

Municipal Planning Commission Meeting Agenda



ROCKY VIEW COUNTY

262075 ROCKY VIEW POINT
ROCKY VIEW COUNTY, AB
T4A 0X2

October 29, 2020

9:00 a.m.

A CALL MEETING TO ORDER

B UPDATES/APPROVAL OF AGENDA

C APPROVAL OF MINUTES

1. October 8, 2020 Municipal Planning Commission Meeting Minutes

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D SUBDIVISION APPLICATIONS

1. Division 1 – File: PL20200080 (04817002) – Agricultural First Parcel Out Subdivision

Staff Report

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2. Division 6 – File: PL20190130 (08101002) – Agricultural, Small Parcel District

Staff Report

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3. Division 8 – File: PL20190124 (06701023) – Residential Subdivision

Staff Report

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4. Division 9 – File: PL20190147 (06710018) – Residential Subdivision

Staff Report

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E DEVELOPMENT APPLICATIONS

1. Division 7 – File: PRDP20202519 (36401004) – Sign - Digital Sign and Fascia Sign

Staff Report

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2. Division 4 – File: PRDP20202671 (02320004) – Kennel

Staff Report

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3. Division 1 – File: PRDP20202490 (03913093) – Vacation Rental

Staff Report

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4. Division 9 – File: PRDP20202876 (06812031) – Accessory Building

Staff Report Page 143

5. Division 9 – File: PRDP20202435 (10013115) – Dwelling, Single Detached

Staff Report Page 161

6. Division 1 – File: PRDP20202423 (03909050) – Accessory Building

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7. Division 6 – File: PRDP20202633 (07031003) – Dwelling, Manufactured

Staff Report Page 196

8. Division 8 – File: PRDP20202740 (05736016) – Vacation Rental

Staff Report Page 212

9. Division 7 – File: PRDP20202835 (06518005) – Commercial Communication Facility, Type B

Staff Report Page 221

10. Division 9 – File: PRDP20201510 (07919003) – Equestrian Center

Staff Report Page 250

11. Division 5 – File: PRDP20202818 (04312019) – Dwelling, Single Detached & Accessory Building

Staff Report Page 277

F OTHER BUSINESS
- None

G ADJOURN MEETING

H NEXT MEETING: Thursday, November 12, 2020

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MUNICIPAL PLANNING COMMISSION MEETING MINUTES
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Page 1

A regular meeting of Rocky View County Municipal Planning Commission was held in the Council Chambers of the County Hall, 262075 Rocky View Point, Rocky View County, Alberta on October 8, 2020 commencing at 9:02 a.m.

Present:	Division 5	Chair J. Gautreau
	Division 4	Vice-Chair A. Schule
	Division 1	Member M. Kamachi
	Division 2	Member K. McKylor
	Division 3	Member K. Hanson
	Division 6	Member G. Boehlke
	Division 8	Member S. Wright
	Division 9	Member C. Kissel

Also Present:

- A. Hoggan, Chief Administrative Officer
- B. Riemann, Executive Director, Operations
- T. Cochran, Executive Director, Community Development Services Division
- G. Nijjar, Manager, Planning and Development Services
- S. MacLean, Planning Supervisor, Planning and Development Services
- J. Kwan, Senior Planner, Planning and Development Services
- S. Kunz, Senior Planner, Planning and Development Services
- C. Lombardo, Planner, Planning and Development Services
- S. Khouri, Planner, Planning and Development Services
- K. Tuff, Appeals Coordinator, Municipal Clerk's Office
- M. Mitton, Legislative Coordinator, Municipal Clerk's Office
- E. Neilsen, Development Assistant, Planning and Development Services
- S. Thompson, Development Assistant, Planning and Development Services

Call to Order

The Chair called the meeting to order at 9:02 a.m. with all members present.

2020-10-08-01 (B-1)

Updates/Acceptance of Agenda

MOVED by Vice-Chair Schule that the October 8, 2020 Municipal Planning Commission meeting agenda be amended as follows:

- Add item F-1 – Livestreaming of MPC Meetings
- Add item F-2 – 2021 MPC meeting dates

AND THAT the October 8, 2020 Municipal Planning Commission meeting agenda be approved as amended.

Carried

2020-10-08-02 (C-1)

Approval of Minutes

MOVED by Vice-Chair Schule that the September 24, 2020 Municipal Planning Commission meeting minutes be approved as presented.

Carried

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2020-10-08-03 (D-1)

Division 2 – Subdivision Item – Residential Subdivision

File: PL20190008 (05715034 / 038)

The Chair called for a recess at 9:16 a.m. and called the meeting back to order at 9:23 a.m. with all previously mentioned members present.

MOVED by Vice-Chair Schule that Subdivision Application PL20190008 be approved with the conditions noted in Attachment 'B'.

- A. That the application to create three new parcels, two \pm 0.80 hectares (\pm 1.98 acres) in size and one \pm 0.93 hectares (\pm 2.29 acres) in size, with two remainder parcels \pm 0.99 hectares (\pm 2.45 acres) and \pm 0.80 hectares (\pm 1.98 acres) in size from Lot 28, Block 4, Plan 0310255 & Lot 26, Plan 9210971 within NE-15-25-3-W5M has been evaluated in terms of Section 654 of the Municipal Government Act and Sections 7 and 14 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, it is recommended that the application be approved as per the Tentative Plan for the reasons listed below:
- 1) The subject lands hold the appropriate land use designation;
 - 2) The technical aspects of the subdivision proposal have been considered, and are further addressed through the conditional approval requirements.
- B. The Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the condition will be met, in accordance with all County Policies, Standards and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions, must be prepared by a Qualified Professional, licensed to practice in the Province of Alberta, within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the Municipal Government Act, that the application be approved subject to the following conditions of approval:

Plan of Subdivision

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the Municipal Government Act, or such other means satisfactory to the Registrar of the South Alberta Land Titles District;
- 2) The Owner is to provide a Site Plan, prepared by an Alberta Land Surveyor, which illustrates the following in relation to the new property lines:
 - a) All existing buildings and structures are to conform to the setback requirements in relation to the new property line, as described in the Residential One Land Use District, as per the Land Use Bylaw C-4841-97, as amended.
 - b) The Site Plan is to confirm that all existing private sewage treatment systems are located within the boundaries of Lot 2, in accordance with the The Alberta Private Sewage Systems Standard of Practice 2009;
 - c) The Site Plan is to confirm that all water wells are located within the boundaries of Lot 2.

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Transportation and Access

- 3) The Owner shall upgrade the existing road approach to a mutual paved standard as shown on the Approved Tentative Plan, in order to provide access to Lots 1, 2, 3, & 4. In addition, the Owner shall:
 - a) Provide an access right of way plan; and
 - b) Prepare and register respective easements on each title, where required.
- 4) The Owner shall construct a new paved approach on Springbank Heights Loop in order to provide access to Lot 5.

Fees and Levies

- 5) The Owner shall pay the Transportation Off-Site Levy in accordance with Bylaw C-8007-2020 prior to endorsement. The County shall calculate the total amount owing:
 - a) from the total gross acreage of the lands as shown on the Plan of Survey.
- 6) The Owner shall pay the County subdivision endorsement fee, in accordance with the Master Rates Bylaw, for the creation of three new lots.

Site Servicing/Developability

- 7) The Owner is to enter into a Development Agreement (Site Improvements / Services Agreement) with the County, for each proposed lot, that includes the following:
 - a) The installation of packaged sewage treatment systems meeting BNQ or NSF 40 Standards, in accordance with the findings of the Private Sewage Treatment System Assessment and Site Evaluation prepared by Western Water Resources (March 25, 2016).
 - b) For the construction of a trap lows and grass swales in accordance with the Site-specific Stormwater Implementation Plan, prepared by Western Water Resources Inc. (November 14, 2019);
 - c) Implementation of recommendations of the Slope Stability Assessment, prepared by Western Water Resources (May 7, 2020);
 - d) Registration of any required easements and / or utility rights-of-way;
 - e) Provision of necessary Alberta Environment and Parks registration documentation and approvals for the stormwater infrastructure system.
- 8) Water is to be supplied by new individual wells on proposed Lots 1, 3, 4, & 5. The subdivision shall not be endorsed until:
 - a) An Aquifer Testing (Phase II) Report is provided, which is to include aquifer testing and the locations of the wells on each lot; and
 - b) The results of the aquifer testing meet the requirements of the Water Act; if they do not, the subdivision shall not be endorsed or registered.
- 9) The Owner is to enter into a Deferred Services Agreement with the County, to be registered on title for Lots 1-5, indicating:
 - a) Requirements for each future Lot Owner to connect to County piped water, wastewater, and stormwater systems at their cost when such services become available;
 - b) Requirements for decommissioning and reclamation once County servicing becomes available.

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10) The Owner shall enter into an Environmental Reserve Easement for the protection and enhancement of the environment in accordance with Section 664 of the *Municipal Government Act*;

- a) The easement area is applicable to those lands identified in the Geotechnical Developable Areas Assessment and Riparian Setback Assessment, prepared by Western Water Resources Inc., dated November 14, 2019;
- b) The easement shall meet the requirements of Section 664(3) of the MGA.

Taxes

11) All taxes owing, up to and including the year in which subdivision is to be registered, are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION

Prior to final endorsement of the Subdivision, Administration is directed to present the Owner with a Voluntary Recreation Contribution Form and to ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw.

Carried

2020-10-08-04 (D-2)

Division 1 – Subdivision Item – Residential Subdivision

File: PL20200055 (03913064)

MOVED by Member McKylor that proposed condition 7 for subdivision application PL20200055 as noted in Administration's Attachment B of Administration's report be deleted in its entirety.

Carried

MOVED by Member Kamachi that Subdivision Application PL20200055 be approved with the conditions noted in Attachment 'B', as amended.

A. The application to create two parcels, ± 0.10 hectares (± 0.25 acres) and ± 0.10 hectares (± 0.25 acres) in size, with a ± 0.23 hectare (± 0.56 acre) remainder from Lot 5, Block 3, Plan 1741 EW, SE-13-23-5-W5M has been evaluated in terms of Section 654 of the *Municipal Government Act* and Sections 7 and 14 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, it is recommended that the application be approved as per the Tentative Plan for the reasons listed below:

- 1) The application is consistent with the Statutory Policy;
- 2) The subject lands hold the appropriate land use designation;
- 3) The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.

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- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, that the application be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Transportation and Access

- 2) The Owner shall remove and reclaim the existing two (2) approaches, as shown on the approved Tentative Plan to the satisfaction of the County;
- 3) The Applicant/Owner shall construct a new mutual approach on Spruce Ave in order to provide access to Lot(s) 1 and 2; In addition, the Owner shall:
 - a) Provide an access right of way plan; and
 - b) Prepare and register respective easements on each title, where required.

Developability

- 4) The Applicant/Owner shall construct appropriately sized & designed water and wastewater utilities main connections & service connections. All work shall be done in accordance with the County Servicing Standards and the Water & Wastewater Utilities Bylaw (C-7662-2017), including:
 - a) The Applicant/Owner shall submit engineered design drawings of the connections for review by the County. Written approval of the design drawings shall be obtained from the Manager of Utility Services prior to construction commencement.
 - b) The Applicant/Owner shall provide the necessary security for the tie-in to the existing water distribution system and the sanitary collection system, based on an estimated construction cost prepared by a qualified professional.
- 5) The Applicant/Owner is to enter into a Customer Service Agreement with the County in accordance with the approved Tentative Plan for Lot(s) 1 and 2, to provide waste water serving and water servicing to the proposed lots.
- 6) The Applicant/Owner is to provide a detailed Site Specific Stormwater Implementation Plan, prepared by a qualified professional in accordance with the Bragg Creek Master Drainage Plan and County Servicing Standards. Implementation of the Stormwater Management Plan shall include:
 - a) Should the Stormwater Implementation Plan indicate that improvements are required, the Applicant/Owner shall enter into a Development Agreement (Site Improvements / Services Agreement) with the County for the implementation of the improvements outlined in the Site Specific Stormwater Implementation Plan accepted by the County;

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- b) Registration of any required easements, utility rights of way, and utility right-of-way agreements;
 - c) Provision of necessary approvals and compensation provided to Alberta Environment and Parks for wetland loss and mitigation; and
 - d) Provision of necessary Alberta Environment and Parks registration documentation and approvals for the stormwater infrastructure system.

Site Construction

- 7) The Applicant/Owner shall submit a Construction Management Plan, to the satisfaction of the County. The Plan shall be prepared by a qualified professional, addressing noise mitigation measures, traffic accommodation, sedimentation and dust control, management of storm water during construction, erosion and weed control, construction practices, waste management, firefighting procedures, evacuation plan, and all other relevant construction management detail.

Payments and Levies

- 8) The Applicant/Owner shall pay the Transportation Off-Site Levy in accordance with the Transportation Off-Site Bylaw C-8007-2020.
- 9) The Applicant/Owner shall pay the Water and Wastewater Off-Site Levy in accordance with the Water and Wastewater Off-Site Bylaw C-8009-2020.
- 10) The Applicant/Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of two (2) new Lot(s).

Taxes

- 11) All taxes owing, up to and including the year in which subdivision is to be registered, are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION

Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw.

Carried

2020-10-08-05 (E-1)

Division 8 – Development Item – Dwelling Unit, accessory to the principal use

File: PRDP20202312 (06609005)

MOVED by Member Boehlke that Development Permit Application PRDP20202312 be approved with the conditions noted in the Development Permit Report, attached.

Description

- 1. That a Dwelling Unit, accessory to the principal religious facility use may be constructed on the parcel in accordance with the site plan and architectural drawings dated September 11, 2020 and updated on September 18, 2020 (Drawings A2 and A3) and updated on September 23, 2020 (Drawing A1) which include the following:
 - a. Construction of a 320.62 sq. m. (3,451.16 sq. ft.) dwelling unit, consisting of an approximately 160.31 sq. m. (1,725.58 sq. ft.) main floor and a 160.31 sq. m. (1,725.58 sq. ft.) basement constructed on a permanent foundation.

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Prior-to-Issuance

2. That prior to issuance of this permit, the Applicant/Owner shall confirm acceptance of or refusal to participate in the Voluntary Recreation Contribution for Community Recreation Funding on the form provided by the County and that the contribution, if accepted, is \$800.00, calculated at \$800.00 for each new residential unit.

Permanent

3. That at least 2 parking stalls shall be maintained onsite, adjacent to the dwelling unit, for residential parking only, as illustrated on the updated site plan on sheet A1, dated September 23, 2020.
4. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for each dwelling unit located on the subject site, to facilitate accurate emergency response.
5. That there shall be no more than 1.00 m (3.28 ft.) of fill adjacent to or within 15.00 m (49.21 ft.) of the proposed development under construction unless a Development Permit has been issued for additional fill.

Advisory

6. That during construction, the County's Noise Control Bylaw C-5772-2003 shall be adhered to at all times.
7. That during construction, all construction and building materials shall be maintained onsite, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
8. That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the *Alberta Weed Control Act [Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017]*.
9. That a Building Permit and sub-trade permits shall be obtained through Building Services, prior to any construction taking place and shall include:
 - a. A fire alarm system is required if the Occupant load is greater than 10 (sleeping accommodation).
 - b. Fire rated separations are required between sleeping rooms if there are more than 8 lodgers. A fire-rated public corridor will also be required for exiting.
 - c. A fire-rated exit will be required from the basement out to the exterior of the building.
 - d. The floor will require a fire separation, all penetrations will require smoke/fire dampers, fire stopping systems, and other fire suppression infrastructure as required.
 - e. A barrier-free path of travel and barrier-free access is required within the building interior.
10. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
 - a. That the Applicant/Owner shall adhere to any requirements of ATCO Gas Pipeline Instruments registered on title.
11. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

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12. That if this Development Permit is not issued by **APRIL 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Carried

2020-10-08-06 (E-2)

Division 1 – Development Item – Accessory Building

File: PRDP20202123 (03925049)

MOVED by Member Kissel that Development Permit Application PRDP20202123 be approved with the conditions noted in the Development Permit Report, attached.

Description

1. That an Accessory Building (greenhouse), approximately 7.94 sq. m. (85.40 sq. ft.), may remain on the subject land in general accordance with the approved Site Plan and submitted application.
 - a. That the minimum rear yard setback requirement shall be relaxed from **7.00 m (22.96 ft.) to 4.07 m (13.35 ft.)**.

Advisory

That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.

Carried

2020-10-08-10 (E-7)

Division 3 – Development Item – Single-lot Regrading

File: PRDP20202342 (04714170)

MOVED by Member Hanson that Development Permit Application PRDP20202342 be approved with the conditions noted in the Development Permit Report, attached.

Description

1. That single-lot regrading and placement of clean fill (existing) can remain on-site as per the as-built drawing prepared by Alpha Geomatics Inc., (*dated October 29, 2019*) and in general accordance with the conditions of this permit.

Prior-to-Issuance

2. That prior to issuance of this permit, the Applicant/Owner shall submit a grade slip, from MPE Engineering, verifying that the as-built grading drawing is in accordance with the overall development stormwater management plan and grading slip for the subdivision, in accordance with County Servicing Standards.
3. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - a. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

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Permanent

4. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity.
5. That if no future development of the proposed regrading area occurs, the proposed regrading area shall have a minimum of six (6) inches of topsoil placed on top, which shall then be spread and seeded to native vegetation, farm crop, or landscaped to the satisfaction of the County.
6. That the Applicant/Owners shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration including the south Public Utility Lot, Lot: 14 PUL, Block 3, Plan 0914791, owned by the County.
7. That the existing pathway/access right of way, registered for the subdivision under Plan No. 0914793, shall not be used at any time for staging or access to the site, for the development purposes.
8. That the subject land shall be maintained in a clean and tidy fashion at all times and all waste material shall be deposited and confined in an appropriate enclosure. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways. That all garbage and waste shall be stored in weatherproof and animal proof containers and be in a location easily accessible to containerized garbage pickup.

Advisory

9. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owners.
10. That the site shall remain free of restricted and noxious weeds and maintained in accordance with the Alberta Weed Control Act [*Statutes of Alberta, 2008 Chapter W-5.1, December 2017*].
11. That if the development authorized by this Development Permit is not completed within six (6) months of the date of issuance, the permit is deemed to be null and void.
12. That if this Development Permit is not issued by **APRIL 30, 2020** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Note: The Applicant/Owner shall be responsible for all Alberta Environment approvals/ compensation if any wetland is impacted.

Carried

2020-10-08-07 (E-3)

Division 7 – Development Item – Single-lot Regrading

File: PRDP20201966 (07723013 / 07726004)

Presenter: Clifford Williamson, the Applicant

MOVED by Member Boehlke that Development Permit Application PRDP20201966 be approved with the conditions noted in the report.

Description

1. That single-lot regrading and the placement of approximately 197.00 cubic metres of clean fill, for construction of an access road to a parcel without access, shall be permitted in general accordance with the drawings submitted with the application and the conditions of this permit.

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Prior-to-Issuance

2. That prior to issuance of this permit, the Applicant/Owner shall submit a grading plan, conducted and stamped by a professional engineer, which provides pre-development and post-development grades.
 - a. That should there be any areas of fill that are greater than 1.20 m (3.93 ft.) in depth, the Applicant/Owner shall submit a Deep Fills report, conducted by a professional geotechnical engineer for all areas of fill greater than 1.20 m (3.93 ft.) in depth.
3. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - a. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.
4. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations and obtain a consent letter for the access road construction through the undeveloped County road right-of-way.
 - a. Written confirmation shall be received from County Road Operations confirming the status of this condition. Consent shall be obtained unless otherwise noted by County Road Operations.
5. That prior to issuance of this permit, the Applicant/Owner shall submit a revised survey plan identifying the following:
 - a. The access easement has been moved further east so that no portion of the easement is encroaching into the marsh boundary as identified in the Alberta Wetland Inventory; and
 - b. The access easement has been reduced to 12.50 m (41.01 ft.) in width.
 - c. Once the revised survey plan has been reviewed and approved by the County, written confirmation shall be submitted by the Applicant/Owner confirming that the revised easement has been registered with land titles.

Permanent

6. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity.
7. That upon completion of the proposed development, should there be areas of fill that are greater than 1.20 m (3.93 ft.) in depth, the Applicant/Owner shall submit compaction testing verifying that the fill areas greater than 1.20 m (3.93 ft.) in depth were placed in accordance with the Deep Fills report accepted by the County.
8. That it shall be the responsibility of the Applicant/Owners to ensure the fill has been placed in a safe manner that does not cause slope stability issues, slumping, or any other related safety issues.
9. That upon completion of the proposed development, the Applicant/Owners shall submit an as-built survey, confirming that the development proposal and post grades align with the supporting technical submissions for the file.
10. That any material entering to or leaving from the site, shall be hauled on/off in a covered trailer/truck, which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.

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- a. That the clean-up of any mud tracking and/or dirt that enters onto any County roads during hauling, shall be the responsibility and cost of the Applicant/Owner for clean-up.
11. That no topsoil shall be removed from the site.
12. That the Applicant/Owners shall ensure no organic material is buried and capped in a manner that will cause methane gas related issues.
13. That the fill shall not contain large concrete, rebar, asphalt, building materials, organic materials, or other metal.
14. That the Applicant/Owners shall take effective measures to control dust on the parcel so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity.
15. That the Applicant/Owners shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
16. That the subject land shall be maintained in a clean and tidy fashion at all times and all waste material shall be deposited and confined in an appropriate enclosure. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways. That all garbage and waste shall be stored in weatherproof and animal proof containers and be in a location easily accessible to containerized garbage pickup.

