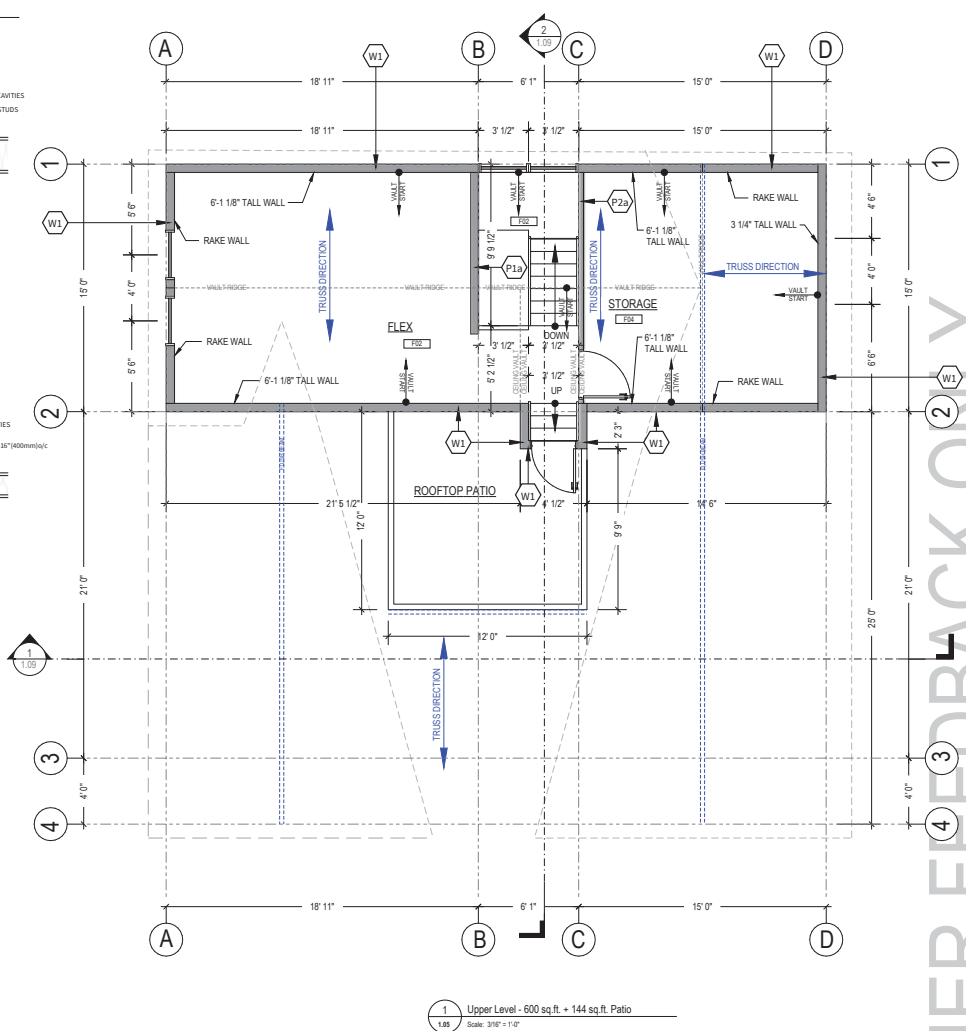
INTERIOR WALL - TYPICAL 2X4 PARTITION - TOP OF SUB-FLOOR TO U/S OF JOIST/TRUSS U.N.O.



P2a SIMILAR TO P2
-NO SOUND BATT INSULATION

P2b SIMILAR TO P2
-GYPSUM BOARD ONE SIDE ONLY

P2c SIMILAR TO P2
-NO SOUND BATT INSULATION
-GYPSUM BOARD ONE SIDE ONLY

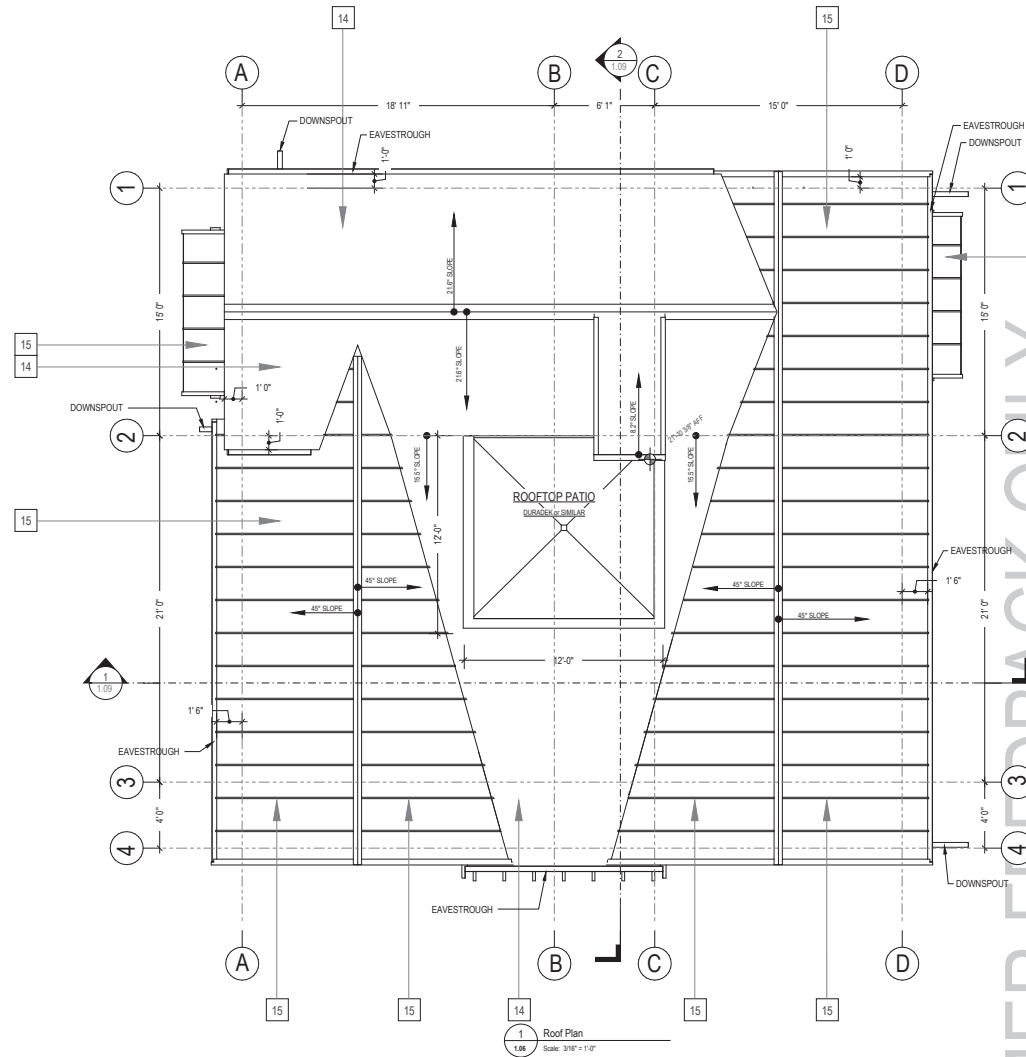


1 Upper Level - 600 sq.ft. + 144 sq.ft. Patio
1.05 Scale: 3/16" = 1'-0"


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1 Roof Plan
Scale: 3/16" = 1'-0"

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Version	Description	Date
4		
3		
2		
1	CLIENT FEEDBACK	Apr 22, 2019
Drawn By: LHUC Checked By:		
General Contractor		
 403 605 0688		
Marketing & Sales		
000 000 0000		
Project Address(s) 36 Meadow Bay		
Legal Address Lot(s) 01, Block 06, Plan 891 0424		
Client(s)/Project Lukus Developments - Shop & Dwelling Makeover		
Title Roof Plan		
Scale As Indicated	Development Permit Number DP-2019-	
True North	Building Permit Number BP-2019-	
Project North	Page Type	Page Number

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THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL WORK TO BE IN ACCORDANCE WITH ALL INSPECTIONS BEFORE BEING COVERED.

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CONTRACTOR/CLIENT RESPONSIBLE FOR ALL WORKS TO BE IN ACCORDANCE WITH UNDERLYING CHINA PRACTICE & REGULATORY DESIGNER'S LOCAL BUILDING CODES TO MEET SATISFACTION OF BUILDING COUNTEMBER BEFORE, DURING & AFTER CONSTRUCTION.

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Version	Description	Date
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1	CLIENT FEEDBACK	Apr 22, 2019

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Project Address(s)
36 Meadow Bay

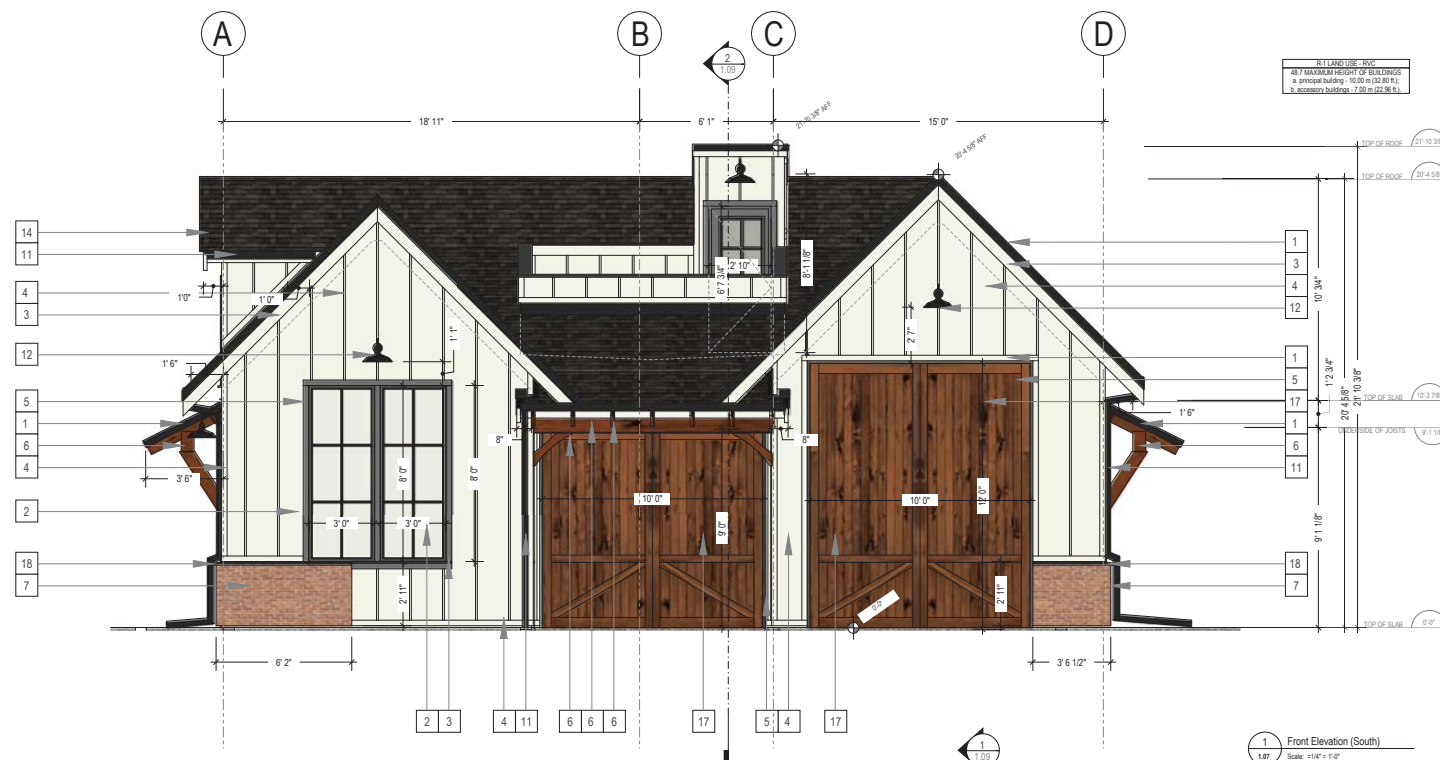
Legal Address
Lot(s) 01, Block 06, Plan 891 0424

Client(s)/Project
Lukus Developments - Shop & Dwelling
Makeover

Title
Elevations

Scale As Indicated	Development Permit Number DP-2019-
True North 	Building Permit Number BP-2019-

Project North
Page Type
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CONSTRUCTION AND INSTALLATIONS ARE TO LATEST EDITION OF ALL LOCAL
BUILDING DEPARTMENTS.
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4		
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Project Address(s)

36 Meadow Bay

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Client(s)/Project

Lukus Developments - Shop & Dwelling
Makeover

Title
Elevations

Scale

As Indicated

Development Permit Number

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1	CLIENT FEEDBACK	Apr 22, 2019

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36 Meadow Bay

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Client(s)/Project
Lukus Developments - Shop & Dwelling
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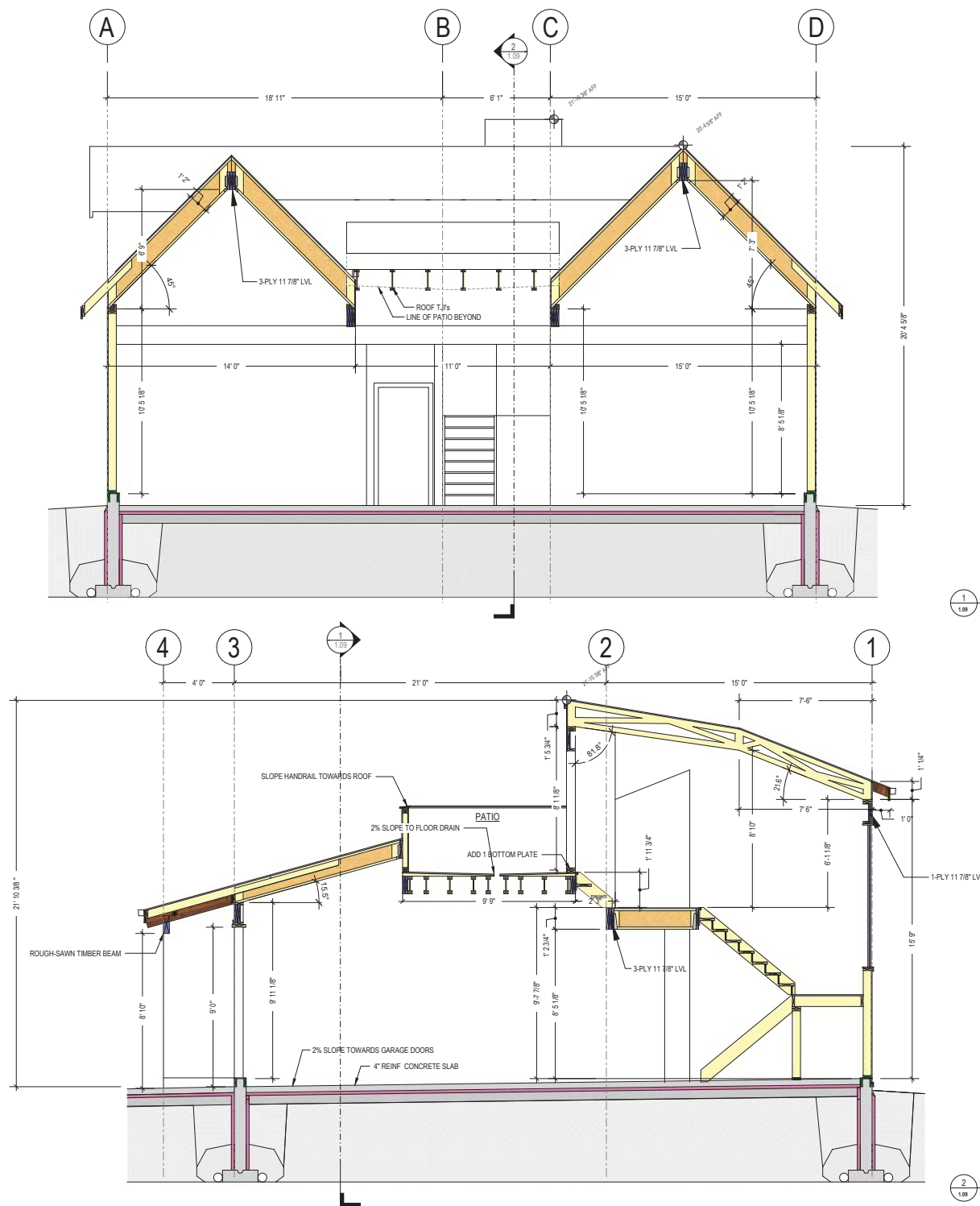
Sections

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True North 	Building Permit Number BP-2019-

Project North	Page Type	Page Number
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Agenda

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LAW BUILDING CODES & REGULATIONS AND CODES
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1	CLIENT FEEDBACK	Apr 22, 2019

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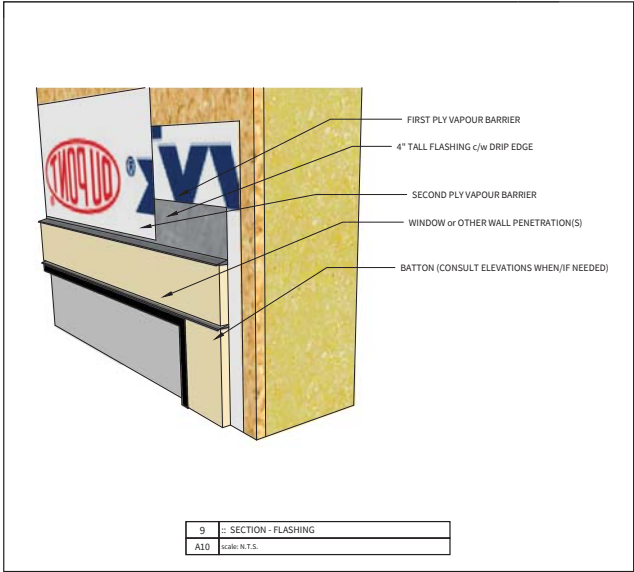
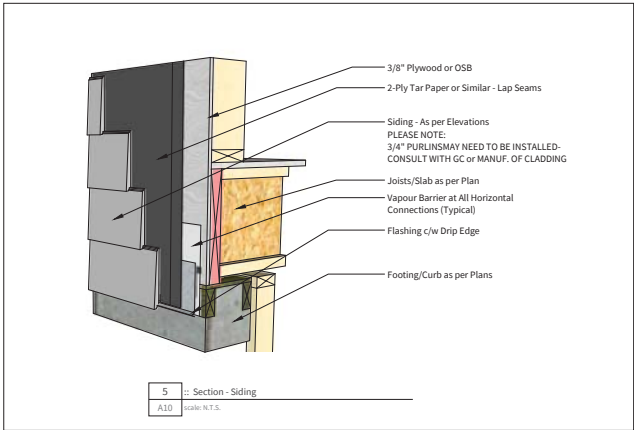
Legal Address
Lot(s) 01, Block 06, Plan 891 0424

Client(s)/Project
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Makeover

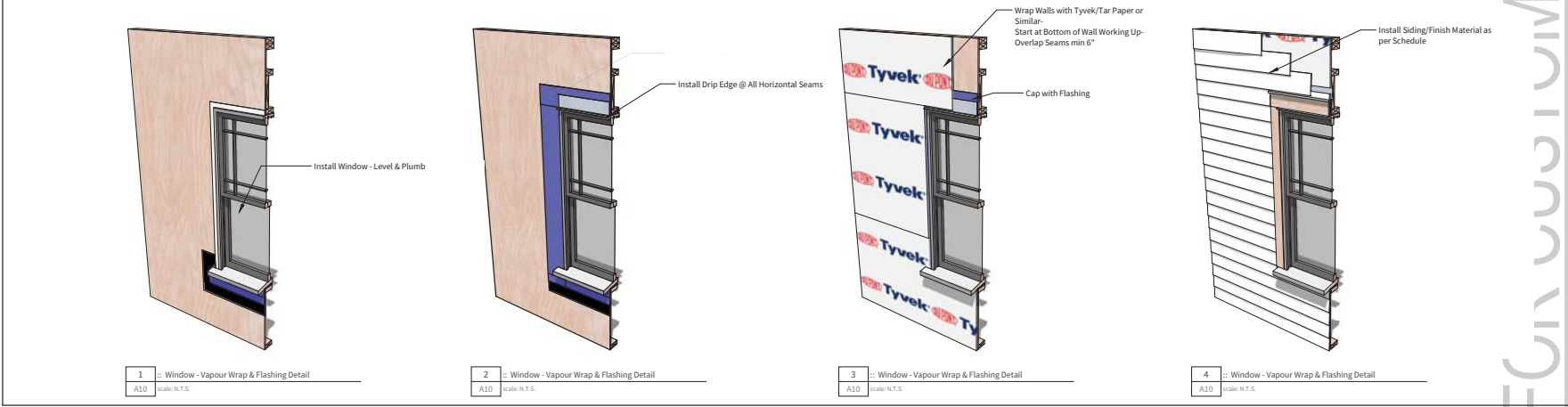
Title
Exterior Cladding, Window Wrap, Etc

Scale	Development Permit Number
As Indicated	DP-2019-
True North	Building Permit Number
	BP-2019-

Project North	Page Type	Page Number



EXTERIOR WALL - VAPOUR BARRIER & WINDOW INSTALL DETAIL





FOR CUSTOMER FEEDBACK ONLY

Page 30 of 113

AINS	Albers Building Code	m	Metre	T/G	Tounge and Groove
ACS	Acoustic Insulation	M/F	Milwolk (Type)	T/GS	Tempered Glass
ABM	Air Barrier Membrane	M/F	Metal Acoustic Ceiling Tile	T/NIS	Tapered Insulation
ACT	Acoustic Ceiling Tile	MAX	Maximum	TBC	To Be Confirmed
ADD	Adding	MDF	Medium Density Fiberboard	TBD	To Be Determined
ADJ	Adjustable	MECH	Mechanical	TEL	Telephone
ADO	Automatic Door Opener	MTL	Metal	TEMP	Temper
ADF	Above Finished Floor	MF(F)	Milwolk Finish (Type No.)	TERR	Terrazzo
AHJ	Air Handling Unit	MG	Make Good	TEX(F)	Textile (Type No.)
ALUM	Aluminum	MH	Maintenance Hole	TF(F)	Textile Flooring (Type No.)
ANOD	Anodized (Type No.)	MIN	Minimum or Minute	THK	Thick
APPROX	Approximate	MM	Millor	TI(F)	Traffic Topping (Type No.)
AWB	Air/Vapour Barrier	MISC	Miscellaneous	TOC	Top of Curb
AVP	Acoustic Wall Panel	MISC/MTL	Miscellaneous Metal	TOMS	Top of Concrete Slab
B/B/D	Backer Board	MLWK	Milwolk	TOP	Top of Ledger
BH	Bore Hole	mm	Millimetre	TOS	Top of Steel
BLDG	Building	MO	Masonry Opening	TOW	Top of Wall
BLK	Block	MTL	Metal	TP	Toilet Partition
BM	Benchmark	MAX	Maximum	TPH	Toilet Paper Holder
BOW	Back of Wall	MO	Masonry Opening	TR	Tread
BSMT	Basement	MECH	Mechanical	TSF	Textured Finish (Type No.)
BUP	Built Up Post	MEMBR	Membrane	TYF	Typical
C	Ceiling (Type No.)	MIN	Minimum		
CTR	Centre	MISCWB	Moisture-Resistant Gypsum Wall Board		
CL	Center Line	MTL	Metal	U/C	Undercut
C/C	Complete With	NE	North-east	U/S	Underside
C/O	Clear Out	NIC	Not In Contract	UNO	Unless Noted Otherwise
CB	Catch Basin	No	Number	UH	Unit Heater
CBD	Cement Board	NOM	Nominal		
CF	Ceramic Frit	NS	Non-slip (Slip Resistant)	VC(F)	Vinyl Composition Tile
CFR	Corner Gasket	NTS	Not To Scale	VERT	Vertical
CJ	Control Joint	NW	North-west	VEST	Vestibule
CKBD	Chalkboard	OC	On Center	VEN(F)	Venuer (Type Wall Covering)
CLJAN	Clear Anodized	OD	Outside Diameter	W/F	Wall Finish (Type No.)
CL/FIN	Clear Finish	OH	Opposite Hand	WC	Walk-in Closet
CL/GL	Clear Glass	OH/D	Overhead Door	w/	With
CL/WR	Clear Wired Glass	OPP	Opposite	W/GL	Wire Glass
CLG	Clear Ceiling	ORS	Oriented Strand Board	WP	Waterproof
CLR	Colour	OWSJ	Open Web Steel Joist	WDW	Woodlot
CMU	Concrete Masonry Unit	OWWJ	Open Web Wood Joist	WDPNL	Wood Panel
COL	Column	OZ	Ounce	WDU	Waste Disposal Unit
CONC	Concrete (Type No.)			WF(F)	Wall Finish (Type No.)
CONSTR	Construction	PW	Plumbing (Type No.)	WIC	Washroom Accessory
CONST/JT	Construction Joint	PCC	Pre-Cast Concrete	WM	Wire Mesh
CONT	Continuous	P/CONC	Pre-Cast Concrete	WMD	Wire Mold
CPH	Complete Plastic Hardware	P/TER	Precast Terrazzo	WP	Waterproof
CT(F)	Carpet (Type No.)	PERF	Perforated	WPM	Waterproofing Membrane
CTH	Countertop (Type No.)	PREFIN	Prefinished	WR	Washroom
CP	Cold Water	PH	Plastic Hardware	WS	Weather Stripping (perimeter)
DEPT	Department	PLH	Plaster (Type No.)	WB(F)	Wall Base
DF	Drinking Fountain	PLAMH	Plastic Laminate		
DIA	Diameter	PLUMB	Plumbing	YD (F)	Yard
DN	Down	PLY	Plywood		
DWG	Drawing	POL	Polym		
EA	Each	PPT	Prime Painted		
EAC	Electric Hold Open	PREFAB	Prefabricated		
ELEC	Electrical	PROJ	Projection		
ELEV	Elevator	PRTR	Pressure Treated		
EQ	Equipment	PSF	Pounds per Square Foot		
EQUIP	Equipment	PSI	Pounds per Square Inch		
EXIST	Existing	PT	Pressure Treated		
EXP/ST	Exposed Structure	PT(F)	Paint (Type No.)		
EXPN/UT	Exterior	PTN	Portion		
EXT	Exterior	PVA	Polyvinyl Acetate		
		PVC	Polyvinyl Chloride		
F/INS	Foamed Insulation	Q	Quantity		
FA	Fire Alarm	R	Radius		
FCU	Fan Coil Unit	R.C.	Reinforced Concrete		
FD	Floor Drain	R.I	Rigid Insulation		
FEC	Fire Extinguisher Cabinet	RAD	Radiator		
FF(F)	Finished Floor (Type No.)	RO	Roof Drain		
FFL	Finished Floor Level	REC	Recessed		
FI	Fire Hydrant	REF	Reference		
FNC	Fire Nose Cabinet	REV	Revision		
FN	Finish	RM	Room		
FL	Floor or Flooring	RO	Rough Opening		
FLGR	Floor Grille	RPM	Revolutions Per Minute		
FLOUR	Flourescent	RSB	Resilient Sound Bar		
FR	Fire-rated	RS(F)	Resilient Sheet Flooring		
FSR	Fire-Rated Resistance	RT(F)	Resilient Tile (F)		
FRL	Fire-rated Glass	RTU	Room Top-Up Tile		
Fridge	Refrigerator	RUB	Rubber		
FRTFR	Fire Retardant Treated	RWF(F)	Resilient Wood Flooring		
FS	Full-size	RWL	Rainwater Leader		
FT(F)	Floor Tile	S/G/L	Spandrel Glass		
G	Gauge	SB	Shed Slat		
GALV	Galvanized	SBO	Supplied By Owner (for contractor installation)		
GBR	Grab Bar	SCR	Screen		
GL (F)	Glass (Type No.)	SC	Solid Core		
GLZ	Glazing	SD	Soap Dispenser		
GWB	Gypsum Wall Board	SE	Sealant		
GWG(F)	Georgian Wired Glass	SECTION	Section		
H	Height	SF/INS	Sprayed Fiberglass Insulation		
H/F	Hardware (Type No.)	SFG	Sprayed Fireproofing		
H/CONC(F)	Hardened Concrete (Type No.)	SGU	Sealed Glazing Unit		
HB	Hole Bib	SLD	Similar		
HC	Hollow Core (Door)	SLS	Sealed		
HCP/A	Handicapped-Accessible	SND	Sanitary Napkin Dispenser		
HDRL	Handrail	SNR	Sanitary Napkin Receptor		
HM	Hollow Metal	SP/P	Speaker Panel		
HD/RZ	Horizontal	SPEC	Specification		
H	High	SFF	Spruce/Pine/Fir		
HM	Hollow Metal	SPR	Sprinkler		
HP	High Point	SQ	Square		
HR	Hour	SR/INS	Semi-Rigid Insulation		
HSS	High Strength Steel	ST	Stain		
HVAC	Heating, Ventilating, And Air Conditioning	STD	Standard		
IRGW/B	Impact Resistant Gypsum Wall Board	STL	Steel		
INT	In Line Of	STL/D	Steel Deck		
INSUL	Insulated or Insulation	STN(F)	Stone(F)		
INT	Interior	STRC	Structural		
JAN	Janitor	SUSP	Suspended		
JT	Joint	SVC	Sprinkler Valve Cabinet		
L	Length	SV(F)	Sheet Vinyl Flooring		
L (F)	Lighting (Type No.)	SVSF	Sheet Vinyl Safety Flooring		
LAM	Laminated	SW	Southwest		
L/GL	Laminated Glass				
LAU	Lavatory				
LOG	Log of Gutter				
L/P	Low Point				
LVL	Level				

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Agenda

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1. ALL COLOURS ARE TO BE SPECIFIED BY THE OWNER, UNLESS NOTED OTHERWISE

Hunter & Tristan Design®



PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision and Development Appeal Board

DATE: November 20, 2019 **DIVISION:** 5

FILE: 04328013 **APPLICATION:** B-2; PRDP20193201

SUBJECT: Construction of an accessory building (oversized and over-height storage building), relaxation of the maximum building area for an accessory building, and relaxation of the maximum building height for an accessory building.