Advisory

17. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
18. That the subject development shall conform to the County's Noise Bylaw C-5773-2003 in perpetuity.
19. That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act [*Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017*].
20. That if the development authorized by this Development Permit is not completed within twelve (12) months of the date of issuance, the permit is deemed to be null and void.
21. That if this Development Permit is not issued by **APRIL 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Carried

2020-10-08-08 (E-4)

Division 5 – Development Item – Home-Based Business, Type II
File: PRDP20202248 (04222009)

MAIN MOTION

MOVED by Vice-Chair Schule that Development Permit Application PRDP20202248 be approved with the conditions noted in the report, as requested by the Applicant.

AMENDING MOTION

MOVED by Member Boehlke that condition 14 for development application PRDP20202248 as noted in Administration's report be amended to read:

- That this Development Permit, once issued, shall be valid until MAY 31, ~~2023~~ **2026**.

Defeated

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MAIN MOTION

MOVED by Vice-Chair Schule that Development Permit Application PRDP20202248 be approved with the conditions noted in the report, as requested by the Applicant.

Description

1. That a Home-Based Business, Type II, for auto body repair, may operate on the subject parcel in accordance with the approved Site Plan, submitted application, and conditions of this permit including the following:
 - a. That the maximum size of the outside storage area is relaxed from **400.00 sq. m (4,305.56 sq. ft.)** to **8,639.98 sq. m (93,000 sq. ft.)**.

Prior-to-Issuance

2. That prior to issuance of this permit, that the Applicant/Owner shall submit a revised site plan that identifies the location, screening, and size of the outside storage area, which shall be no greater than 8,639.98 sq. m (93,000 sq. ft.). The outside storage area shall meet the building setback requirement and be completely screened, as per the requirements of the Land Use Bylaw and to the satisfaction of the County.
 - a. That once the screening for the outside storage area is installed, a site inspection shall be completed by the County, to confirm that the outdoor storage area is as per the revised site plan, to the satisfaction of the County.

Permanent

3. That the number of non-resident employees shall not exceed two (2) at any time.
 - a. That an employee in this Home-Based Business is a person who attends on the property more than once in a seven (7) day period for business purposes.
4. That the operation of this Home-Based Business shall be secondary to the residential use of the subject parcel.
5. That the Home-Based Business, Type II shall not change the residential or agricultural character and external appearance of the land and buildings.
6. That the operation of this Home-Based Business, Type II shall not generate excessive or unacceptable increases in traffic within the neighbourhood or immediate area.
7. That the Home-Based Business, Type II shall not generate noise, smoke, steam, odour, dust, fumes, exhaust, vibration, heat, glare, or refuse matter considered offensive or excessive by the Development Authority, and at all times, the privacy of the adjacent resident dwellings shall be preserved. The Home-Based Business, Type II use shall not, in the opinion of the Development Authority, unduly offend or otherwise interfere with neighbouring or adjacent residents.
8. That the Home-Based Business shall be limited to the dwelling, accessory building and the outside storage area in accordance with the approved Site Plan.
9. That all vehicles, trailers, or equipment that is used in the Home-Based Business, Type II shall be kept within the dwelling, accessory building, or storage area in accordance with the approved Site Plan.
10. That all outside storage that is a part of the Home-Based Business, Type II shall be completely visually screened from adjacent lands, shall meet the minimum setback requirements for buildings, and shall not exceed 400.00 sq. m (4,305.56 sq. ft.), in accordance with the approved Site Plan.
11. That the display or placement of signage for the Home-Based Business shall be in accordance with the following:

ROCKY VIEW COUNTY
MUNICIPAL PLANNING COMMISSION MEETING MINUTES
October 8, 2020

Page 13

-
- a. One (1) on-site, commercially produced identification type sign containing either the name of the resident or the name of the home-based business, contact information and logo (no other advertising is permitted) is permitted;
 - b. Maximum sign dimensions shall be as follows: 1.00 m (3.28 ft.) in length, 0.60 m (1.97 ft.) in height;
 - c. Sign construction and lettering shall be as follows:
 - i. Sign constructed using 19.00 mm (0.75 in.), high density plywood or 38.0 mm (1.49 in.) solid wood;
 - ii. Sign finish consisting of a high density reflective finish or equivalent, with die cut lettering or silk screen lettering;
 - iii. Minimum letter size of 10.00 cm (3.93 in.), all upper case, uniform letter style;
 - d. The sign shall be located in the yard, front adjacent to the front property line and either supported on independent posts or attached to existing fencing in an attractive fashion.
12. That no off-site advertisement signage associated with the Home-Based Business shall be permitted.
13. That if this permit is not issued by **May 31, 2020** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.
14. That this Development Permit, once issued, shall be valid until **MAY 31, 2023**.

Advisory

15. That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
16. That all other government compliances and approvals are the sole responsibility of the Applicant/Owner.

Carried

MOTION ARISING

MOVED by Vice-Chair Schule that the Municipal Planning Commission recommend to Council that Administration work with the Applicant to redesignate the lands to an appropriate land use for the business.

Carried

2020-10-08-08 (E-5)

Division 8 – Development Item – Single-lot Regrading

File: PRDP20202309 (05736151)

MOVED by Member Wright that Development Permit Application PRDP20202309 be approved with the conditions noted in the report.

Description

1. That single-lot regrading and the placement of approximately 200 cubic metres of clean fill, including construction of a berm and swales, shall be permitted in general accordance with the drawings submitted with the application and the conditions of this permit.

Prior-to-Issuance

2. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.

ROCKY VIEW COUNTY
MUNICIPAL PLANNING COMMISSION MEETING MINUTES
October 8, 2020

Page 14

-
- a. That the Applicant/Owner shall also confirm with County Road Operations if a temporary road approach is required to access the site during development. All approvals shall be obtained by the Applicant/Owner, if required.
 - b. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

Permanent

3. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity.
4. That upon completion of the proposed development, all areas of fill that are greater than 1.20 m (3.93 ft.) in depth, the Applicant/Owner shall submit compaction testing results, prepared by a qualified professional, in accordance with County Servicing Standards.
5. That it shall be the responsibility of the Applicant/Owners to ensure the fill has been placed in a safe manner that does not cause slope stability issues, slumping, or any other related safety issues.
6. That upon request of the County, the Applicant/Owner shall submit an as-built survey, confirming that the development proposal and post grades align with the approved application.
7. That any material entering to or leaving from the site, shall be hauled on/off in a covered trailer/truck, which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.
 - a. That the clean-up of any mud tracking and/or dirt that enters onto any County roads during hauling, shall be the responsibility and cost of the Applicant/Owner for clean-up.
8. That no topsoil shall be removed from the site.
9. That the Applicant/Owners shall ensure no organic material is buried and capped in a manner that will cause methane gas related issues.
10. That the fill shall not contain large concrete, rebar, asphalt, building materials, organic materials, or other metal.
11. That the Applicant/Owners shall take effective measures to control dust on the parcel so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity.
12. That if no future development of the proposed graded area occurs, the proposed graded area shall have a minimum of six (6) inches of topsoil placed on top, which shall then be spread and seeded to native vegetation, farm crop, or landscaped to the satisfaction of the County.
13. That the Applicant/Owners shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
14. That the subject land shall be maintained in a clean and tidy fashion at all times and all waste material shall be deposited and confined in an appropriate enclosure. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways. That all garbage and waste shall be stored in weatherproof and animal proof containers and be in a location easily accessible to containerized garbage pickup.

Advisory

15. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

ROCKY VIEW COUNTY
MUNICIPAL PLANNING COMMISSION MEETING MINUTES
October 8, 2020

Page 15

16. That the subject development shall conform to the County's Noise Bylaw C-5773-2003 in perpetuity.
17. That the site shall remain free of restricted and noxious weeds and maintained in accordance with the Alberta Weed Control Act [*Statutes of Alberta, 2008 Chapter W-5.1, December 2017*].
18. That if the development authorized by this Development Permit is not completed within twelve (12) months of the date of issuance, the permit is deemed to be null and void.
19. That if this Development Permit is not issued by **APRIL 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Carried

2020-10-08-09 (E-6)

Division 4 – Development Item – Dwelling, Single Detached

File: PRDP20202416 (03214054)

MOVED by Vice-Chair Schule that Development Permit Application PRDP20202416 be approved with the conditions noted in the Development Permit Report, attached.

Description

1. That the dwelling, single detached (existing deck) may remain on the subject parcel, in accordance with the with Real Property Report prepared by Vista Geomatics Ltd., dated June 8, 2020.
 - a. That the minimum rear yard setback requirement for the dwelling, single detached (existing deck), shall be relaxed from **8.00 m (26.25 ft.) to 4.16 m (13.65 ft.)**.

Advisory

2. That the accessory building (existing shed, 7.44 sq. m [80.08 sq. ft.] in area) shall be relocated to the rear yard of the property, to be in compliance with Direct Control District 85 Regulation 2.5.2.
3. That any over government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

Carried

The Chair called a recess at 10:21 a.m. and called the meeting back to order at 10:29 a.m. with all previously mentioned members present.

2020-10-08-11 (F-1)

All Divisions – Livestreaming of MPC Meetings

File: N/A

MOVED by Vice-Chair Schule that the Municipal Planning Commission recommend to Council that the meetings be livestreamed, starting October 29, 2020.

Carried

ROCKY VIEW COUNTY
MUNICIPAL PLANNING COMMISSION MEETING MINUTES
October 8, 2020

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2020-10-08-12 (F-2)

All Divisions – 2021 MPC meeting dates

File: N/A

MOVED by Vice-Chair Schule that the Municipal Planning Commission recommend to Council that the Municipal Planning Commission meetings be moved from Thursdays to Wednesdays, starting in the 2021 calendar year.

Carried

Adjournment

MOVED by Member McKylor that the October 8, 2020 Municipal Planning Commission meeting be adjourned at 10:43 p.m.

Carried

Chair or Vice Chair

Chief Administrative Officer or Designate

PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision Authority

DATE: October 29, 2020

DATE: 1

APPLICATION: PL20200080

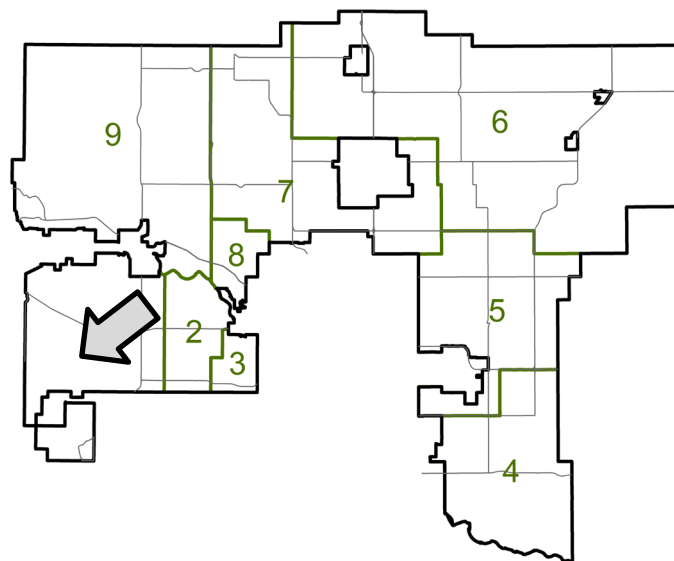
SUBJECT: Subdivision Item: Agricultural First Parcel Out Subdivision

APPLICATION: To create a \pm 32.37 hectare (\pm 80 acre) parcel with a \pm 32.37 hectare (\pm 80 acre) remainder.

GENERAL LOCATION: Located approximately 4 km (2.5 miles) west of Highway 22 and approximately 1.6 km (1 mile) south of Township Road 244.

LAND USE DESIGNATION: Ranch and Farm District (RF) under Bylaw C-4841-97; Agricultural, General District (A-GEN) under new Bylaw C-8000-2020

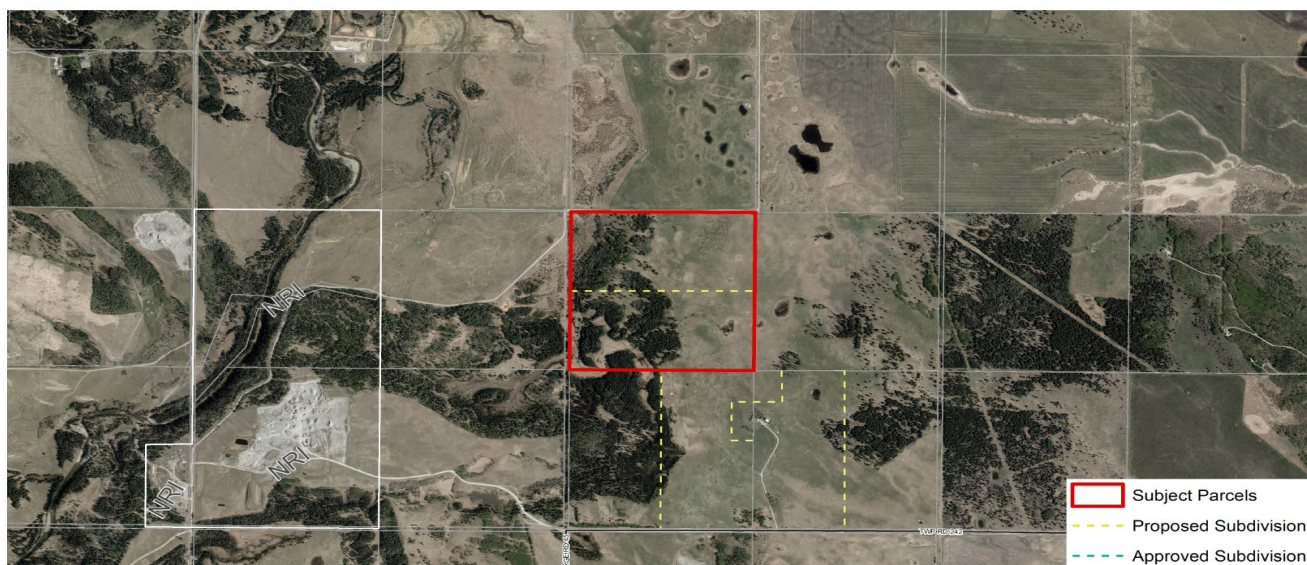
ADMINISTRATION RECOMMENDATION:
Administration recommends approval in accordance with Option #1.



OPTIONS:

- Option #1: THAT Subdivision Application PL20200080 be approved with the conditions noted in Attachment 'B'.
- Option #2: THAT Subdivision Application PL20200080 be approved with the conditions noted in Attachment 'C'.
- Option #3: THAT Subdivision Application PL20200080 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Johnson Kwan, Planning and Development Services



APPLICANT: Raymond A & Patricia L Nicoll

OWNER: Raymond A & Patricia L Nicoll

APPLICATION EVALUATION:

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS: <ul style="list-style-type: none"> • <i>Municipal Government Act;</i> • Subdivision and Development Regulations; • Municipal Development Plan; • Land Use Bylaw; and • County Servicing Standards. 	TECHNICAL REPORTS SUBMITTED: <ul style="list-style-type: none"> • N/A
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APPLICABLE FEE/LEVY	APPROXIMATE AMOUNT OWING
<i>TRANSPORTATION OFFSITE LEVY</i>	N/A
<i>MUNICIPAL RESERVE</i>	N/A

Accessibility to a road

The Applicant proposed to construct an access road along the Range Road 45 Road Allowance, which connects to Township Road 244 (± 2 km to the north) to provide access to Lot 1 and 2.

Two options for this access road have been provided. Option 1 extends Range Road 45 to provide physical and legal access to both Lots 1 and 2 per the County Servicing Standards. Options 2, as requested by the applicant, extends Range Road 45 to the northwest corner of Lot 1 and provided access to Lot 2 via an access easement.

As a condition of subdivision, the applicant will be required to enter into a Development Agreement with the County to upgrade the undeveloped road allowance (approximately 2 km in total length) to Regional Low Volume Standard as well as construct other required road infrastructure (i.e. road approaches, a cul-de-sac at the termination point of the road, etc.) in accordance with the County's Servicing Standards.

Should the wetland along the road allowance be directly impacted by the proposed development, the applicant/owner will be required to provide a Biophysical Impact Assessment (BIA) conducted by a qualified professional that assesses the existing wetland and the impacts the proposed development will have on the wetland. The BIA shall also provide recommendations on mitigation and compensation measures to address the impacts to the wetland.

The applicant/owner will also be responsible to obtain all required Alberta Environment and Parks (AEP) approvals, including approvals under the Water Act, should the proposed development impact any wetlands.

County Road Allowance

During the September 3, 2020 Municipal Planning Commission meeting, it was noted that there is an existing private airstrip crossing the Range Road 45 County Road Allowance. For this reason, the Municipal Planning Commission tabled the application sine die pending Administration's investigation into the airstrip.



Based on the County's records, there have been a variety of agreements in place since 1969 that have allowed the landowner to use the Road Allowance for agricultural purposes; however, none of the agreements reference/authorize the private airstrip. The two most recent Road License Agreements along the Road Allowance are also grazing purposes only and will expire December 2021 (Agreement 04820A and 04820B, dated December 2010).

The application was also circulated to four aviation agencies for comments and review. These comments are included in Attachment E of the report for review and reference.

Transport Canada does not approve or issue a "permit" to construct an airstrip. Also, Transport Canada would likely not support an aerodrome being developed over an existing road allowance or other clearly marked transportation corridor (see comments for details).

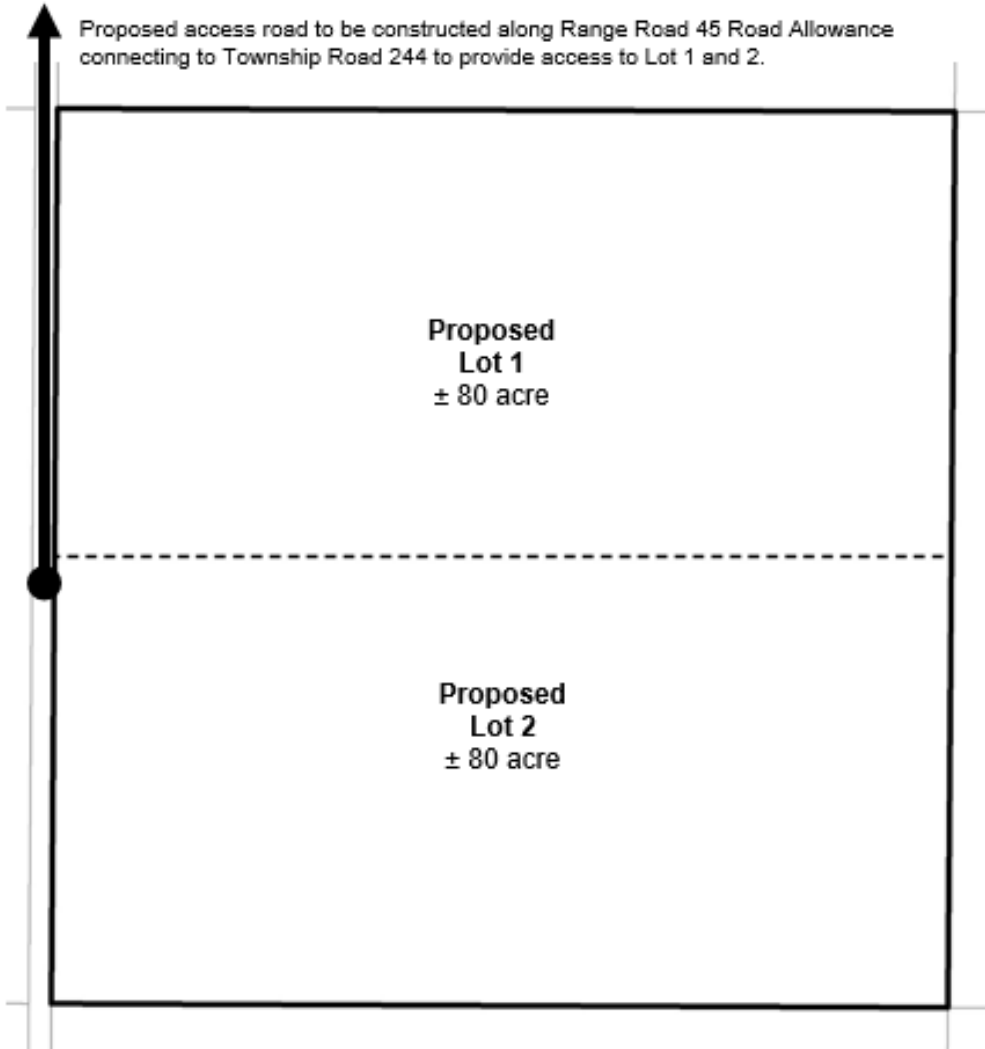
Based on a similar situation in the Foothills County, if a County has ownership of land or care and control of a road, they have full jurisdiction on private airstrips unless a formalized agreement is in place.



ROCKY VIEW COUNTY

Tentative Plan in accordance with the conditions noted in Attachment 'B'.

Subdivision Proposal: To create a ± 32.37 hectare (± 80 acre) parcel with a ± 32.37 hectare (± 80 acre) remainder.



Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

**TENTATIVE PLAN
WITH ROAD CONSTRUCTION**



NW-17-24-04-W05M

Date: June 6, 2020

Application: PL20200080

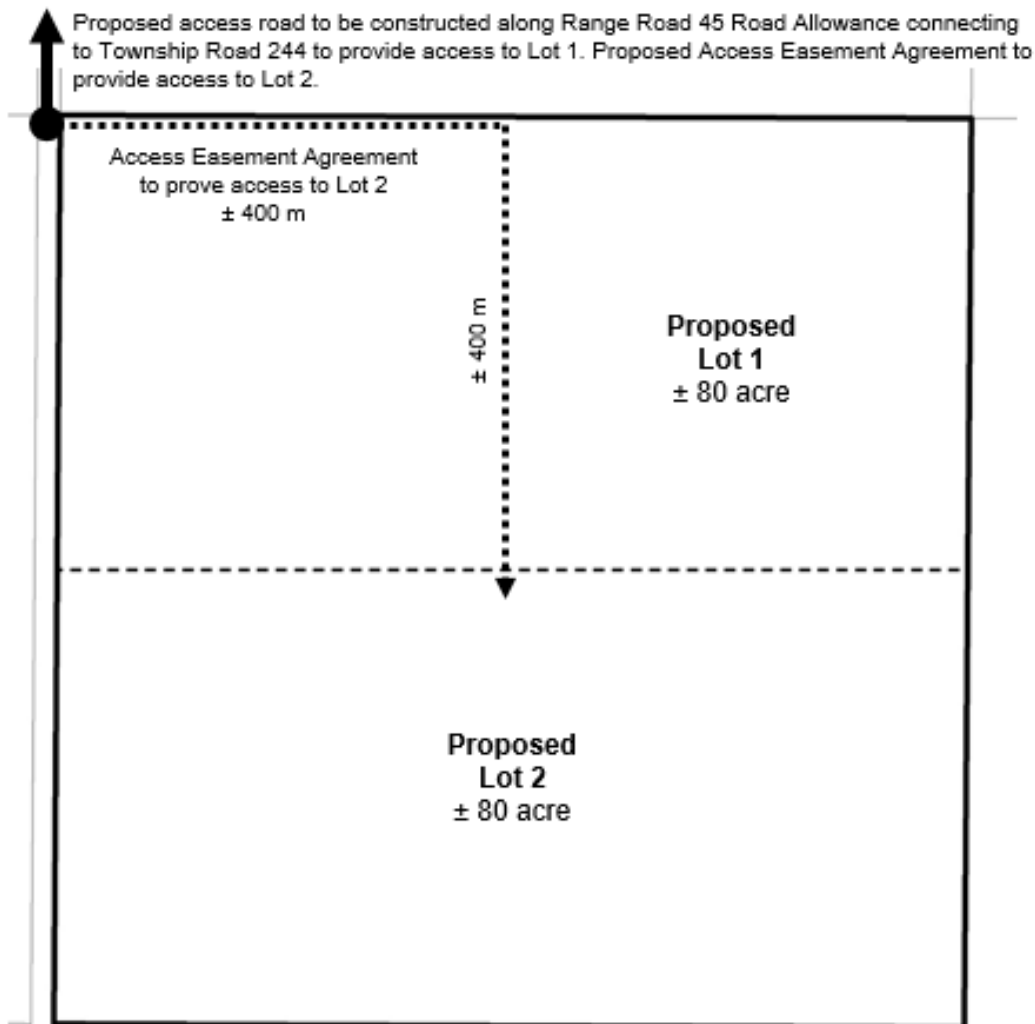
File: 04817002



ROCKY VIEW COUNTY

Tentative Plan in accordance with the conditions noted in Attachment 'C'.

Subdivision Proposal: To create a ± 32.37 hectare (± 80 acre) parcel with a ± 32.37 hectare (± 80 acre) remainder.



Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

**TENTATIVE PLAN
WITH ACCESS EASEMENT AGREEMENT**



NW-17-24-04-W05M

Date: June 6, 2020

Application: PL20200080

File: 04817002



CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended for approval.

Respectfully submitted,

Concurrence,

"Theresa Cochran"

"Al Hoggan"

Executive Director
Community Development Services

Chief Administrative Officer

JKwan/llt

ATTACHMENTS:

ATTACHMENT 'A': Maps and Other Information

ATTACHMENT 'B': Approval Conditions with Road Construction

ATTACHMENT 'C': Approval Conditions with Access Easement Agreement

ATTACHMENT 'D': Public Submissions

ATTACHMENT 'E': Application Referrals



ROCKY VIEW COUNTY

ATTACHMENT 'A': MAPS AND OTHER INFORMATION

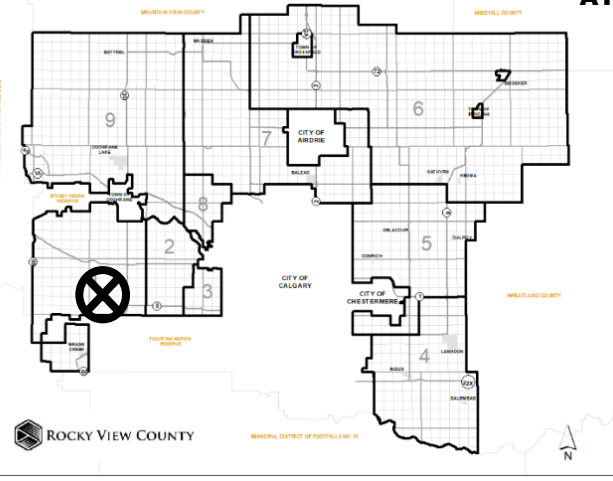
DATE APPLICATION RECEIVED: July 2, 2020	DATE DEEMED COMPLETE: July 2, 2020
GROSS AREA: ± 64.7 HECTARES (± 160 ACRES)	LEGAL DESCRIPTION: NW-17-24-4-W05M
APPEAL BOARD: Municipal Government Board	
HISTORY: No relevant development history	
PUBLIC & AGENCY SUBMISSIONS: <p>The application was circulated to five adjacent landowners and no letters were received in response.</p> <p>The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.</p>	

Location & Context

Subdivision Proposal

To create a ± 32.37 ha
(± 80 ac) parcel with a
 ± 32.37 ha (± 80 ac)
remainder.

Division: 1
Roll: 04817002
File: PL20200080
Printed: October 13, 2020
Legal: NW-17-24-04-W05M

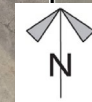




Location & Context

Subdivision Proposal

To create a ± 32.37 ha
 (± 80 ac) parcel with a
 ± 32.37 ha (± 80 ac)
 remainder.



Division: 1
 Roll: 04817002
 File: PL20200080
 Printed: October 13, 2020
 Legal: NW-17-24-04-W05M

Development Proposal

Subdivision Proposal

To create a ± 32.37 ha
(± 80 ac) parcel with a
 ± 32.37 ha (± 80 ac)
remainder.

Proposed
Lot 1
 ± 80 acre

Proposed
Lot 2
 ± 80 acre



Division: 1
Roll: 04817002
File: PL20200080
Printed: October 13, 2020
Legal: NW-17-24-04-W05M

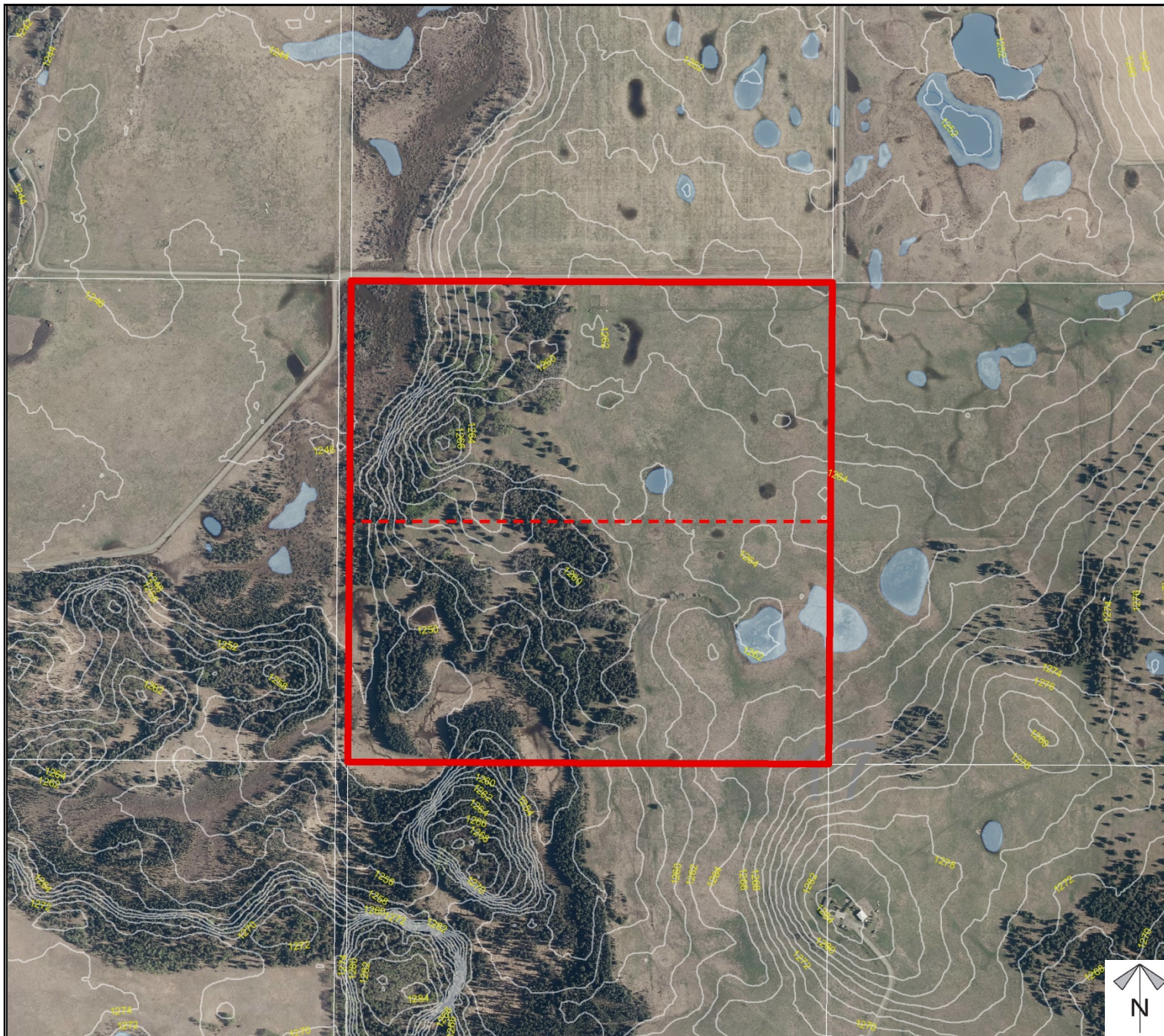
Environmental

Subdivision Proposal

To create a ± 32.37 ha (± 80 ac) parcel with a ± 32.37 ha (± 80 ac) remainder.

-  Subject Lands
-  Contour - 2 meters
-  Riparian Setbacks
-  Alberta Wetland Inventory
-  Surface Water

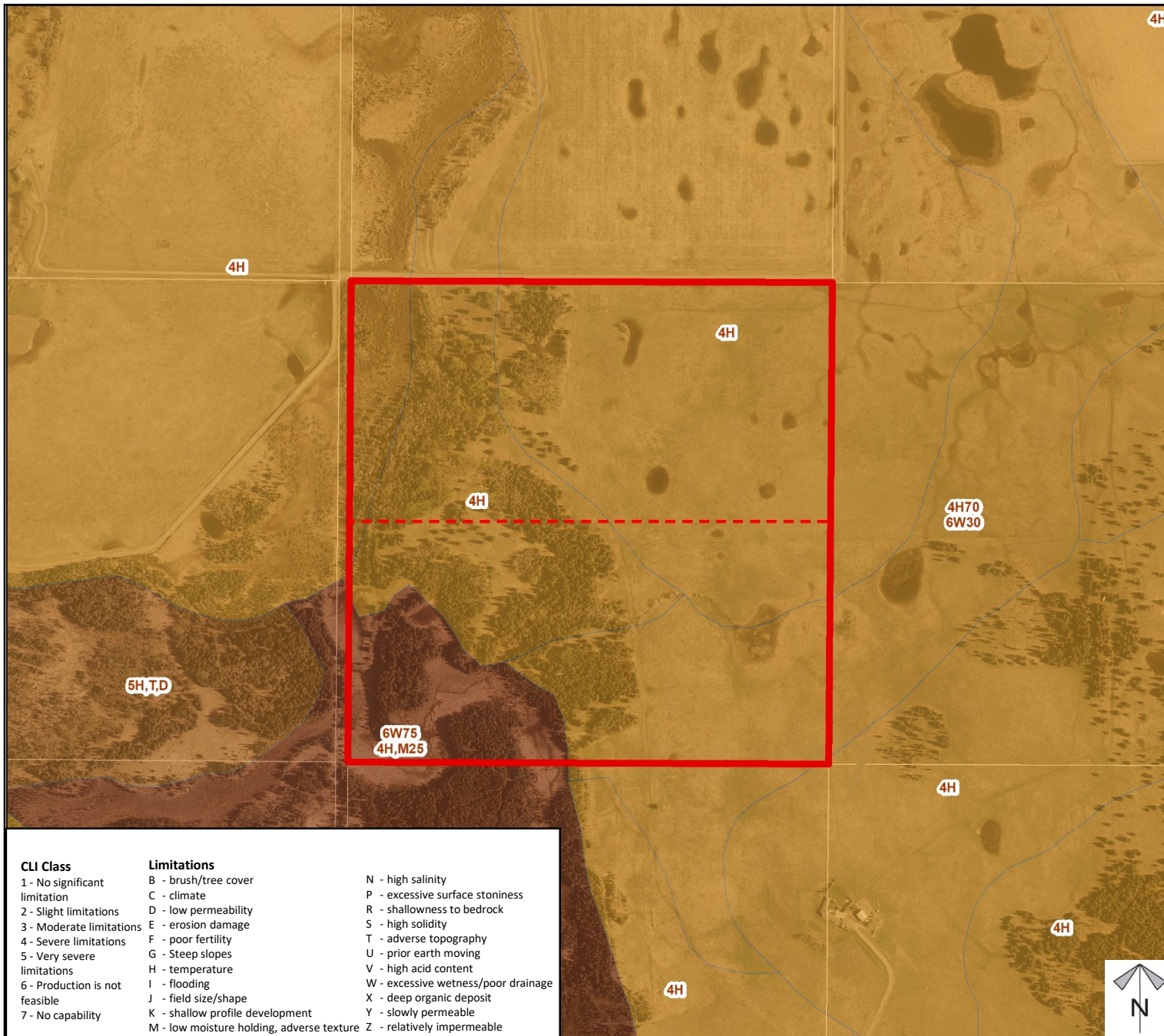
Division: 1
 Roll: 04817002
 File: PL20200080
 Printed: October 13, 2020
 Legal: NW-17-24-04-W05M



Soil Classifications

Subdivision Proposal

To create a ± 32.37 ha
(± 80 ac) parcel with a
 ± 32.37 ha (± 80 ac)
remainder.



Division: 1
Roll: 04817002
File: PL20200080
Printed: October 13, 2020
Legal: NW-17-24-04-W05M

Landowner Circulation Area

Subdivision Proposal

To create a ± 32.37 ha
(± 80 ac) parcel with a
 ± 32.37 ha (± 80 ac)
remainder.

Legend

Support

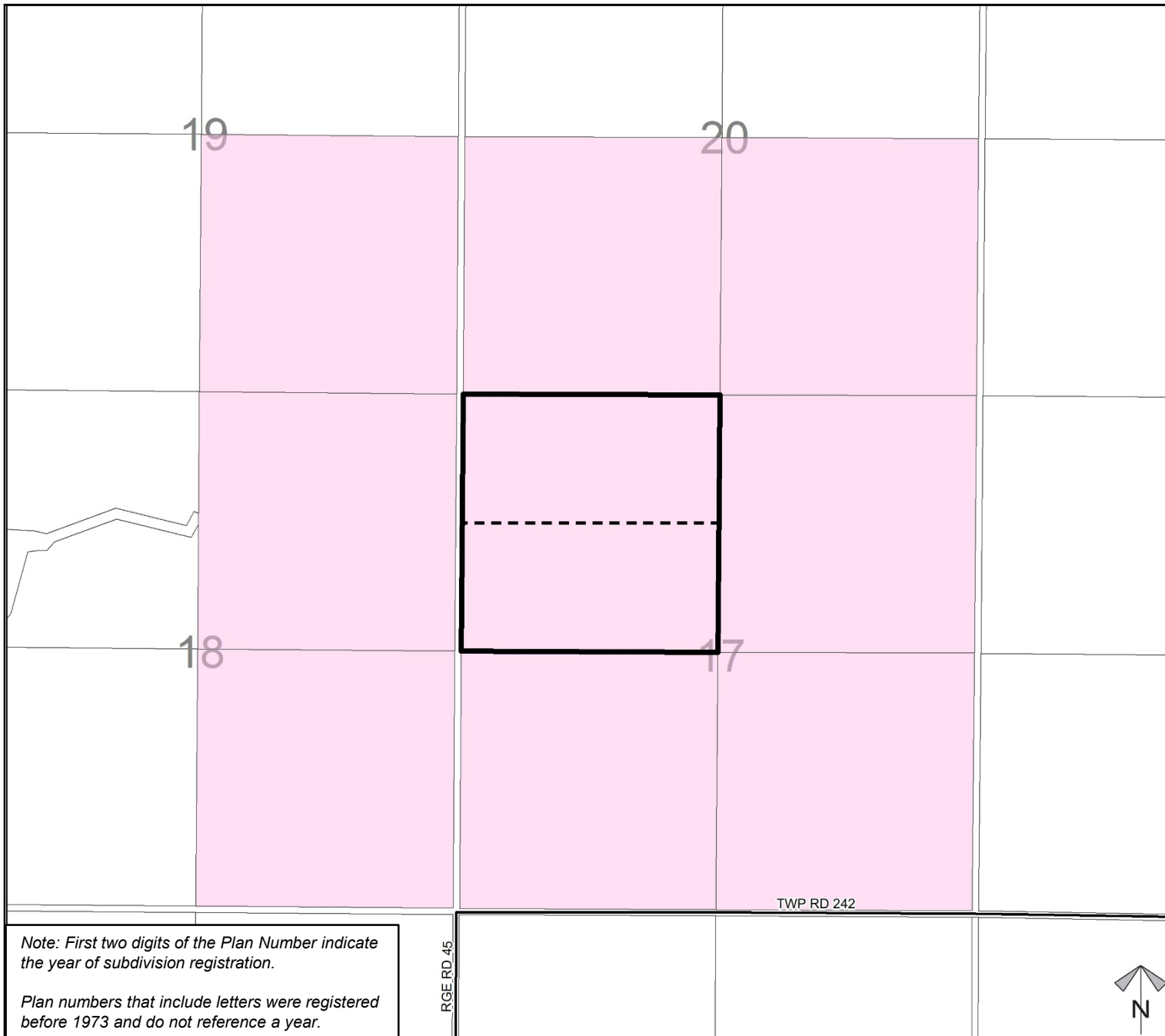


Opposition



Division: 1
 Roll: 04817002
 File: PL20200080
 Printed: October 13, 2020
 Legal: NW-17-24-04-W05M

AGENDA
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Tentative Plan With Road Construction

Subdivision Proposal

To create a ± 32.37 ha
(± 80 ac) parcel with a
 ± 32.37 ha (± 80 ac)
remainder.

Legend

Dwelling	
Building	
Water Well	
Wastewater	
Existing Approach	
New Approach	
Driveway	
Road Widening	
Road Acquisition	

Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

Division: 1
Roll: 04817002
File: PL20200080
Printed: October 13, 2020
Legal: NW-17-24-04-W05M

Proposed access road to be constructed along Range Road 45 Road Allowance connecting to Township Road 244 to provide access to Lot 1 and 2.

**Proposed
Lot 1**
 ± 80 acre

**Proposed
Lot 2**
 ± 80 acre



Tentative Plan With Road Construction

Subdivision Proposal

To create a ± 32.37 ha
(± 80 ac) parcel with a
 ± 32.37 ha (± 80 ac)
remainder.

Proposed access road to be constructed along Range Road 45 Road Allowance connecting to Township Road 244 to provide access to Lot 1 and 2.

**Proposed
Lot 1**
 ± 80 acre

**Proposed
Lot 2**
 ± 80 acre



Division: 1
Roll: 04817002
File: PL20200080
Printed: October 13, 2020
Legal: NW-17-24-04-W05M



Tentative Plan With Access Easement Agreement

Subdivision Proposal

To create a ± 32.37 ha
(± 80 ac) parcel with a
 ± 32.37 ha (± 80 ac)
remainder.

Legend

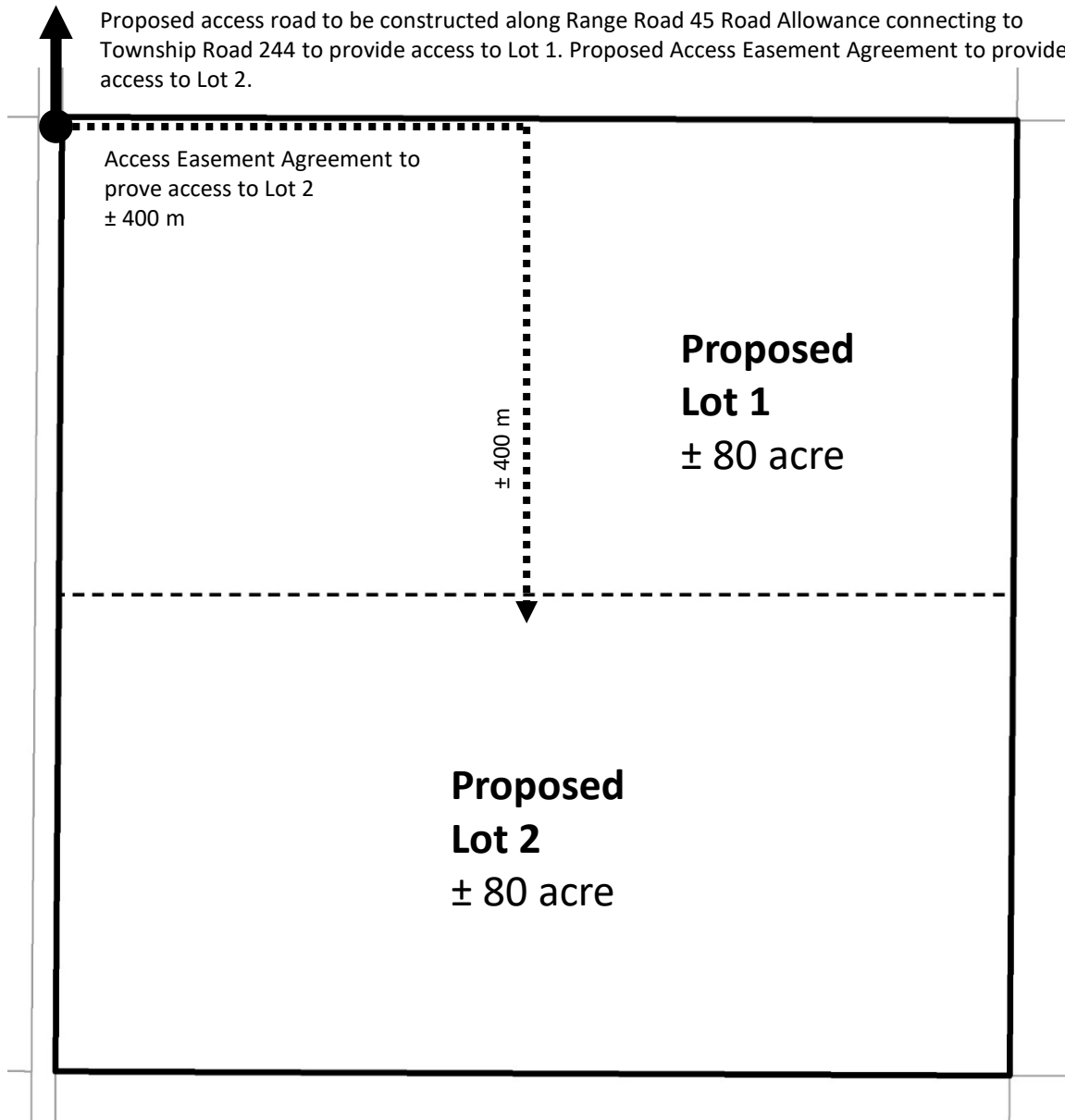
Dwelling	
Building	
Water Well	
Wastewater	
Existing Approach	
New Approach	
Driveway	
Road Widening	
Road Acquisition	

Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

Division: 1
Roll: 04817002
File: PL20200080
Printed: October 13, 2020
Legal: NW-17-24-04-W05M

AGENDA





Tentative Plan With Access Easement Agreement

Subdivision Proposal

To create a ± 32.37 ha
(± 80 ac) parcel with a
 ± 32.37 ha (± 80 ac)
remainder.

Access Easement Agreement to
provide access to Lot 2
 ± 400 m

± 400 m

**Proposed
Lot 1**
 ± 80 acre

**Proposed
Lot 2**
 ± 80 acre

Proposed access road to be constructed along Range Road 45 Road Allowance connecting to
Township Road 244 to provide access to Lot 1. Proposed Access Easement Agreement to provide
access to Lot 2.



Division: 1
Roll: 04817002
File: PL20200080
Printed: October 13, 2020
Legal: NW-17-24-04-W05M



ROCKY VIEW COUNTY

ATTACHMENT 'B': APPROVAL CONDITIONS WITH ROAD CONSTRUCTION

- A. The application to create a ± 32.37 hectare (± 80 acre) parcel with a ± 32.37 hectare (± 80 acre) remainder at NW-17-24-4-W05M, having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is approved as per the Tentative Plan for the reasons listed below:
1. The application is consistent with the Statutory Policy;
 2. The subject lands hold the appropriate land use designation;
 3. The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Transportation and Access

- 2) That the Owner shall enter into a Development Agreement pursuant to Section 655 of the *Municipal Government Act* in accordance with the approved Tentative Plan and shall include the following:
 - a) Design and construction of a public road (Regional Low Volume Standard) along the undeveloped Range Road 45 Road Allowance from Township Road 244 to Lots 1 and 2 (approximately 2 km in length), with associated infrastructure which includes the following:
 - I. Road Approaches to Lots 1 and Lot 2;
 - II. A cul-de-sac at the termination point of the road;
 - III. Signage;
 - b) Should the wetland located within the road allowance be impacted by the proposed development, the Owner shall provide a Biophysical Impact Assessment (BIA) and/or Wetland Impact Assessment conducted by a qualified professional to assess the existing wetland and the impacts the proposed development will have on the wetland. The BIA and/or the Wetland Impact Assessment shall provide recommendations on mitigation and compensation measures to address the impacts to the wetland;



ROCKY VIEW COUNTY

- c) Implementation of the recommendations of the Biophysical Impact Assessment and/or Wetland Impact Assessment;
- d) Implementation of the recommendation of the Construction Management Plan;
- e) Implementation of the recommendation of the Erosion and Sediment Control Plan; and
- f) Alberta Environment and Parks approvals are required for disturbance to any wetlands, prior to signing of the Development Agreement.

Construction Management

- 3) The Owner is to provide a Construction Management Plan, which is to include, but not limited to noise, sedimentation and erosion control, construction waste management, firefighting procedures, evacuation plan, construction and management details in accordance with the County's Servicing Standards.
- 4) The Owner shall submit an Erosion and Sediment Control Plan in accordance with the County Servicing Standards.

Payments and Levies

- 5) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one new lot.

Taxes

- 6) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw



ROCKY VIEW COUNTY

ATTACHMENT 'C': APPROVAL CONDITIONS WITH ACCESS EASEMENT AGREEMENT

- A. The application to create a ± 32.37 hectare (± 80 acre) parcel with a ± 32.37 hectare (± 80 acre) remainder at NW-17-24-4-W05M, having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is approved as per the Tentative Plan for the reasons listed below:
1. The application is consistent with the Statutory Policy;
 2. The subject lands hold the appropriate land use designation;
 3. The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Transportation and Access

- 2) That the Owner shall enter into a Development Agreement pursuant to Section 655 of the *Municipal Government Act* in accordance with the approved Tentative Plan and shall include the following:
 - a) Design and construction of a public road (Regional Low Volume Standard) along the undeveloped Range Road 45 Road Allowance from Township Road 244 to Lot 1, with associated infrastructure which includes the following:
 - I. Road Approaches to Lot 1;
 - II. A cul-de-sac at the termination point of the road;
 - III. Signage;
 - b) Should the wetland located within the road allowance be impacted by the proposed development, the Owner shall provide a Biophysical Impact Assessment (BIA) and/or Wetland Impact Assessment conducted by a qualified professional to assess the existing wetland and the impacts the proposed development will have on the wetland. The BIA and/or the Wetland Impact Assessment shall provide recommendations on mitigation and compensation measures to address the impacts to the wetland;
 - c) Implementation of the recommendations of the Biophysical Impact Assessment and/or



ROCKY VIEW COUNTY

Wetland Impact Assessment;

- d) Implementation of the recommendation of the Construction Management Plan;
 - e) Implementation of the recommendation of the Erosion and Sediment Control Plan; and
 - f) Alberta Environment and Parks approvals are required for disturbance to any wetlands, prior to signing of the Development Agreement.
- 3) That the Owner shall enter into an Access Easement Agreement to provide access to Lot 2 via Lot 1 as per the approved Tentative Plan, and shall include:
- a) Registration of the applicable access right of way plan.

Construction Management

- 4) The Owner is to provide a Construction Management Plan, which is to include, but not limited to noise, sedimentation and erosion control, construction waste management, firefighting procedures, evacuation plan, construction and management details in accordance with the County's Servicing Standards.
- 5) The Owner shall submit an Erosion and Sediment Control Plan in accordance with the County Servicing Standards.

Payments and Levies

- 6) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one new lot.

Taxes

- 7) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw



ROCKY VIEW COUNTY

ATTACHMENT 'D': PUBLIC SUBMISSIONS

NO PUBLIC SUBMISSIONS RECEIVED



ATTACHMENT 'E': APPLICATION REFERRALS

AGENCY	COMMENTS
Transport Canada	<p data-bbox="451 327 1511 625">All applicable regulation governing aerodromes and airports (Heliports) can be found in Part III of the Canadian Aviation Regulations (CAR). Under the Aeronautics Act all of Canada and its waters are considered an aerodrome where it is "set aside" for that purpose. This essentially creates the ability for any place to be accessed as an airfield and permits the creation of these facilities. This definition however, is not a precedent setting as the Regulations further define some of the requirements surrounding these types of facilities and does not inherently permit an individual from making a simple declaration that any place is now an aerodrome for simple convenience or other purpose.</p> <p data-bbox="451 646 1511 842">Essentially there are three types of aerodromes; the "back 40" type private airstrip (which the below referenced one appears to be), the registered (private or public) aerodrome which is formally registered with Transport Canada and published in the Canadian Flight Supplement/Navigation Charts as per ICAO standard and lastly the certified (private or public) airport, also published as per ICAO Standard (Calgary International for example).</p> <p data-bbox="451 863 1511 1058">Transport Canada Civil Aviation has little authority to restrict development on private lands – including aerodromes. Transport Canada does not approve or issue a "permit" to construct an airstrip – the only real caveat to that would be the certification process for an airport where the Minister has deemed it in the public interest for the additional level of safety and accountability be applied to a specific facility. This airfield does not appear to be one of those.</p> <p data-bbox="451 1079 1511 1241">Since 2018 any person wishing to construct a new aerodrome must complete a consultation process (CAR 307) and submit a summary to Transport Canada. Transport Canada <i>MAY</i> interject itself at this stage if it sees potential safety concerns but there is no permit or approval issued. This site would not have had to follow this CAR as it predates the implementation of the regulation.</p> <p data-bbox="451 1262 1511 1661">Transport Canada would only interject itself into the conversation if it were made aware of potential conflicts and more specifically where the public interest is at stake and/or where safety or hazards may exist with respect to the development of the aerodrome. While Counties, Provinces and Municipal Districts have the ability to create by-laws, zoning and development plans they have little authority to restrict the development of aerodromes or to govern their operation – that is the purview of the Minister of Transport. With that said, Transport Canada does not advocate a disregard or total "carte blanche" with respect to construction of aeronautical facilities and in fact encourages parties to work with and through their local governmental bodies to the extent possible to ensure that other key elements of safety are addressed; building codes, fire codes, set-backs or other caveats that are in place to ensure safety and issues like drainage and access for example.</p> <p data-bbox="451 1682 1511 1780">Dispensation or for lack of a better term, "protection" of established aerodromes is not always a given and would require a legal assessment of all factors including the existence of all alternatives with respect to the facility.</p> <p data-bbox="451 1801 1511 1925">Transport Canada would likely not support an aerodrome being developed over an existing road allowance or other clearly marked transportation corridor. There is no regulations or requirement that exists upon the County except a Federal Airport Zoning Regulation – none of which exists for this airstrip – to govern its</p>



ROCKY VIEW COUNTY

AGENCY	COMMENTS
	<p>relationship with the airstrip in this fashion. TP 1247 (Transport Canada publication) is guidance on the types of considerations for development in the vicinity of an aerodrome/airport – it encourages open dialogue and cooperation amongst the identification of compatible and non-compatible activities.</p>
NAV Canada	<p>NAV Canada have done some research on the airport in question (located at N51° 03' 50" W114° 32' 09") and can't find any information on this aerodrome. It was never published by NAV CANADA in our publications and is not referenced as an abandoned aerodrome.</p>
The Calgary Airport Authority	<p>The property in question does not fall under the jurisdiction of YBW or YYC, therefore we do not have any comments. This inquiry is best suited for Transport Canada.</p>
Alberta Aviation Council	<p>Alberta Aviation Council is providing you details and references relating to your request for information about this airstrip and jurisdictional matters for the county to be aware of and take into consideration in any action which may contravene the federal jurisdiction under the Aeronautics act.</p> <p>There are basically four different types of "aerodromes in Canada. Military, Private, Registered and Certified. There is no requirement for a private airstrip to be registered or certified, each category has its own requirements and it is up to the owner to decide in which category he wishes to be in.</p> <p>Transport Canada does not have or keep a directory of private airstrips, They only get involved when the owner wishes to have it registered or certified. The latter two categories require more stringent requirements by Transport Canada and also involve more cost including inspection by Transport. The advantage is that the Airstrip would be listed in the Canada Flight Supplement (which is a national Airport Directory) and is published by NAV Canada and published every 56 days to include the latest updates.</p> <p>Attached are the current (August 25, 2020) Canadian Aviation regulations SOR/96-433 and section 300 deals with Airport and Aerodromes FYI.</p> <p>When it comes to private airstrips the Alberta Aviation Council, (which had been in existence since the 60s), Maintains a directory and published a biannual Air Facilities Chart and directory to include its members airstrips. This under the revised Aeronauticas act meets the requirement that these strips exist and have existed prior to these changes and are therefore grandfathered in and are therefore recognized under the Federal jurisdiction of the Aeronautics act.</p> <p>Aeronautics is the exclusive jurisdiction of the Federal Government under the Aeronautics act. This has been confirmed in a number of cases by the Supreme Court. If it is an existing airstrip it is grandfathered in. A new airstrip would have to be coordinated with the local government depending who owns the land and whether there are caveats. This has only changed in the last 4 years or so that local coordination takes place. Prior to that no such requirement existed.</p> <p>Attached is the Transport Canada Advisory Circular ac_300_009_issue_03.pdf which clearly states the Federal the jurisdictional issues. It also references the Supreme court decisions confirming the exclusive jurisdiction over Aeronautics in</p>



AGENCY	COMMENTS
	<p>Canada. There is no requirement to register a private airstrip, the choice is up to the airstrip owner.</p> <p>Following are some excerpts from COPA (Canadian Owners and Pilots Association) provided as guidance material relating to private aerodromes.</p> <p>Part I Aerodromes</p> <p><u>Aerodromes and Airports</u></p> <p>An “aerodrome” means any area of land, water (including the frozen surface thereof) or other supporting surface used, designated, prepared, equipped or set apart for use either in whole or in part for the arrival, departure, movement or servicing of aircraft and includes any buildings, installations and equipment situated thereon or associated therewith. This definition is from the <i>Aeronautics Act</i>.</p> <p>An “airport” is simply an aerodrome that meets the requirements of CAR 302 and is certified by Transport Canada. There are about 725 airports in Canada, each listed and described in either the Canada Flight Supplement (CFS) or the Water Aerodrome Supplement (WAS), as appropriate.</p> <p>It is estimated that there are over 6,000 aerodromes in Canada. Only about one-third of this total are Transport Canada registered aerodromes. Where an aerodrome is registered information describing it is published in the CFS or the WAS.</p> <p>Aerodromes, including those not listed in the CFS or the WAS, are required to be marked, lighted (when used at night), equipped and operated in accordance with CAR 301.</p> <p>While Transport Canada conducts regular audits and inspections of certified airports they do not have the resources to provide a similar level of inspection to registered aerodromes. However registering an aerodrome in the CFS or WAS will be inspected by Transport Canada inspectors and may require extra costs to the owner to satisfy safety requirements.</p> <p><u>Aerodrome Certification/Registration</u></p> <p>Certification costs and ongoing costs to maintain certification status can be very significant. Most owners of private aerodromes will not require certification status nor is there any advantage to doing so.</p> <p>All existing aerodromes prior to January 1 2017 are not considered “new” and thus do not require consultation to continue operating. There is no requirement to complete a COPA Aerodrome Repository declaration form, but it is in the interest of COPA members to gather information proving that their aerodrome (affected by the new regulations) existed and was in operation prior to the new regulations coming into force. In the Case of Alberta this has been done by the Alberta Aviation Council who has maintained its own registry and therefore are recognized by Transport and COPA as meeting the requirements of its prior existence.</p> <p>This section describes practices that are required for certified airports in accordance with TC publication TP 312. These practices are not mandatory, but are recommended, for registered aerodromes. Refer to CAR 301</p>



AGENCY

COMMENTS

BACKGROUND

1. It is estimated that there are over 6000 aerodromes in Canada; however, reliable aerodrome information is only available for approximately one third of this total (recently estimated at roughly 1200 registered and 600 certified aerodromes). Where reliable information is available, that information may be published in the Canada Flight Supplement (CFS) or the Water Aerodrome Supplement (WAS), in accordance with aeronautical information criteria specified by NAV CANADA, the AIS provider, and in accordance with international standards (ICAO Annexes 4 and 15) for publishing aeronautical information.
2. In consultation with the TCCA Regional – Aerodromes and Air Navigation Office, in which the aerodrome is physically located, an owner or operator of an aerodrome in Canada can voluntarily initiate the aerodrome registration process.
3. Registration of an aerodrome is a two-part process conducted under the authority, direction, and guidance of the appropriate TCCA Regional Office:
 - a. The first part in the registration process requires the aerodrome owner or operator to:
 - i. Voluntarily initiate with TCCA a request for registration; and
 - ii. Meet all of the basic requirements of Subpart 301 of the CARs – Aerodromes.
 - b. The second part is the provision of the aerodrome's verified aeronautical information to the TCCA Regional Office and subsequently to NAV CANADA, AIS Data Collection for initial publication within the Integrated Aeronautical Information Publication (AIP) Package, examples of which would be the CFS, WAS, and applicable Charts.
 - c. Ultimately, the authority and responsibility for aviation in Canada rests solely with the Minister hence, no other requirements or conditions should be imposed on operators regarding the aerodrome registration process. If the operator of an aerodrome wishes to voluntarily register their aerodrome with TCCA by meeting the basic requirements of Subpart 301 of the CARs, TCCA will register the aerodrome and have the required aerodrome aeronautical information included in the appropriate publications within the Integrated AIP Package produced by NAV CANADA.

Standards and Guidelines

1. Although there are no regulatory standards directly related to Subpart 301 of the CARs, all aerodrome operators are encouraged, in the interest of safety and efficiency, to develop their sites by taking into consideration the latest edition of the Aerodrome Standards and Recommended Practices – TP 312 publication or Subpart 325 of the Standard – Heliports, as guidance material. TP 312 is available in PDF format from the Transport Canada web site at <https://www.tc.gc.ca/eng/civilaviation/publications/tp312-menu-4765.htm> Subpart 325 of the Standard at:



ROCKY VIEW COUNTY

AGENCY	COMMENTS
	<p>2. http://www.tc.gc.ca/eng/civilaviation/opssvs/management-services-referencecentre-ac300-menu-121.htm</p> <p>3. Improvements made to the physical characteristics of an aerodrome, in voluntary compliance with standards and recommended practices documents, do not require approval from Transport Canada, and will not be inspected. 4. Industry guidelines or "best practices" may be available from various representative groups and used by operators wishing to develop and register their aerodromes in accordance with requirements in Subpart 301 of the CARs, in an effort to enhance their individual level of aviation safety.</p> <p>In the case of the CL ranches airstrip, this airstrip has been in existence since 1970 and therefore fell under the MD of Rockyview #44 prior to the change to Rockyview County in 2009. Therefore you may not have any records on the airstrip nor was there nor is there a requirement for the county to maintain a directory of airstrips in the county. In any case any changes to the land use affecting the airstrip would fall under the Federal jurisdiction. In the case of a road allowance, regardless of when it was established it cannot affect an airstrip/aerodrome.</p> <p>The Alberta's Aviation Council is your source of location and details on Private airstrips including public airstrip and airports which are published in the Canada Flight Supplement. I hope that this helps the county in understanding their role in wishing to make land use changes affecting airstrips/aerodromes.</p>

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: October 29, 2020

DIVISION: 6

APPLICATION: PL20190130

SUBJECT: Subdivision Item: Agricultural, Small Parcel District

APPLICATION: To create a \pm 31.39 acre parcel with a \pm 86.31 acre remainder.

GENERAL LOCATION: Located south of the village of Beiseker, 0.8 kilometres (0.5 mile) north of Township Road 280, and on either side of Highway 9.

LAND USE DESIGNATION: Agricultural, Small Parcel District, and Agricultural, General District

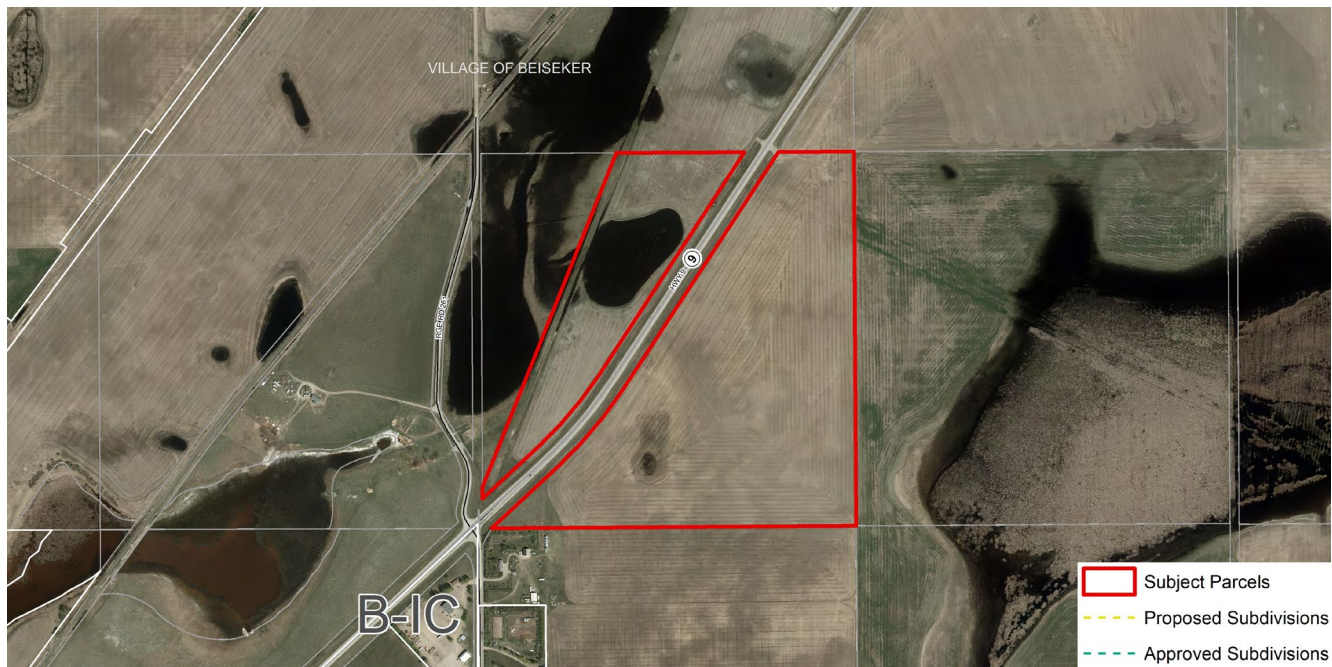
ADMINISTRATION RECOMMENDATION:
Administration recommends Approval in accordance with Option #1.