APPEAL DATE: October 22, 2019	DEVELOPMENT AUTHORITY DECISION DATE: October 16, 2019
APPELLANT: Thomas Jacob (Alta Genetics Inc.)	APPLICANT: Thomas Jacob (Alta Genetics Inc.)
LEGAL DESCRIPTION: NE-28-24-28-W04M	MUNICIPAL ADDRESS: 244151 Range Road 283
Land Use Designation: Agricultural Holdings District (AH)	Gross Area: ± 20 acres
DISCRETIONARY USE: Accessory buildings greater than 190.00 sq. m (2,045.14 sq. ft.) building area on parcels less than 16.20 hectares (40.03 acres).	DEVELOPMENT VARIANCE AUTHORITY: As per Section 12 of the Land Use Bylaw, the Development Authority may apply a variance up to 10% of the maximum building area for an accessory building, and up to 25% of the maximum building height if the variance would not materially interfere with or affect the use, enjoyment or value of the neighbouring properties.
PUBLIC SUBMISSIONS: The application was circulated to 60 adjacent landowners. At the time this report was prepared, no letters were received in support or objection to the application.	LAND USE POLICIES AND STATUTORY PLANS: <ul style="list-style-type: none"> •County Plan •Land Use Bylaw •Conrich Area Structure Plan •Buffalo Hill Conceptual Scheme

EXECUTIVE SUMMARY:

The proposal is for the construction of an accessory building (oversized and over-height storage building), relaxation of the maximum building area for an accessory building, and relaxation of the maximum building height for an accessory building.

The size of the proposed accessory building exceeds the discretionary value of 190.00 sq. m (2,045.14 sq. ft.) and would require a relaxation of 76%. The Development Authority only has the ability to grant a relaxation up to 10.00% of the building area for an accessory building under Section 12 of the Land Use Bylaw. As such, the proposed size of the accessory building is included as a reason for refusal of the application.



The proposed accessory building also exceeds the maximum height allowed under the Land Use Bylaw, and would require a relaxation of 104.5%. The Development Authority only has the ability to grant a relaxation up to 25% of the building height under Section 12 of the Land Use Bylaw. As such, the proposed height of the accessory building is included as a reason for refusal of the application.

PROPERTY HISTORY:

2006	Development Permit (2005-DP-11793) for Agriculture, General, for cattle reproduction, construction of a laboratory building was Issued on June 27, 2006.
------	--

APPEAL:

See attached report and exhibits.

Respectfully submitted,

Sean MacLean
Supervisor, Planning and Development Services

JKwan/lt

DEVELOPMENT PERMIT REPORT

Application Date: September 6, 2019	File: 04328013
Application: PRDP20193201	Applicant/Owner: Thomas Jacob (Alta Genetics Inc.)
Legal Description: NE-28-24-28-W04M	General Location: Located in the Conrich area, approximately 0.81 km (1/2 mile) north of Highway 1 and on the west side of Range Road 283.
Land Use Designation: Agricultural Holdings District (AH)	Gross Area: ± 20 acres
File Manager: Johnson Kwan	Division: 5

PROPOSAL:

The proposal is for the construction of an accessory building (oversized and over-height storage building), relaxation of the maximum building area for an accessory building, and relaxation of the maximum building height for an accessory building.

Section 46 Agricultural Holdings District (AH)

Section 46.3 Uses, Discretionary

Accessory buildings greater than 190.00 sq. m (2,045.14 sq. ft.) building area on parcels less than 16.20 hectares (40.03 acres).

- The proposed accessory building (oversized and over-height storage building) is approximately 334.45 sq. m (3,600 sq. ft.) in size.
- **The size of the proposed accessory building exceeds the discretionary value of 190.00 sq. m (2,045.14 sq. ft.) and would require a relaxation of 76%.**
- The Development Authority only has the ability to grant a relaxation up to 10.00% of the building area for an accessory building under Section 12 of the Land Use Bylaw. As such, the proposed size of the accessory building is included as a reason for refusal of the application.

Section 46.5 Setback Requirements

(b)(i) Front yard setback from a County Road:

- **Minimum:** 45.00 m
- **Proposed:** more than 60 m

(c)(iv) Side yard setback from all other:

- **Minimum:** 6.00 m
- **Proposed:** ± 80 m to the north; ± 90 m to the south

(d)(ii) Rear yard setback from all other:

- **Minimum:** 30.00 m
- **Proposed:** ± 140 m to the west

Section 46.7 Maximum height of accessory buildings

- **Permitted:** 5.50 m
- **Proposed:** ± 11.25 m
- **The proposed accessory building exceeds the maximum height allowed under the Land Use Bylaw, and would require a relaxation of 104.5%.**
- The Development Authority only has the ability to grant a relaxation up to 25% of the building height under Section 12 of the Land Use Bylaw. As such, the proposed height of the accessory building is included as a reason for refusal of the application.

Section 12 Decisions on Development Permit Applications

12.2 (c) Upon receipt of a completed application for a Development Permit for a use, discretionary, the Development Authority may decide upon an application for a Development Permit, notwithstanding that the proposed development does not comply with required yard, front, yard, side, yard, rear or building height dimensions set out in this Bylaw, if, in the opinion of the Development Authority, the granting of the variance would not:

- (i) unduly interfere with the amenities of the neighbourhood;*
- (ii) materially interfere with or affect the use, enjoyment, or value of the neighbouring properties and the amount of the variance does not exceed 25% of the required distance or height, or does not exceed 10% of the required maximum building area for an accessory building or does not exceed 10% of the required maximum floor area for an Accessory Dwelling Unit;*

Development Permit History:

PRDP20153081	Issued September 16, 2015; Renewal of Farm dwelling, mobile home.
2010-DP-14279	Issued November 9, 2010; Renewal of Farm dwelling, mobile home.
2005-DP-11793	Issued June 27, 2006; Agriculture, General, for cattle reproduction (existing), construction of a laboratory building.
2005-DP-11762	Issued December 6, 2005; Agriculture, General, for cattle reproduction (existing), re-construction of a building.
2005-DP-11571	Issued August 9, 2005; Renewal Dwelling, single wide mobile home for farm help.
2004-DP-10970	Issued July 27, 2004; Renewal Dwelling, single wide mobile home for farm help.
2003-DP-10431	Issued July 31, 2003; Renewal Dwelling, single wide mobile home for farm help.
2002-DP-9918	Issued August 8, 2002; Renewal Dwelling, single wide mobile home for farm help.

STATUTORY PLANS:

The subject land is located in the Conrich Area Structure Plan (C-7468-2015) and the Buffalo Hills Conceptual Scheme (C-6288-2006).

The Conrich Area Structure Plan Land Use Strategy (Map 5) identify the subject land as Future Policy Area. The objectives of the Future Policy area is to limit land use and development to agricultural

redesignation approved subdivisions, and allowed uses until the current land use districts, the hamlet of Conrich boundaries, community core, residential development areas, and other land uses are determined.

- In accordance with Policy 7.1, *Local plans, land use redesignation, and new subdivision shall not be supported within the future policy area, as shown on Map 5.*
- In accordance with Policy 7.2, *notwithstanding Policy 7.1, development consistent with Section 12: Agriculture of this plan shall be allowed.*
- In accordance with Policy 12.1, *Existing agricultural operations within the plan boundary are encouraged to continue until development of those lands to another use is deemed desirable and that use is determined to be in accordance with the policies of this plan.*

The Buffalo Hills Conceptual Scheme is a non-statutory document adopted by Council in 2006 via a Bylaw. The Conceptual Scheme identifies the subject land as future residential development (figure 5 of the Conceptual Scheme), In accordance with Policy 4.4.1 of the Conceptual Scheme, land uses within SE33 and NE28 shall include primarily residential dwellings and associated uses such as parks, schools, utilities and local convenience commercial.

INSPECTOR'S COMMENTS:

- Landscape along Range Road 283 and around the property
- Buildings not visible from the road

CIRCULATIONS:

City of Calgary

- The City of Calgary has reviewed the below noted circulated application referencing the Rocky View/Calgary Intermunicipal Development Plan (IDP) and other applicable policies.
- The City of Calgary has no comments regarding Application PRDP20193201 for construction of an oversized accessory building.

Building Services

- No objection to oversized accessory building, subject to Farm Location permit.

Engineering Services

- No comments.

Transportation Services

- Applicant to contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
- Any on site exterior lighting to be "dark sky" compliant.

Utility Services

- No concerns.

OPTIONS:

Option #1 (this would approve the construction of the accessory building with relaxations)

That the appeal against the decision of the Development Authority to refuse to issue a Development Permit for construction of an accessory building (oversized and over-height storage building), relaxation of the maximum building area for an accessory building, and relaxation of the maximum building height for an accessory building at NE-28-24-28-W04M (244151 Range Road 283) be upheld that the decision of the Development Authority be revoked, and that the Development Permit be issued, subject to the following conditions:

Description:

- 1) That an accessory building (oversized and over-height storage building) may be constructed on the subject land in general accordance with the site plan and drawings submitted with the application and the conditions set below.
 - a) That the maximum building area for the proposed accessory building (oversized and over-height storage building) is **relaxed from 190.00 sq. m (2,045.14 sq. ft.) to 334.45 sq. m (3,600 sq. ft.)**.
 - b) That the maximum building height for the proposed accessory building (oversized and over-height storage building) is **relaxed from 5.50 m to 11.25 m**.

Permanent:

- 2) That the proposed accessory building (oversized and over-height storage building) shall not be used for commercial purposes at any time, except for a Home-Based Business, Type I or an approved Home-Based Business, Type II.
- 3) That the accessory building (oversized and over-height storage building) shall not be used for residential occupancy at any time.
- 4) That the exterior siding and roofing materials of the proposed accessory building (oversized and over-height storage building) shall be similar to the existing dwelling, single-detached and accessory buildings.
- 5) That there shall be no more than 1.00 m (3.28 ft.) of fill placed adjacent to or within 15.00 m (49.21 ft.) of the proposed building under construction, which is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
- 6) That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

Advisory:

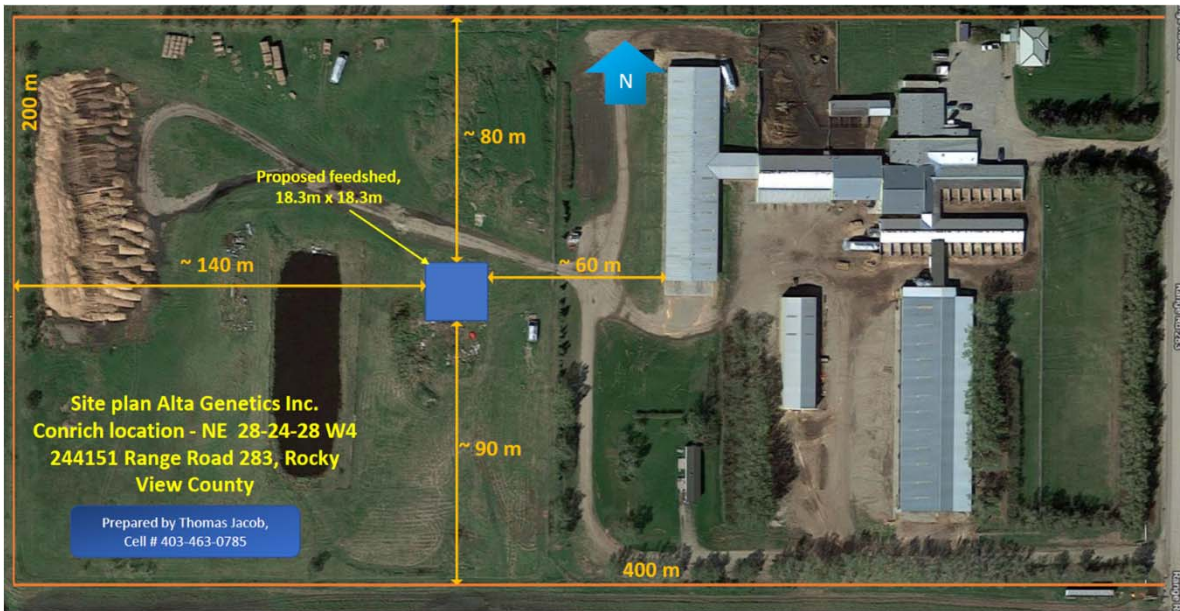
- 7) That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
- 8) That during construction of the Accessory Building, all construction and building materials shall be maintained on site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 9) That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
- 10) That a Building Permit and sub-trade permits shall be obtained through Building Services, prior to any construction taking place.



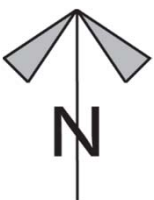
Option #2 (this would not approve the construction of the accessory building with relaxations)

That the appeal against the decision of the Development Authority to refuse to issue a Development Permit for construction of an accessory building (oversized and over-height storage building), relaxation of the maximum building area for an accessory building, and relaxation of the maximum building height for an accessory building at NE-28-24-28-W04M (244151 Range Road 283) be denied, that the decision of the Development Authority be confirmed.



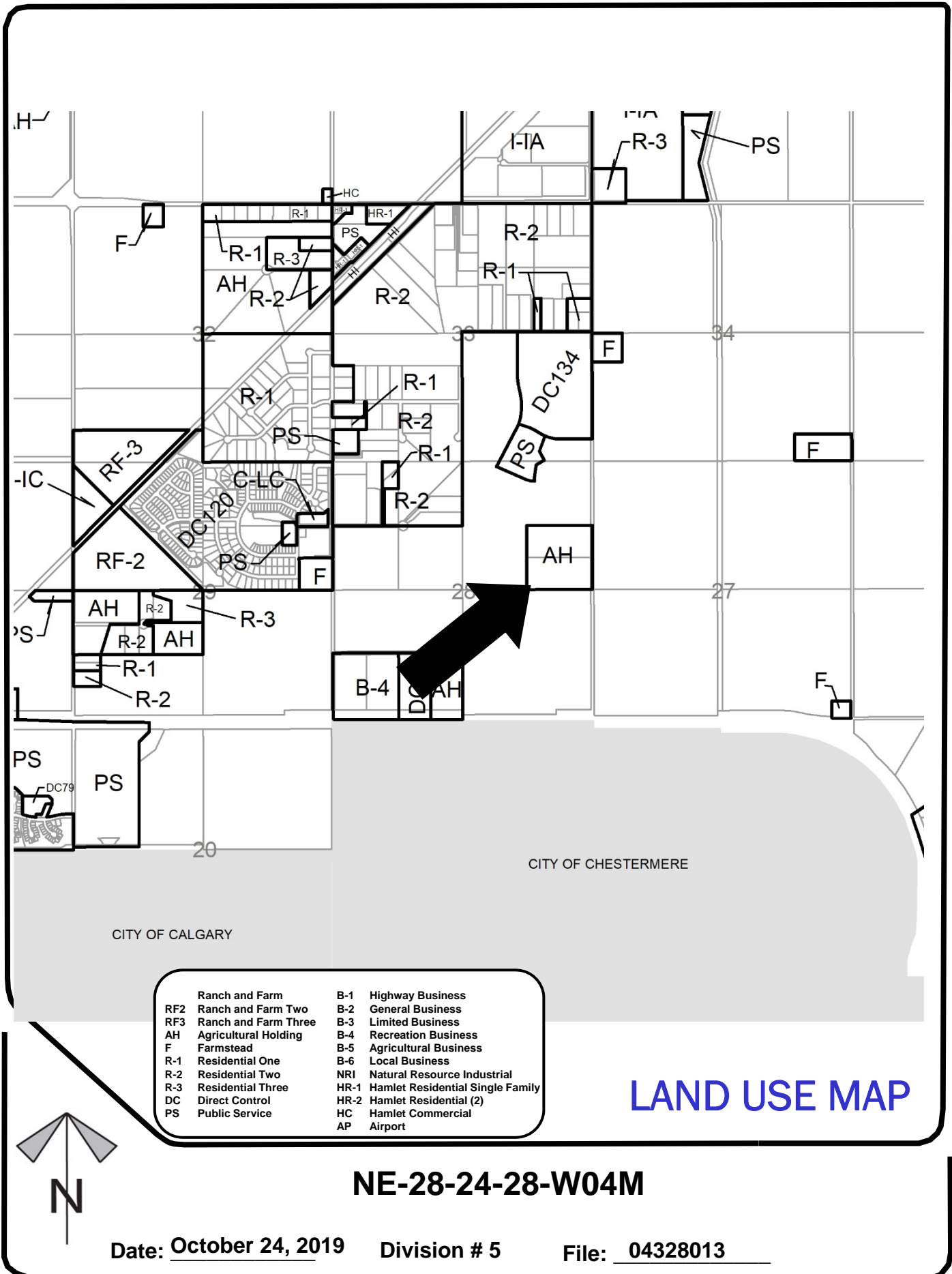


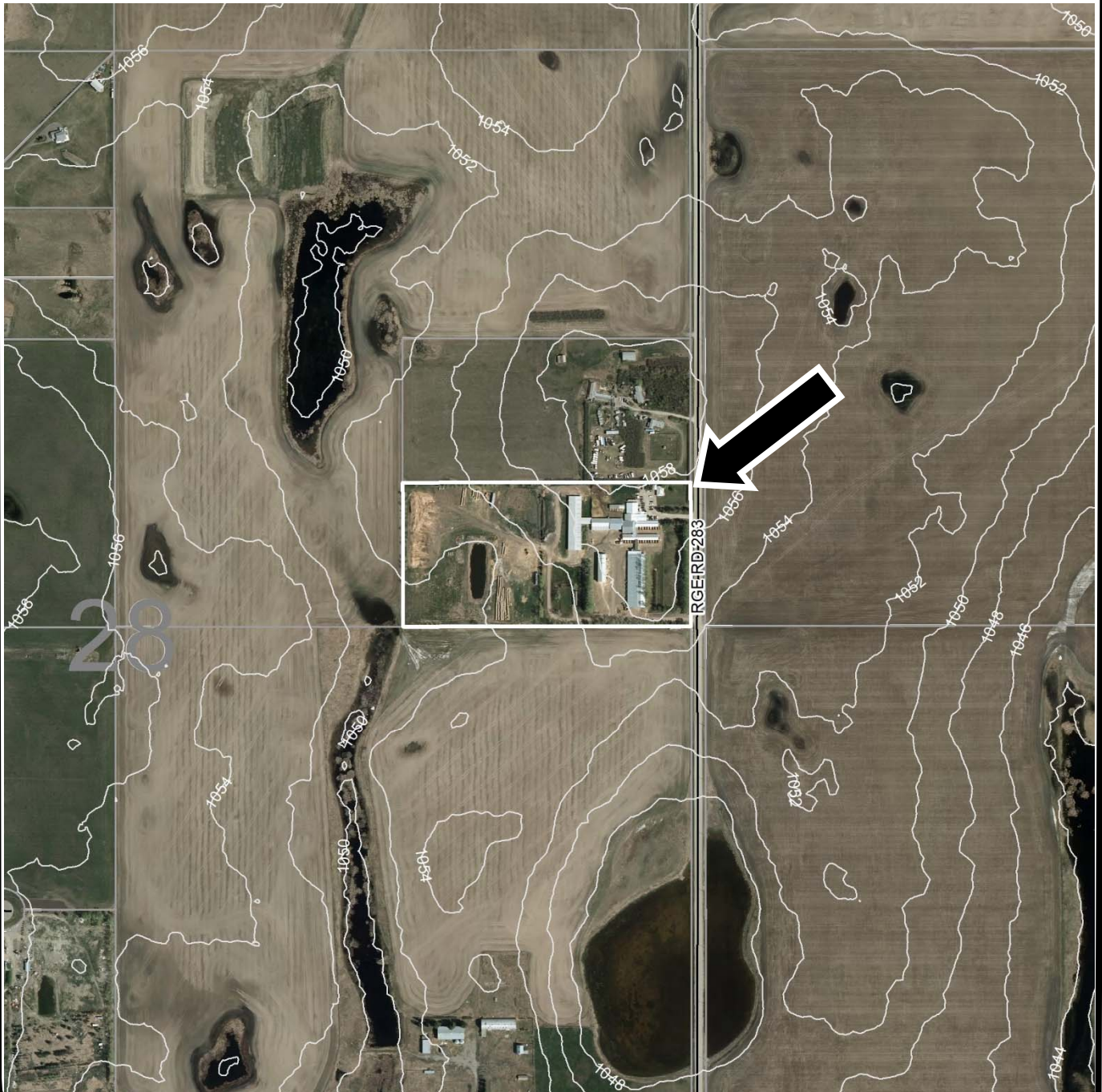
SITE PLAN



NE-28-24-28-W04M

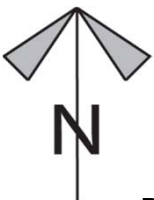
Date: October 24, 2019 Division # 5 File: 04328013





Contours are generated using 10m grid points, and depict general topographic features of the area. Detail accuracy at a local scale cannot be guaranteed. They are included for reference use only.

TOPOGRAPHY
Contour Interval 2 M



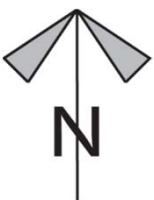
NE-28-24-28-W04M

Date: October 24, 2019 Division # 5 File: 04328013



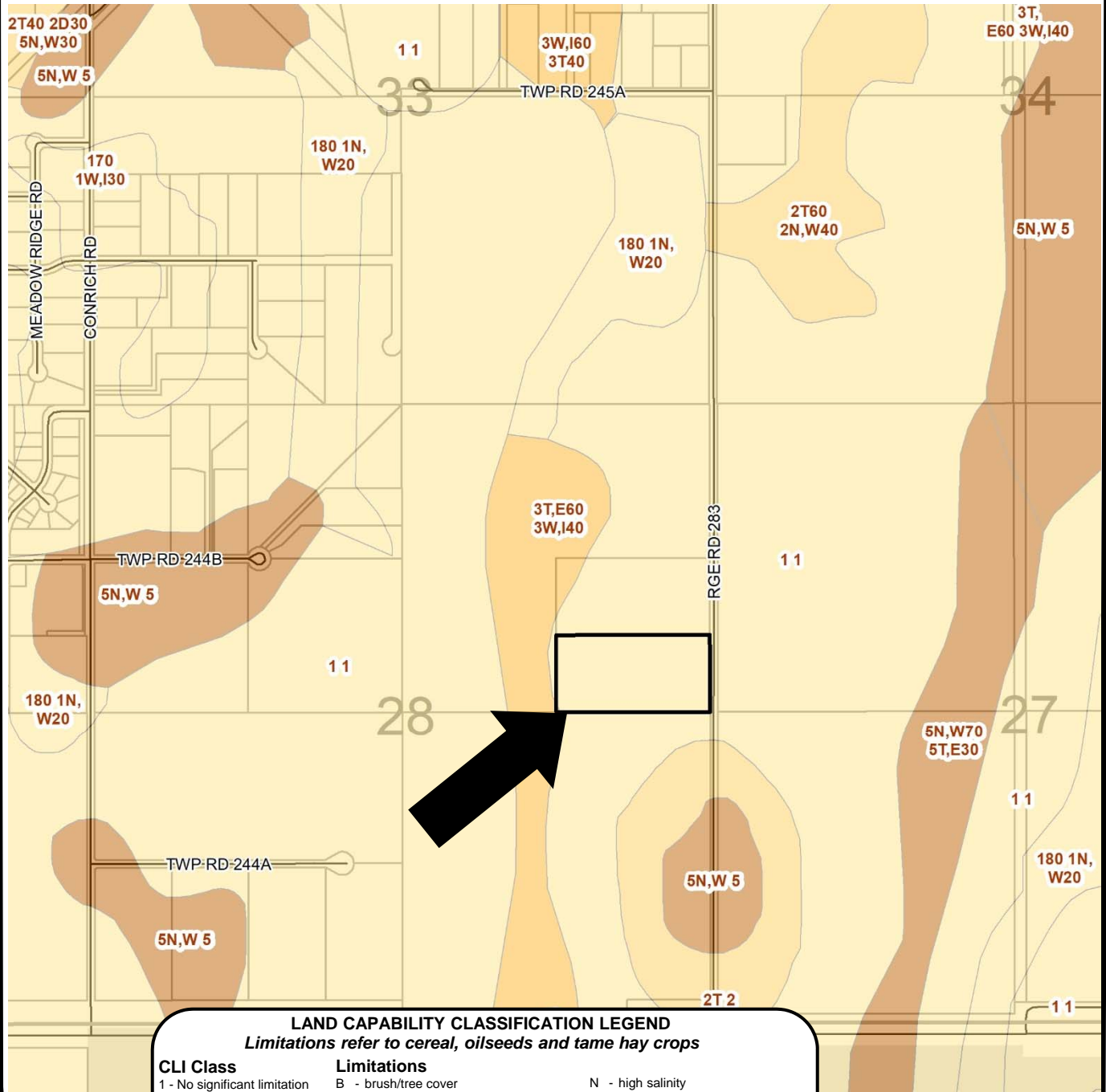
Note: Post processing of raw aerial
photography may cause varying degrees
of visual distortion at the local level.