OPTIONS:

Option #1: THAT Subdivision Application PL20190130 be approved with the conditions noted in Attachment 'B'.

Option #2: THAT Subdivision Application PL20190130 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Stefan Kunz – Planning and Development Services



APPLICANT: John W. Bushfield

OWNER: Archibald Bushfield

APPLICATION EVALUATION:

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS: <ul style="list-style-type: none"> • <i>Municipal Government Act;</i> • Subdivision and Development Regulations; • County Plan; • Land Use Bylaw; and • County Servicing Standards. 	TECHNICAL REPORTS SUBMITTED: <ul style="list-style-type: none"> • Level 1 Model Process Assessment (Western Water Resources Inc., Aug 2019)
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APPLICABLE FEE/LEVY	AMOUNT OWING (ESTIMATE)
MUNICIPAL RESERVE (\$/ACRE) $\$565,500 \text{ gross} / 117.70 \text{ ac} = \$4,804.59$ $\$4,804.59 \text{ per ac} \times (31.39 \text{ ac} \times 10\%) = \$15,086.41$	$\pm 3.14 * \$4,804.59 = \$15,086.41$

Municipal Reserves

Further development potential on Lot 1 is rather limited due to limited road access, the presence of wetlands, and statutory policy. As such, payment of Municipal Reserves by cash-in-lieu is recommended at this time. Lot 2 is larger in size and is not subject to these limitations, so deferral by caveat is recommended for those lands.

Transportation

Lot 2 gains access via Highway 9, however, Alberta Transportation will not support additional access points via the Highway. Access to Lot 1 is available via Range Road 261, as a condition of subdivision a new paved approach is required.

The Transportation Offsite Levy is deferred for both parcels, as the proposed parcel sizes are greater than 7.41 acres.

Tentative Plan

Subdivision Proposal

To create a ± 12.70 hectare (± 31.39 acre) parcel with a ± 34.93 hectare (± 86.31 acre) remainder.

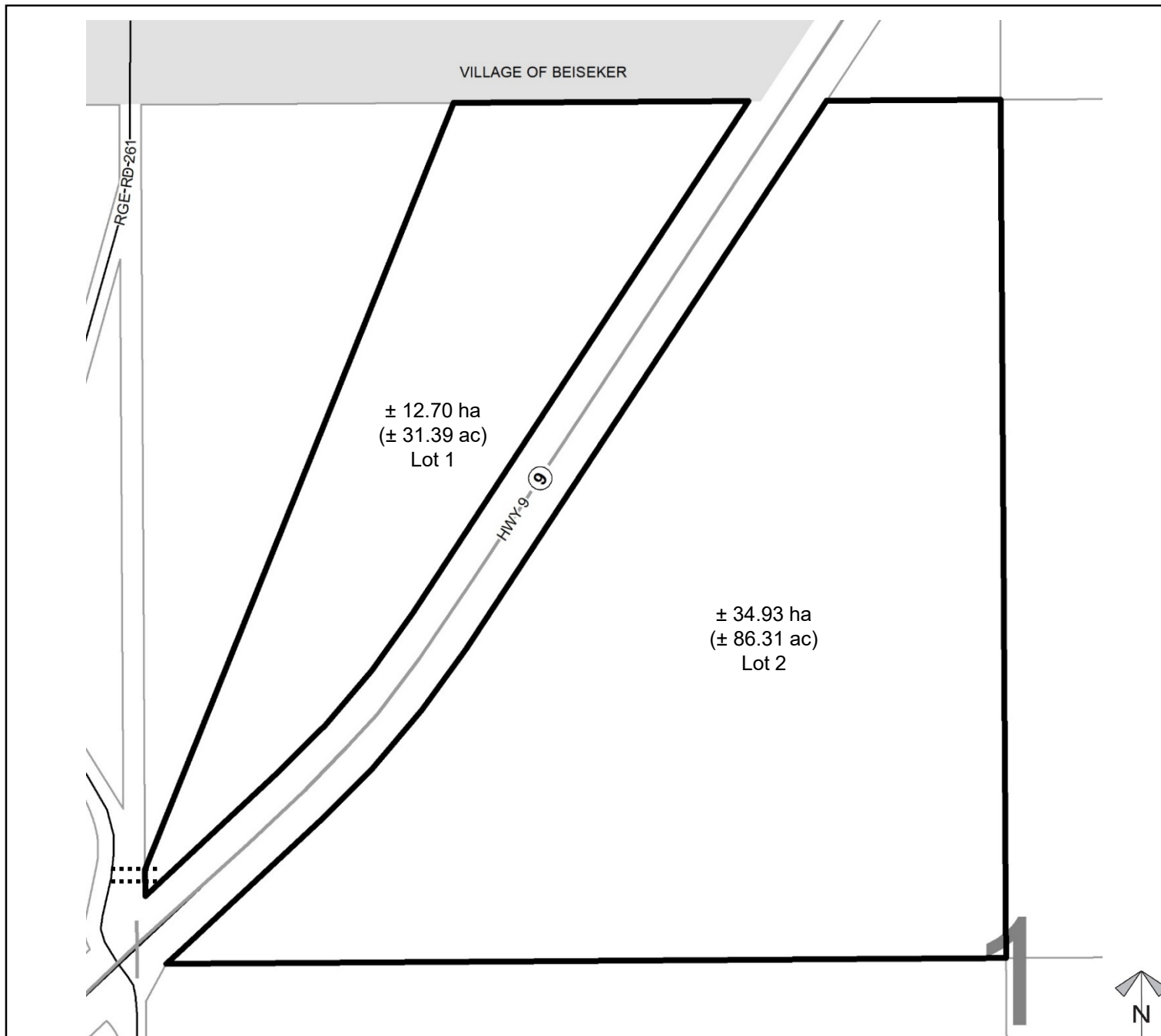
Legend

Required Approach ::::

Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

Division: 6
 Roll: 08101002
 File: PL20190130
 Printed: Sept. 20, 2019
 Legal: NW-106





ROCKY VIEW COUNTY

CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended to be approved.

Respectfully submitted,

Concurrence,

“Theresa Cochran”

“Al Hoggan”

Executive Director
Community Development Services

Chief Administrative Officer

SK/llt

ATTACHMENTS:

ATTACHMENT ‘A’: Maps and Other Information

ATTACHMENT ‘B’: Approval Conditions

ATTACHMENT ‘C’: Public Submissions



ROCKY VIEW COUNTY

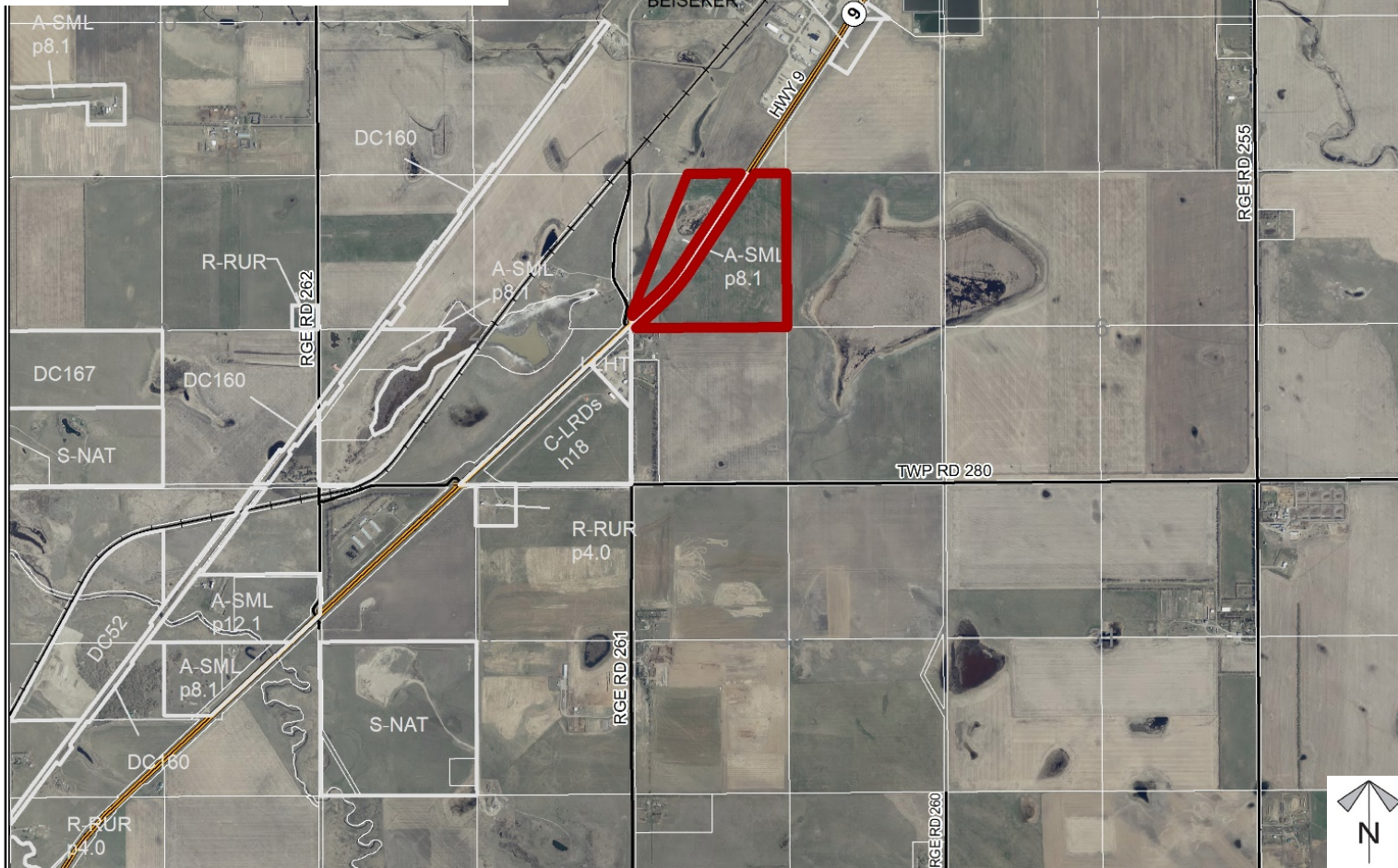
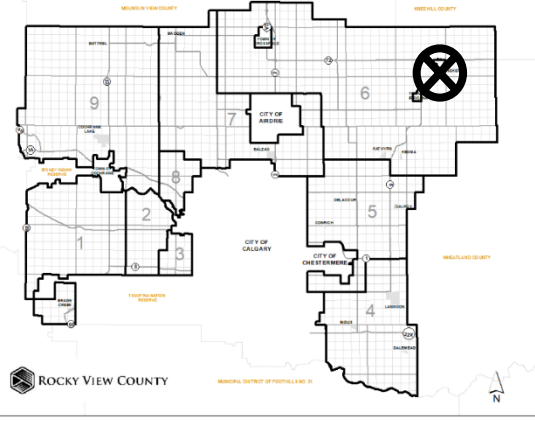
ATTACHMENT 'A': MAPS AND OTHER INFORMATION

DATE APPLICATION RECEIVED: November 4, 2019	DATE DEEMED COMPLETE: April 25, 2019
GROSS AREA: ± 47.63 hectares (± 117.70 acres)	LEGAL DESCRIPTION: NW-1-28-26-W4M
APPEAL BOARD: Municipal Government Board	
HISTORY: <i>July 21, 2020:</i> A portion of the subject lands are redesignated from Agricultural, General District to Agricultural, Small Parcel District.	
PUBLIC & AGENCY SUBMISSIONS: The application was circulated to 11 adjacent landowners and no letters were received in response. The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.	

Location & Context

Subdivision Proposal

To create a ± 12.70 hectare (± 31.39 acre) parcel with a ± 34.93 hectare (± 86.31 acre) remainder.



Subdivision Proposal

BEISEKER

RGE RD 261

HWY 9

± 12.70 ha
(± 31.39 ac)
Lot 1

± 34.93 ha
(± 86.31 ac)
Lot 2



Division: 6
Roll: 08101002
File: PL20190130
Printed: Sept 10, 2020
Legal: NW-0

Environmental

Subdivision Proposal

To create a ± 12.70 hectare (± 31.39 acre) parcel with a ± 34.93 hectare (± 86.31 acre) remainder.



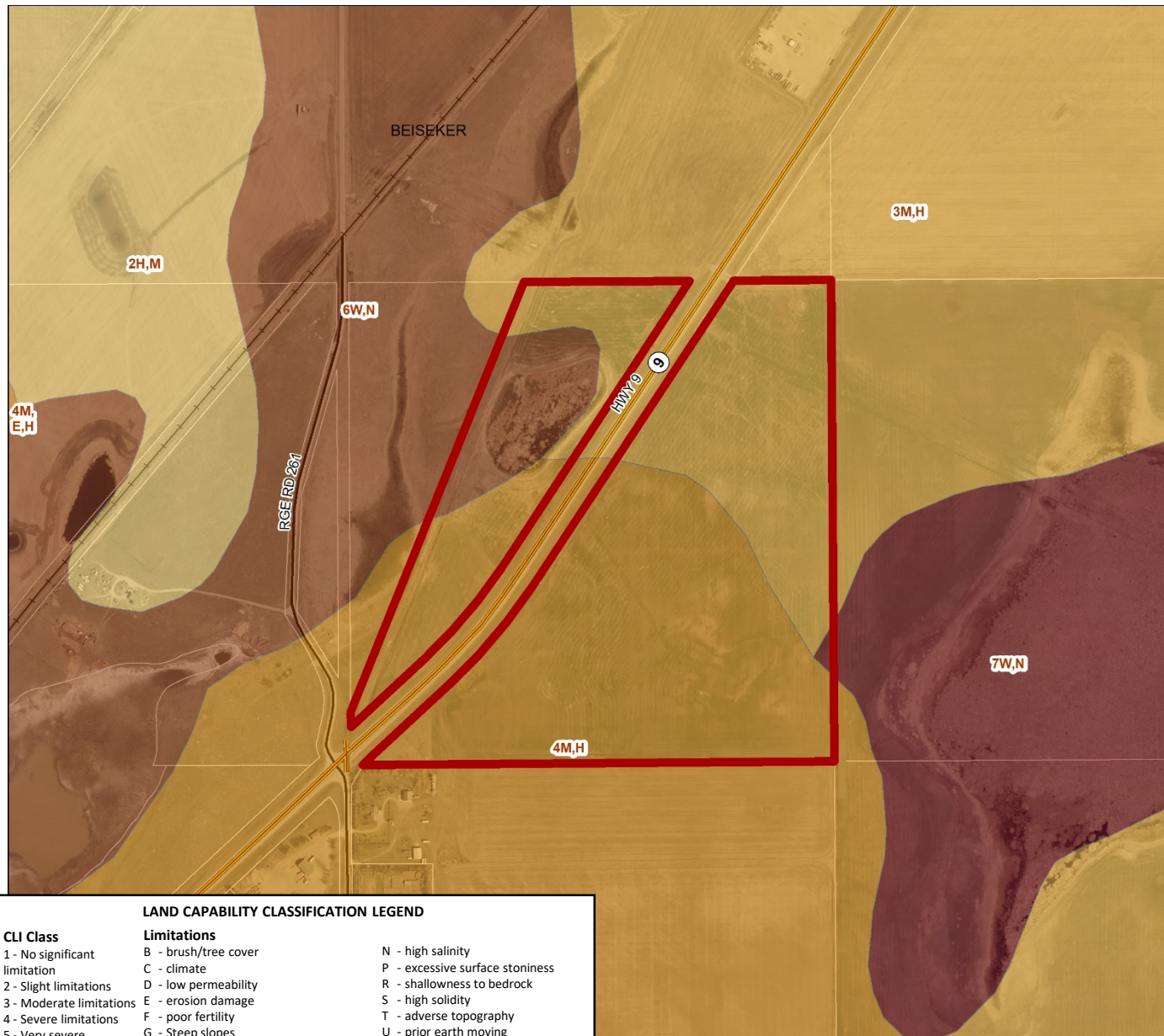
- Subject Lands
- Contour - 2 meters
- Riparian Setbacks
- Alberta Wetland Inventory
- Surface Water

Division: 6
 Roll: 08101002
 File: PL20190130
 Printed: Sept 10, 2020
 Legal: NW-1/4-31-26-20

Soil Classifications

Subdivision Proposal

To create a ± 12.70 hectare (± 31.39 acre) parcel with a ± 34.93 hectare (± 86.31 acre) remainder.



LAND CAPABILITY CLASSIFICATION LEGEND

CLI Class

- 1 - No significant limitation
- 2 - Slight limitations
- 3 - Moderate limitations
- 4 - Severe limitations
- 5 - Very severe limitations
- 6 - Production is not feasible
- 7 - No capability

Limitations

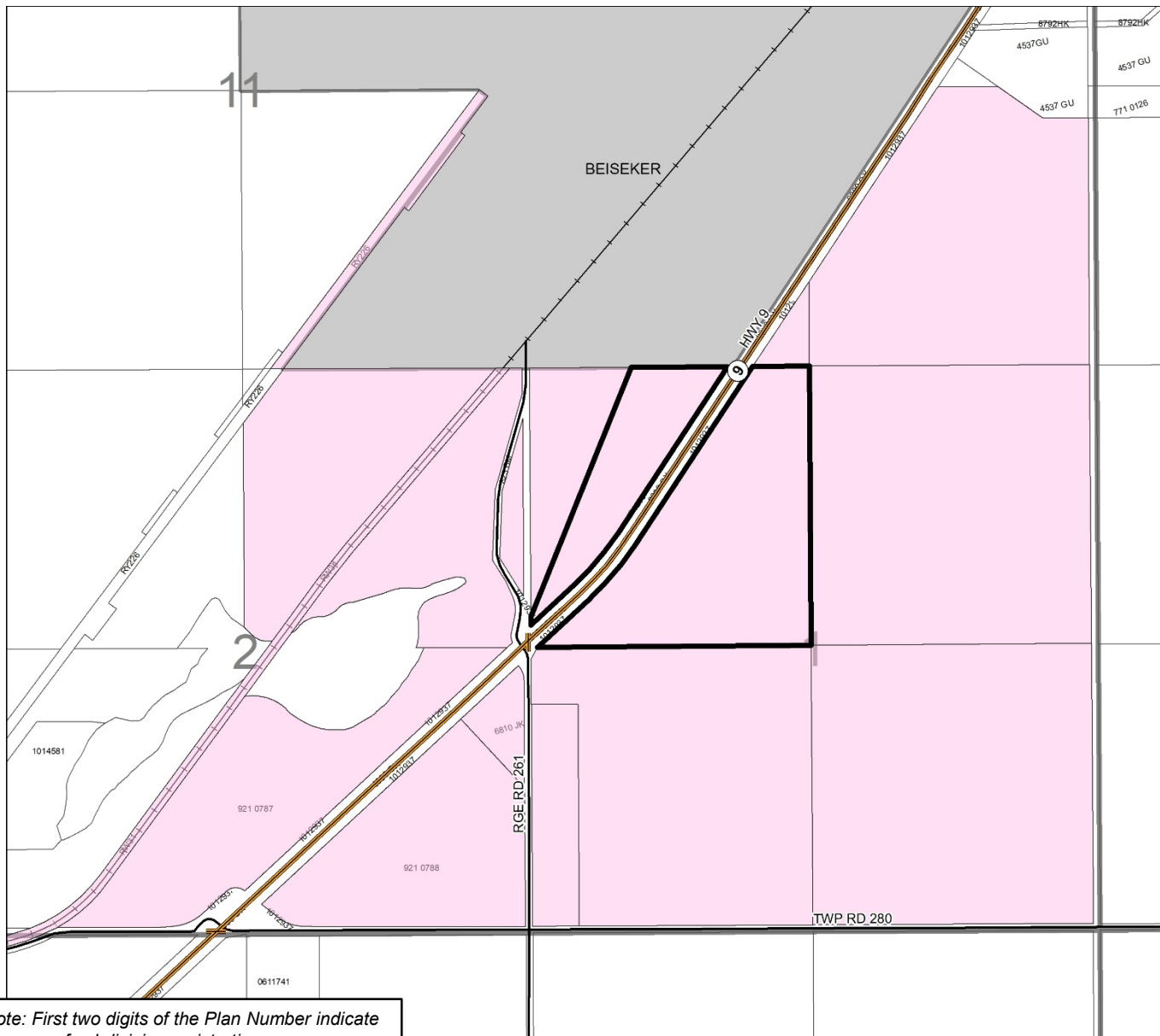
- B - brush/tree cover
- C - climate
- D - low permeability
- E - erosion damage
- F - poor fertility
- G - Steep slopes
- H - temperature
- I - flooding
- J - field size/shape
- K - shallow profile development
- M - low moisture holding, adverse texture
- N - high salinity
- P - excessive surface stoniness
- R - shallowness to bedrock
- S - high solidity
- T - adverse topography
- U - prior earth moving
- V - high acid content
- W - excessive wetness/poor drainage
- X - deep organic deposit
- Y - slowly permeable
- Z - relatively impermeable



Landowner Circulation Area

Subdivision Proposal

To create a ± 12.70 hectare (± 31.39 acre) parcel with a ± 34.93 hectare (± 86.31 acre) remainder.