AIR PHOTO
Spring 2018



NE-28-24-28-W04M

Date: October 24, 2019 Division # 5 File: 04328013



LAND CAPABILITY CLASSIFICATION LEGEND
Limitations refer to cereal, oilseeds and tame hay crops

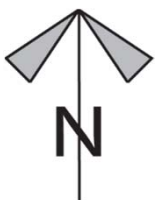
CLI Class

- 1 - No significant limitation
- 2 - Slight limitations
- 3 - Moderate limitations
- 4 - Severe limitations
- 5 - Very severe limitations
- 6 - Production is not feasible
- 7 - No capability

Limitations

- B - brush/tree cover
- C - climate
- D - low permeability
- E - erosion damage
- F - poor fertility
- G - Steep slopes
- H - temperature
- I - flooding
- J - field size/shape
- K - shallow profile development
- M - low moisture holding, adverse texture
- N - high salinity
- P - excessive surface stoniness
- R - shallowness to bedrock
- S - high sodicity
- T - adverse topography
- U - prior earth moving
- V - high acid content
- W - excessive wetness/poor drainage
- X - deep organic deposit
- Y - slowly permeable
- Z - relatively impermeable

SOIL MAP

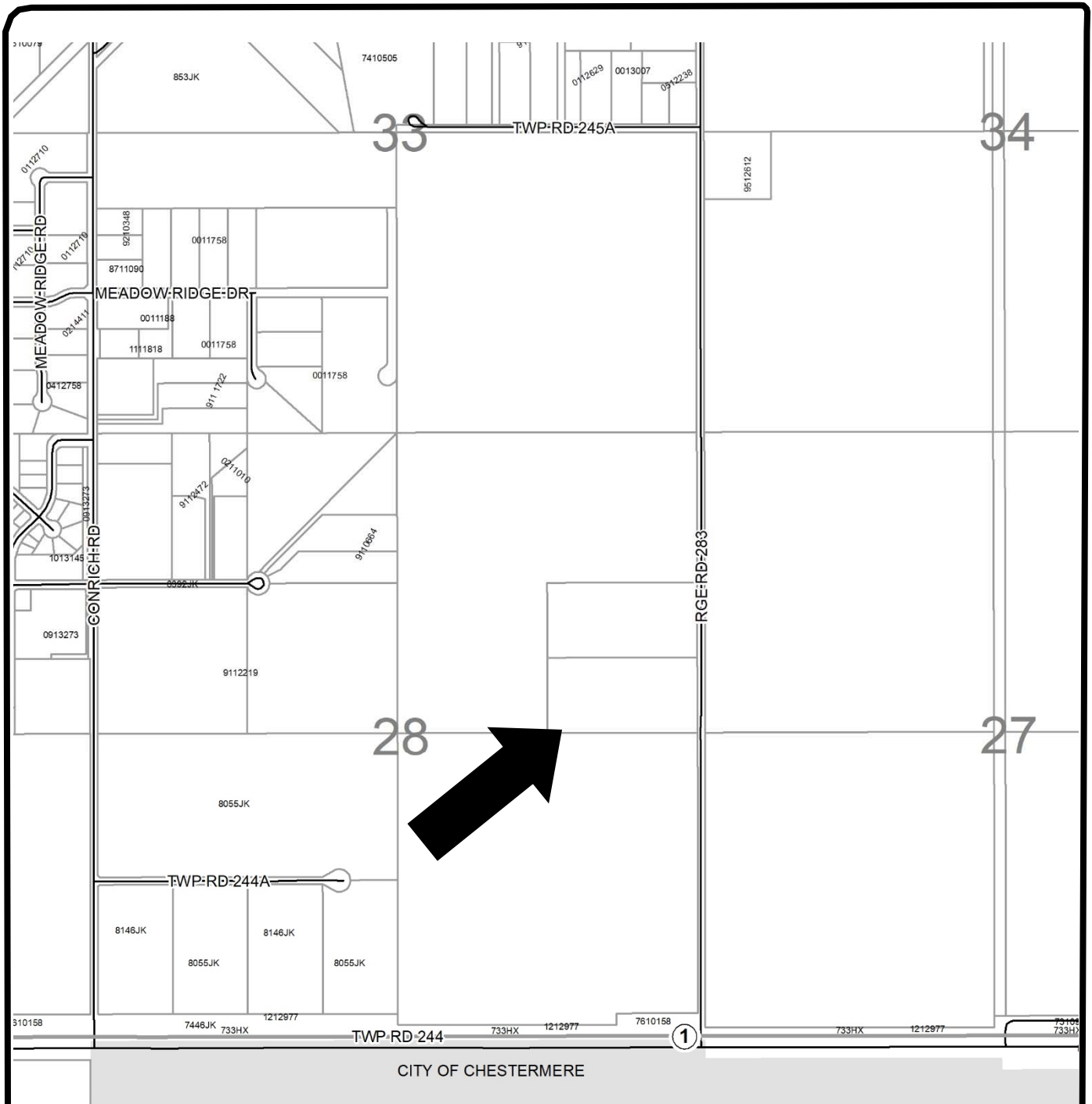


NE-28-24-28-W04M

Date: October 24, 2019

Division # 5

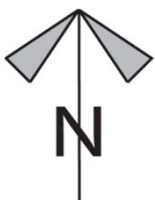
File: 04328013



Legend – Plan numbers

- First two numbers of the Plan Number indicate the year of subdivision registration.
- Plan numbers that include letters were registered before 1973 and do not reference a year

HISTORIC SUBDIVISION MAP

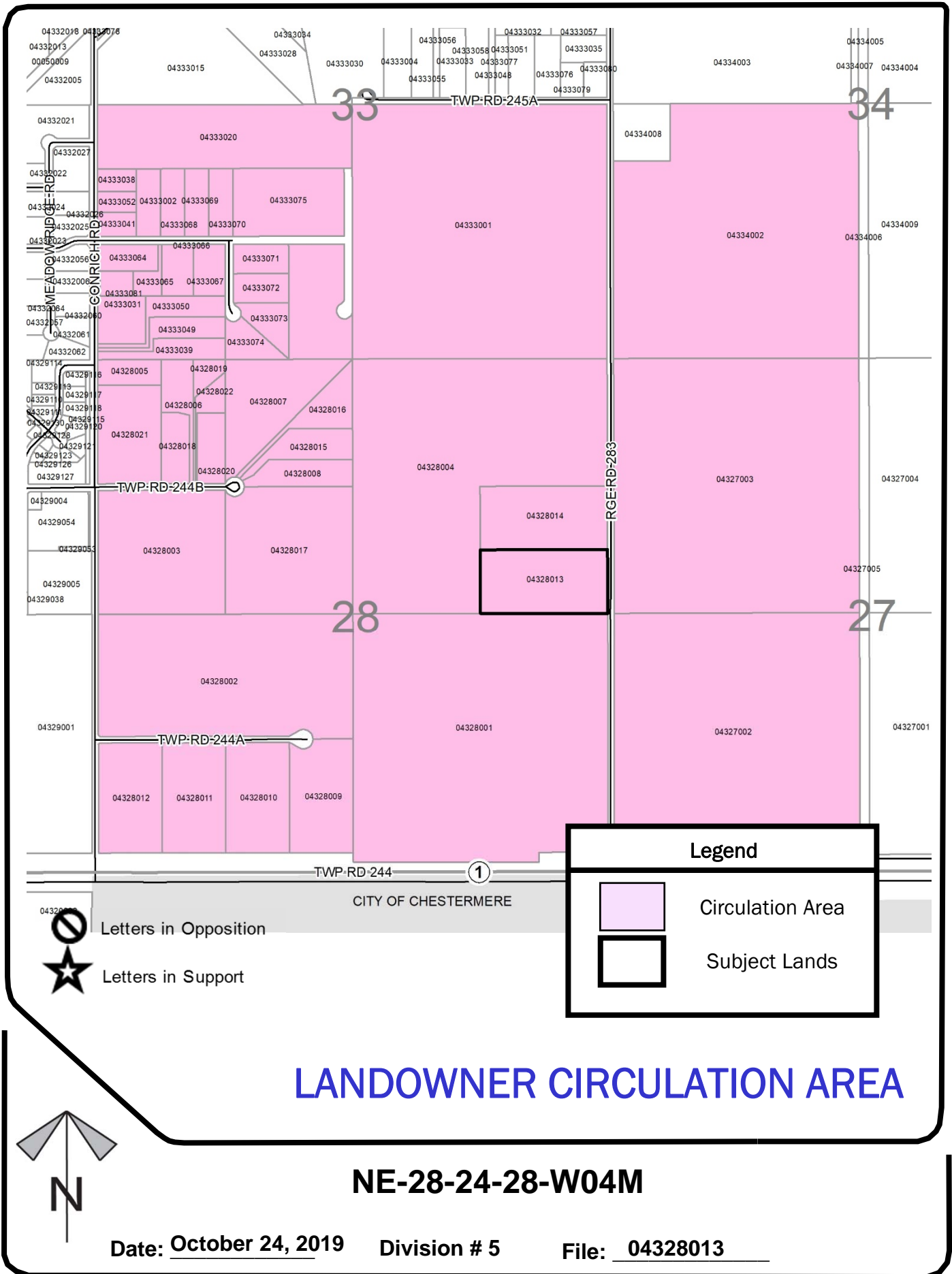


NE-28-24-28-W04M

Date: October 24, 2019

Division # 5

File: 04328013





Notice of Appeal

**Subdivision and Development Appeal Board
Enforcement Appeal Committee**

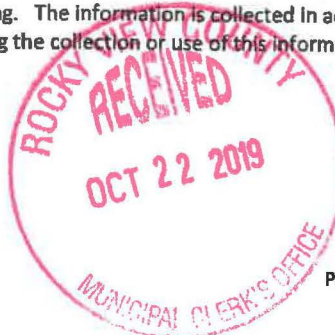
Appellant Information			
Name of Appellant(s) Thomas Jacob (Alta Genetics Inc.)			
Mailing Address 1-263090 Range Road 11		Municipality Rocky View County	Province AB
		Postal Code T4B 2T3	
Main Phone # 403-226-4207	Alternate Phone # 403-463-0785	Email Address thomas.jacob@urus.org	
Site Information			
Municipal Address 244151 Range Road 283		Legal Land Description (lot, block, plan OR quarter-section-township-range-meridian) NE-28-24-28-W04M	
Property Roll # 04328013		Development Permit, Subdivision Application, or Enforcement Order # PRDP20193201	
I am appealing: (check one box only)			
Development Authority Decision <input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input checked="" type="checkbox"/> Refusal	Subdivision Authority Decision <input type="checkbox"/> Approval <input type="checkbox"/> Conditions of Approval <input type="checkbox"/> Refusal	Decision of Enforcement Services <input type="checkbox"/> Stop Order <input type="checkbox"/> Compliance Order	
Reasons for Appeal (attach separate page if required)			
<p>We are appealing against the refusal of above development permit application for the following reasons:</p> <p>We need the square footage of the building to be able to store enough ground hay and baled hay under cover. We would like to do this to increase our feeding efficiency and maintain the best feed quality possible at our Conrich production centre.</p> <p>Ground hay is needed to allow the efficient delivery to our bulls, and we currently have a third-party contractor do the grinding twice a month. This is due to feed loss and doing smaller batches as the weather does affect feed quality.</p> <p>The current hay storage method is storing ground hay stacked outside and bale stacks covered with tarps. With the proposed storage shed we will be able to keep most bale stacks inside and the ground feed would all be undercover in the proposed building. This would decrease the feed loss due to wind and moisture and allow better feed quality delivered to our bulls.</p> <p>With the proposed storage building we will be able to decrease the traffic of hay grinding equipment to less than once a month and allow for more flexibility for hay deliveries with semitrucks. This especially gives an advantage if there are any seasonal road bans on Range Road 283.</p> <p>The proposed building height and square footage is necessary to be able to enter the proposed hay storage shed with a tractor and hay grinding equipment and to stack large square bales as efficiently as possible without increasing the overall footprint of the building.</p> <p>We appreciate the time you are taking to hear this appeal and allowing the proposed building will create some efficiencies for Alta genetics and reduces the semi and large equipment traffic on Range Road 283.</p> <p>Best regards Thomas Jacob</p>			

This information is collected for the Subdivision and Development Appeal Board or Enforcement Appeal Committee of Rocky View County and will be used to process your appeal and to create a public record of the appeal hearing. The information is collected in accordance with the *Freedom of Information and Protection of Privacy Act*. If you have questions regarding the collection or use of this information, contact the Municipal Clerk at 403-230-1401.

Appellant's Signature

Oct 22, 2019

Date



Last updated: 2018 November 13

Page 1 of 2



REFUSAL

Thomas Jacob (Alta Genetics Inc)
1-263090 Range Road 11
Rocky View County, AB T4B 2T3

Development Permit #: PRDP20193201

Date of Issue: October 16, 2019

Roll #: 04328013

Your Application dated September 6, 2019 for a Development Permit in accordance with the provisions of the Land Use Bylaw C-4841-97 of Rocky View County in respect of:

**construction of accessory building (oversized and over height storage building),
relaxation of maximum height and the maximum building area requirements**

at NE-28-24-28-W04M (244151 Range Road 283, Rocky View County AB)

has been considered by the Development Authority and the decision in the matter is that your application be **REFUSED** for the following reasons:

- 1) The size of accessory building exceeds the maximum permitted as defined in Section 46.3 of the Land Use Bylaw C-4841-97.
(Permitted – 190.00 sq. m (2,045.14 sq. ft.); Proposed – 334.45 sq. m (3,600 sq. ft.))
(Maximum variance – 10 %; requested – 76 %)
- 2) The height of the proposed accessory building exceeds the maximum permitted as defined in Section 46.7 of the Land Use Bylaw C-4841-97
(Permitted – 5.50 m (18.04 ft.); Proposed 11.25 m (36.9 ft.))
(Maximum variance – 25 %; Requested variance – 104.5%)

An appeal from this decision may be made to the Subdivision and Development Appeal Board of Rocky View County. Notice of Appeal to the Subdivision and Development Appeal Board from this decision shall be filed with the requisite fee of \$350 with Rocky View County no later than 21 days following the date on which this Notice is dated.

If you require further information or have any questions regarding the appeal process, please contact Legislative Services at 403-230-1401 or email sdab@rockyview.ca and include the application number.

Regards,

Rocky View County
Development Authority



ROCKY VIEW COUNTY
Cultivating Communities

20193201

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted \$265.00	File Number 04328013
Date of Receipt Sept 6/19	Receipt # 2019022022

Name of Applicant Thomas Jacob (Alta Genetics Inc) Email thomas.jacob@urus.org
 Mailing Address 1-263090 Range Road 11; Rocky View County, AB
T4B 2T3 Postal Code T4B 2T3
 Telephone (B) 403-226-4207 (H) 403-463-0785 Fax _____
 For Agents please supply Business/Agency/ Organization Name Alta Genetics Inc.

Registered Owner (if not applicant) Alta Genetics Inc.
 Mailing Address 1-263090 Range Road 11; Rocky View County, AB
T4B 2T3; Canada Postal Code T4B 2T3
 Telephone (B) 403-226-0666 (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

a) All / part of the NE ¼ Section 28 Township 24 Range 28 West of 4 Meridian
 b) Being all / parts of Lot _____ Block _____ Registered Plan Number _____
 c) Municipal Address 244151 Range Road 283
 d) Existing Land Use Designation AH Parcel Size 20 acres Division _____

2. APPLICATION FOR

Overheight + oversized accessory building

3. ADDITIONAL INFORMATION

a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No ☒
 b) Is the proposed parcel within 1.5 kilometres of a sour gas facility?
 (Sour Gas facility means well, pipeline or plant) Yes _____ No ☒
 c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No ☒
 d) Does the site have direct access to a developed Municipal Road? Yes ☒ No _____

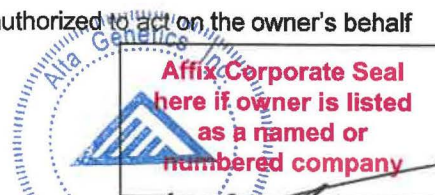
4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I Thomas Jacob hereby certify that _____ I am the registered owner
 (Full Name in Block Capitals)
☒ I am authorized to act on the owner's behalf

and that the information given on this form
 is full and complete and is, to the best of my knowledge, a true statement
 of the facts relating to this application.

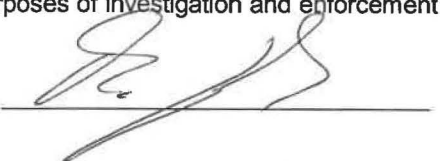
Applicant's Signature [Signature]
 Date Sept 6/2019

Owner's Signature [Signature]
 Date Sept 6th, 2019




5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.


Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Thomas Jacob, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


Signature

Sep 6/2019
Date



ROCKY VIEW COUNTY
Cultivating Communities

APPLICATION FOR AN ACCESSORY BUILDING

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date Received	Receipt #

Name of Applicant Thomas Jacob Email _____
Mailing Address 1-263090 Range Road 11; Rocky View County,
Alberta Postal Code T4B 2T3
Telephone (B) 403-226-4207 (H) 403-463-0785 Fax _____

1. DETAILS OF ACCESSORY BUILDING

	Bylaw	Proposed
Accessory building size maximum	2045.14 sq/ft	3600 ft ²
Accessory building height	18.04 ft	36' 9"
Number of existing accessory buildings on site	—	8
Total size of all accessory buildings	—	4- 9300 sq/ft

Description of Accessory Buildings:

- a) Building materials pole shed (wood) with metal cladding & roof
b) Exterior colour _____
c) Please include why relaxations for buildings are needed (location, storage needs, tidy property, etc.)
give enough storage capacity for Hay with tractor access
d) Date when building permits were issued for existing buildings _____
e) If no permits were issued - list age of buildings _____

2. DESCRIBE THE USE OF THE ACCESSORY BUILDING

The accessory building will be used for storage of hay bales and ground hay

3. ADDITIONAL REQUIREMENTS

The following items must be provided in addition to your application:

- ☒ Elevation drawing(s) / floor plan(s)
☒ Site plan(s) showing all dimensions and setbacks

Signature of Applicant [Signature] Date: Sep 6 / 2019



ROCKY VIEW COUNTY

262075 Rocky View Point
Rocky View County AB. T4A 0X2

403 230-1401
questions@rockyview.ca
www.rockyview.ca

LETTER OF AUTHORIZATION

I, (We) Hans Hannema being the owner (s) of
Lot _____ Block _____ Plan _____

Legal:

~~NW/NE/SE/SW~~ Section 28 Township 24 Range 28 W 4 M

give Thomas Jacob permission to act on my
(our) behalf in applying for a Development Permit for the above subject property.


Signature

Signature

Sept 6th, 2019
Date



Alta Genetics Inc.
Range Road 11
Rocky View County, Alberta.
T4B 2T3
Phone: 403-226-0666
Fax:403-226-4299

September 6, 2019

Rocky View County
262075 Rocky View Point
Rocky View County, AB
T4A 0X2

Subject: Development Permit for Feedshed at 244151 Range Road 283

Dear Sir or Madam,

Please find our application for a development permit for building a hayshed at our Conrich facility, located at 244151 Range Road 283 and the legal land description NE 28-24-W4M in the attachment. The building will be used for hay storage for the livestock located on the premises.

Sincerely



Thomas Jacob
Production Manager
Alta Genetics Inc.
403 226-4207
403 463-0785 (cell)
thomas.jacob@urus.org



Summary

Roll Number	04328013	
Legal Desc	NE-28-24-28-W04M	
Divison	05	
Lot Block Plan		
Linc Number	16072027	
Title Number	901299018	
Parcel Area	20.00000	
Municipal Address	244151 RGE RD 283	
Contact Information	Alta Genetics Inc.	80046588580000 4032264233terr
	Rocky View County AB T4B 2T3	
Land Use Information	AH (AGRICULTURAL HOLDING)	

Plan

Planning Applications Information

{There is no related Application}

Plan Name
Conrich

RV Number

Conceptual Scheme

Plan Name	RV Number	Planner
BUFFALO HILLS	2005-RV-175	DAVID WYATT

Permit

Building Permit

Permit Number	Permit Type	Date Issued
2011-GP-12062	Gas	Thu Sep 29, 2011
2007-EP-7999	Electrical	Thu Nov 08, 2007
2007-GP-7848	Gas	Thu Sep 27, 2007
2007-PL-5029	Plumbing	Thu Sep 27, 2007
2007-PS-2341	Private Sewage	Mon Sep 24, 2007
2007-BP-20452	Building	Thu Sep 20, 2007
2006-GP-5553	Gas	Mon Apr 03, 2006
2006-EP-6083	Electrical	Mon Apr 03, 2006
2006-PL-3865	Plumbing	Mon Apr 03, 2006
FBL20051221_579	Building	Wed Dec 21, 2005
1991-BP-2533	Building	Wed Oct 02, 1991
1991-BP-2428	Building	Thu Sep 19, 1991
2006-BP-19100	Building	

Development Permit Information

Permit Number	Date Issued
PRDP20153081	Wednesday, September 16, 2015
2010-DP-14279	Tuesday, November 9, 2010
2005-DP-11793	Tuesday, June 27, 2006
2005-DP-11762	Tuesday, December 6, 2005
2005-DP-11571	Tuesday, August 9, 2005
2004-DP-10970	Tuesday, July 27, 2004
2003-DP-10431	Thursday, July 31, 2003
2002-DP-9918	Thursday, August 8, 2002
2001-DP-9385	Tuesday, July 24, 2001
2000-DP-8916	Tuesday, July 11, 2000
PRDP20193201	
1999-DP-8392	

Alert

{There is no related Development Enforcement Data}

Geospatial Boundary

Boundary

Category

Division

5

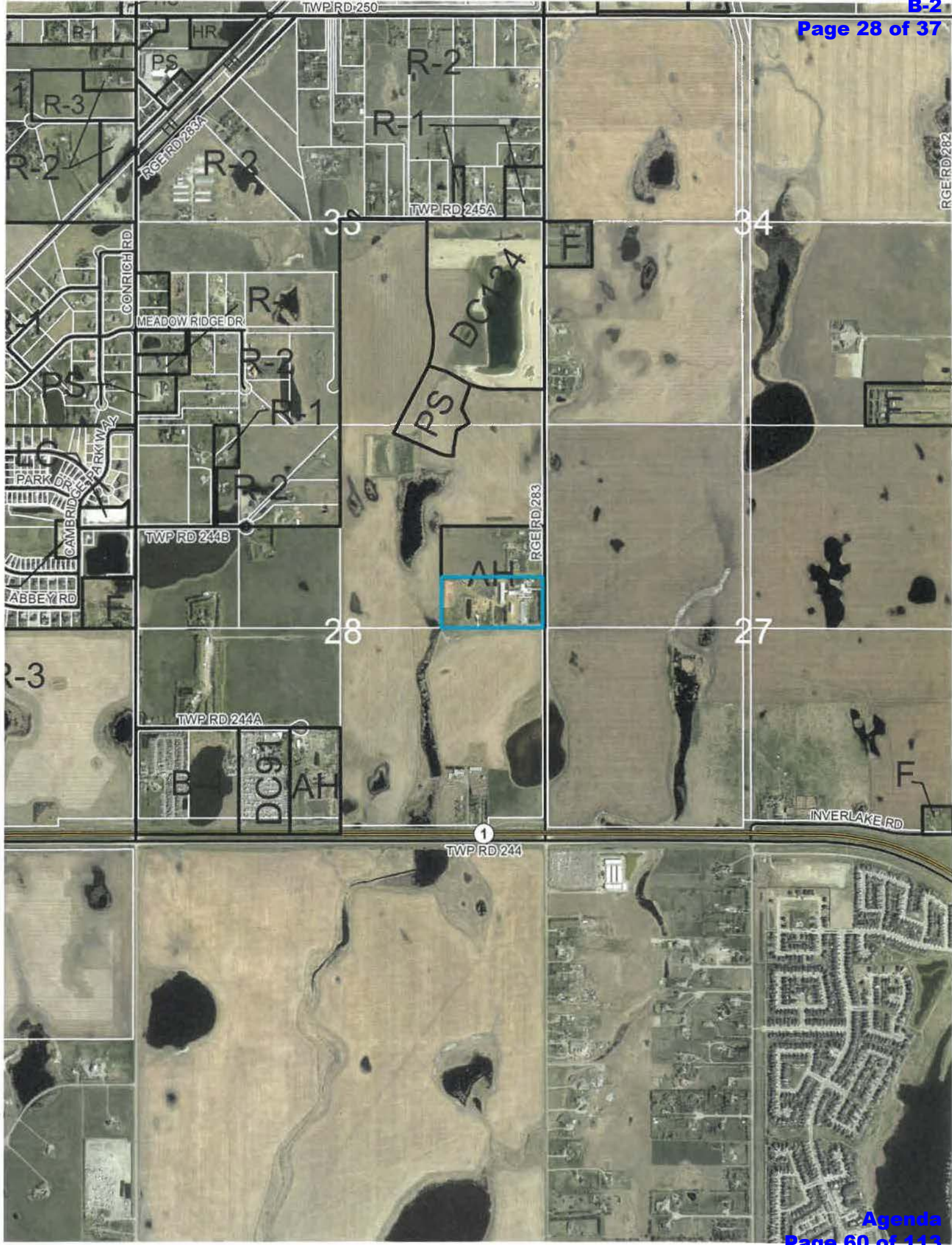
Area Structure Plan	Conrich
Conceptual Scheme	BUFFALO HILLS
IDP	CALGARY IDP Study Area
Airport Vicinity	No APVA
Engineer	Gurbir Nijjar
Water Coop	No Water Coop
Gas Coop Service	ATCO GAS
No.of Lots Within 600 M	4
No.of App Subdiv Within 600 M	0
Developed Road Allowance	Yes
Riparian Area	Yes
School	No School Boundary
Recreation	Chestermere-Conrich
Fire District	BALZAC
Primary Fire Station	107
Secondary Fire Station	111
Tertiary Fire Station	116

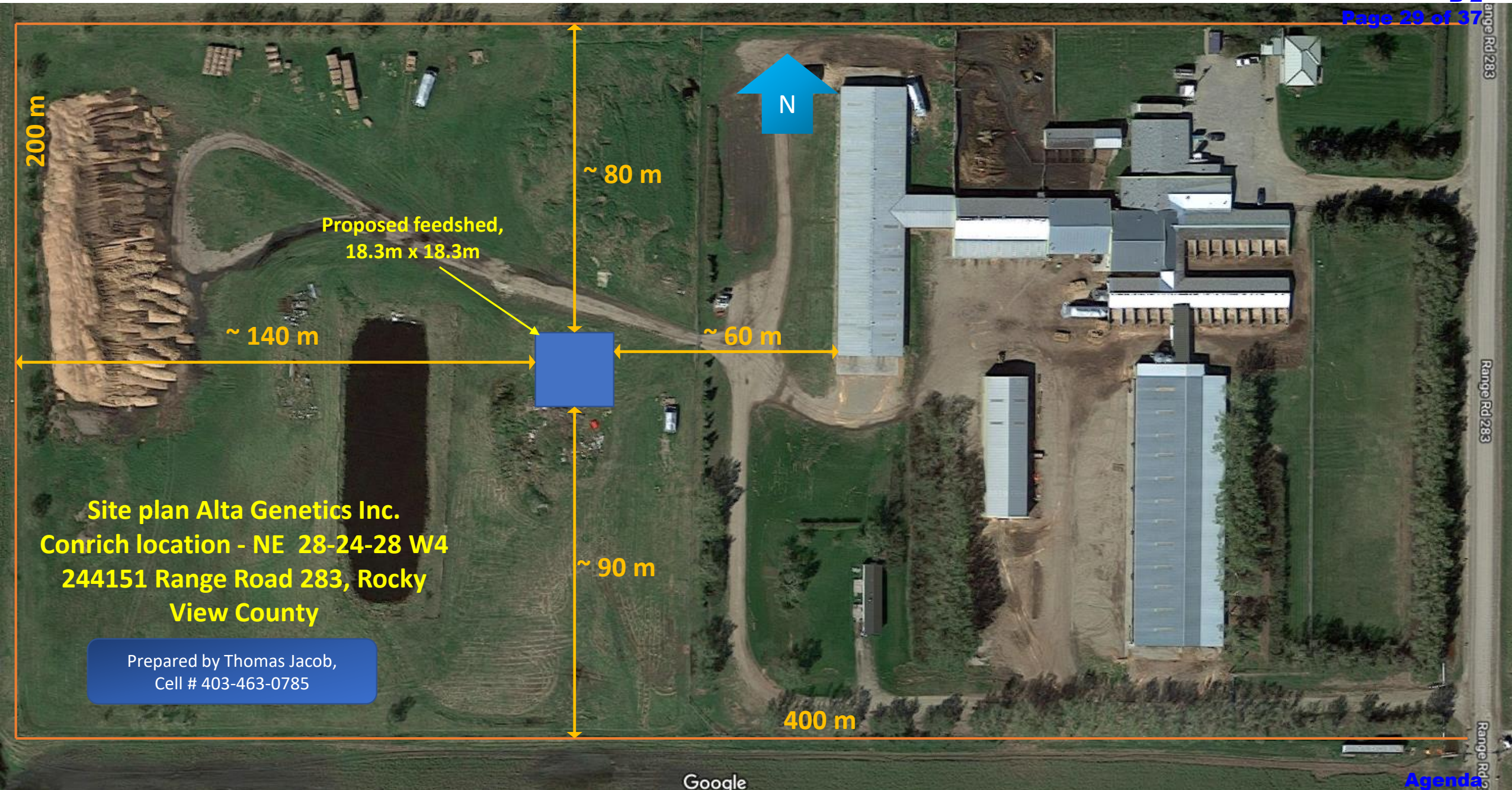
Geospatial Adjacency

Boundary	Category	Distance
Closest Highway	No HWY within 800 M	
Closest Gravel Pit	River Pit	24590.73 M
Sour Gas	No Sour Gas Pipe passes	From closest sour pipe:2376.13 M
Closest Road Name	RGE RD 283(Surface Type:Gravel)	8.3 M
Closest Railway	CNR	2051.77 M
Closest Western Irrigation Districts	Within 10Km	
Closest Waste Water Treatment	Within 10Km	1252.06 M

Closest Municipality	CITY OF CHESTERMERE	824.92 M
Closest Confined Feeding Operation	Within 10 KM	







FRAMING GENERAL NOTES:

- 1. VERIFY GRADE ELEVATION RELATIVE TO SITE WITH OWNER PRIOR TO CONSTRUCTION.
- 2. ALL INSULATING FILL MATERIAL SHALL BE PLACED IN AREAS NOT EXCEEDING 6" AND SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
- 3. ALL FRAMING LUMBER SHALL COMPLY WITH RELEVANT SECTIONS OF CSA-086 AND CSA-0141, AND TO THE NATIONAL LUMBER GRADES AND STANDARD GRADING RULES.
- 4. MOISTURE CONTENT SHALL NOT EXCEED 19% FOR EXTERIOR CONSTRUCTION AND 12% FOR INTERIOR CONSTRUCTION
- 5. SHEETING STAPLES: HOT DIP GALVANIZED, TO CONFORM TO CSA-B111
- 6. HARDWARE: BOLTS, NUTS, WASHERS, LAGS, PINS,SCREWS, HOT DIP GALVANIZED TO CONFORM TO CSA-G164
- 7. WOOD PRESERVATIVE: CCA PRESERVATIVE TO CONFORM TO CSA-080.15 & BRUSH TREAT FIELD CUTS WITH COPPER NAPHTHENATE
- 8. CONTRACTOR IS TO NOTIFY ENGINEER OF ANY DISCREPANCIES OR DEVIATIONS IN THE EXISTING SITE PRIOR TO COMMENCING CONSTRUCTION AND AWAIT FURTHER INSTRUCTIONS.
- 9. CONTRACTOR TO PROVIDE THE ENGINEER WITH SHOP DRAWINGS OF THE TRUSSES FOR REVIEW
- 10. FRAMING MATERIAL; UNLESS OTHERWISE NOTED, SHALL BE GRADE #2 OR BETTER

CONCRETE GENERAL NOTES:

- 1. CONCRETE FLOOR:
 - MIN THICKNESS: 4"
 - MIN COMPRESS STRENGTH (28DAY): 27MPa
 - AGGREGATE SIZE (MAX) : 3/4"
 - TYPE 10 CEMENT
- 2. CONCRETE PILES/FOOTINGS:
 - MIN THICKNESS: 10"
 - MIN COMPRESS STRENGTH (28DAY): 20MPa
 - TYPE 50 CEMENT

DESIGN BUILDING LOADS, AIRDRIE:

GROUND SNOW LOAD	1.2 kPa
RAIN LOAD	0.21 kPa
WIND LOAD	0.38 kPa

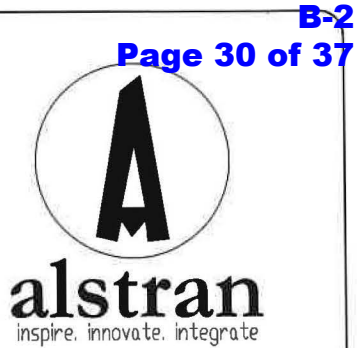
TRUSS DESIGN TO COMPLY TO PART 4 OF ABC 2006, AND CSA 086-01 FOR COMMERCIAL OR INDUSTRIAL BUILDING REQUIREMENTS

GENERAL NOTES:

- 1. PRIOR TO CONSTRUCTION: STRIP ALL TOP SOIL TO ENSURE ALL ORGANIC MATERIAL IS REMOVED
- 2. ALL NEW GRADE WORK IS TO BE SLOPED AWAY FROM BUILDING
- 3. BUILDING FOUNDATION DESIGNED IN ACCORDANCE WITH THE CURRENT ALBERTA BUILDING CODE
- 4. FOUNDATION DESIGN BASED ON A SOIL BEARING PRESSURE OF 2400psf FOR A CONFINED FOOTING IN COMPACT GRAVEL, SAND OR SILT

DRAWING NOTES:

DRAWINGS ARE NOT TO BE SCALED, BUT ARE TO BE USED TO DETERMINE THE GENERAL LAYOUT. ALL DIMENSIONAL DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE ENGINEER.