Note: First two digits of the Plan Number indicate the year of subdivision registration.

Plan numbers that include letters were registered before 1973 and do not reference a year.

Legend

Support



Opposition



Division: 6
Roll: 08101002
File: PL20190130
Printed: Sept 10, 2020
Legal: NW-6-19-20



ROCKY VIEW COUNTY

ATTACHMENT 'B': APPROVAL CONDITIONS

- A. The application to create a ± 12.70 hectare (± 31.39 acre) parcel with a ± 34.93 hectare (± 86.31 acre) remainder, within NW-1-28-26-W4M, having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 and 14 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is recommended to be tabled for the reasons listed below:
1. The technical items required to make an accurate assessment of the subdivision application have not been provided.
 2. Approval of the proposed subdivision may result in negative impact to adjacent landowners.
 3. Approval of the proposed subdivision may result in negative impact to adjacent waterbodies.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Transportation and Access

- 2) The Owner shall construct a new paved approach accessing Lot 1, as shown on the approved Tentative Plan.
 - a) The approach shall access Range Road 261, no access to Highway 9 is permitted.

Municipal Reserves

- 3) The provision of Reserve in the amount of 10 % of the area of Lot 1, as determined by the Plan of Survey, is to be provided by payment of cash-in-lieu in accordance with the per acre value as listed in the land appraisal prepared by Bernie Seifert, dated Sept. 3, 2019, pursuant to Section 666(3) of the *Municipal Government Act*;
 - a) Reserves for Lot 2 are to be deferred with Caveat pursuant to Section 669(2) of the *Municipal Government Act*;

Payments and Levies

- 4) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one (1) new lot.



ROCKY VIEW COUNTY

Taxes

- 5) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw



ROCKY VIEW COUNTY

ATTACHMENT 'C': PUBLIC SUBMISSIONS

NO PUBLIC SUBMISSIONS RECEIVED

PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision Authority
DIVISION: 8
SUBJECT: Subdivision Item: Residential Subdivision

DATE: October 29, 2020
APPLICATION: PL20190124

APPLICATION: To create a \pm 2.14 acre parcel (Lot 1), a \pm 3.01 acre parcel (Lot 2) and \pm 2.62 acre parcel (Lot 3).

GENERAL LOCATION: Located at the northwest junction of Burma Road and Bearspaw Road.

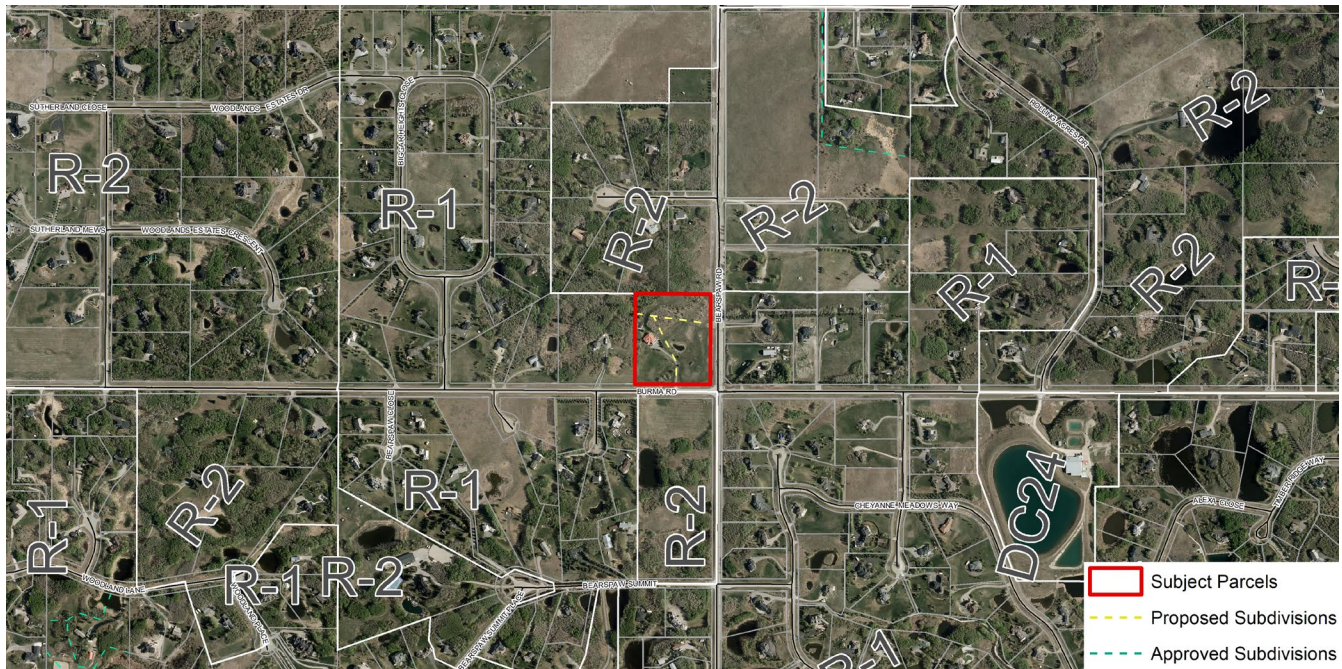
LAND USE DESIGNATION: Residential One District (R-1)

ADMINISTRATION RECOMMENDATION:
 Administration recommends approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Subdivision Application PL20190124 be approved with the conditions noted in Attachment 'B'.
- Option #2: THAT Subdivision Application PL20190124 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:





APPLICANT: Jones Geomatics Ltd. (Jean Mathieu)

OWNER: Mandeep Kaur Bal

APPLICATION EVALUATION:

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

<p>APPLICABLE POLICY AND REGULATIONS:</p> <ul style="list-style-type: none"> • <i>Municipal Government Act;</i> • Subdivision and Development Regulations; • Municipal Development Plan; • Rocky View County/City of Calgary Intermunicipal Development Plan • Bearspaw Area Structure Plan • Land Use Bylaw; and • County Servicing Standards. 	<p>TECHNICAL REPORTS SUBMITTED:</p> <ul style="list-style-type: none"> • Level 3 Private Sewage Treatment System (PSTS) Assessment of Site Suitability, prepared by Sedulous Engineering, Inc. (July 2020)
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ACCESSIBILITY TO A ROAD

Lot 3, containing the existing home, will retain the current access to Burma Road, while proposed Lots 1 and 2 will share a mutual paved approach on to Bearspaw Road.

BEARSPAW AREA STRUCTURE PLAN

Policy 8.1.20 of the BASP requires the minimum parcel size of four acres; however, Policy 8.1.21 allows for development of parcels less than four acres with preparation of a conceptual scheme.

The Applicant did not propose a conceptual scheme. After evaluating the proposal and the applicable policy, Administration concluded that a conceptual scheme would not provide any additional information or benefit for the subdivision of these lands for the following reasons:

1. Conceptual schemes are generally focused at the quarter section scale, and are put in place to guide overall development of the wider area. In this case, submission of a conceptual scheme would be limited to the subject lands and the adjacent lands to the north and west and would therefore not provide significant additional benefit.
2. This subdivision would only facilitate the creation of two new lots.
3. There are no technical concerns from an access, stormwater, or servicing perspective.

SITE SERVICING

The lots will be required to connect to piped water services, and the applicants have provided a letter from Rocky View Water Coop noting availability of future connections.

MUNICIPAL RESERVES

As municipal reserves were deferred at creation of the subject property, they are now required. An estimate for cash-in-lieu has been provided.



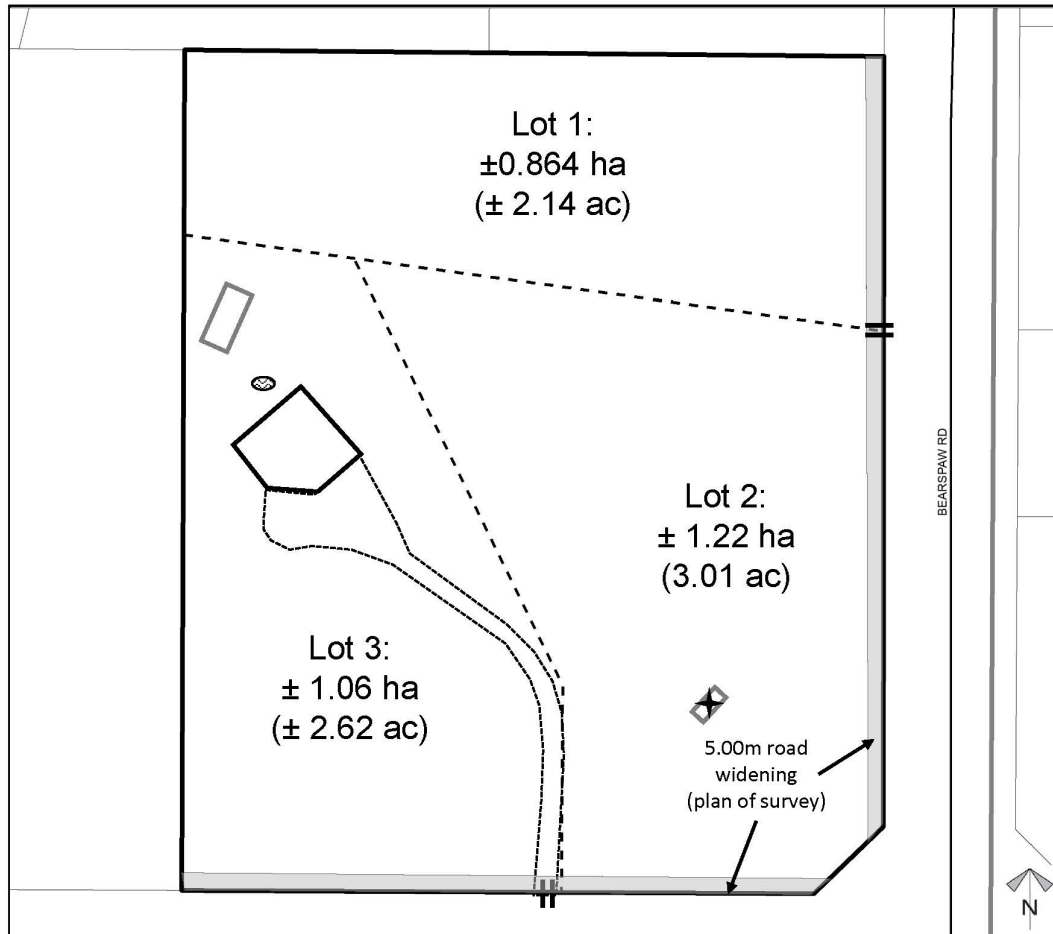
ROCKY VIEW COUNTY

PAYMENTS AND LEVIES

APPLICABLE FEE/LEVY	AMOUNT OWING (ESTIMATE)
<p><i>TRANSPORTATION OFFSITE LEVY</i></p> <p><i>Required for Lots 1 and 2 only per C-8007-2020</i></p> <p><i>\$4,595/ac x 5.15 ac = \$23,664.25</i></p>	\$23,664.25
<p><i>MUNICIPAL RESERVE (\$/ACRE)</i></p> <p><i>\$1,220,000 gross / 7.78 ac = \$156,812.34 per ac</i></p> <p><i>\$156,812.34 per ac x (7.78 ac x 10%) = \$122,000.00</i></p>	\$122,000.00



Tentative Plan



Tentative Plan

Subdivision Proposal

To create a ± 2.14 acre parcel (Lot 1), a ±3.01 acre parcel (Lot 2) and ±2.62 acre parcel (Lot 3).

Legend

Dwelling	
Building	
Water Well	
Wastewater	
Existing Approach	
New Approach	
Driveway	
Road Widening	

Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

Division: 8
Roll: 06701023
File: PL20190124
Printed: Sept 28, 2020
Legal: Plan 9010325,
Block 1 within
SE-01-26-03-W05M



ROCKY VIEW COUNTY

CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended for approval.

Respectfully submitted,

Concurrence,

“Theresa Cochran”

“Al Hoggan”

Executive Director
Community and Development Services

Chief Administrative Officer

ON/It

ATTACHMENTS:

ATTACHMENT ‘A’: Maps and Other Information

ATTACHMENT ‘B’: Approval Conditions

ATTACHMENT ‘C’: Public Submissions



ROCKY VIEW COUNTY

ATTACHMENT 'A': MAPS AND OTHER INFORMATION

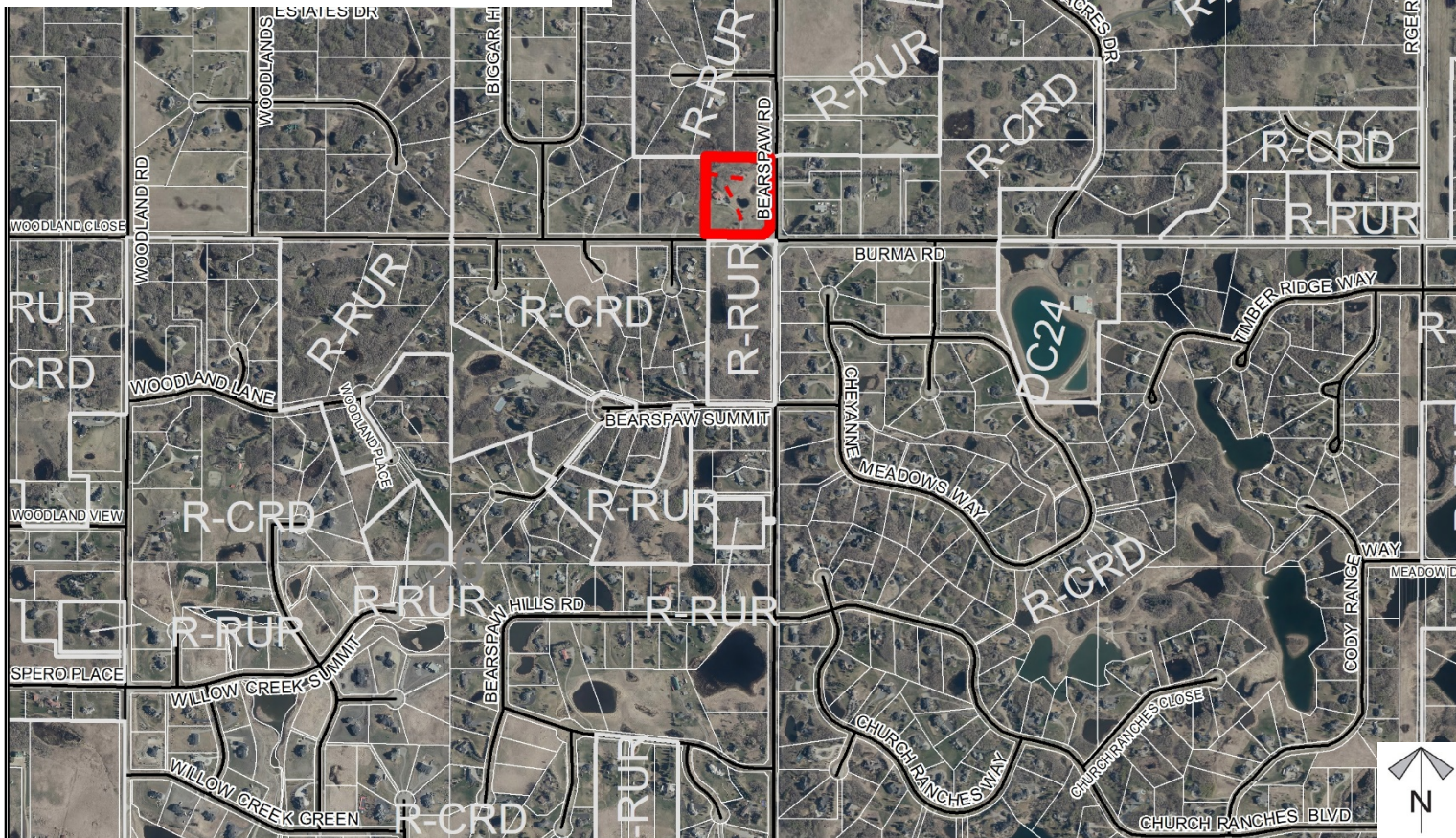
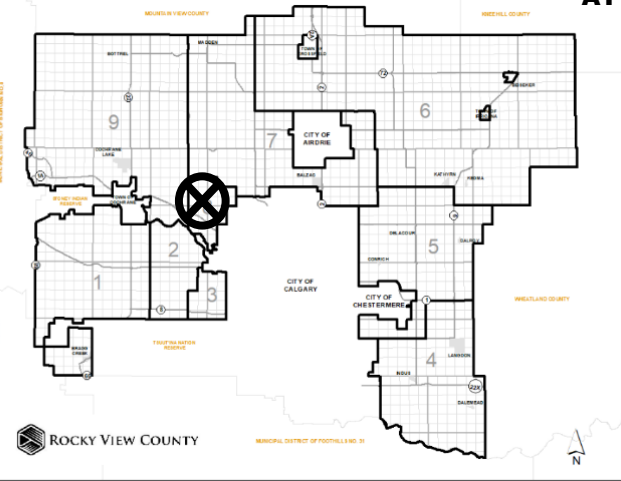
DATE APPLICATION RECEIVED: August 30, 2019	DATE DEEMED COMPLETE: September 5, 2019
GROSS AREA: ± 3.15 HECTARES (± 7.78 ACRES)	LEGAL DESCRIPTION: Block 1, Plan 9010325, SE-1-26-3-W5M
APPEAL BOARD: Subdivision and Development Appeal Board	
HISTORY: <i>February 16, 1990:</i> Parcel registered at Land Titles under Plan 901 0325. Reserves deferred.	
PUBLIC & AGENCY SUBMISSIONS: <p>The application was circulated to 210 adjacent landowners. One response was received in opposition. The responses have been included in Attachment 'C.'</p> <p>The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.</p>	



Location & Context

Subdivision Proposal

To create a ± 2.14 acre parcel (Lot 1), a ± 3.01 acre parcel (Lot 2) and ± 2.62 acre parcel (Lot 3).



Division: 8
Roll: 06701023
File: PL20190124
Printed: Sept 28, 2020
Legal: Plan 9010325,
Block 1 within
SE-01-26-03-01

Development Proposal

Subdivision Proposal

To create a ± 2.14 acre parcel (Lot 1), a ± 3.01 acre parcel (Lot 2) and ± 2.62 acre parcel (Lot 3).

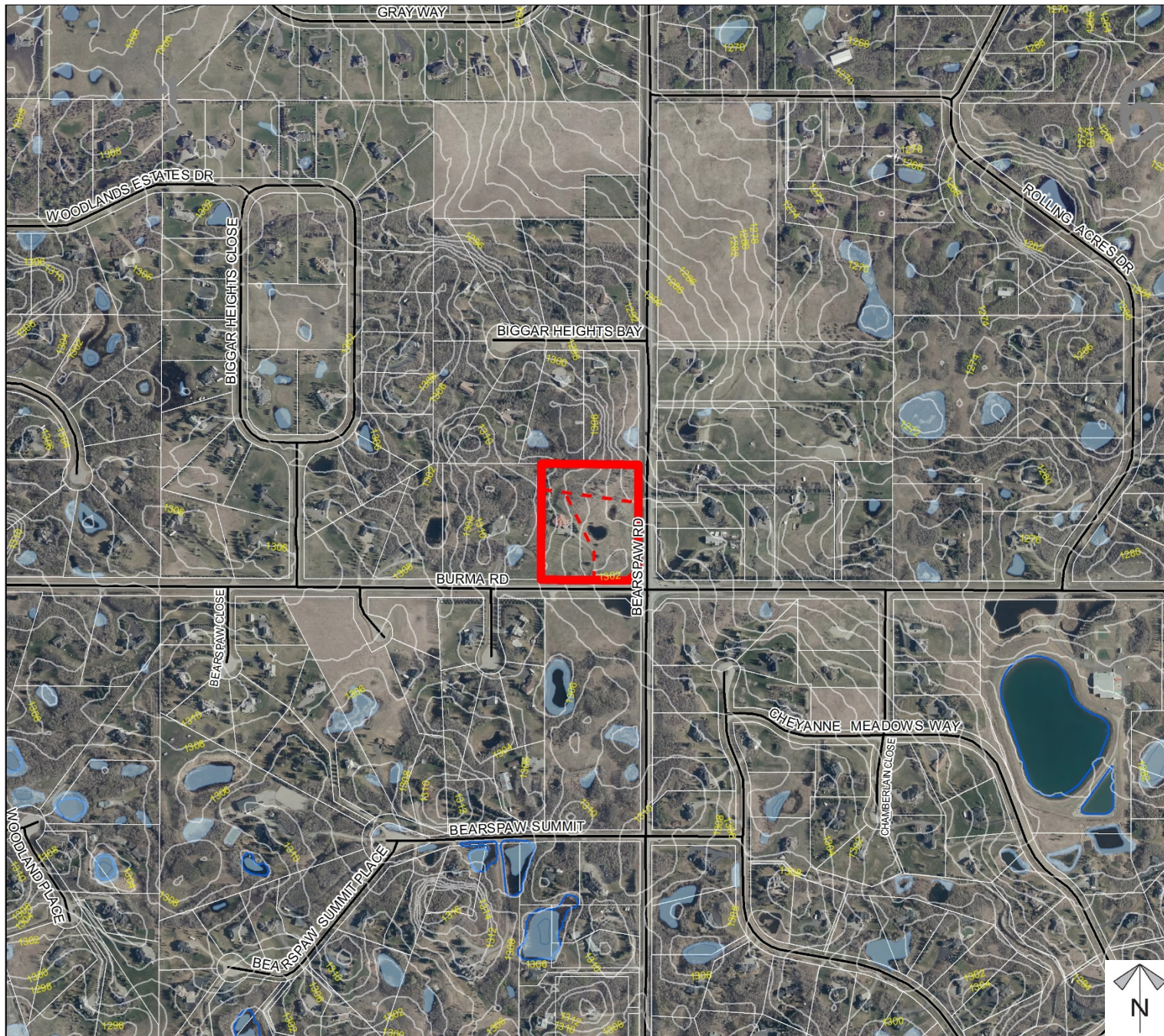


Division: 8
 Roll: 06701023
 File: PL20190124
 Printed: Sept 28, 2020
 Legal: Plan 9010325,
 Block 1 within
 SE-01-26-03-001

Environmental

Subdivision Proposal

To create a ± 2.14 acre parcel (Lot 1), a ± 3.01 acre parcel (Lot 2) and ± 2.62 acre parcel (Lot 3).



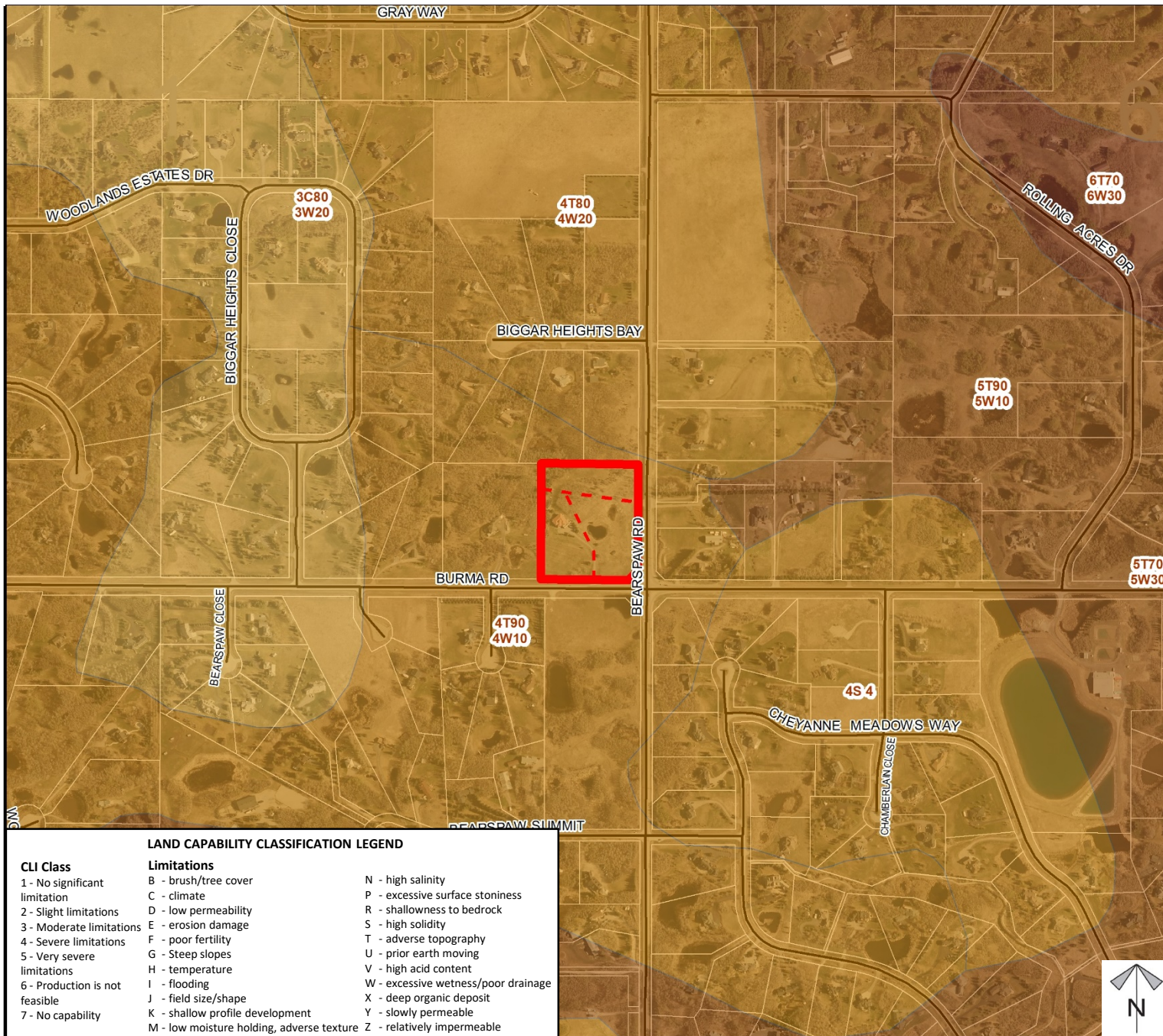
- Subject Lands
- Contour - 2 meters
- Riparian Setbacks
- Alberta Wetland Inventory
- Surface Water

Division: 8
 Roll: 06701023
 File: PL20190124
 Printed: Sept 28, 2020
 Legal: Plan 9010325,
 Block 1 within
 SE-01-26-07-01

Soil Classifications

Subdivision Proposal

To create a ± 2.14 acre parcel (Lot 1), a ± 3.01 acre parcel (Lot 2) and ± 2.62 acre parcel (Lot 3).



Division: 8
 Roll: 06701023
 File: PL20190124
 Printed: Sept 28, 2020
 Legal: Plan 9010325,
 Block 1 within
 SE-01-26-03-0001

Landowner Circulation Area

Subdivision Proposal

To create a ± 2.14 acre parcel (Lot 1), a ± 3.01 acre parcel (Lot 2) and ± 2.62 acre parcel (Lot 3).

Legend

Support



Opposition



Note: First two digits of the Plan Number indicate the year of subdivision registration.

Plan numbers that include letters were registered before 1973 and do not reference a year.









Division: 8
Roll: 06701023
File: PL20190124
Printed: Sept 28, 2020
Legal: Plan 9010325,
Block 1 within
SE-01-26-03-001

Tentative Plan

Subdivision Proposal

To create a ± 2.14 acre parcel (Lot 1), a ± 3.01 acre parcel (Lot 2) and ± 2.62 acre parcel (Lot 3).

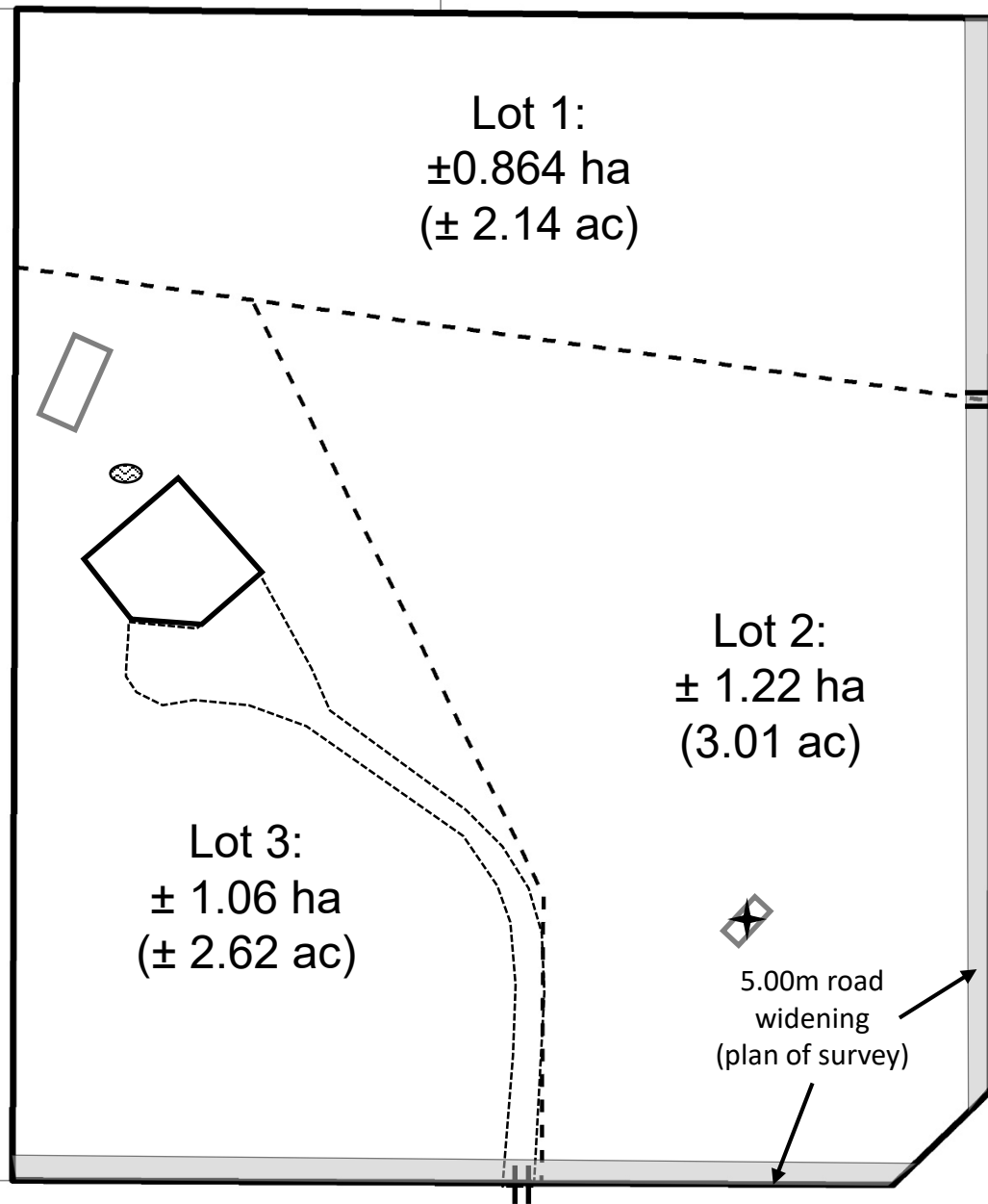
Legend

Dwelling	
Building	
Water Well	
Wastewater	
Existing Approach	
New Approach	
Driveway	
Road Widening	

Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

Division: 8
 Roll: 06701023
 File: PL20190124
 Printed: Sept 28, 2020
 Legal: Plan 9010325,
 Block 1 within
 SE-01-26-03-01





ROCKY VIEW COUNTY

ATTACHMENT 'B': APPROVAL CONDITIONS

- A. The application to create a ± 0.864 hectare (± 2.14 acre) parcel (Lot 1), a ± 1.22 hectare (± 3.01 acre) parcel (Lot 2), and ± 1.06 hectare (± 2.62 acre) parcel (Lot 3) at Block 1, Plan 9010325, SE-1-26-3-W5M, having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is approved as per the Tentative Plan for the reasons listed below:
1. The application is consistent with the Statutory Policy;
 2. The subject lands hold the appropriate land use designation;
 3. The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.
 - a) The Owner is to dedicate by Plan of Survey, a 5.00 m wide portion of land for road widening along the eastern boundary of proposed Lots 1 and 2, and a 5.00 m wide portion of land for road widening along the southern boundary of Lots 2 and 3.

Transportation and Access

- 2) The Owner shall upgrade the existing road approach to a single paved standard as shown on the Approved Tentative Plan, in order to provide access to Lot 1. The owner shall contact County Road Operations to arrange a pre-construction inspection to confirm the proposed approach location and County Servicing standards to which the approach is to be built.
- 3) The Owner shall upgrade the existing road approach to a mutual paved standard as shown on the Approved Tentative Plan, in order to provide access to Lots 2 and 3. The owner shall contact County Road Operations to arrange a pre-construction inspection to confirm the proposed approach location and County Servicing standards to which the approach is to be built. In addition, the Owner shall:
 - a) Provide an access right of way plan; and
 - b) Prepare and register respective easements on each title, where required.



ROCKY VIEW COUNTY

Site Servicing

- 4) The Owner is to provide confirmation of tie-in for connection to Rocky View Water Co-op, an Alberta Environment licensed piped water supplier, for Lots 1, 2, and 3, as shown on the Approved Tentative Plan. This includes providing information regarding:
 - a) Confirmation from the water supplier that an adequate and continuous piped water supply is available for the proposed new Lots 1, 2, and 3;
 - b) Documentation proving that water supply has been purchased for proposed Lots 1, 2, and 3; and,
 - c) Documentation proving that all necessary water infrastructure is installed.
- 5) The Owner is to enter into a Site Improvements / Services Agreement with the County and shall include:
 - a) In accordance with the Level 3 Private Sewage Treatment System (PSTS) Assessment of Site Suitability prepared by Sedulous Engineering Inc. dated July 2020; and,
 - b) For the construction of advanced packaged treatment systems for new Lots 1 and 2.

Stormwater

- 6) The Owner is to provide and implement a Site Specific Stormwater Implementation Plan (SSIP) that addresses runoff generated due to increased impervious area associated with driveway and home construction. Implementation of the Stormwater Management Plan in accordance with the Bearspaw-Glenbow Master Drainage Plan and Nose Creek Watershed Water Management Plan and shall include:
 - a) If the recommendations of the Stormwater Management Plan require improvements, then a Site Improvements / Services Agreement shall be entered into;
 - b) Registration of any required easements and / or utility rights of way;
 - c) Necessary approvals and compensation provided to Alberta Environment for wetland loss and mitigation;
 - d) Necessary Alberta Environment licensing documentation for the stormwater infrastructure system;

Municipal Reserves

- 7) The provision of Reserve in the amount of 10 percent of the area of Lots 1, 2, and 3, as determined by the Plan of Survey, is to be provided by payment of cash-in-lieu in accordance with the per acre value as listed in the land appraisal prepared by R. Blair Code, CRA, File 20190906, dated September 25, 2019, pursuant to Section 666(3) of the Municipal Government Act:

Payments and Levies

- 8) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of two new lots.
- 9) The Owner shall pay the Transportation Off-Site Levy in accordance with Bylaw C-8007-2020 prior to subdivision endorsement. The County shall calculate the total amount owing;
 - a) from the total gross acreage of lot(s) 1 and 2 as show on the Plan of Survey; and/or
 - b) The Levy shall be deferred on Lot 3 as shown on the Approved Tentative Plan.



ROCKY VIEW COUNTY

Taxes

- 10) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw

Oksana Newmen

From: Art Tischer [REDACTED]
Sent: Tuesday, September 24, 2019 9:38 AM
To: Oksana Newmen
Subject: FW: file # 06701023 application # PL20190124

See below

From: Art Tischer
Sent: September-24-19 9:16 AM
To: onewman@rockyview.ca
Subject: file # 06701023 application # PL20190124

Oksana,

My concern with this application is the corner of Burma Road and Bearspaw Road has a considerable amount of traffic and there have been numerous accidents over the 24 years we lived in the area. Adding another access point (especially so close to Burma) and structures along Bearspaw Road adds potential visibility issues and additional traffic control issues.

If this application is approved setbacks could become an issue , especially on Lot #2 – is there enough set back available to build a home that won't cause visibility issues. This is an active intersection and line of site and traffic activity should be taken into consideration.

Thank you,

Art Tischer
3 Bearspaw Close
[REDACTED]

PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision Authority

DATE: October 29, 2020

DIVISION: 9

APPLICATION: PL20190147

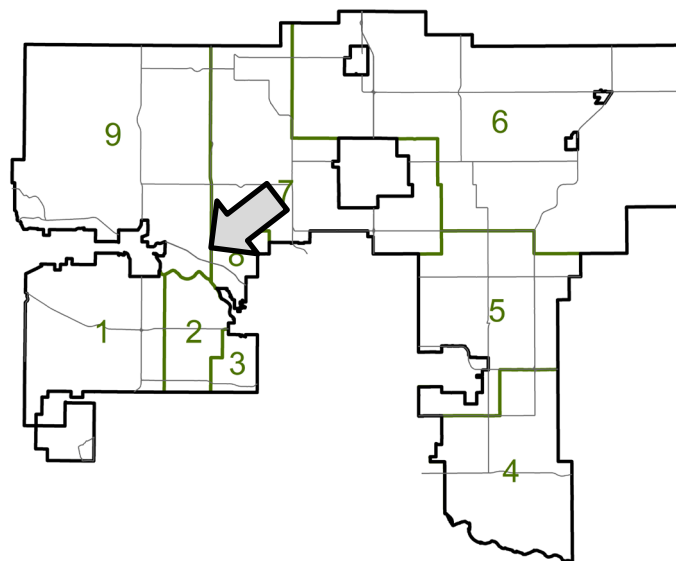
SUBJECT: Subdivision Item: Residential

APPLICATION: To create a ± 10.00 acre parcel (Lot 1), ± 4.05 acre parcel (Lot 2), and a ± 4.67 acre parcel (Lot 3).

GENERAL LOCATION: Located approximately 7.5 kilometers northwest of the City of Calgary; located approximately 0.61 kilometers (1/3 mile) west of Highway 766 and 0.81 kilometers (1/2 mile) south of Township Road 262.

LAND USE DESIGNATION: Residential Two District (R-2)

ADMINISTRATION RECOMMENDATION:
Administration recommends approval in accordance with Option #1.



OPTIONS:

Option #1: THAT Subdivision Application PL20190147 be approved with the conditions noted in Attachment 'B'.

Option #2: THAT Subdivision Application PL20190147 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Oksana Newmen, Planning and Development Services



ROCKY VIEW COUNTY

APPLICANT: David Luchsinger

OWNER: James and Elizabeth MacIntyre

APPLICATION EVALUATION:

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS: <ul style="list-style-type: none"> • <i>Municipal Government Act;</i> • Subdivision and Development Regulations; • Municipal Development Plan; • Bearspaw Area Structure Plan • Land Use Bylaw (C-4841-97); and • County Servicing Standards. 	TECHNICAL REPORTS SUBMITTED: <ul style="list-style-type: none"> • Level 3 Private Sewage Treatment System Assessment, prepared by Mountain View Development Ltd., dated July 27, 2020, and reviewed and stamped by Osprey Engineering Inc., dated August 20, 2020
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Transportation and Access

The parcel is located at the end of Badger Road, with Lot 1 gaining access to the roadway, and Lots 2 and 3 gaining access via panhandles. A mutual access is proposed for Lots 2 and 3.

As the site is currently undeveloped, the subject parcel is subject to Transportation Off-Site Levy (C-8007-2020) for Lots 2 and 3. Lot 1 exceeds the minimum parcel size, and is therefore not subject to levy at this time.

As Lot 1 is of sufficient size for additional future potential subdivision, a 25.00m-wide road acquisition agreement is recommended in order to preserve the opportunity for both the subject parcel, and the large residentially-zoned parcel adjacent to the east. As a result, a concurrent registration of a 15.00m-wide restrictive covenant on Lot 1 is also recommended.

Site Servicing

While water lines are located along Highway 766, they do not extend to Badger Road at this time. The applicant therefore proposes well and septic for all three lots. The submitted Level 3 PSTS report indicates treatment mound with thickened layer sand will be required. A Deferred Services agreement is proposed to provide for the ability to connect to central servicing when available.

Municipal Reserves

Municipal reserves are required at this time for Lots 2 and 3. As there is future subdivision potential for Lot 1, a deferred reserve caveat can be applied.

As a deferred reserve caveat was registered on the subject parcel for municipal reserves at the time of lot creation, it should be discharged and replaced with a revision for the 10.00 acres being deferred.

APPLICABLE FEE/LEVY	AMOUNT OWING (ESTIMATE)
TRANSPORTATION OFFSITE LEVY (C-8007-2020) For Lots 2 and 3: 8.72 ac x \$4,595 = \$40,068.40 (estimated)	\$40,068.40
MUNICIPAL RESERVE (\$/ACRE) \$45,950.17 per acre	\$40,068.55

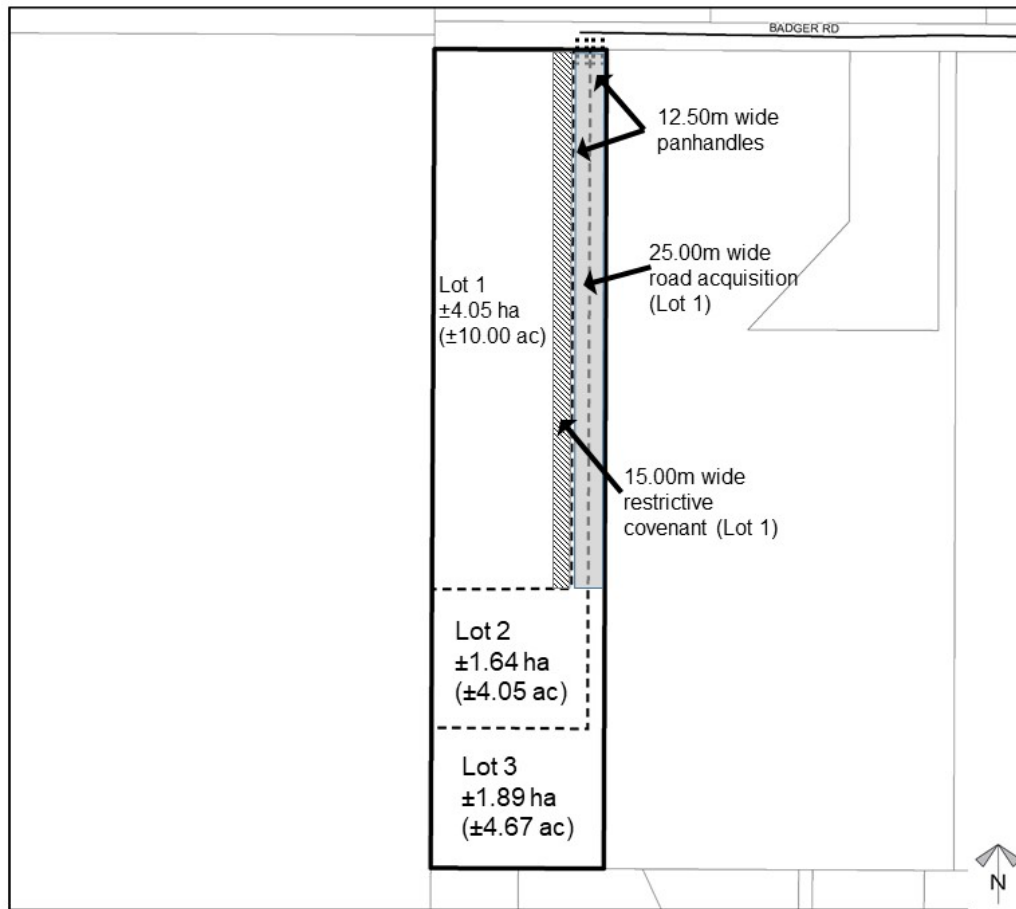


<i>For Lots 2 and 3 (deferred on 1) $8.72 \text{ ac} \times 10\% = 0.872 \text{ ac} \times \\$45,950.17 = \\$40,068.55$ (estimated)</i>	
--	--

The application is inconsistent with Policy 8.1.22 of the Bearspaw ASP, where panhandles should not be supported unless required as a result of topography. However, considering the dimensions of the existing parcel, subdivision without the use of panhandles is not feasible.