ALSTRAN CORP.
APEGA PERMIT
No. P10591

DRAWINGS ISSUED FOR
CONSTRUCTION



PROJECT NO. W150030	REV 1
SCALE NOT TO SCALE	DATE (MM/DD/YY) 08/26/19
DRAWN RB	CHECKED ENGINEER RB
CONFIDENTIAL-PROPRIETARY THIS DRAWING IS THE PROPERTY OF ALSTRAN CORP. AND IS SUBJECT TO RETURN UPON REQUEST. THE DRAWING INCLUDES CONFIDENTIAL AND PROPRIETARY INFORMATION OF ALSTRAN CORP. AND IS LOANED IN CONFIDENCE WITH THE UNDERSTANDING THAT IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT EXPRESSED WRITTEN PERMISSION, AND THAT NEITHER THE DRAWING NOR INFORMATION HEREIN BE USED ADVERSLY TO ALSTRAN CORP. COPYRIGHT (2015)	

CASUAL LABOUR INC.
ROCKYVIEW, ALBERTA
PH 403.651.3683

PROJECT ALTA GENETICS HAY SHED
LAND DESCRIP. ROCKYVIEW, ALBERTA
DWG NO. S.5.0 GENERAL NOTES



ALSTRAN CORP.
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No. P10591

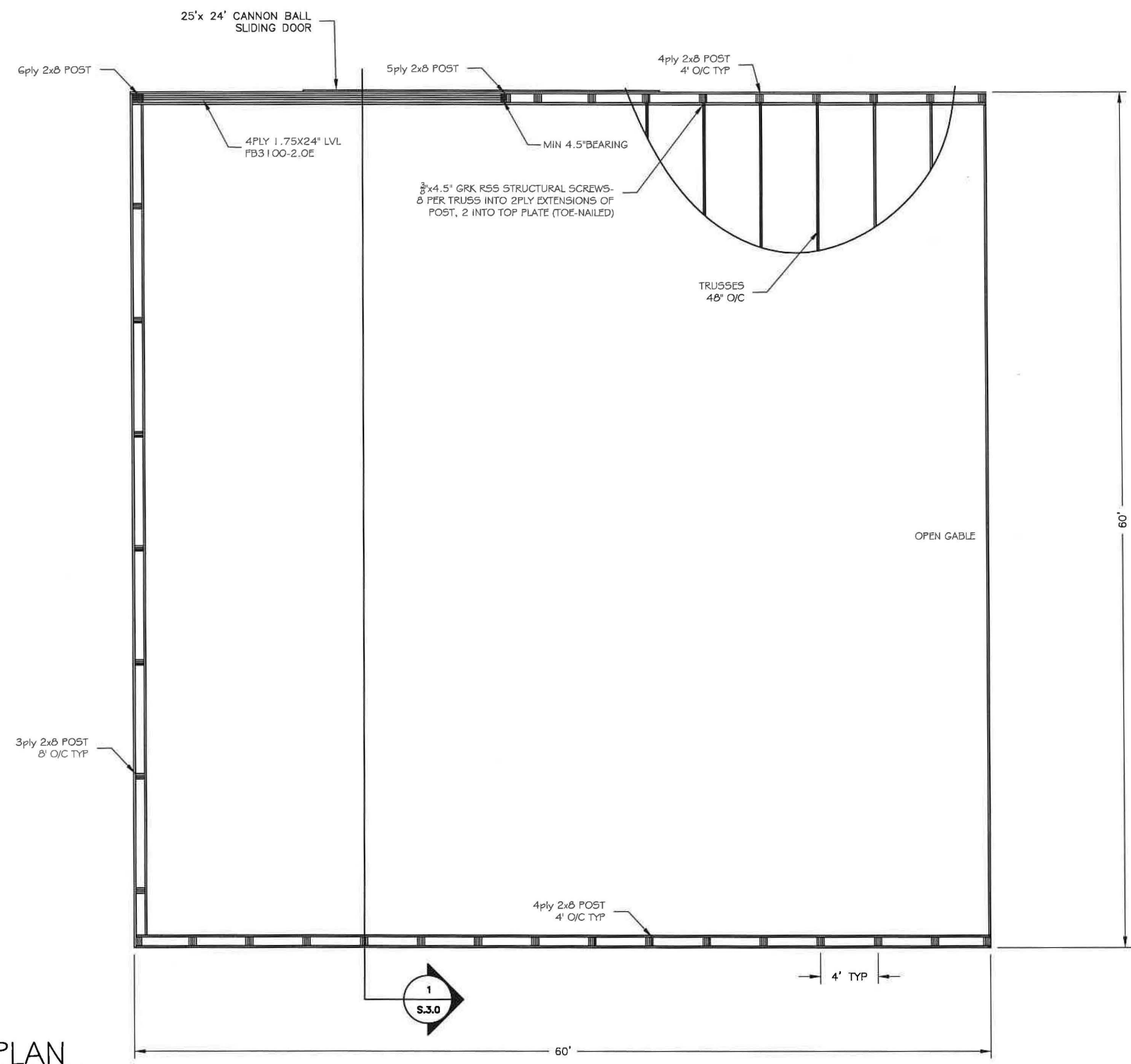
**DRAWINGS ISSUED FOR
CONSTRUCTION**



PROJECT NO. W150030		REV 1
SCALE NOT TO SCALE	DATE (MM/DD/YY) 08/26/19	
DRAWN RB	CHECKED	ENGINEER RB
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ROCKYVIEW, ALBERTA
PH 403.651.3683

PROJECT ALTA GENETICS HAY SHED
LAND DESCRIP. ROCKYVIEW, ALBERTA
DWG NO. S.1.0 FLOOR PLAN

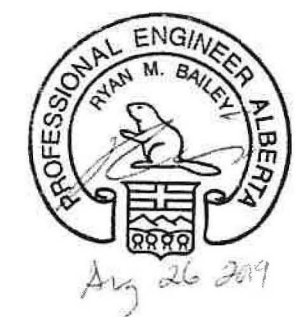


FLOOR PLAN
1
S.1.0
1/8" = 1'-0"



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No. P10591

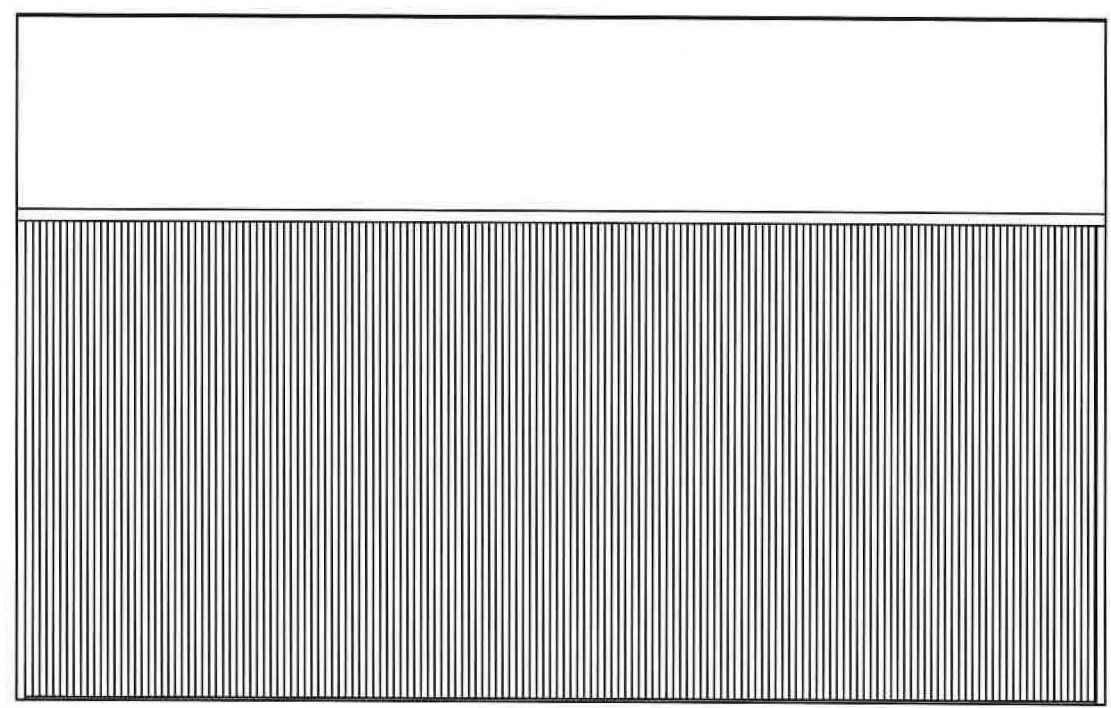
DRAWINGS ISSUED FOR
CONSTRUCTION



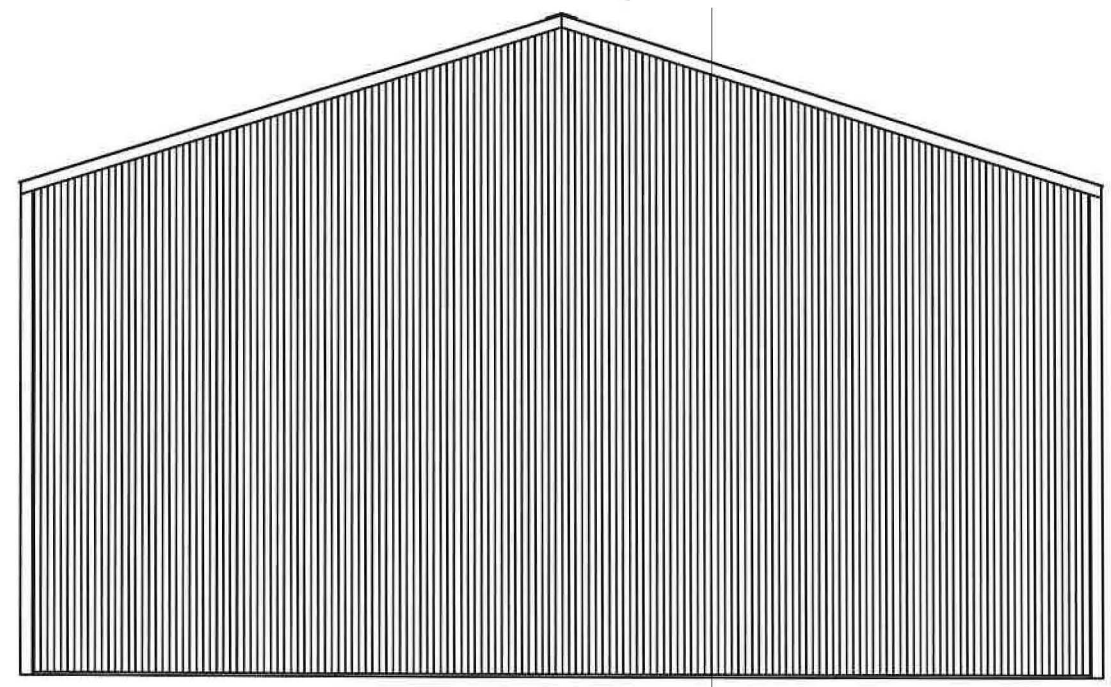
PROJECT NO. W150030		REV 1
SCALE NOT TO SCALE	DATE (MM/DD/YY) 08/26/19	
DRAWN RB	CHECKED	ENGINEER RB
CONFIDENTIAL-PROPRIETARY		
THIS DRAWING IS THE PROPERTY OF ALSTRAN CORP. AND IS SUBJECT TO RETURN UPON REQUEST. THE DRAWING INCLUDES CONFIDENTIAL AND PROPRIETARY INFORMATION OF ALSTRAN CORP. AND IS LOANED IN CONFIDENCE WITH THE UNDERSTANDING THAT IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT EXPRESSED WRITTEN PERMISSION, AND THAT NEITHER THE DRAWING NOR INFORMATION HEREIN BE USED ADVERSLY TO ALSTRAN CORP. COPYRIGHT (2015)		

CASUAL LABOUR INC.
ROCKYVIEW, ALBERTA
PH 403.651.3683

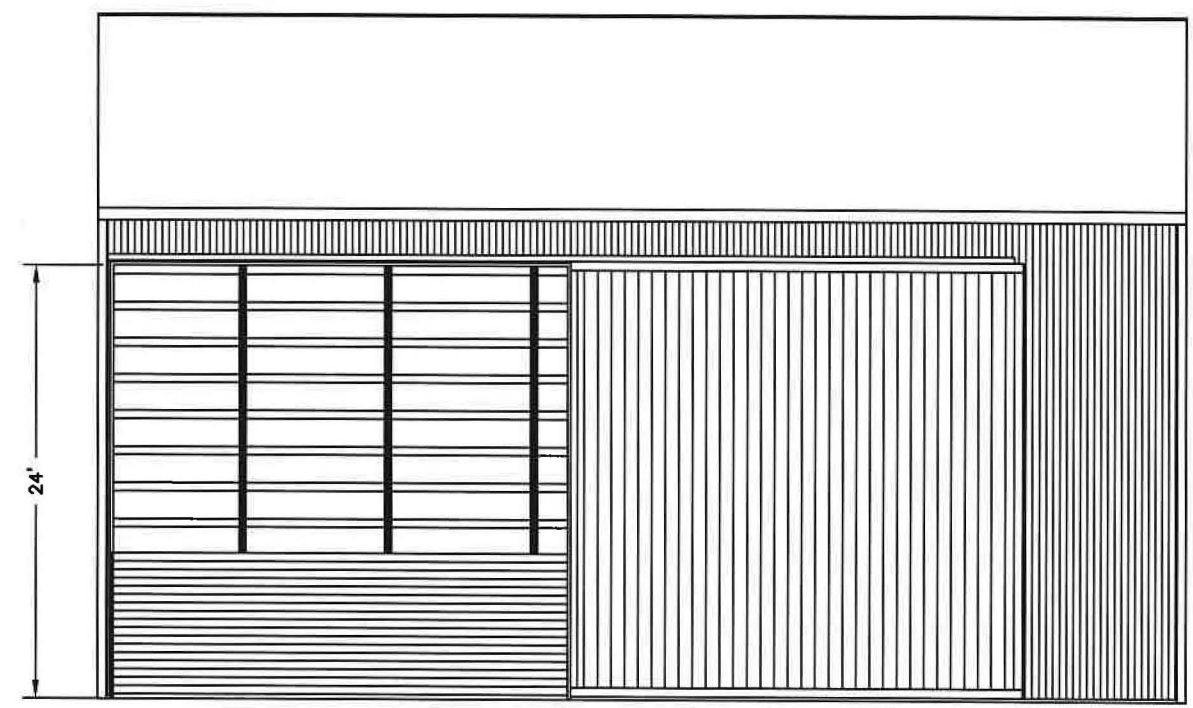
PROJECT ALTA GENETICS HAY SHED
LAND DESCRIP. ROCKYVIEW, ALBERTA
DWG NO. S.2.0 ELEVATION VIEWS



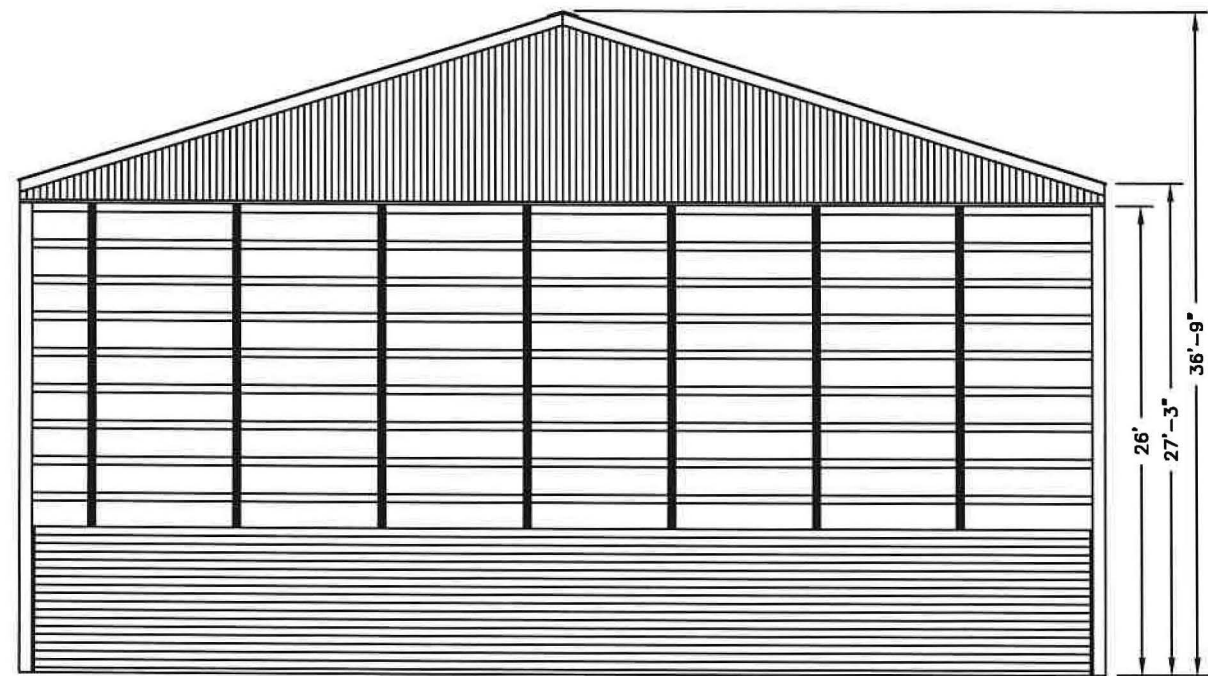
1 SOUTH ELEVATION
S.2.0 3/32" = 1'-0"



2 WEST ELEVATION
S.2.0 3/32" = 1'-0"



3 NORTH ELEVATION
S.2.0 3/32" = 1'-0"



4 EAST ELEVATION
S.2.0 3/32" = 1'-0"



ALSTRAN CORP.
APEGA PERMIT
No. P10591

**DRAWINGS ISSUED FOR
CONSTRUCTION**



PROJECT NO. W150030		REV 1
SCALE NOT TO SCALE	DATE (MM/DD/YY) 08/26/19	
DRAWN RB	CHECKED	ENGINEER RB
CONFIDENTIAL - PROPRIETARY		
THIS DRAWING IS THE PROPERTY OF ALSTRAN CORP. AND IS SUBJECT TO RETURN UPON REQUEST. THE DRAWING INCLUDES CONFIDENTIAL AND PROPRIETARY INFORMATION OF ALSTRAN CORP. AND IS LOANED IN CONFIDENCE WITH THE UNDERSTANDING THAT IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT EXPRESSED WRITTEN PERMISSION, AND THAT NEITHER THE DRAWING NOR INFORMATION HEREIN BE USED ADVERSLY TO ALSTRAN CORP. COPYRIGHT (2015)		

CASUAL LABOUR INC.
ROCKYVIEW, ALBERTA
PH 403.651.3683

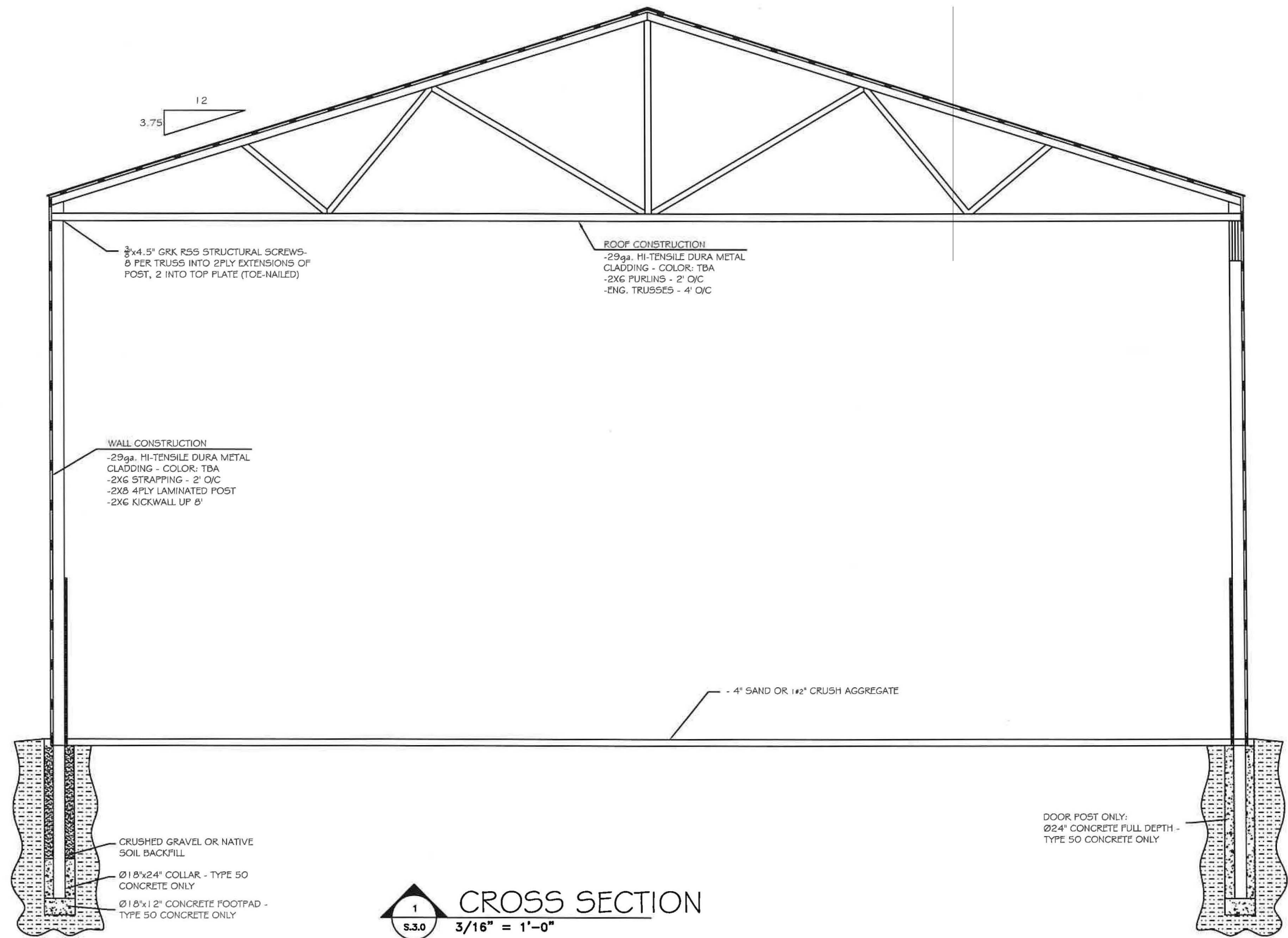
PROJECT ALTA GENETICS HAY SHED
LAND DESCRIP. ROCKYVIEW, ALBERTA
DWG NO. S.3.0 CROSS SECTION

TOP OF PEAK
136' - 9"

UNDERSIDE OF
CEILING
126' - 0"

TOP OF FLOOR
100' - 0"

TOP OF FOOT
PAD
96' - 0"



CROSS SECTION
1
S.3.0 3/16" = 1'-0"



ALSTRAN CORP.
APEGA PERMIT
No. P10591

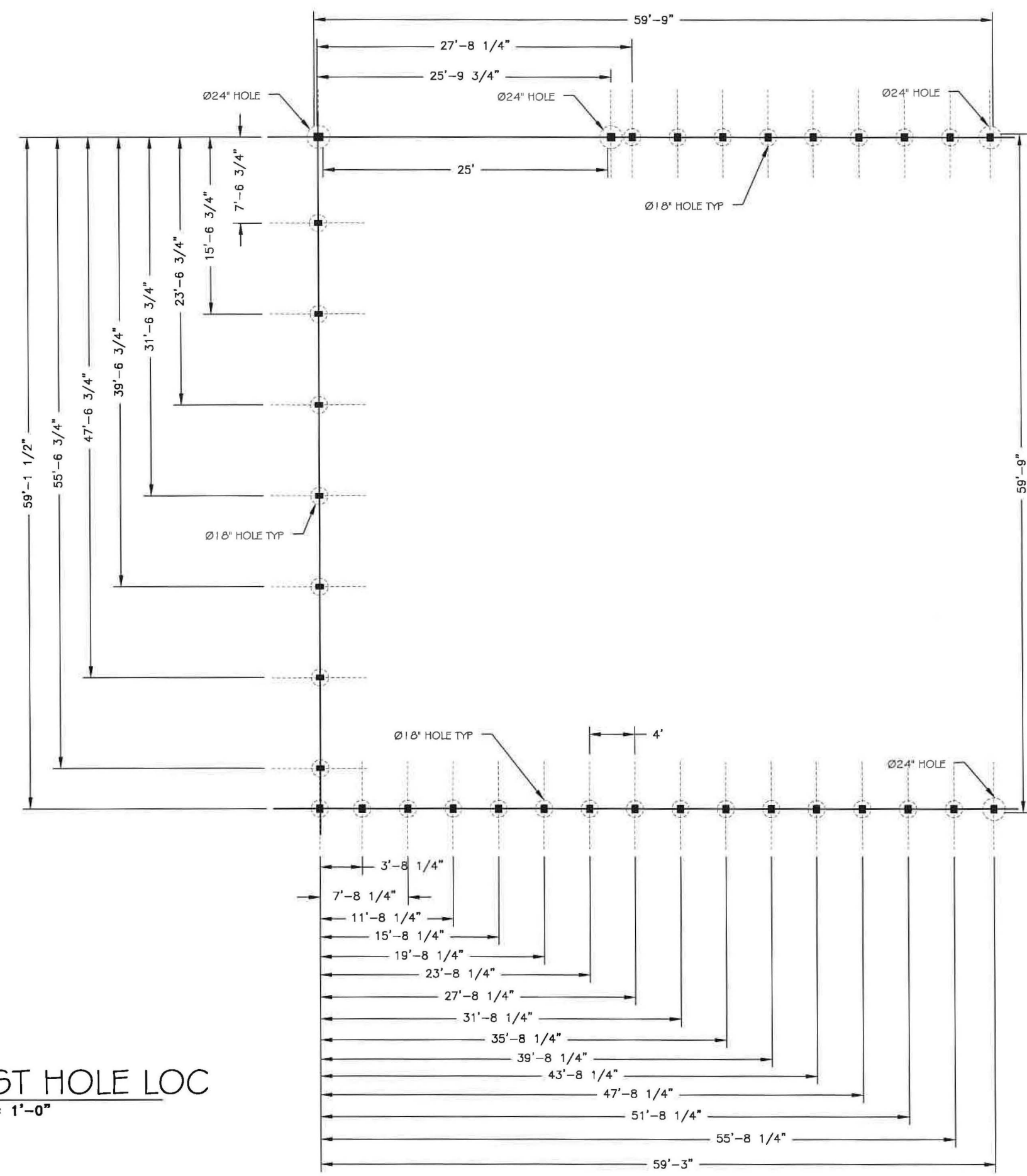
**DRAWINGS ISSUED FOR
CONSTRUCTION**



PROJECT NO. W150030		REV 1
SCALE NOT TO SCALE	DATE (MM/DD/YY) 08/26/19	
DRAWN RB	CHECKED	ENGINEER RB
CONFIDENTIAL-PROPRIETARY THIS DRAWING IS THE PROPERTY OF ALSTRAN CORP. AND IS SUBJECT TO RETURN UPON REQUEST. THE DRAWING INCLUDES CONFIDENTIAL AND PROPRIETARY INFORMATION OF ALSTRAN CORP. AND IS LOANED IN CONFIDENCE WITH THE UNDERSTANDING THAT IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT EXPRESSED WRITTEN PERMISSION, AND THAT NEITHER THE DRAWING NOR INFORMATION HEREIN BE USED ADVERSLY TO ALSTRAN CORP. COPYRIGHT (2015)		

CASUAL LABOUR INC.
ROCKYVIEW, ALBERTA
PH 403.651.3683

PROJECT ALTA GENETICS HAY SHED
LAND DESCRIPT. ROCKYVIEW, ALBERTA
DWG NO. S.4.0 POST HOLE LOC



 **POST HOLE LOC**
S.4.0 3/32" = 1'-0"



ALSTRAN CORP.
APEGGA PERMIT
No. P10591

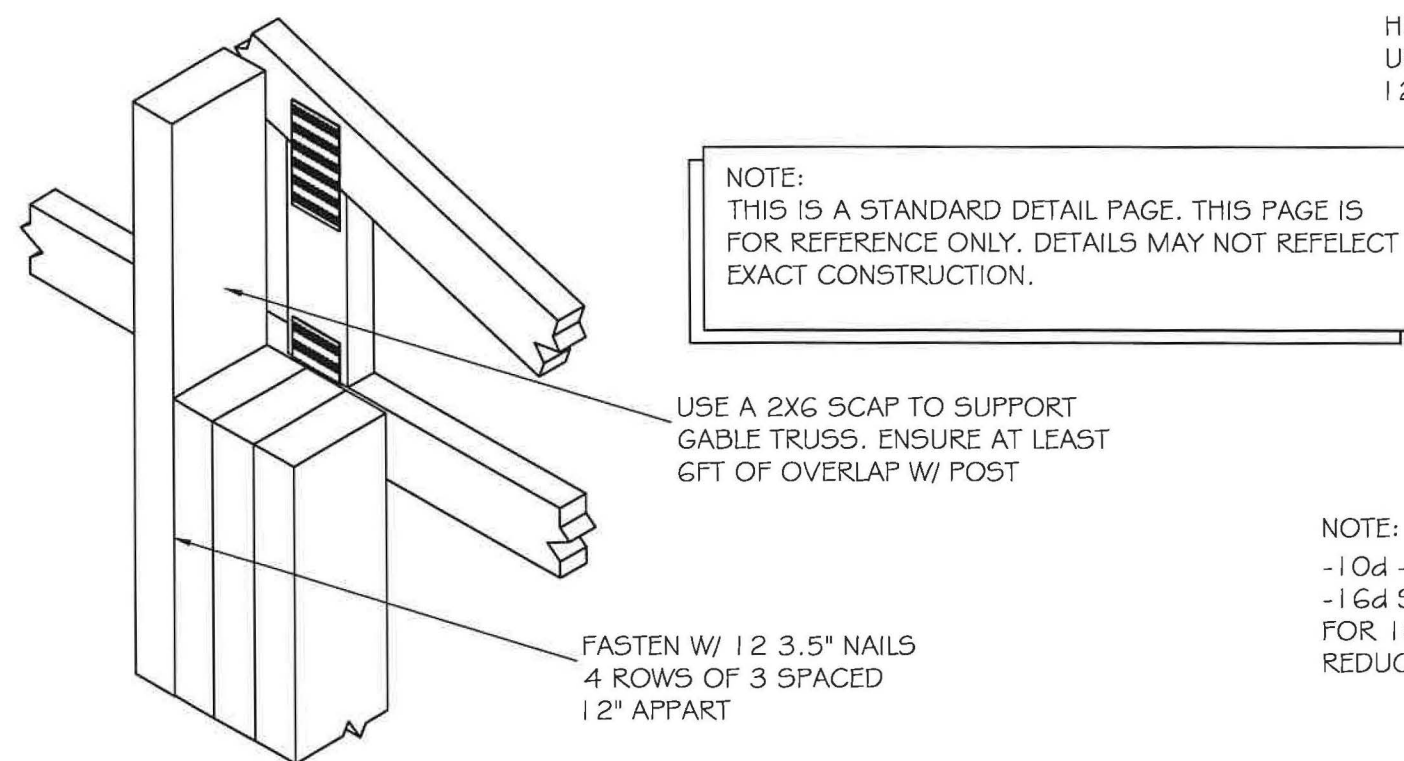
**DRAWINGS ISSUED FOR
CONSTRUCTION**



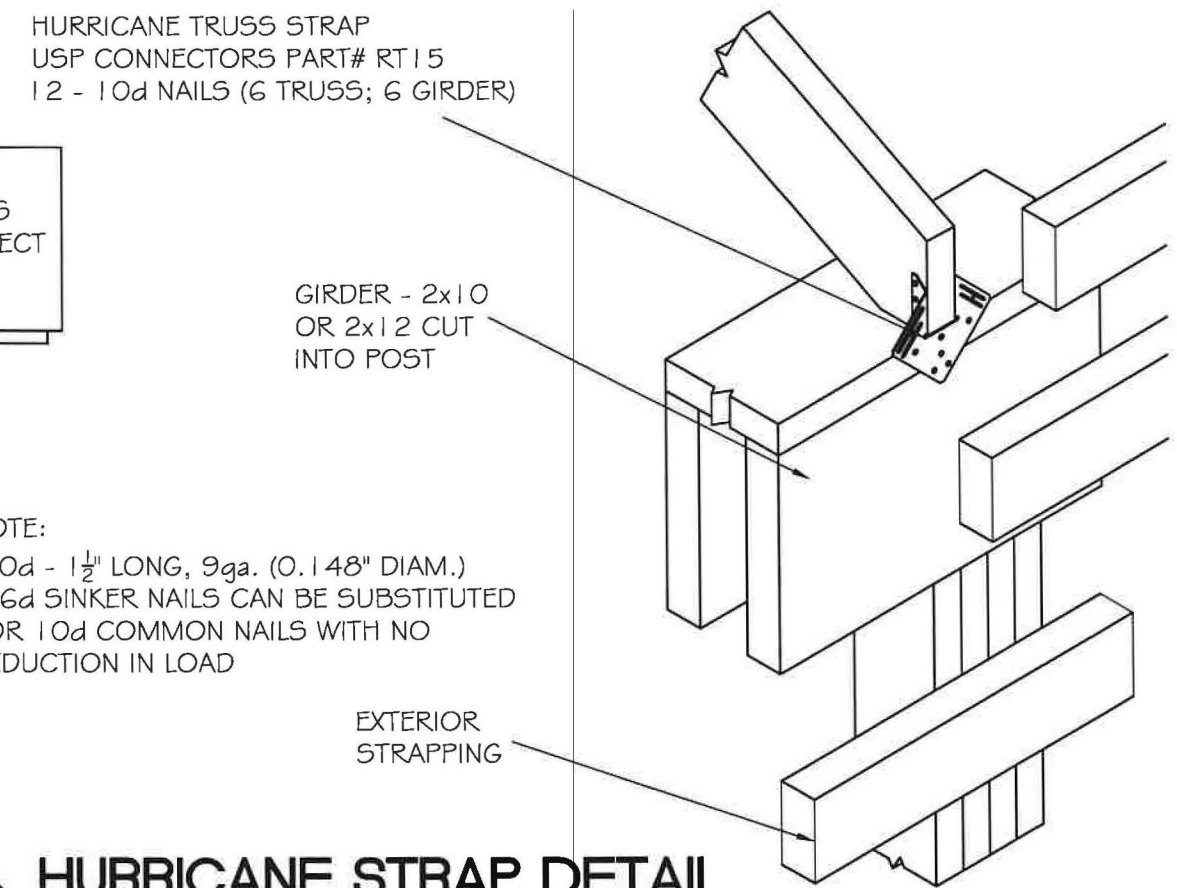
Aug 26 2019

PROJECT NO. DBD500		REV 2
SCALE NOT TO SCALE	DATE (mm/dd/yyyy) 02/09/19	
DRAWN ND	CHECKED DH	ENGINEER RMB
CONFIDENTIAL-PROPRIETARY THIS DRAWING IS THE PROPERTY OF ALSTRAN CORP. AND IS SUBJECT TO RETURN UPON REQUEST. THE DRAWING INCLUDES CONFIDENTIAL AND PROPRIETARY INFORMATION OF ALSTRAN CORP. AND IS LOANED IN CONFIDENCE WITH THE UNDERSTANDING THAT IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT EXPRESSED WRITTEN PERMISSION, AND THAT NEITHER THE DRAWING NOR INFORMATION HEREIN BE USED ADVERSITY TO ALSTRAN CORP. COPYRIGHT (2009)		

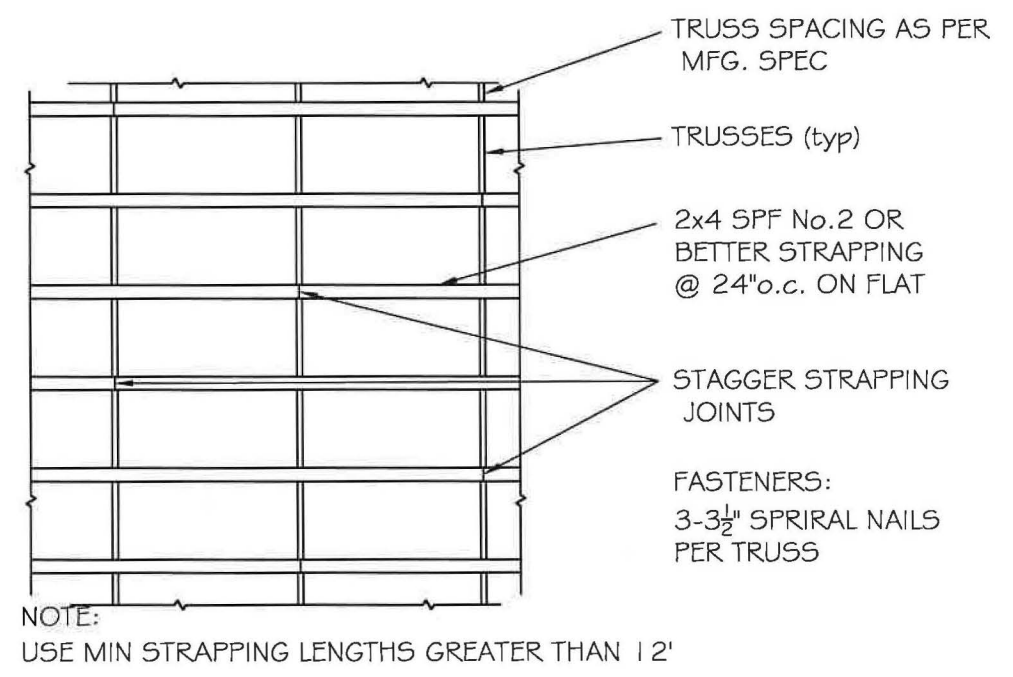
CLIENT	
PROJECT TYPICAL DETAILS	
LAND DESCRIP. AIRDIRE, ALBERTA	
DWG NO. S.5.1 GENERAL DETAIL	



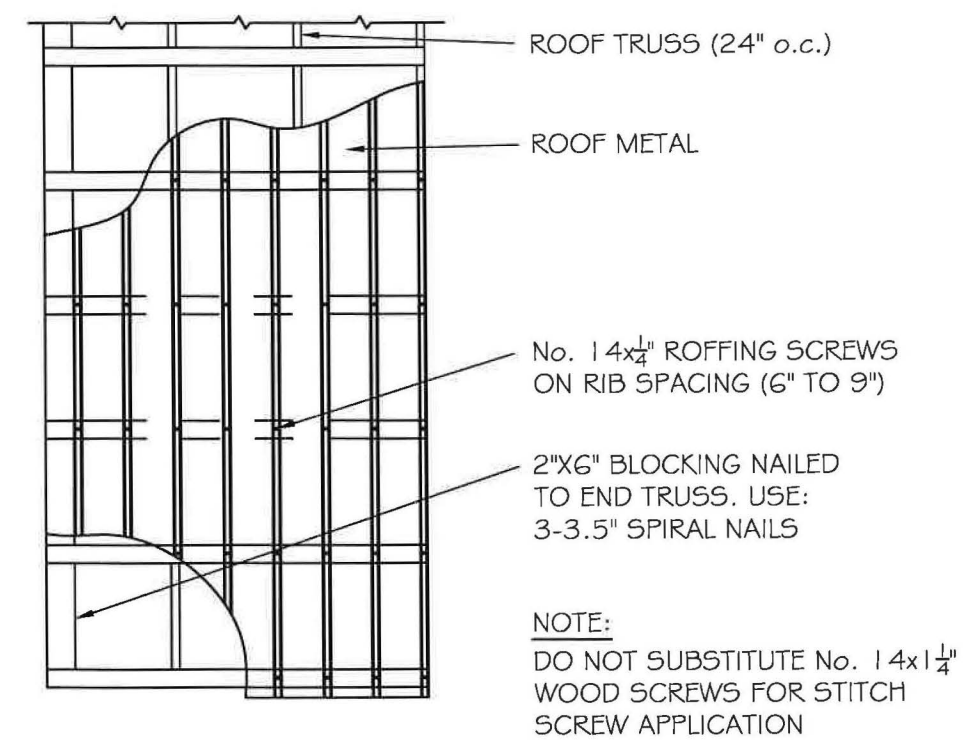
1 GABLE GUSSET DETAIL
S.5.1 N.T.S.



2 HURRICANE STRAP DETAIL
S.5.1 N.T.S.



3 TRUSS PURLIN DETAIL
S.5.1 N.T.S.



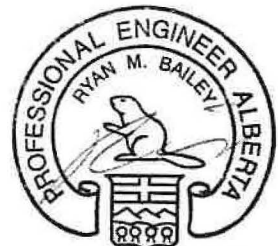
4 ROOF METAL DETAIL
S.5.1 N.T.S.

REVISED: FEB 2019



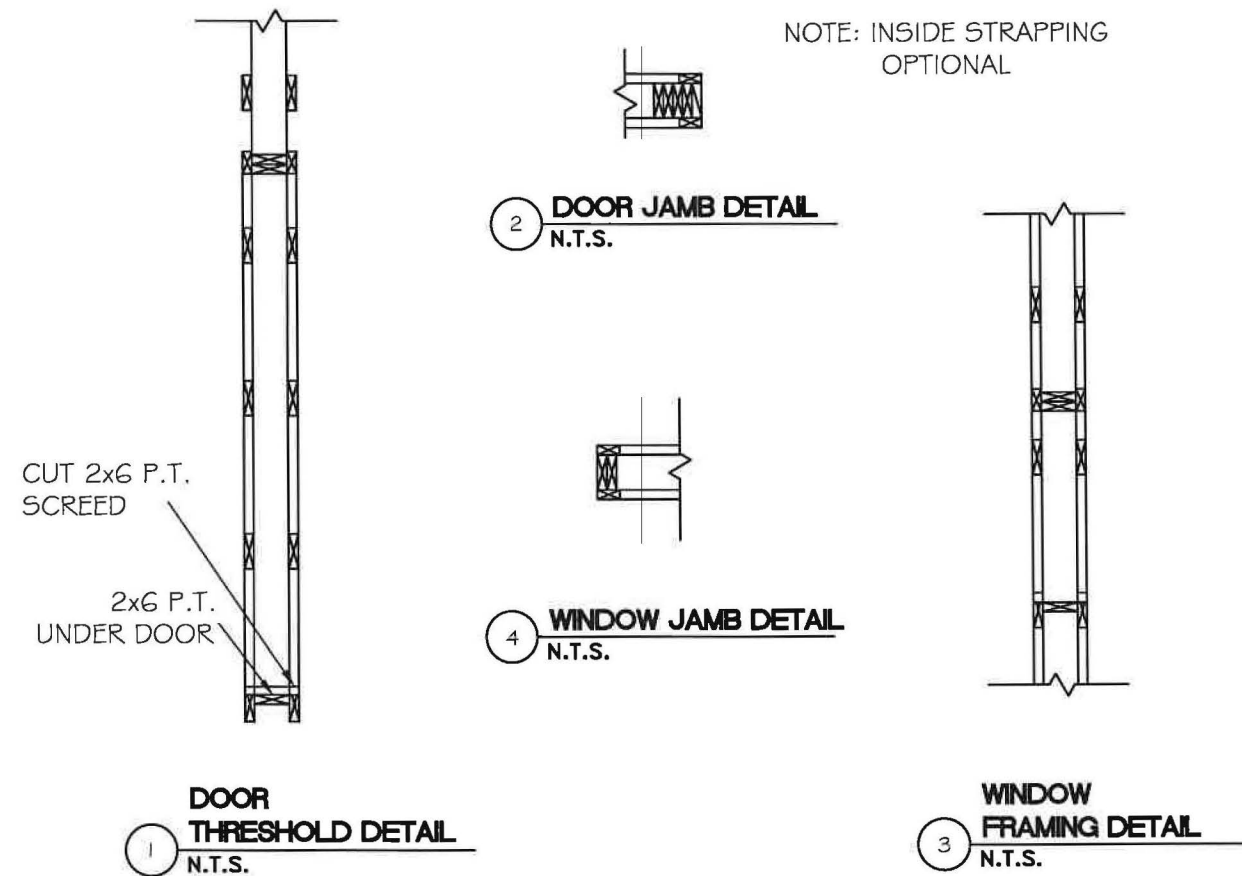
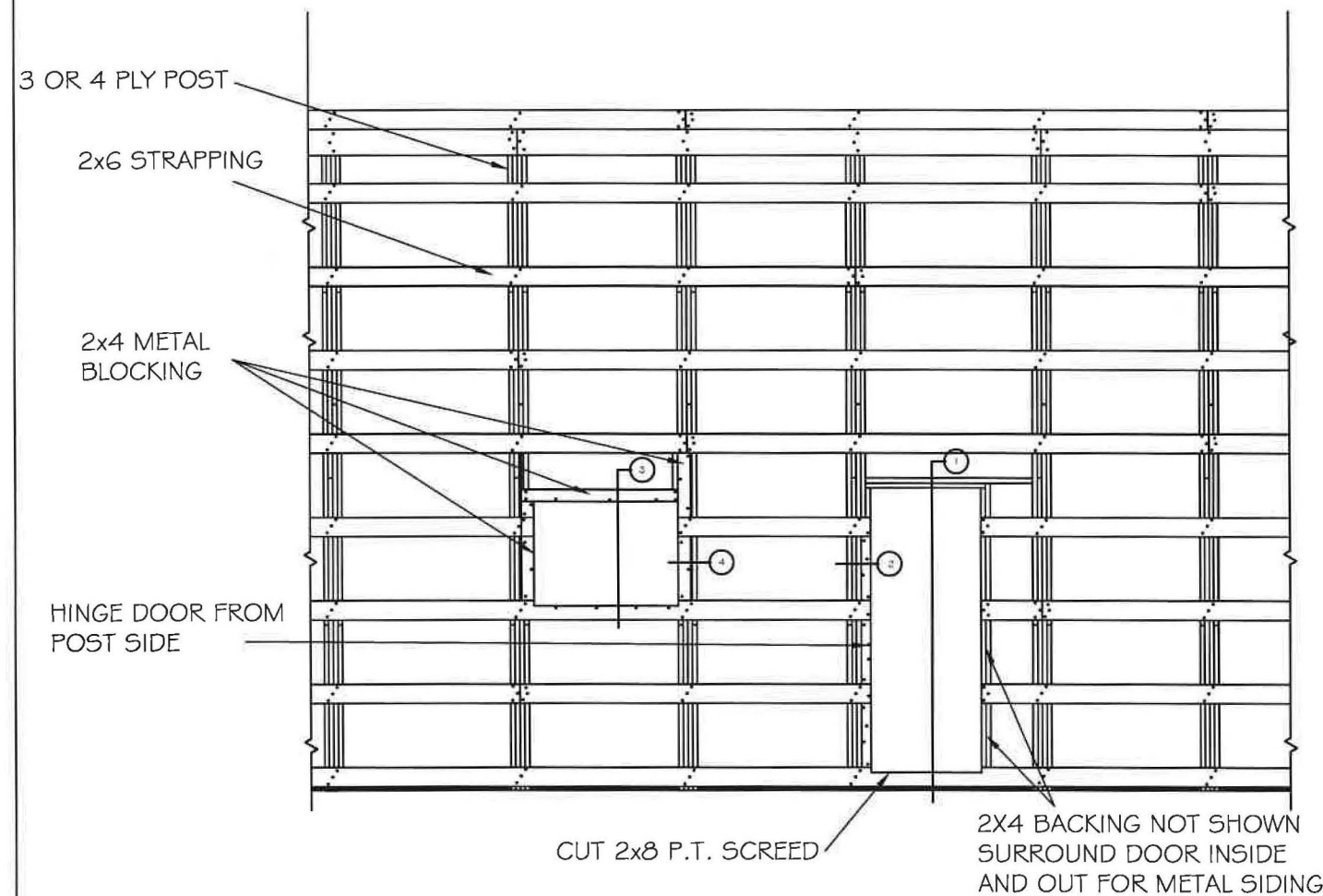
ALSTRAN CORP.
APEGGA PERMIT
No. P10591

**DRAWINGS ISSUED FOR
CONSTRUCTION**



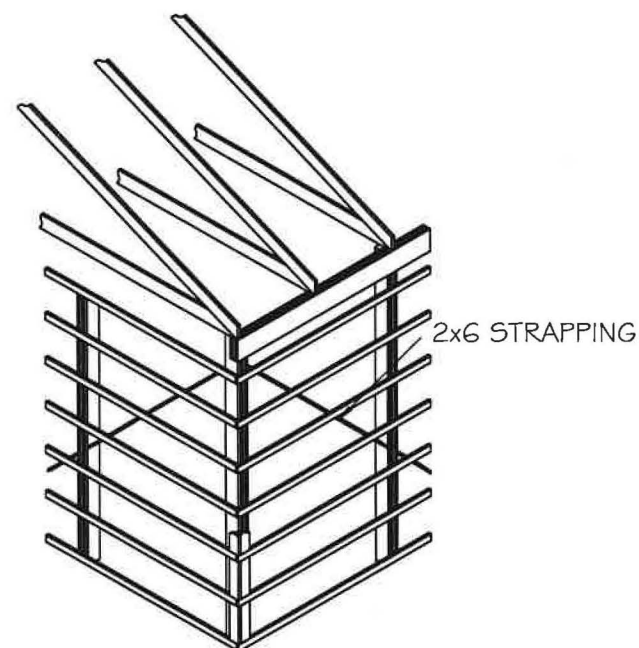
PROJECT NO. DBD500		REV 2
SCALE NOT TO SCALE	DATE (MM/DD/YY) 02/09/19	
DRAWN ND	CHECKED DH	ENGINEER RMB
CONFIDENTIAL - PROPRIETARY		
THIS DRAWING IS THE PROPERTY OF ALSTRAN CORP. AND IS SUBJECT TO RETURN UPON REQUEST. THE DRAWING INCLUDES CONFIDENTIAL AND PROPRIETARY INFORMATION OF ALSTRAN CORP. AND IS LOANED IN CONFIDENCE WITH THE UNDERSTANDING THAT IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT EXPRESSED WRITTEN PERMISSION, AND THAT NEITHER THE DRAWING NOR INFORMATION HEREIN BE USED ADVERSITY TO ALSTRAN CORP. COPYRIGHT (2009)		

CLIENT	
PROJECT TYPICAL DETAILS	
LAND DESCRIP. AIRDRIE, ALBERTA	
DWG NO. S.5.2 GENERAL DETAIL	



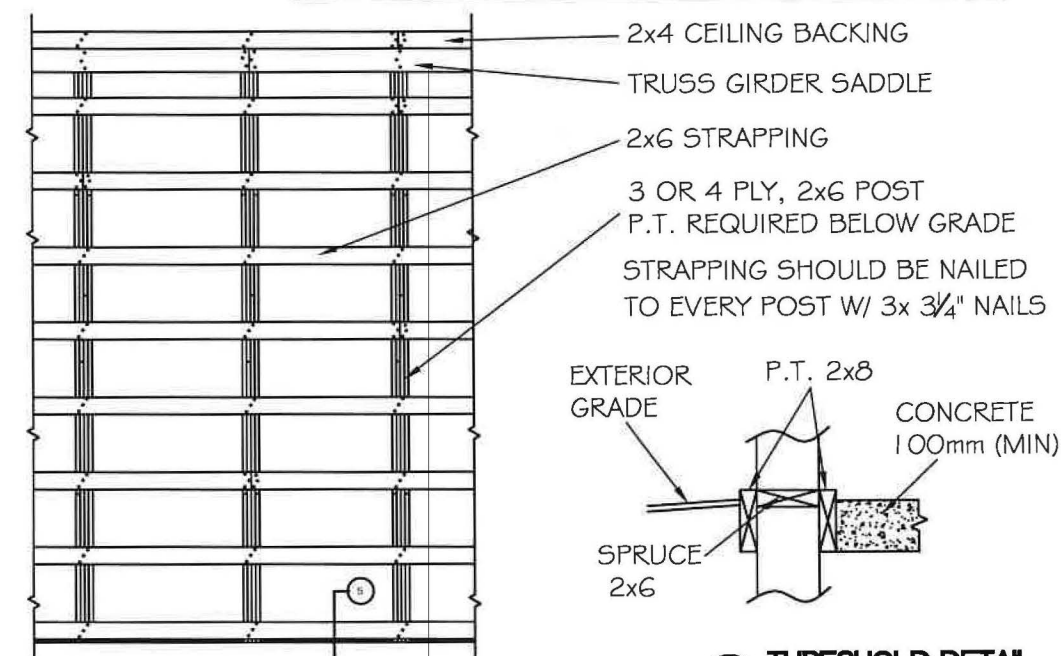
NOTE:
THIS IS A STANDARD DETAIL PAGE. THIS PAGE IS
FOR REFERENCE ONLY. DETAILS MAY NOT REFLECT
EXACT CONSTRUCTION.

1 WINDOW & DOOR DETAIL S.5.2 N.T.S.



- NOTE:**
ALTERNATIVE CORNER
BRACING SYSTEM
1. 2x4 OR 2x6 NAILED ACROSS
TWO POST SECTIONS. NAIL TO
INSIDE FACE OF POSTS.
 2. PLYWOOD SHEETING TO EITHER
FACE OF WALL, OR AN INTERIOR
FINISH (SHEET ROCK, METAL, OSB
ETC.) REPLACES NEED FOR STRAPPING
 3. 2x6 ANGLED BRACING REQUIRED
WHEN INTERIOR IS NOT FINISHED OR
STRAPPED.

2 CORNER BRACING DETAIL S.5.2 N.T.S.

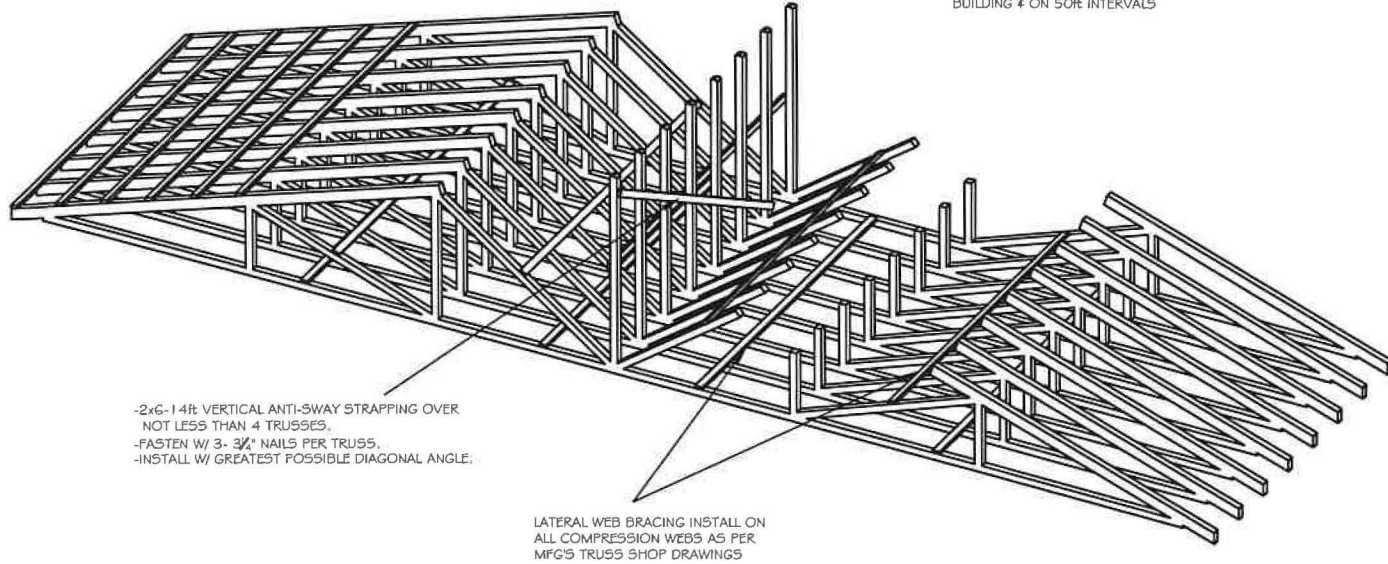


3 WALL STRAPPING DETAIL S.5.2 N.T.S.

REVISED: FEB 2019

TRUSS SYSTEM DESIGN IS SUPERCEDED BY TRUSS MFG.'S SHOP DRAWINGS

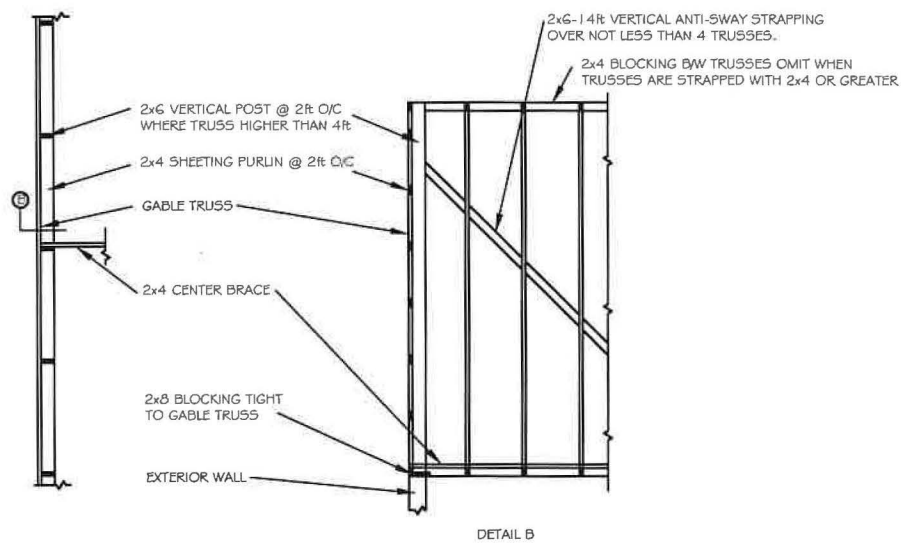
NOTE:
INSTALL VERTICAL ANTI-SWAY
BRACING AT EACH END OF
BUILDING & ON 50ft INTERVALS



VERTICAL SWAY BRACING & ANCHOR BRACING DETAIL

1
S.5.3
N.T.S.

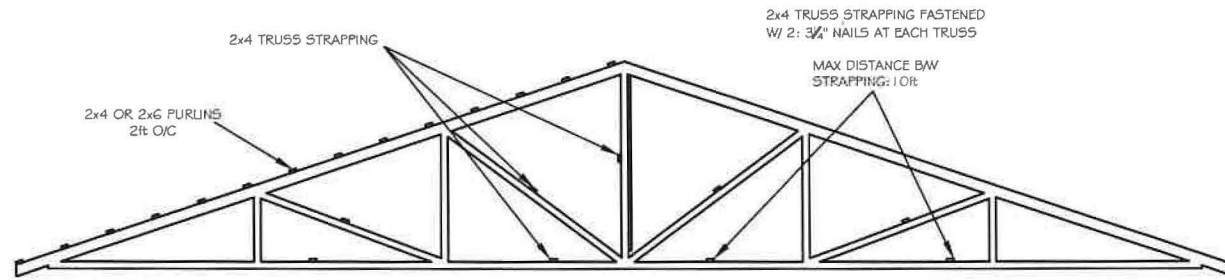
NOTE:
THIS IS A STANDARD DETAIL PAGE. THIS PAGE IS
FOR REFERENCE ONLY. DETAILS MAY NOT REFELECT
EXACT CONSTRUCTION.



ROOF GABLE BRACING DETAIL

2
S.5.3
N.T.S.

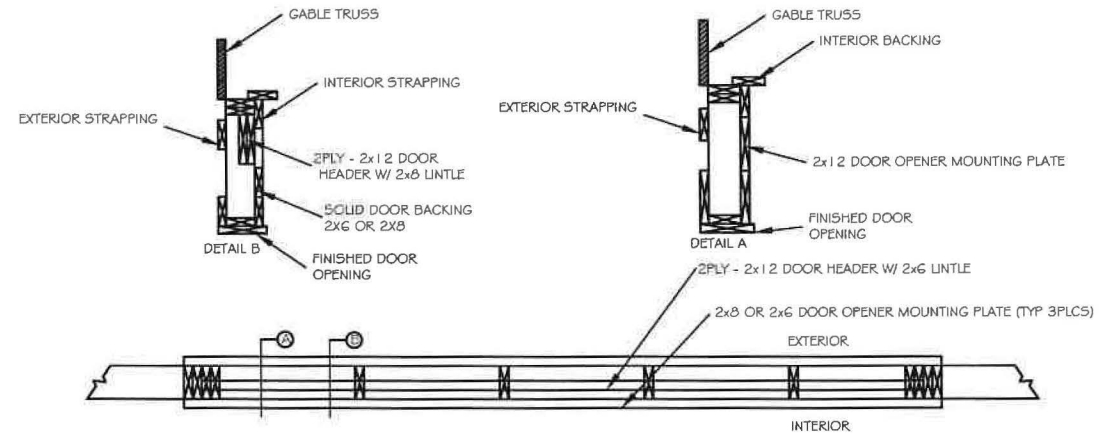
NOTE: TRUSS MFG SHOP DRAWINGS SUPERCEDE TRUSS DETAIL



TRUSS SYSTEM DESIGN IS SUPERCEDED BY TRUSS MFG.'S SHOP DRAWINGS

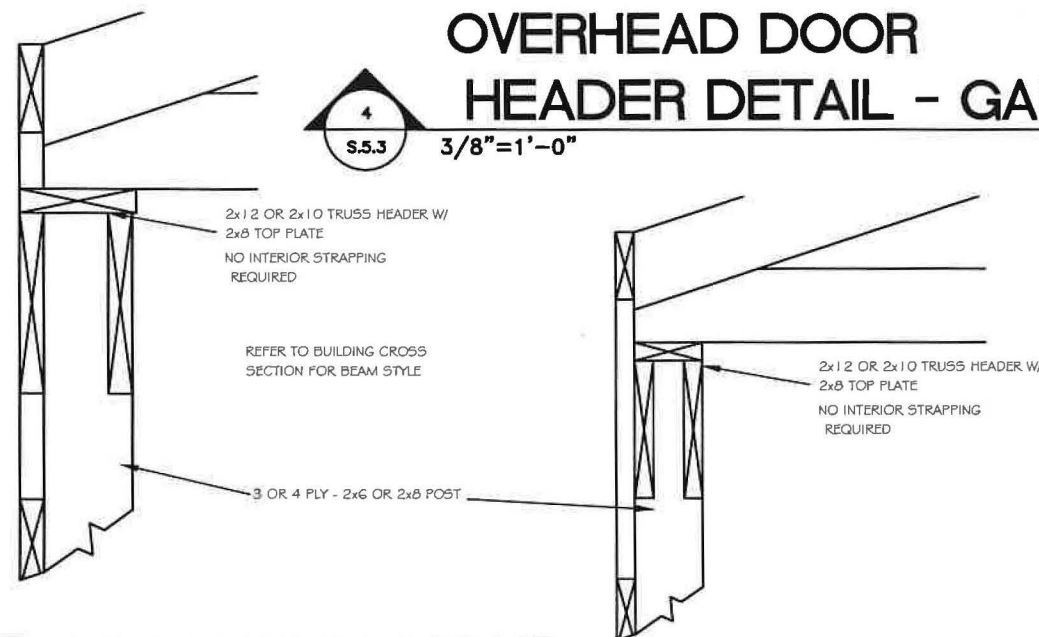
TRUSS BRACING DETAIL

3
S.5.3
N.T.S.



OVERHEAD DOOR HEADER DETAIL - GABLE

4
S.5.3
3/8"=1'-0"



TRUSS HEADER DETAIL

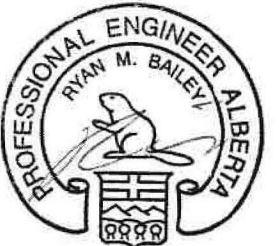
5
S.5.3
1"=1'-0"

REVISED: FEB 2019



ALSTRAN CORP.
APEGGA PERMIT
No. P10591

DRAWINGS ISSUED FOR
CONSTRUCTION



Aug 26 2019

PROJECT NO.	DBD500	REV	2
SCALE	NOT TO SCALE	DATE (MM/DD/YY)	02/09/19
DRAWN	ND	CHECKED	DH
ENGINEER	RMB		
CONFIDENTIAL-PROPRIETARY			
THIS DRAWING IS THE PROPERTY OF ALSTRAN CORP. AND IS SUBJECT TO RETURN UPON REQUEST. THE DRAWING INCLUDES CONFIDENTIAL AND PROPRIETARY INFORMATION OF ALSTRAN CORP AND IS LOANED IN CONFIDENCE WITH THE UNDERSTANDING THAT IT IS NOT TO BE COPIED OR REPRODUCED WITHOUT EXPRESSED WRITTEN PERMISSION, AND THAT NEITHER THE DRAWING NOR INFORMATION HEREIN BE USED ADVERSLY TO ALSTRAN CORP. COPYRIGHT (2009)			

CLIENT	
PROJECT	TYPICAL DETAILS
LAND DESCRIP.	AIRDRIE, ALBERTA
DWG NO.	S.5.3 GENERAL DETAIL



PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision and Development Appeal Board

DATE: November 20, 2019 **DIVISION:** 8

FILE: 05735088 **APPLICATION:** B-3; PRDP20193107

SUBJECT: Accessory Buildings

PROPOSAL: Construction of two (2) accessory buildings (storage shed and gazebo), relaxation of the minimum front and side yard setback requirements.	GENERAL LOCATION: Located approximately 0.81 km (1/2 mile) north of Hwy. 1A and on the west side of Woodland Rd.
APPLICATION DATE: August 30, 2019	DEVELOPMENT AUTHORITY DECISION: Discretionary – Refused
APPEAL DATE: November 1, 2019	DEVELOPMENT AUTHORITY DECISION DATE: October 30, 2019
APPELLANT: Langeli, Samuele	APPLICANT: Langeli, Samuele
LEGAL DESCRIPTION: Lot 15 Block 1 Plan 0711356, NE-35-25-03-W05M	MUNICIPAL ADDRESS: 31010 WOODLAND VIEW
LAND USE DESIGNATION: Residential One District (R-1)	GROSS AREA: ± 0.80 hectares (± 1.98 acres)
PERMITTED USE: Accessory buildings are a permitted and discretionary use in the R-1 district.	DEVELOPMENT VARIANCE AUTHORITY: Section 12.2 of the Land Use Bylaw allows the Development Authority to grant a maximum of 25% variance of the minimum setback requirement.
PUBLIC SUBMISSIONS: The application was circulated to 38 adjacent landowners. At the time this report was prepared, no letters were received in support or objection to the application.	LAND USE POLICIES AND STATUTORY PLANS: <ul style="list-style-type: none"> •County Plan •Land Use Bylaw •Bears paw ASP

EXECUTIVE SUMMARY:

The proposal is for the construction of two (2) accessory buildings. The proposed buildings are a 23.78 sq. m (255.97 sq. ft.) storage shed and a 12.58 sq. m (135.41 sq. ft.) gazebo with a fireplace. Both will be finished with the same stucco as the existing dwelling.

The proposed locations of both accessory buildings do not meet the minimum front and side yard setback requirements of the Land Use Bylaw.

- The front yard setback (east) of the proposed accessory building (storage shed) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.



- Required: **45.00 m (147.64 ft.)** Requested: **42.00 m (137.80 ft.)**
- Variance: **6.67%**
- The side yard setback (north) of the proposed accessory building (storage shed) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.
 - Required: **15.00 m (49.21 ft.)** Requested: **7.40 m (24.28 ft.)**
 - Variance: **50.67%**
- The front yard setback (east) of the proposed accessory building (gazebo) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.
 - Required: **45.00 m (49.21 ft.)** Requested: **9.80 m (32.15 ft.)**
 - Variance: **78.22%**
- The side yard setback (north) of the proposed accessory building (gazebo) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.
 - Required: **15.00 m (49.21 ft.)** Requested: **14.00 m (45.93 ft.)**
 - Variance: **6.67%**

The Development Authority can apply a variance of up to 25% for setback relaxations, as defined in Section 12.2 of the Land Use Bylaw. Two of the proposed setbacks exceed this variance. Therefore, the Development Authority refused the application on October 30, 2019.

The Appellant appealed the decision of the Development Authority for the reasons noted within the agenda package.

PROPERTY HISTORY:

September 23, 2016	PRDP20161838 issued for construction of a dwelling, single detached, relaxation of maximum height requirement, relaxation of minimum front yard setback requirement, relaxation of the minimum side yard setback requirement and single-lot regrading and the placement of clean fill
January 10, 2019	PRBD20161823 finalised for construction of a single family dwelling
June 5, 2015	PRDP20150022 issued for the placement of clean fill

APPEAL:

See attached report and exhibits.

Respectfully submitted,

Sean MacLean
Supervisor Planning

SKh/ltt

Application No.	PRDP20193107 (roll 05735088)	File Manager	Sandra Khouri
District	Residential One (R-1)	Gross Area (ha)	0.80
Use	construction of two (2) accessory buildings (storage shed and gazebo), relaxation of the minimum front and side yard setback requirements		

Use and District Intent Check	Yes/No
Is the proposed development a listed use?	Yes
Does the proposed development meet the use definition?	Yes
Does the proposed development meet the Purpose and Intent?	Yes

Comments
The proposed buildings are a storage shed and gazebo with fireplace.

Area property lines adjacent to a paved road?					
Front Yard	Yes	Side Yard 1	Yes	Side Yard 2	No

Comments
Front yard is the east P/L, Side yard 1 is the south P/L, Side yard 2 is the north P/L, and the rear yard is the west P/L

		Regulation	Min/Max	Proposed	Δ	Variance
Principal Building:	48.5 (b)	Front Yard Setback (m)			0.00	
	(c)	Side Yard Setback (m)			0.00	
	(c)	Side Yard Setback (m)			0.00	
	(d)	Rear Yard Setback (m)			0.00	
	48.6	Habitable Floor Area (m ²)			0.00	
	48.7	Building Height (m)			0.00	
	20.3	SDD/lot	1	1	0.00	
Acc. Bld #1	48.5 (b)	Front Yard Setback (m)	45.00	42.00	-3.00	6.67%
	(c)	Side Yard Setback (m)	15.00	lots	#VALUE!	
	(c)	Side Yard Setback (m)	15.00	7.40	-7.60	50.67%
	(d)	Rear Yard Setback (m)	7.00	31.40	24.40	
	48.7 (b)	Building Height (m)	7.00	3.96	-3.04	
Acc. Bld #2	48.2	Single Acc. Bld Area (m ²)	120.00	23.78	-96.22	
	48.5 (b)	Front Yard Setback (m)	45.00	9.80	-35.20	78.22%
	(c)	Side Yard Setback (m)	15.00	lots	#VALUE!	
	(c)	Side Yard Setback (m)	15.00	14.00	-1.00	6.67%
	(d)	Rear Yard Setback (m)	7.00	lots	#VALUE!	
	48.7 (b)	Building Height (m)	7.00	3.40	-3.60	

Comments
On SFD DP (PRDP20161838) Woodland Rd was considered the front yard so that the north property line could be considered a side. As it is an open service road, if it's considered a rear, the setback would be 30 m; this way the setback can be 15 m. In order to remain consistent, same front and side will be used
Storage Shed: the requested front yard relaxation is within the DA's variance (50%). However, the requested side yard relaxation is greater than the DA's variance (25%). As such, this application is refused.
Gazebo: the requested side yard relaxation is within the DA's variance (25%). However, the requested front yard relaxation is greater than the DA's variance (50%). As such, this application is refused.

REFUSAL

REFUSAL

	48.2	Single Acc. Bld Area (m ²)	120.00	12.58	-107.42	
--	------	--	--------	-------	---------	--

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General Accessory Building Regulations					
20.3	ADU/lot	1	0	-1.00	
48.9	Total Acc. Bld Area (m ²)	120.00	36.36	-83.64	
48.10	No. Acc. Bld	2.00	2	0.00	

Comments
The total number of proposed accessory buildings and the total area for all accessory buildings is compliant with the LUB

Does the proposed development (including variances):	Yes/No
Unduly interfere with the amenities of the neighbourhood?	No
Materially interfere with or affect the use, enjoyment or value of neighbouring parcels of land?	No

Comments
These are relatively small buildings, no concerns with impact to adjacent lands

Doc Type	Policy Name	Applicable Policies?	Compliance with Policies
IGP	Interim Growth Plan	No	
IDP	NA	N/A	
MDP	County Plan	Yes	
ASP	Bearspaw	No	
CS	NA	N/A	

Comments

BP/DP History	PRDP20150022 for placement of clean fill (approved) PRDP20161838 for SFD, relaxation of maximum height, relaxation of minimum front and side yard setbacks, single lot regarding and the placement of clean fill (approved) PRBD20161823 for SFD (approved)
Inspector Comments	Construction occurring on SFD; Construction of the proposed accessory building is observed on north side of property; Tidy property; Very little screening from the roads
Overall Assessment	The proposed buildings will be constructed with the same materials and finishing of the house (sand coloured stucco). The property has a large wetland on the south side and is fronting a road to the east and south and an open road allowance to the north. As such, the developable area is limited. The Applicant has indicated that the proposed locations for these buildings would be the most suitable location. However, the variances required for the setback from the north and east property lines exceeds the variance granted to the Development Authority in the LUB (25% for an unpaved road and 50% for a paved road). As such, the application has been refused.

**Non-Standard
Conditions**

OPTIONS:

Option #1 (this would allow for the construction of the accessory buildings)

That the appeal against the decision of the Development Authority to refuse to issue a Development Permit for the construction of two (2) accessory buildings (storage shed and gazebo), relaxation of the minimum front and side yard setback requirements at Lot 15, Block 1, Plan 0711356; NE-35-25-03-W05M (31010 WOODLAND VIEW) be upheld, that the decision of the Development Authority be revoked, and that a Development Permit be issued, subject to the following conditions:

Description:

- 1) That the construction of two (2) accessory buildings (storage shed and gazebo) may take place on the subject lands in accordance with the site plan submitted with the application and conditions of this permit.
 - a) That the front yard setback (east) of the proposed accessory building (storage shed) is relaxed from **45.00 m (147.64 ft.)** to **42.00 m (137.80 ft.)**.
 - b) That the side yard setback (north) of the proposed accessory building (storage shed) is relaxed from **15.00 m (49.21 ft.)** to **7.40 m (24.28 ft.)**.
 - c) That the front yard setback (east) of the proposed accessory building (gazebo) is relaxed from **45.00 m (49.21 ft.)** to **9.80 m (32.15 ft.)**.
 - d) That the side yard setback (north) of the proposed accessory building (gazebo) is relaxed from **15.00 m (49.21 ft.)** to **14.00 m (45.93 ft.)**.

Permanent:

- 2) That the accessory buildings (storage shed and gazebo) shall not be used for commercial purposes at any time, except for a Home-Based Business, Type I, or an approved Home-Based Business, Type II.
- 3) That the accessory buildings (storage shed and gazebo) shall not be used for residential occupancy at any time.
- 4) That there shall be no more than 1.00 m (3.28 ft.) of fill placed adjacent to or within 15.00 m (49.21 ft.) of the proposed building under construction, which is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
- 5) That if the development authorized by this Development Permit is not commenced with reasonable diligence within twelve (12) months from the date of issue, and completed within twenty-four (24) months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

Advisory:

- 6) That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
- 7) That during construction of the Accessory Building, all construction and building materials shall be maintained on site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.

- 8) That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
- 9) That a Building Permit and sub-trade permits shall be obtained through Building Services, prior to any construction taking place.

Option #2 (this would not allow for the construction of the accessory buildings)

That the appeal against the decision of the Development Authority to refuse to issue a Development Permit for the construction of two (2) accessory buildings (storage shed and gazebo), relaxation of the minimum front and side yard setback requirements at Lot 15, Block 1, Plan 0711356; NE-35-25-03-W05M (31010 WOODLAND VIEW) be denied, and that the decision of the Development Authority be confirmed.

Lori-Lee Turcotte

From: Lahnert, Jessica <Jessica.Lahnert@atco.com>
Sent: Tuesday, September 17, 2019 11:13 AM
To: Sandra Khouri
Subject: RE: PRDP20193107 Circulation

Categories: CityView Permitting Attachment

Hi Sandra,

ATCO Gas has no objection to the proposed.

Thanks,

Jessica Lahnert

Administrative Coordinator
Natural Gas Distribution
Pipelines & Liquids Global Business Unit

P. 403 245 7443

From: SKhouri@rockyview.ca <SKhouri@rockyview.ca>
Sent: Thursday, September 12, 2019 12:20 PM
To: BuildingServicesCirculations@rockyview.ca; DevelopmentCompliance@rockyview.ca; DHafichuk@rockyview.ca; SJewison@rockyview.ca; JKoole@rockyview.ca; jfleischer@rockyview.ca; cnelson@rockyview.ca; sracz@rockyview.ca; SHulsman@rockyview.ca; JMcHattie@rockyview.ca; bgellately@rockyview.ca; bRiemann@rockyview.ca; South Land Administration <SouthLandAdministration@atco.cul.ca>; Solis-Jarek, Isabel <Isabel.Solis@atco.com>; landserv@fortisalberta.com; circulations@telus.com
Subject: PRDP20193107 Circulation

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Hello,

Please review the attached application and reply with comments, if any, to SKhouri@rockyview.ca by October 3, 2019.

Thank you,

SANDRA KHOURI

Development Officer | Planning and Development Services

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520-3934

skhouri@rockyview.ca | www.rockyview.ca

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The information transmitted is intended only for the addressee and may contain confidential, proprietary and/or privileged material. Any

Lori-Lee Turcotte

From: Solis-Jarek, Isabel <Isabel.Solis@atco.com>
Sent: Wednesday, October 16, 2019 10:17 AM
To: Sandra Khouri
Subject: 19-3331 Response - PRDP20193107 Circulation
Attachments: PRDP20193107 Circulation.pdf

Categories: CityView Permitting Attachment

Good Morning,

ATCO PIPELINES has no objection.

Thank you,

Isabel Solis-Jarek

Sr. Administrative Coordinator | Gas Transmission
ATCO Pipelines & Liquids Global Business Unit

P. 780 420 3896

From: SKhouri@rockyview.ca [mailto:SKhouri@rockyview.ca]
Sent: Thursday, September 12, 2019 12:19 PM
To: BuildingServicesCirculations@rockyview.ca; DevelopmentCompliance@rockyview.ca; DHafichuk@rockyview.ca; SJewison@rockyview.ca; JKoole@rockyview.ca; jfleischer@rockyview.ca; cnelson@rockyview.ca; sracz@rockyview.ca; SHulsman@rockyview.ca; JMcHattie@rockyview.ca; bgellately@rockyview.ca; bRiemann@rockyview.ca; South Land Administration <SouthLandAdministration@atco.cul.ca>; Solis-Jarek, Isabel <Isabel.Solis@atco.com>; landserv@fortisalberta.com; circulations@telus.com
Subject: PRDP20193107 Circulation

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Thank you,

SANDRA KHOURI

Development Officer | Planning and Development Services

ROCKY VIEW COUNTY

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Phone: 403-520-3934

skhouri@rockyview.ca | www.rockyview.ca

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Lori-Lee Turcotte

From: Building Services Circulations
Sent: Wednesday, October 02, 2019 11:16 AM
To: Sandra Khouri
Subject: RE: PRDP20193107 Circulation

Categories: CityView Permitting Attachment

Hi Sandra,

No objection to setback relaxations, subject to BP. Must follow "Accessory Building" checklist.

Thanks,

GORDON RAUSCH, CET
Building Safety Codes Officer | Building Services

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520-8178
garaus@rockyview.ca | www.rockyview.ca

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From: Sandra Khouri <SKhouri@rockyview.ca>
Sent: Thursday, September 12, 2019 12:19 PM
To: Building Services Circulations <BuildingServicesCirculations@rockyview.ca>; Development Compliance <DevelopmentCompliance@rockyview.ca>; Doug Hafichuk <DHafichuk@rockyview.ca>; Stuart Jewison <SJewison@rockyview.ca>; Jennifer Koole <JKoole@rockyview.ca>; Jeff Fleischer <jfleischer@rockyview.ca>; Cole Nelson <cnelson@rockyview.ca>; Sheldon Racz <sracz@rockyview.ca>; Steven Hulsman <SHulsman@rockyview.ca>; Jayme McHattie <JMcHattie@rockyview.ca>; Brenda Gellately <bgellately@rockyview.ca>; Byron Riemann <bRiemann@rockyview.ca>; southlandadmin@atcogas.com; Isabel.Solis@atcopipelines.com; landserv@fortisalberta.com; circulations@telus.com
Subject: PRDP20193107 Circulation

Hello,

Please review the attached application and reply with comments, if any, to SKhouri@rockyview.ca by October 3, 2019.

Thank you,

SANDRA KHOURI
Development Officer | Planning and Development Services

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520-3934

skhouri@rockyview.ca | www.rockyview.ca

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Lori-Lee Turcotte

From: Doug Hafichuk
Sent: Monday, September 30, 2019 2:44 PM
To: Sandra Khouri
Subject: RE: PRDP20193107 Circulation

Categories: CityView Permitting Attachment

Capital Projects has no concerns.

From: Sandra Khouri <SKhouri@rockyview.ca>
Sent: Thursday, September 12, 2019 12:19 PM
To: Building Services Circulations <BuildingServicesCirculations@rockyview.ca>; Development Compliance <DevelopmentCompliance@rockyview.ca>; Doug Hafichuk <DHafichuk@rockyview.ca>; Stuart Jewison <SJewison@rockyview.ca>; Jennifer Koole <JKoole@rockyview.ca>; Jeff Fleischer <jfleischer@rockyview.ca>; Cole Nelson <cnelson@rockyview.ca>; Sheldon Racz <sracz@rockyview.ca>; Steven Hulsman <SHulsman@rockyview.ca>; Jayme McHattie <JMcHattie@rockyview.ca>; Brenda Gellately <bgellately@rockyview.ca>; Byron Riemann <bRiemann@rockyview.ca>; southlandadmin@atcogas.com; Isabel.Solis@atcopipelines.com; landserv@fortisalberta.com; circulations@telus.com
Subject: PRDP20193107 Circulation

Hello,

Please review the attached application and reply with comments, if any, to SKhouri@rockyview.ca by October 3, 2019.

Thank you,

SANDRA KHOURI
Development Officer | Planning and Development Services

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520-3934
skhouri@rockyview.ca | www.rockyview.ca

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Lori-Lee Turcotte

From: Aldcroft, Erin <erin.aldcroft@fortisalberta.com> on behalf of Land Service <landserv@fortisalberta.com>
Sent: Monday, September 16, 2019 10:39 AM
To: Sandra Khouri
Subject: PRDP20193107 Circulation
Categories: CityView Permitting Attachment

FortisAlberta has no concerns.

Warm Regards,

Erin Aldcroft

Erin Aldcroft | Land Coordinator

FortisAlberta Inc. | 15 Kingsview Rd. SE Airdrie, AB T4A 0A8 | Tel: 587-775-6331

[Project Status Portal](#) | Check the status of your New Service Connection or Project.

[Get Connected](#) | Getting connected with us is a five-phase process. Learn more here.



For more information please visit fortisalberta.com

From: SKhouri@rockyview.ca <SKhouri@rockyview.ca>
Sent: Thursday, September 12, 2019 12:19 PM
To: BuildingServicesCirculations@rockyview.ca; DevelopmentCompliance@rockyview.ca; DHafichuk@rockyview.ca; SJewison@rockyview.ca; JKoole@rockyview.ca; jfleischer@rockyview.ca; cnelson@rockyview.ca; sracz@rockyview.ca; SHulsman@rockyview.ca; JMcHattie@rockyview.ca; bgellately@rockyview.ca; bRiemann@rockyview.ca; southlandadmin@atcogas.com; Isabel.Solis@atcopipelines.com; Land Service <landserv@fortisalberta.com>; circulations@telus.com
Subject: ? EXTERNAL PRDP20193107 Circulation

Hello,

Please review the attached application and reply with comments, if any, to SKhouri@rockyview.ca by October 3, 2019.

Thank you,

SANDRA KHOURI

Development Officer | Planning and Development Services

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520-3934

skhouri@rockyview.ca | www.rockyview.ca

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Lori-Lee Turcotte

From: Chris Rvachew <CHRIS.RVACHEW@telus.com> on behalf of circulations <circulations@telus.com>
Sent: Friday, September 13, 2019 8:54 AM
To: Sandra Khouri
Subject: RE: PRDP20193107 Circulation
Categories: CityView Permitting Attachment

TELUS Communications Inc. has no objections to the above mentioned circulation.

Chris Rvachew | Real Estate Specialist
Customer Network Implementation | TELUS | Rights of Way
2930 Centre Avenue NE, Calgary, AB T2A 4Y2
Phone: (403) 384-3066 | circulations@telus.com

Please do NOT e-mail me directly. To avoid delays in processing, send all e-mails to circulations@telus.com.

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From: SKhouri@rockyview.ca [mailto:SKhouri@rockyview.ca]
Sent: September 12, 2019 12:19 PM
To: BuildingServicesCirculations@rockyview.ca; DevelopmentCompliance@rockyview.ca; DHafichuk@rockyview.ca; SJewison@rockyview.ca; JKoole@rockyview.ca; jfleischer@rockyview.ca; cnelson@rockyview.ca; sracz@rockyview.ca; SHulsman@rockyview.ca; JMcHattie@rockyview.ca; bgellately@rockyview.ca; bRiemann@rockyview.ca; southlandadmin@atcogas.com; Isabel.Solis@atcopipelines.com; landserv@fortisalberta.com; circulations <circulations@telus.com>
Subject: PRDP20193107 Circulation

Hello,

Please review the attached application and reply with comments, if any, to SKhouri@rockyview.ca by October 3, 2019.

Thank you,

SANDRA KHOURI
Development Officer | Planning and Development Services

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520-3934
skhouri@rockyview.ca | www.rockyview.ca

This e-mail, including any attachments, may contain information that is privileged and confidential. If you are not the intended recipient, any dissemination, distribution or copying of this information is prohibited and unlawful. If you received this communication in error, please reply immediately to let me know and then delete this e-mail. Thank you.

Lori-Lee Turcotte

From: Jayme McHattie
Sent: Monday, October 07, 2019 11:48 AM
To: Sandra Khouri
Subject: RE: PRDP20193107 Circulation

Categories: CityView Permitting Attachment

Hello,

Below you will find the recommendations & advisories from Transportation Services for the subject line DP

- ☐ -Applicant to contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
- ☐ -Applicant to confirm access to development / subdivided lots.
- ☐ -Any on site exterior lighting to be “dark sky” compliant.

JAYME MCHATTIE

Administrative Assistant
Transportation Services

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520-3930
JMcHattie@rockyview.ca | www.rockyview.ca

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If you received this communication in error, please reply immediately to let me know and then delete this e-mail. Thank you.

From: Sandra Khouri <SKhouri@rockyview.ca>
Sent: September-12-19 12:19 PM
To: Building Services Circulations <BuildingServicesCirculations@rockyview.ca>; Development Compliance <DevelopmentCompliance@rockyview.ca>; Doug Hafichuk <DHafichuk@rockyview.ca>; Stuart Jewison <SJewison@rockyview.ca>; Jennifer Koole <JKoole@rockyview.ca>; Jeff Fleischer <jfleischer@rockyview.ca>; Cole Nelson <cnelson@rockyview.ca>; Sheldon Racz <sracz@rockyview.ca>; Steven Hulsman <SHulsman@rockyview.ca>; Jayme McHattie <JMcHattie@rockyview.ca>; Brenda Gellately <bgellately@rockyview.ca>; Byron Riemann <bRiemann@rockyview.ca>; southlandadmin@atcogas.com; Isabel.Solis@atcopipelines.com; landserv@fortisalberta.com; circulations@telus.com
Subject: PRDP20193107 Circulation

Hello,

Please review the attached application and reply with comments, if any, to SKhouri@rockyview.ca by October 3, 2019.

Thank you,

SANDRA KHOURI

Development Officer | Planning and Development Services

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520-3934

skhouri@rockyview.ca | www.rockyview.ca

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Lori-Lee Turcotte

From: Stuart Jewison
Sent: Monday, September 23, 2019 4:05 PM
To: Sandra Khouri
Subject: RE: PRDP20193107 Circulation

Categories: CityView Permitting Attachment

Hi Sandra,

Utility Services: No Concerns.

Thanks,

STUART JEWISON
Manager | Utility Services

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520-1189
sjewison@rockyview.ca | www.rockyview.ca

This e-mail, including any attachments, may contain information that is privileged and confidential. If you are not the intended recipient, any dissemination, distribution or copying of this information is prohibited and unlawful. If you received this communication in error, please reply immediately to let me know and then delete this e-mail. Thank you.

From: Sandra Khouri
Sent: Thursday, September 12, 2019 12:19 PM
To: Building Services Circulations <BuildingServicesCirculations@rockyview.ca>; Development Compliance <DevelopmentCompliance@rockyview.ca>; Doug Hafichuk <DHafichuk@rockyview.ca>; Stuart Jewison <SJewison@rockyview.ca>; Jennifer Koole <JKoole@rockyview.ca>; Jeff Fleischer <jfleischer@rockyview.ca>; Cole Nelson <cnelson@rockyview.ca>; Sheldon Racz <sracz@rockyview.ca>; Steven Hulsman <SHulsman@rockyview.ca>; Jayme McHattie <JMcHattie@rockyview.ca>; Brenda Gellately <bgellately@rockyview.ca>; Byron Riemann <bRiemann@rockyview.ca>; southlandadmin@atcogas.com; Isabel.Solis@atcopipelines.com; landserv@fortisalberta.com; circulations@telus.com
Subject: PRDP20193107 Circulation

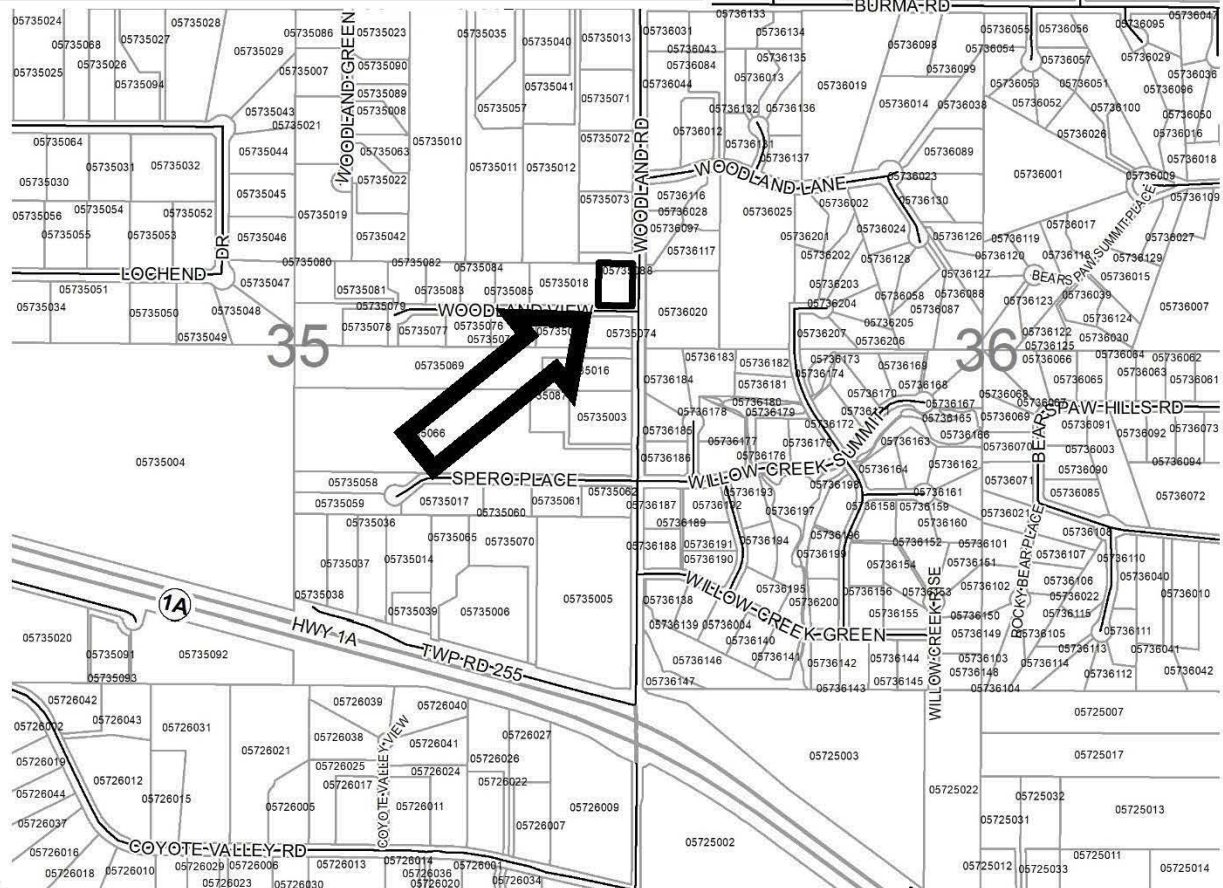
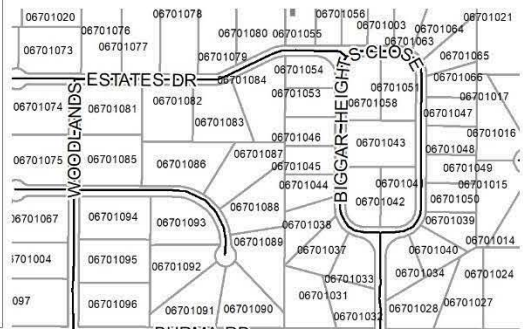
Hello,

Please review the attached application and reply with comments, if any, to SKhouri@rockyview.ca by October 3, 2019.

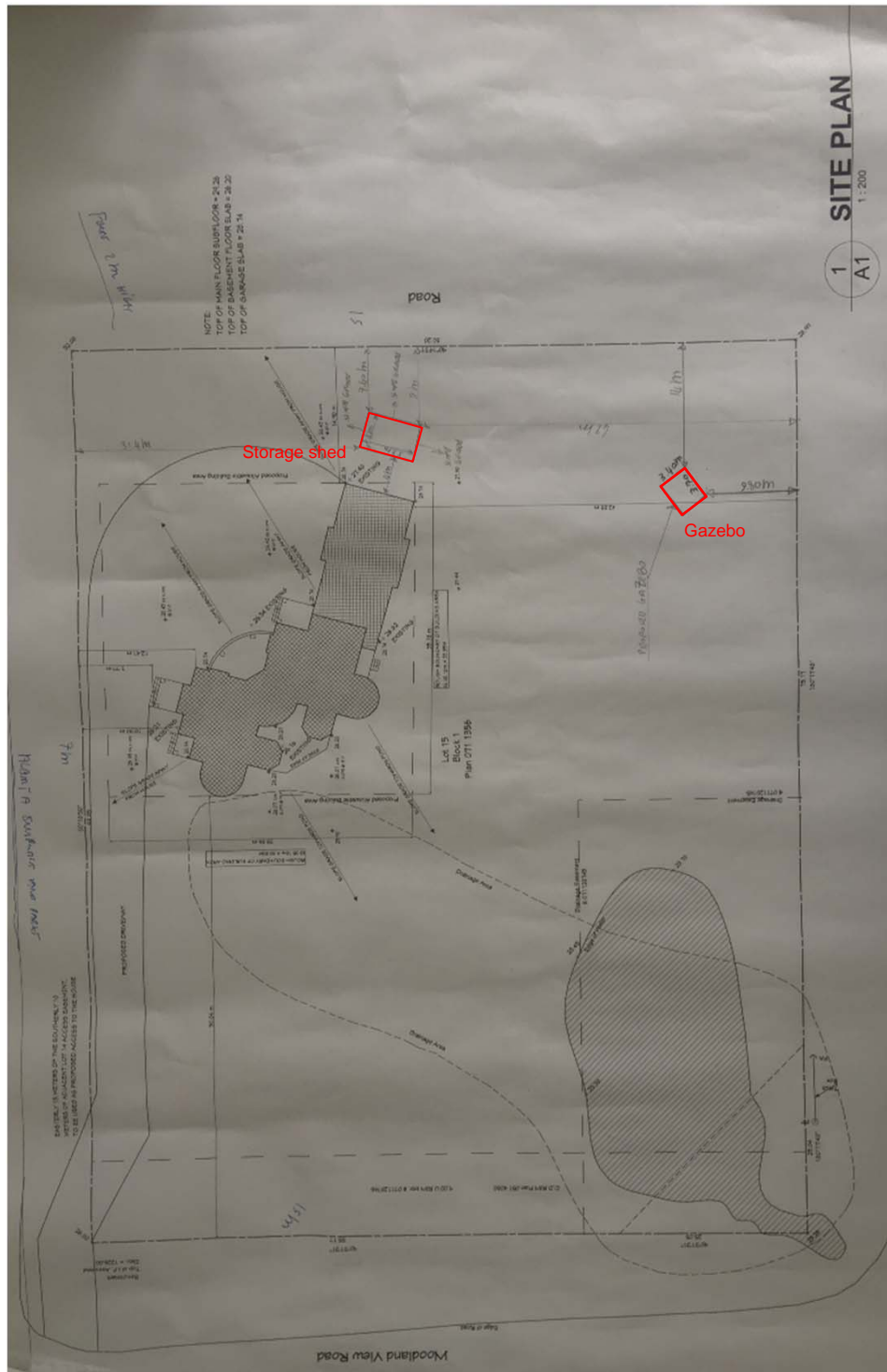
Thank you,

SANDRA KHOURI
Development Officer | Planning and Development Services

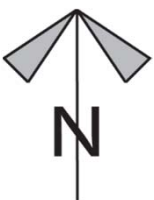
ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520-3934
skhouri@rockyview.ca | www.rockyview.ca



File: 05735088

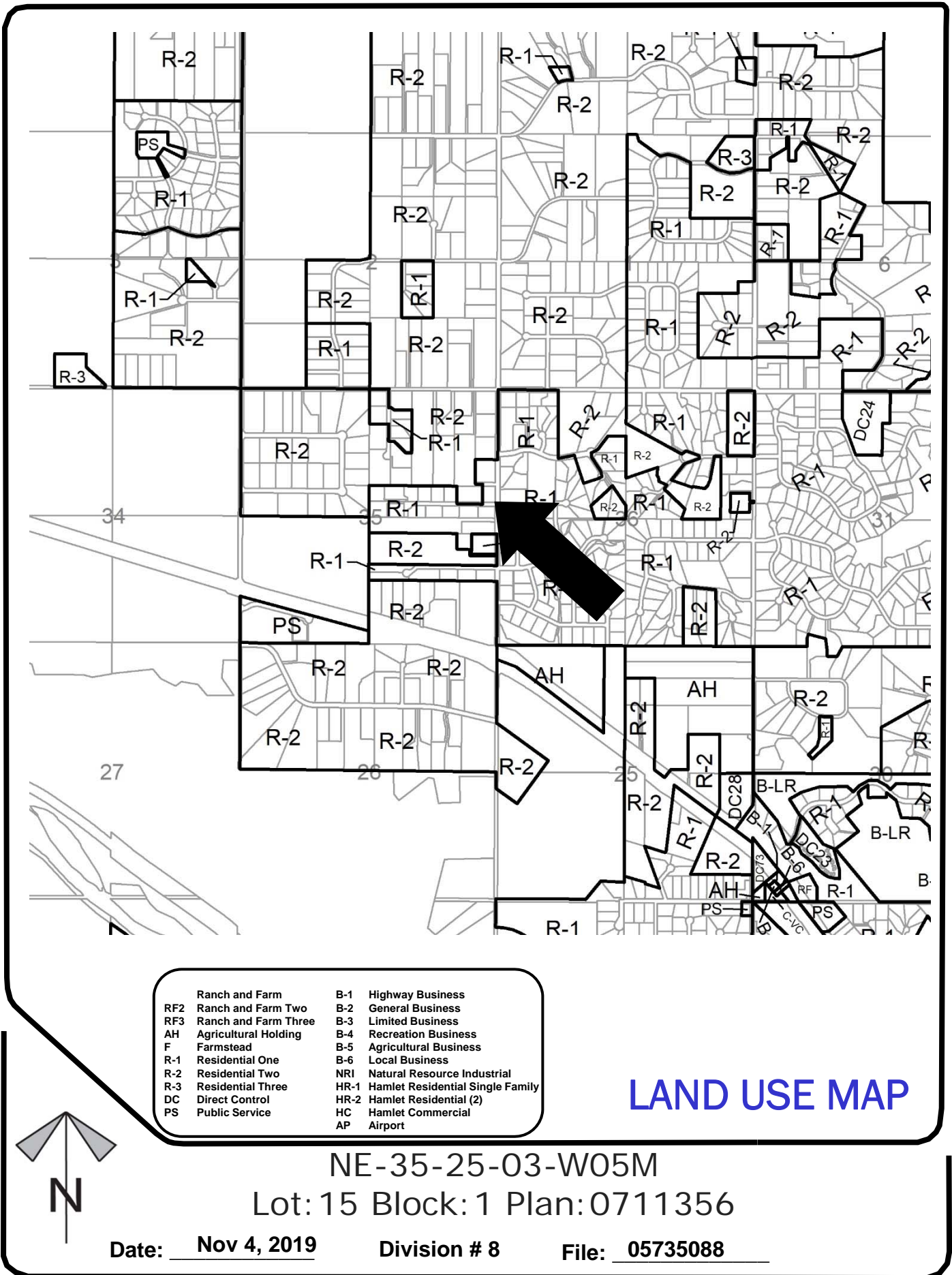


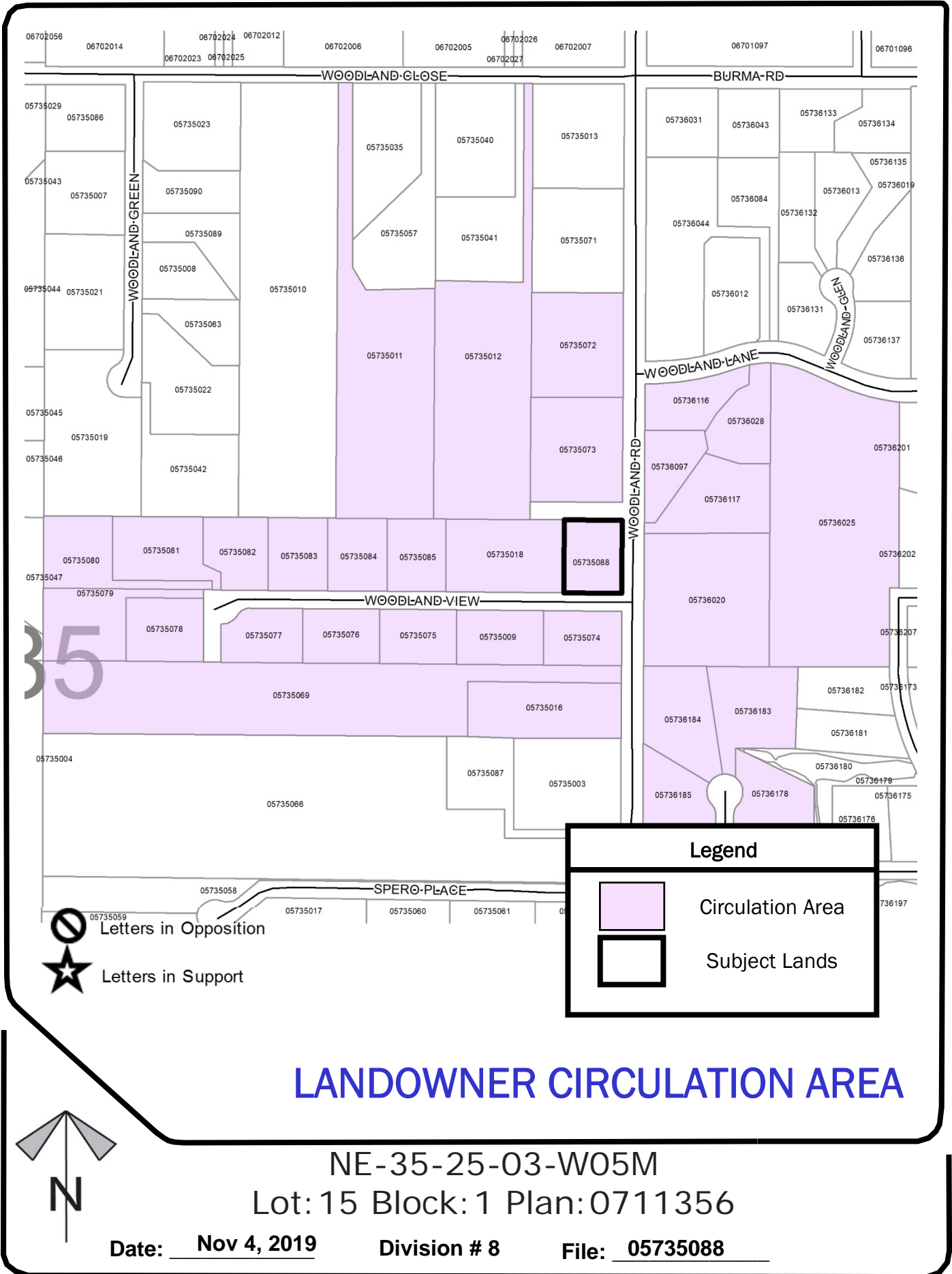
SITE PLAN



NE-35-25-03-W05M
Lot: 15 Block: 1 Plan: 0711356

Date: Nov 4, 2019 Division # 8 File: 05735088







262075 Rocky View Point
Rocky View County, AB, T4A 0X2

403-230-1401
questions@rockyview.ca
www.rockyview.ca

REFUSAL

Langeli, Samuele



Development Permit #: PRDP20193107

Date of Issue: October 30, 2019

Roll #: 05735088

Your Application dated August 30, 2019 for a Development Permit in accordance with the provisions of the Land Use Bylaw C-4841-97 of Rocky View County in respect of:

**construction of two (2) accessory buildings (storage shed and gazebo),
relaxation of the minimum front and side yard setback requirements**

at Lot 15 Block 1 Plan 0711356, NE-35-25-03-05; (31010 WOODLAND VIEW)

has been considered by the Development Authority and the decision in the matter is that your application be **REFUSED** for the following reasons:

- 1) The front yard setback (east) of the proposed accessory building (storage shed) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.
Required: 45.00 m (147.64 ft.)
Requested: 42.00 m (137.80 ft.)
- 2) The side yard setback (north) of the proposed accessory building (storage shed) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.
Required: 15.00 m (49.21 ft.)
Requested: 7.40 m (24.28 ft.)
- 3) The front yard setback (east) of the proposed accessory building (gazebo) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.
Required: 45.00 m (49.21 ft.)
Requested: 9.80 m (32.15 ft.)
- 4) The side yard setback (north) of the proposed accessory building (gazebo) does not meet the minimum requirement as per Section 48.5 of the Land Use Bylaw C-4841-97.
Required: 15.00 m (49.21 ft.)
Requested: 14.00 m (45.93 ft.)

If you require further information or have any questions regarding this development, please contact Sandra Khouri at 403-520-3934 or email SKhouri@rockyview.ca and include the application number.

A handwritten signature in black ink, appearing to read "SKhouri", written over a horizontal line.

Development Authority
Rocky View County

NOTE: An appeal from this decision may be made to the Subdivision and Development Appeal Board of Rocky View County. Notice of Appeal to the Subdivision and Development Appeal Board from this decision shall be filed with the requisite fee of \$350 with Rocky View County no later than 21 days following the date on which this Notice is dated.



ROCKY VIEW COUNTY
Cultivating Communities

Notice of Appeal
Subdivision and Development Appeal Board
Enforcement Appeal Committee

Appellant Information

Name of Appellant(s)

SAM LANGELI

Site Information

Municipal Address

31010 Woodland View

Legal Land Description (lot, block, plan OR quarter-section-township-range-meridian)

LOT 15, BLOCK 1, PLAN 0711356

Property Roll #

05735088

Development Permit, Subdivision Application, or Enforcement Order #

PROP 20193107

I am appealing: (check one box only)

Development Authority Decision

- ☐ Approval
☐ Conditions of Approval
☒ Refusal

Subdivision Authority Decision

- ☐ Approval
☐ Conditions of Approval
☐ Refusal

Decision of Enforcement Services

- ☐ Stop Order
☐ Compliance Order

Reasons for Appeal (attach separate page if required)

THE CONSTRUCTION OF THE TWO ACCESSORY BUILDINGS (STORAGE SHED AND GARAGE) WOULD HAVE NO IMPACT ON ANY NEIGHBOURS, THE SERVICE ROAD EAST OF THE PROPERTY IS NOT OPEN FOR PUBLIC OR PRIVATE USE.

THERE ARE NO OTHER LOCATIONS ON THE LOT TO ACCOMMODATE THE ACCESSORY BUILDING SINCE THERE IS WETLAND RESTRICTION ON THE WEST SIDE WHICH PREVENT THE CONSTRUCTION OF ANY BUILDING ON THE ~~WEST~~ LOT DESIGNATED ALLOWABLE BUILDING AREA.

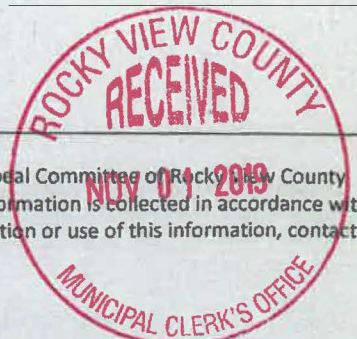
DRIVEWAY ACCESS IS FROM WOODLAND ROAD.

This information is collected for the Subdivision and Development Appeal Board or Enforcement Appeal Committee of Rocky View County and will be used to process your appeal and to create a public record of the appeal hearing. The information is collected in accordance with the Freedom of Information and Protection of Privacy Act. If you have questions regarding the collection or use of this information, contact the Municipal Clerk at 403-230-1401.

Appellant's Signature

Date

NOVEMBER 1, 2019



NOTE:
TOP OF MAIN FLOOR SUBFLOOR = 29.26
TOP OF BASEMENT FLOOR SLAB = 26.20
TOP OF GARAGE SLAB = 25.74

51

Road

1
A1

SITE PLAN

1:200





ROCKY VIEW COUNTY
Cultivating Communities

20193107

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted	File Number 05735088
Date of Receipt AUG 30/19	Receipt #

Name of Applicant SANUELE LANGELI Email [REDACTED]
 Mailing Address [REDACTED]
 Postal Code [REDACTED]
 Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]
 For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) SAME AS ABOVE
 Mailing Address _____
 Postal Code _____
 Telephone (B) _____ (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the 5 ¼ Section 3 Township 25 Range 35 West of NE Meridian
 b) Being all / parts of Lot 15 Block 1 Registered Plan Number 0711356
 c) Municipal Address 31010 WOODLAND VIEW
 d) Existing Land Use Designation R-1 Parcel Size 1.98 ACRES Division _____

2. APPLICATION FOR

New Accessory Bldg - relaxation for side yard (East) & Front Yard

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No ✓
 b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No ✓
 (Sour Gas facility means well, pipeline or plant)
 c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No ✓
 d) Does the site have direct access to a developed Municipal Road? Yes ✓ No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I SANUELE LANGELI hereby certify that ✓ I am the registered owner
 (Full Name in Block Capitals)

_____ I am authorized to act on the owner's behalf

and that the information given on this form
 is full and complete and is, to the best of my knowledge, a true statement
 of the facts relating to this application.

Affix Corporate Seal
 here if owner is listed
 as a named or
 numbered company

Applicant's Signature [Signature]
 Date AUGUST 30, 2019

Owner's Signature [Signature]
 Date AUGUST 30, 2019

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, SANUJIB LANGBI, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


Signature

AUGUST 30, 2019
Date



FOR OFFICE USE ONLY	
Fee Submitted	File Number <u>05735088</u>
Date Received <u>AUG 30/19</u>	Receipt #

APPLICATION FOR AN ACCESSORY BUILDING

Name of Applicant SANUBLE LANGELI Email [REDACTED]
Mailing Address [REDACTED]
Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

1. DETAILS OF ACCESSORY BUILDING

	Bylaw	Proposed
Accessory building size maximum		<u>256 s/f</u>
Accessory building height		<u>13.2f</u>
Number of existing accessory buildings on site		<u>0</u>
Total size of all accessory buildings		<u>256 s/f</u>

Description of Accessory Buildings:

- a) Building materials STUCCO
b) Exterior colour SAME AS THE HOUSE (SANDY BLOOM)
c) Please include why relaxations for buildings are needed (location, storage needs, tidy property, etc.)
NO FEASIBLE OTHER LOCATIONS AVAILABLE ON SITE
d) Date when building permits were issued for existing buildings n/a
e) If no permits were issued - list age of buildings n/a

2. DESCRIBE THE USE OF THE ACCESSORY BUILDING

GARAGE / STORAGE

3. ADDITIONAL REQUIREMENTS

The following items must be provided in addition to your application:

- ☒ Elevation drawing(s) / floor plan(s)
☒ Site plan(s) showing all dimensions and setbacks

Signature of Applicant [Signature] Date: AUGUST 30, 2019



ROCKY VIEW COUNTY

262075 Rocky View Point
Rocky View County AB, T4A 0X2

403-230-1401
questions@rockyview.ca
www.rockyview.ca

LETTER OF AUTHORIZATION

I, (We) SATUBUS LANGELI being the owner (s) of
Lot 15 Block 1 Plan 0711356

Legal:

NW/NE/SE/SW Section 5 Township 3 Range 25 W 35 M

give _____ permission to act on my
(our) behalf in applying for a Development Permit for the above subject property.

Signature

Signature

Date

DATE AUGUST 30, 2019

THIS IS TO REQUEST THE RELAXATION OF SIDBYARD FROM 15 m TO 7 m
AND FRONTYARD FROM 45 m TO 42 m FOR THE FOLLOWING REASONS
IN REGARDS TO THE CONSTRUCTION OF A SINGLE GARAGE/STORAGE AREA:

- * NO IMPACT TO EASTERN NEIGHBOUR SINCE SERVICE ROAD IS CLOSED AND NOT IN USE.
- * SFD APPROVED A 42.65 m RELAXATION IN DP 20151838
- * THIS WOULD BE THE BEST LOCATION SINCE THE WEST SIDE IS CONSIDERED A WETLAND AND CANNOT BE BUILT ON, LEAVING THE REAR OF THE PROPERTY AS THE ONLY AVAILABLE AREA TO BUILD.

SANUBUS LANGEN





ROCKY VIEW COUNTY

262075 Rocky View Point
Rocky View County, AB T4A 0X2

403-230-1401
questions@rockyview.ca
www.rockyview.ca

LETTER OF AUTHORIZATION

I, (We) LUISA CUSANO LANGELI being the owner (s) of
Lot 1 Block 15 Plan 0711356

Legal:

NW/NE/SE/SW Section 3 Township 25 Range 35 W NE M
give SAMUELE LANGELI permission to act on my
(our) behalf in applying for a Development Permit for the above subject property.

Signature

A handwritten signature in cursive script, appearing to read "S. Langelì", written over a horizontal line.

Signature

August 30, 2019

Date



Summary

Roll Number	05735088
Legal Desc	NE-35-25-03-W05M
Divison	08
Lot Block Plan	Lot:15 Block:1 Plan:0711356
Linc Number	32307746
Title Number	101144684
Parcel Area	1.98000
Municipal Address	31010 WOODLAND VIEW
Contact Information	Langeli, Samuele [REDACTED]
Land Use Information	R-1 (RESIDENTIAL ONE)

Plan

Planning Applications Information

{There is no related Application}

Area Structure Plan

Plan Name	RV Number
Bearspaw	

Conceptual Scheme

{There is no related Conceptual Scheme}

Permit

Building Permit

Permit Number	Permit Type	Date Issued
PRPS20161828	Private Sewage	Wed May 17, 2017
PRBD20161823	Building	Wed Nov 23, 2016
PREL20161824	Electrical	Wed Nov 23, 2016
PRGS20161826	Gas	Wed Nov 23, 2016
PRGS20161827	Gas	Wed Nov 23, 2016
PRPL20161825	Plumbing	Wed Nov 23, 2016

Development Permit Information

Permit Number	Date Issued
PRDP20161838	Friday, September 23, 2016
PRDP20150022	

Department	Issued By	Date Issued	Date Closed	Status	Reference No.	Description	
		Wednesday, April 30, 2008	Monday, August 31, 2009	C		EF-1346 Contravention: Too Many L.M.U.	2
		Wednesday, May 14, 2008	Thursday, August 13, 2009	C		Original Note: This property is under Enforcement Action Completed Note: Efile 1346 is now closed	2
		Tuesday, December 23, 2014	Tuesday, April 14, 2015	C		EF-2155 Contravention: Fill, Ponds & Excavation	2
CE	TessaH	Tuesday, June 30, 2015	Monday, July 27, 2015	C	CEWC20150122	Case Number: CEWC20150122 Case Description: Black Henbane growing in the piles of dirt. Weeds must be controlled.	1
CE	JaymeL	Wednesday, June 15, 2016	Tuesday, July 26, 2016	C	CEWC20160138	Case Number: CEWC20160138 Case Description: Several black henbane plants growing on exposed soil in open area near what looks like a vegetable garden and near pond. Many dirt piles throughout property which are high concern areas for more regulated weed growth. Cannot find any contact information.	1

Geospatial Boundary

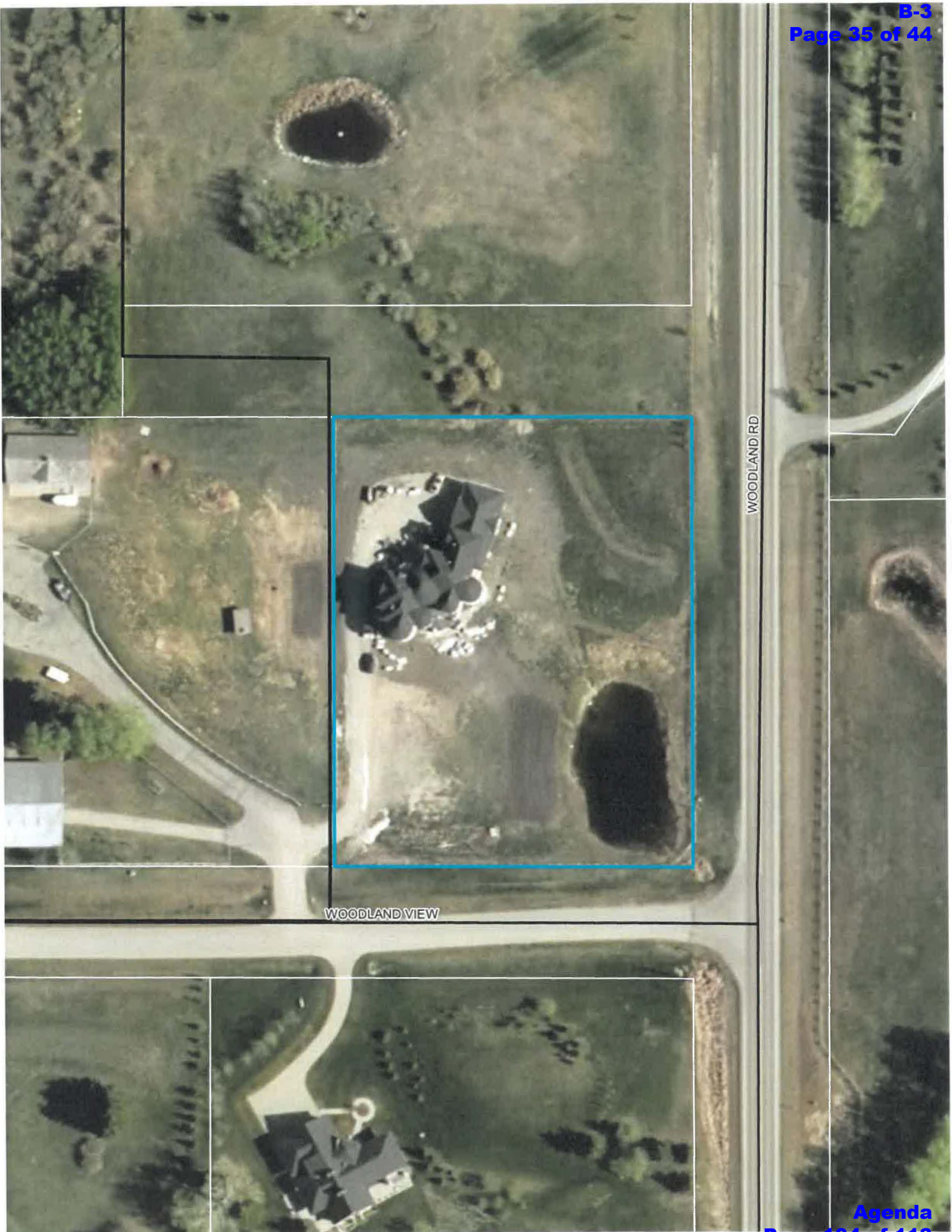
Boundary	Category
Division	8
Area Structure Plan	Bears paw
Conceptual Scheme	No Conceptual Scheme
IDP	No IDP
Airport Vicinity	No APVA
Engineer	Milan Patel
Water Coop	ROCKY VIEW WATER CO-OP LTD.
Gas Coop Service	ATCO GAS
No. of Lots Within 600 M	69
No. of App Subdiv Within 600 M	0
Developed Road Allowance	Yes
Riparian Area	Yes
School	No School Boundary
Recreation	Bears paw-Glendale
Fire District	BEARSPAW
Primary Fire Station	103
Secondary Fire Station	151
Tertiary Fire Station	102

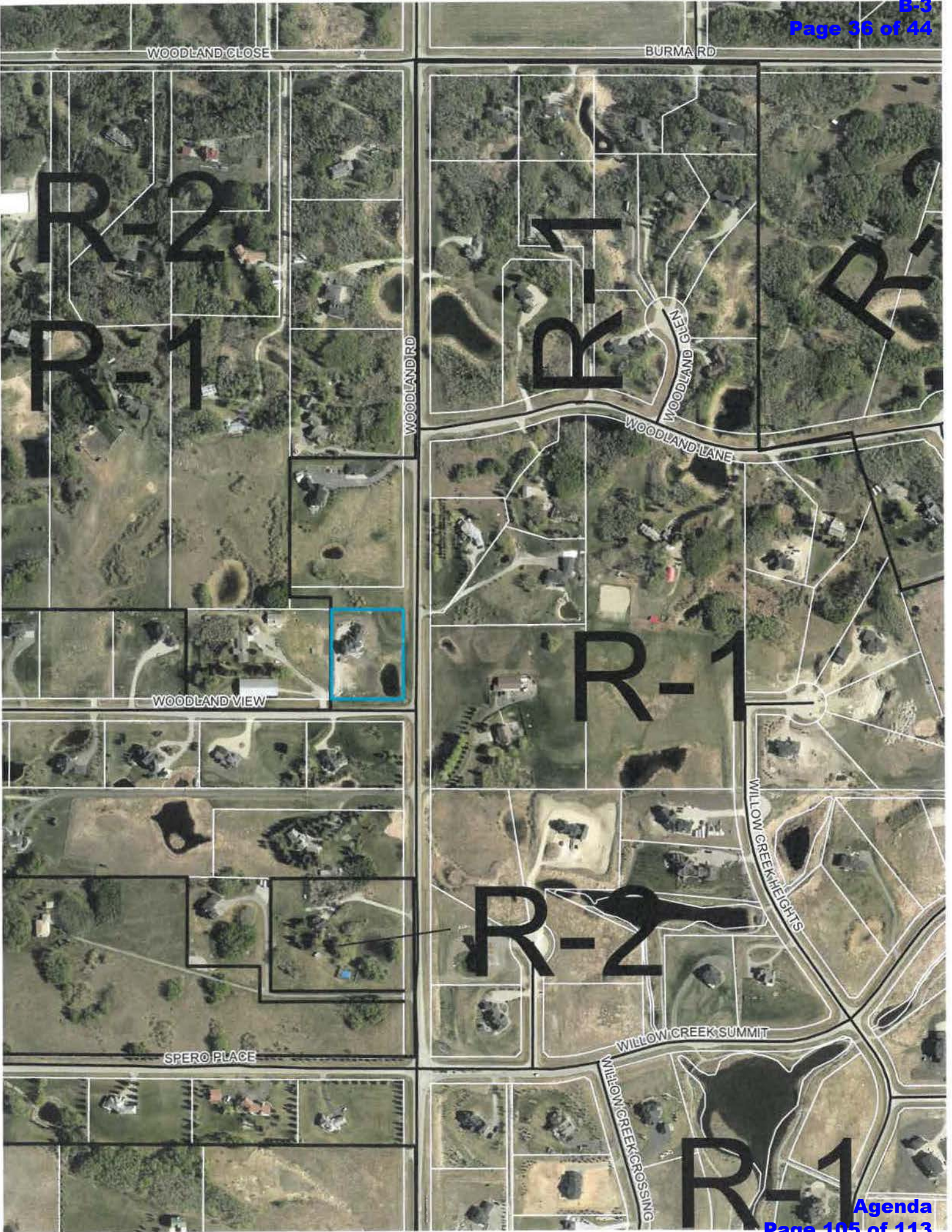
Geospatial Adjacency

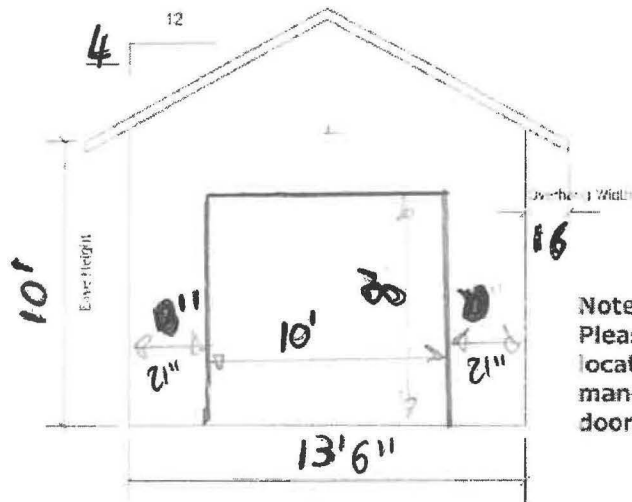
Boundary	Category	Distance
Closest Highway	No HWY within 800 M	
Closest Gravel Pit	Kennel Pit	6315.81 M
Sour Gas	No Sour Gas Pipe passes	From closest sour pipe: 17975.95 M
Closest Road Name	WOODLAND VW(Surface Type:Paved)	12.61 M
Closest Railway	CPR	3137.69 M
Closest Western Irrigation Districts	Within 10Km	
Closest Waste Water Treatment	Within 10Km	6274.41 M

Closest Waste Transfer Site

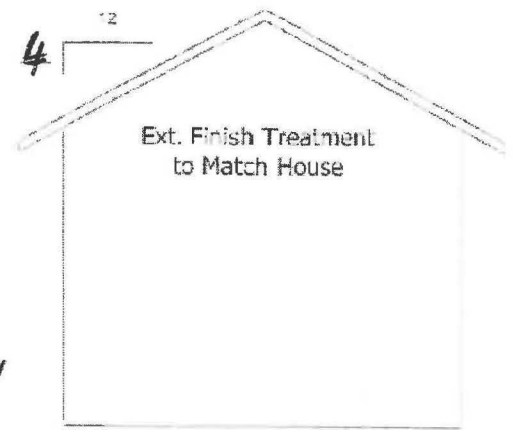
Within 3 Km





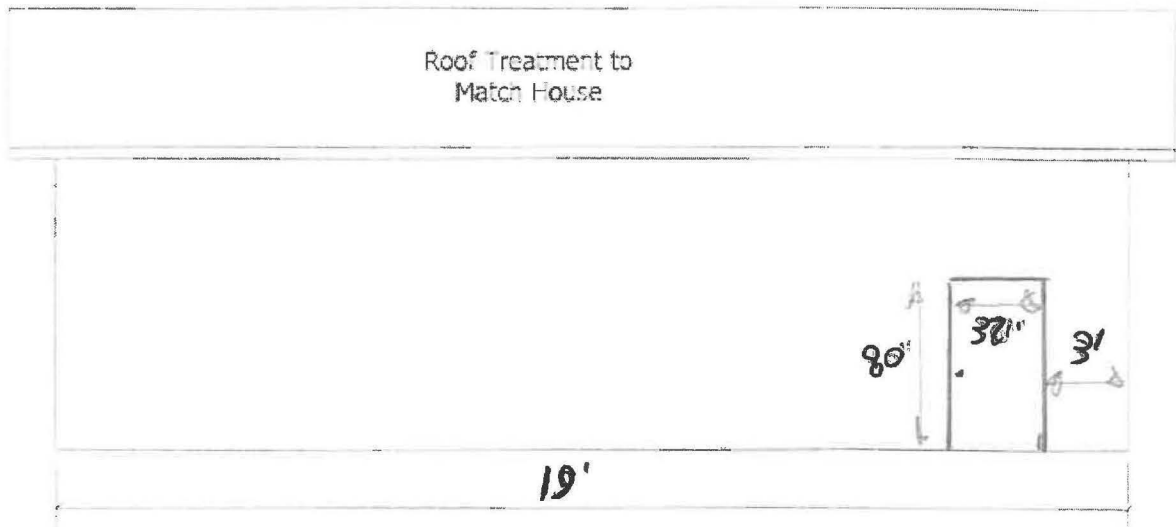


Front Elevation
(Not to Scale)

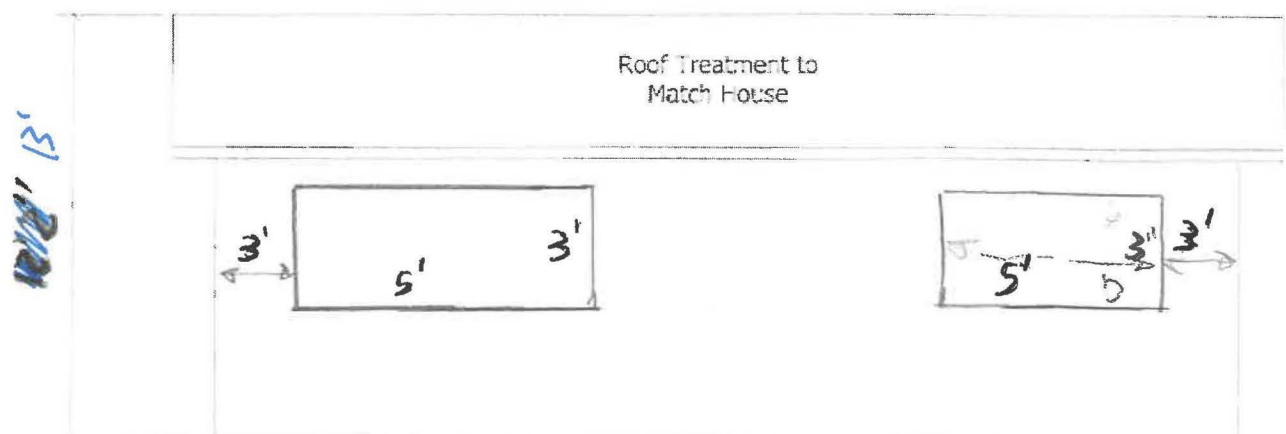


Rear Elevation
(Not to Scale)

Note:
Please sketch the
locations & sizes of any
mandors, overhead
doors and windows.



Right Elevation
(Not to Scale)



Left Elevation
(Not to Scale)



Accessory Building Detail Sheet

PLEASE NOTE:

Windows cannot be placed in a wall that is closer than 4'-0" to the neighbor's property line.

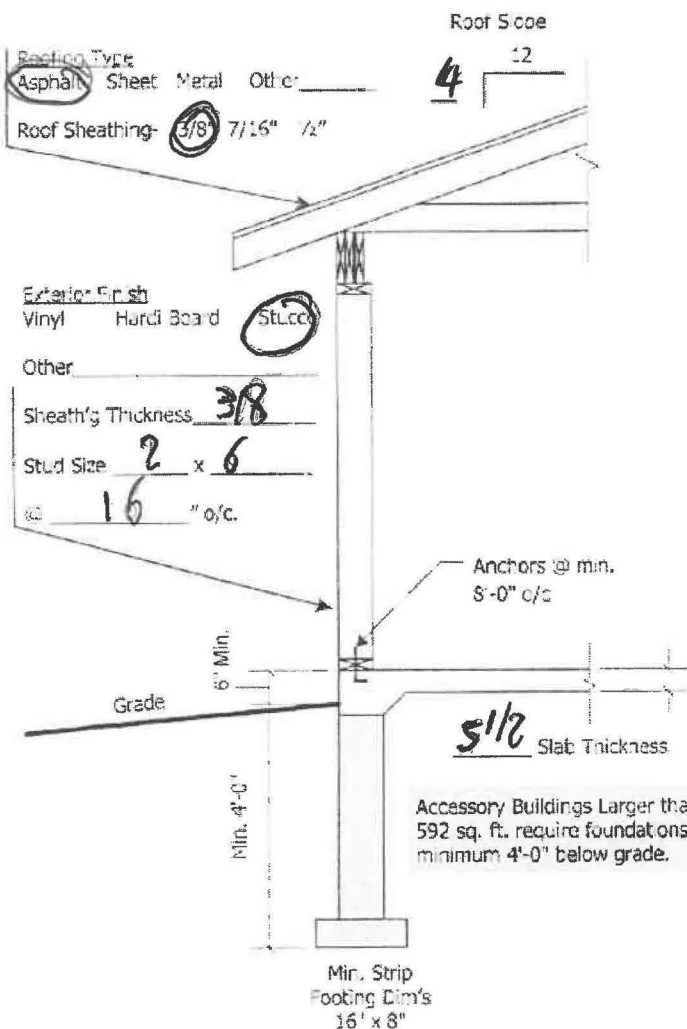
If the roof framing members transfer roof loading to the overhead garage door beam, please specify the size of the garage door lintel(s).

Roofing of OSB or Plywood that is less than 1 1/2" in thickness requires 'H' Clips and ridge blocking.

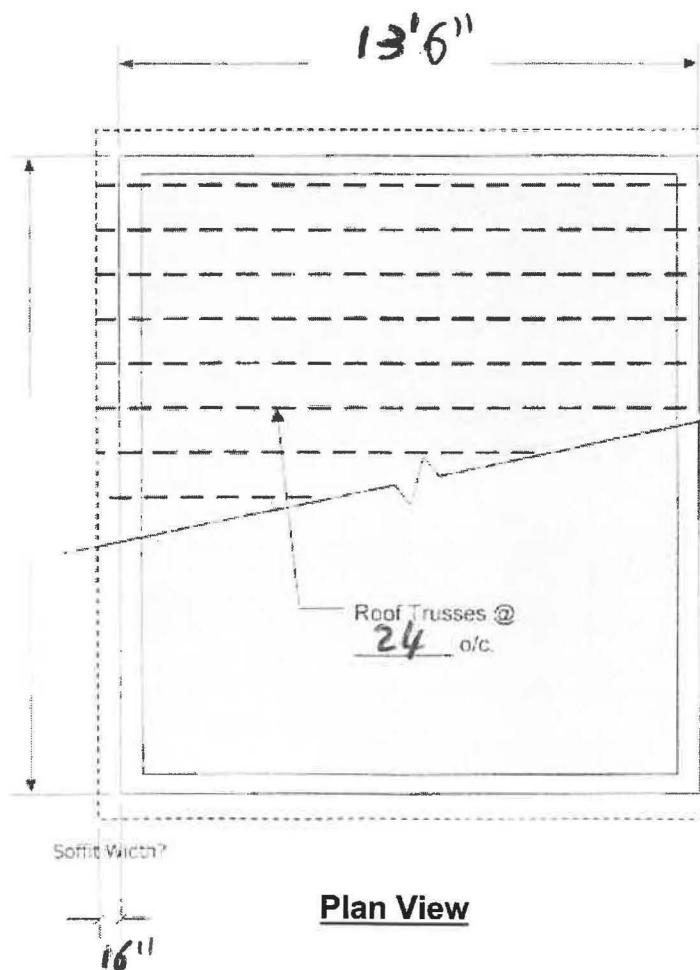
Note:

Please sketch the locations & sizes of any mandors, overhead doors and windows.

Please see other side of page for more info.



Cross Section



Isometric View

Rocky View County	
_____	Building Inspector
_____	Date
_____	Building Permit Number

Letters in opposition to the appeal

Kristen Tuff

From: Janet Bantle [REDACTED]
Sent: Sunday, November 10, 2019 11:50 AM
To: PAA_SDAB
Subject: Notice of hearing- for /31010 Woodland View

Subject: Notice of hearing
Property: 31010 Woodland View
Owner: Samuele Langeli

We, Janet and Larry Bantle and live at 255193 Woodland Rd. Our property is two lots north of the development.

We are opposed to the development of construction of two accessory buildings: a storage shed and gazebo and relaxation of the minimum front and side yard setback on the property at 31010 Woodland View.

This property, since its initial development application has had to appeal for numerous variances in all the planning applications.

Some of the important appeals have been with regard to:

- variances of the front yard setback
- variances of the side yard setback and placement of 13,000 m³ of clean fill to change the grade elevation.
- variances of the maximum height requirements of a single detached dwelling
- variance in location of the building
- property water and drainage issues

Now a 6 foot brick fireplace/pizza oven combination fire pit has been built approximately 2/3 of the distance from the house and 1/3 the distance from the fence on Woodland Road.

The proposed gazebo over the fireplace will make this area their backyard facing Woodland Road, this will make the gazebo structure too close to Woodland Road.

Information regarding the storage shed construction with regard to square footage, height and finishing materials and the exact placement of the shed on the property is not available, and must be known to those affected neighbors before approval can begin to be given. Given that they are appealing to another minimum side yard setback we have to assume that is where the storage shed will be placed.

This house has had numerous contentious approved appeals, it is time for the Rocky View County Subdivision and Development Appeal Board to say NO to the current appeals and inform the Applicant that they must follow the Building Act.

Janet and Larry Bantle
255193 Woodland Rd
[REDACTED]

Letters in support of the appeal

Kristen Tuff

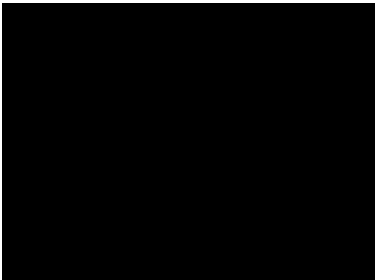
From: Marianne Bøgh Jensen [REDACTED]
Sent: Tuesday, November 12, 2019 2:31 AM
To: PAA_SDAB
Subject: File number 05735088, PRDP20193107

Dear Sirs,

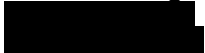
I am the property owner of 31079 Woodland View and would hereby like to support Luisa and Sam Langeli in their application to be allowed to build both the gazebo and the storage shed on their property.

The craftsmanship of their house tells me that the two structures will be of good quality and an addition to their property. The proposed locations do not from my perspective obstruct oversight and views in any way.

Med venlig hilsen / Best regards



Marianne Bøgh Jensen



Kristen Tuff

From: GERRY NEUSTAEDTER [REDACTED]
Sent: Monday, November 11, 2019 2:54 PM
To: PAA_SDAB
Subject: Sam and Luisa Langeli gazebo and tractor garage.
Attachments: 10982339.pdf

November 11, 2019.
Re: File # 05735088, PRDP20193107
Sam and Luisa Langeli gazebo and tractor garage.
31010 Woodland View, RVC

I have reviewed the application for the above mentioned file and family. I am their closest neighbour and I am fine with this application.
I have no issue with the proposed development. The home this family has built is exceptional and enhances our community. They have a large family, are very outside oriented, and have improved their property very nicely. I am sure that the end result will be good as well.
The storage shed is great for them to keep various "acreage" items stored, instead of those items being outside in the open. The gazebo will be a nice feature for the family to use and entertain their friends and family.
Please approve this development application.
Yours Truly,
Gerry Neustaedter [REDACTED]
31020 Woodland View (adjacent and west of the Langelis)

Kristen Tuff

From: adnan zalzala [REDACTED]
Sent: Monday, November 11, 2019 5:44 PM
To: PAA_SDAB
Cc: Suad Jwad
Subject: File # 05735088, PRDP20193107

Greeting,

This letter is regarding Sam and Luisa Langeli gazebo and tractor garage permit, on 31010 Woodland View.

As much as our family is concerned, we do not have any concerns with the subject application. If nicely finished, the gazebo might be a good thing to look out from our house office window, or when driving by.

Best regards

Suad and Adnan Zalzala
31025 Woodland View
[REDACTED]