Tentative Plan



Tentative Plan

Subdivision Proposal

To create a ±4.05 hectare (±10.00 acre) parcel (Lot 1), a ±1.64 hectare (±4.05 acre) parcel (Lot 2), and a ±1.89 hectare (±4.67 acre) parcel (Lot 3). Legend

New Approach ::::

Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

Division: 9
Roll: 06710018
File: PL20190147
Printed: October 7, 2020
Legal: SE-10-26-03-W05M
Block: 6 Plan: 1630 LK



ROCKY VIEW COUNTY

CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended for approval.

Respectfully submitted,

Concurrence,

“Theresa Cochran”

“Al Hoggan”

Executive Director
Community and Development Services

Chief Administrative Officer

ON/It

ATTACHMENTS:

ATTACHMENT ‘A’: Maps and Other Information

ATTACHMENT ‘B’: Approval Conditions

ATTACHMENT ‘C’: Public Submissions



ROCKY VIEW COUNTY

ATTACHMENT 'A': MAPS AND OTHER INFORMATION

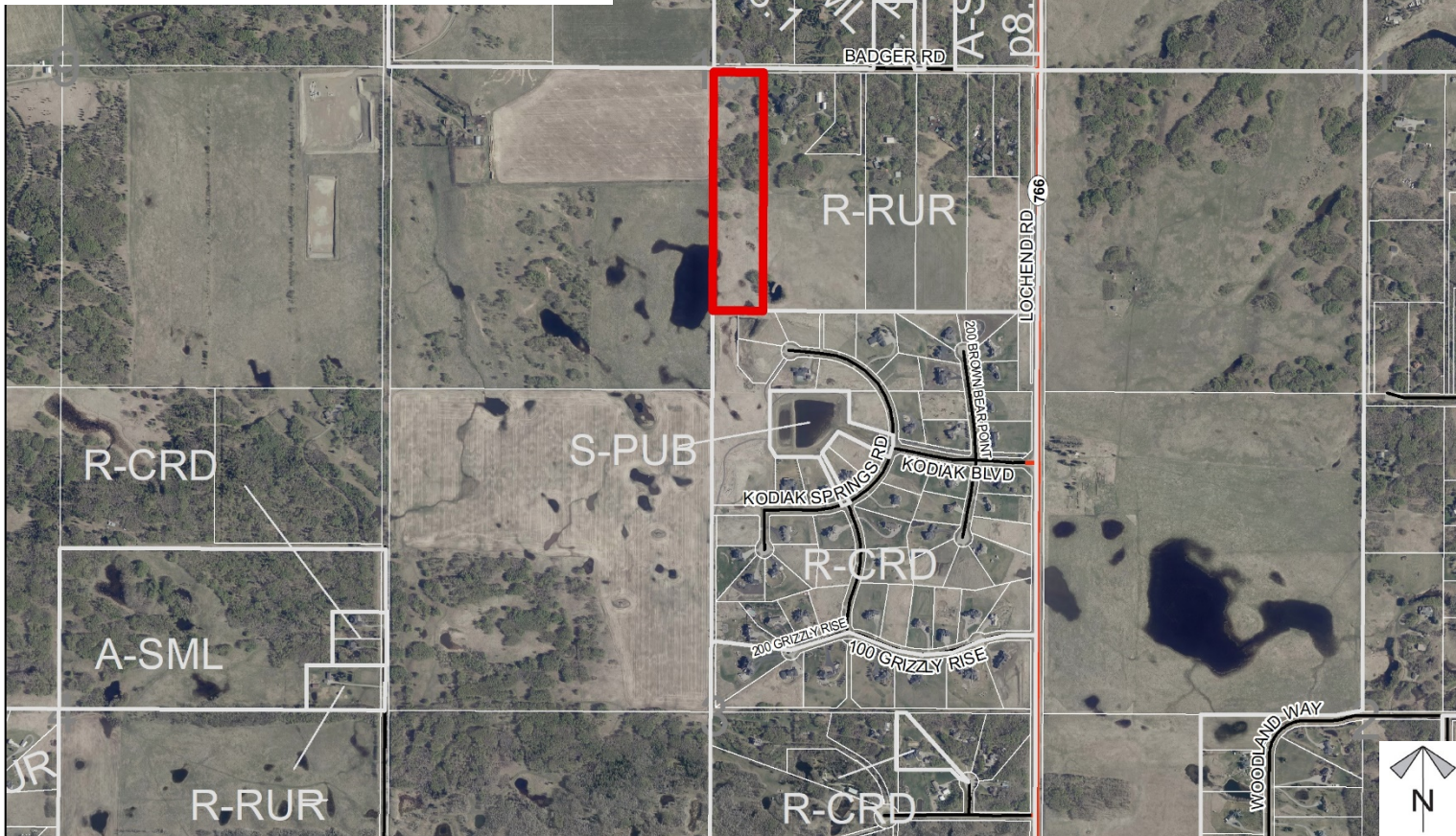
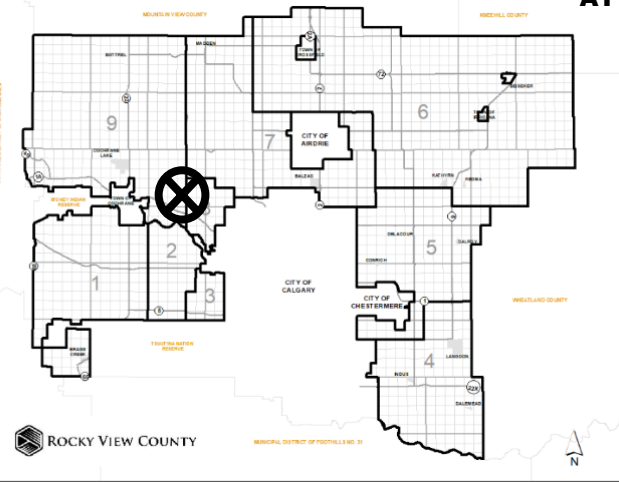
DATE APPLICATION RECEIVED: October 11, 2019	DATE DEEMED COMPLETE: October 23, 2019
GROSS AREA: ± 7.58 HECTARES (± 18.72 ACRES)	LEGAL DESCRIPTION: Block 6, Plan 1630 LK within SE-10-26-3-W5M
APPEAL BOARD: Municipal Government Board	
HISTORY: <i>December 11, 1972:</i> Subject parcel registered at Land Titles as part of Plan 1630LK	
PUBLIC & AGENCY SUBMISSIONS: <p>The application was circulated to 84 adjacent landowners. No responses were received. The responses have been included in Attachment 'C.'</p> <p>The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.</p>	

Location & Context

Subdivision Proposal

To create a ± 4.05 hectare (± 10.00 acre) parcel (Lot 1), a ± 1.64 hectare (± 4.05 acre) parcel (Lot 2), and a ± 1.89 hectare (± 4.67 acre) parcel (Lot 3).

Division: 9
 Roll: 06710018
 File: PL20190147
 Printed: October 7, 2020
 Legal: SE-10-26-03-W05M
 Block: 6 Plan: 1630 LK





Development Proposal

Subdivision Proposal

To create a ± 4.05 hectare (± 10.00 acre) parcel (Lot 1), a ± 1.64 hectare (± 4.05 acre) parcel (Lot 2), and a ± 1.89 hectare (± 4.67 acre) parcel (Lot 3).

Lot 1
 ± 4.05 ha
(± 10.00 ac)

Lot 2
 ± 1.64 ha
(± 4.05 ac)

Lot 3
 ± 1.89 ha
(± 4.67 ac)

BADGER RD

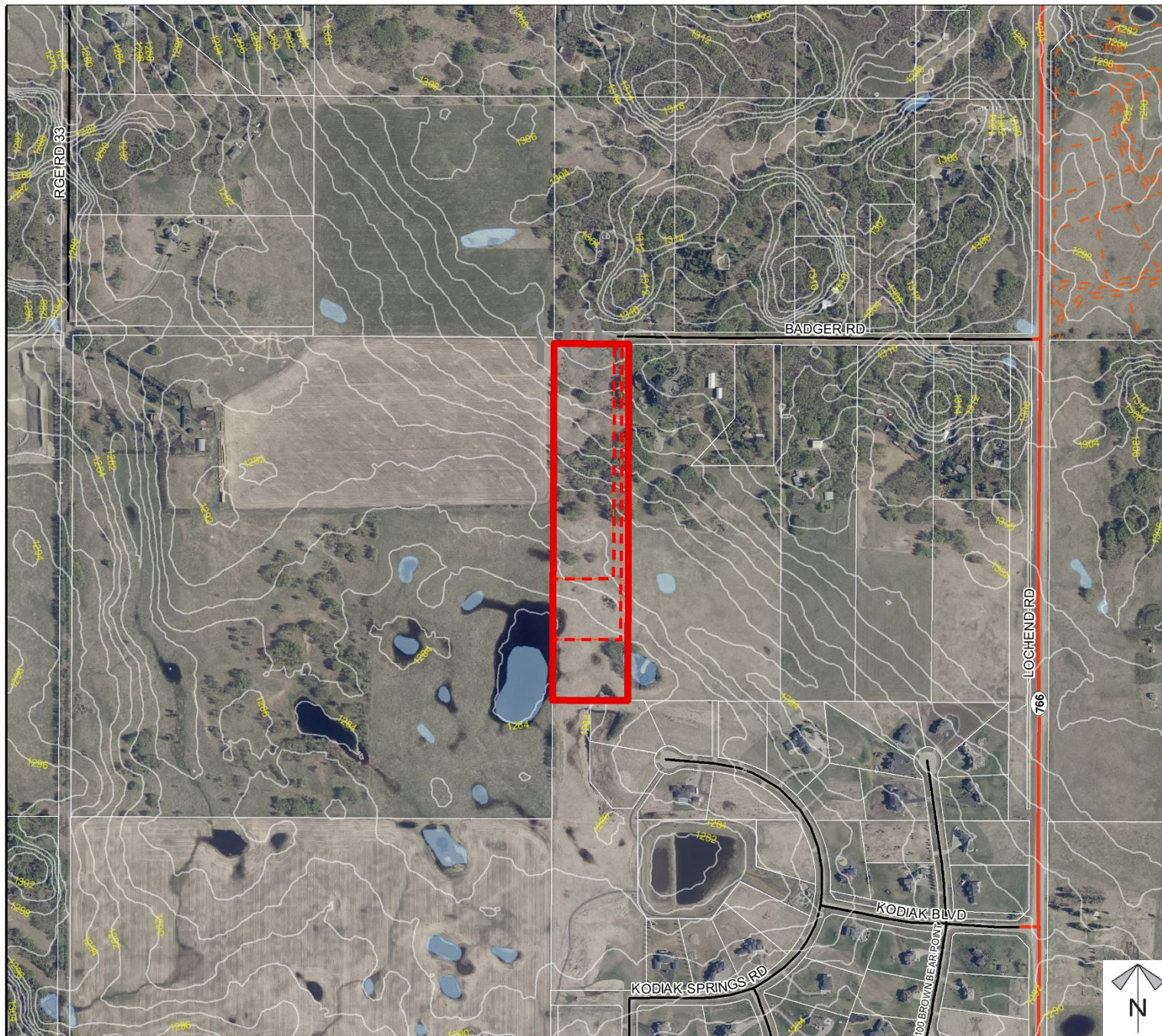


Division: 9
Roll: 06710018
File: PL20190147
Printed: October 7, 2020
Legal: SE-10-26-03-W05M
Block: 6 Plan: 1630 LK

Environmental

Subdivision Proposal

To create a ± 4.05 hectare (± 10.00 acre) parcel (Lot 1), a ± 1.64 hectare (± 4.05 acre) parcel (Lot 2), and a ± 1.89 hectare (± 4.67 acre) parcel (Lot 3).



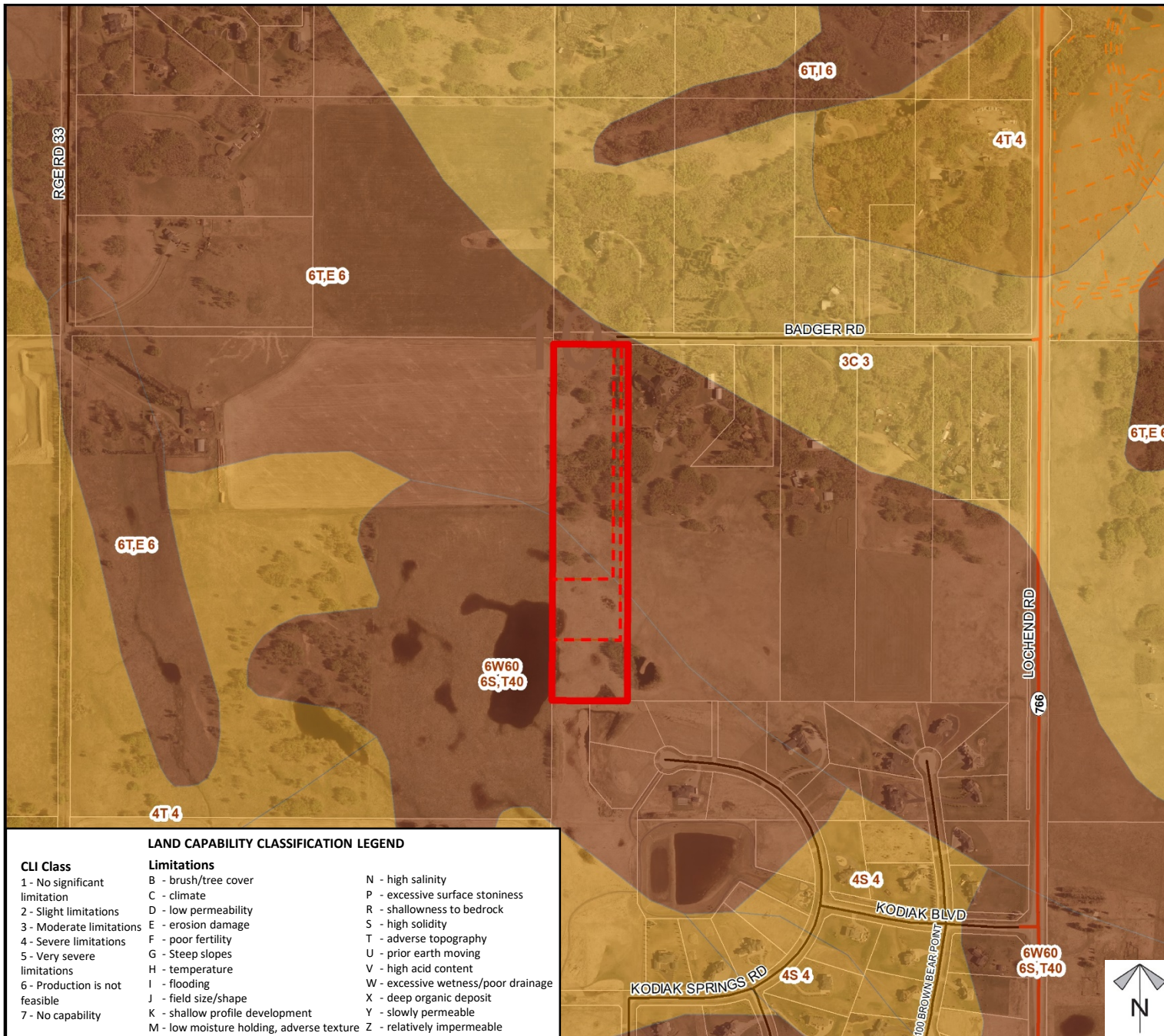
- Subject Lands
- Contour - 2 meters
- Riparian Setbacks
- Alberta Wetland Inventory
- Surface Water

Division: 9
 Roll: 06710018
 File: PL20190147
 Printed: October 7, 2020
 Legal: SE-10-26-03-W05M
 Block: 6 Plan: 1630 LK

Soil Classifications

Subdivision Proposal

To create a ± 4.05 hectare (± 10.00 acre) parcel (Lot 1), a ± 1.64 hectare (± 4.05 acre) parcel (Lot 2), and a ± 1.89 hectare (± 4.67 acre) parcel (Lot 3).



Division: 9
 Roll: 06710018
 File: PL20190147
 Printed: October 7, 2020
 Legal: SE-10-26-03-W05M
 Block:6 Plan:1630 LK

Landowner Circulation Area

Subdivision Proposal

To create a ± 4.05 hectare (± 10.00 acre) parcel (Lot 1), a ± 1.64 hectare (± 4.05 acre) parcel (Lot 2), and a ± 1.89 hectare (± 4.67 acre) parcel (Lot 3).

Legend

Support



Opposition



Division: 9

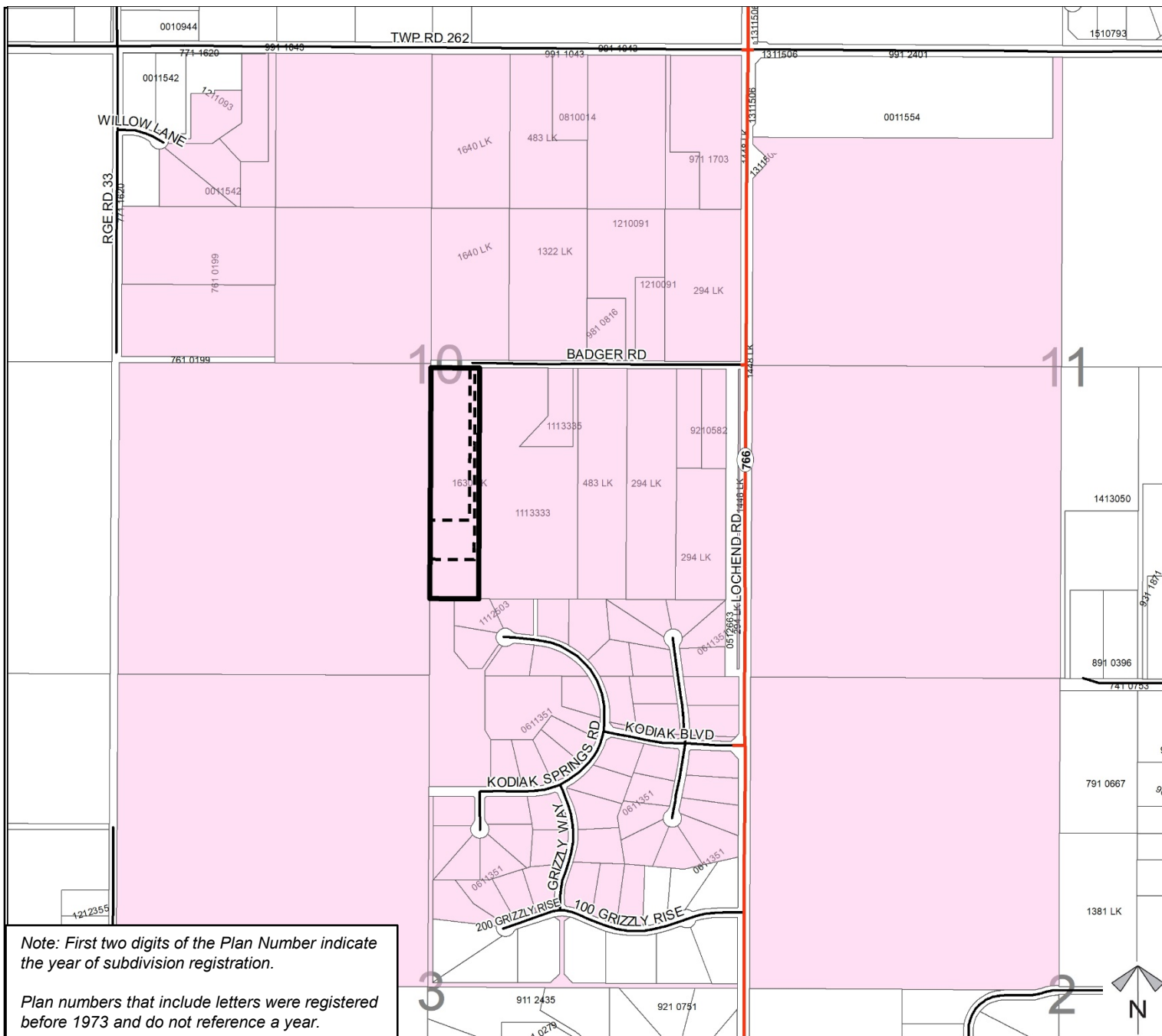
Roll: 06710018

File: PL20190147

Printed: October 7, 2020

Legal: SE-10-26-03-W05M

Block: 6 Plan: 1630 LK





ATTACHMENT 'B': APPROVAL CONDITIONS

- A. The application to create a ± 4.05 hectare (± 10.00 acre) parcel (Lot 1), a ± 1.64 hectare (± 4.05 acre) parcel (Lot 2), and a ± 1.89 hectare (± 4.67 acre) parcel (Lot 3) at Block 6, Plan 1630 LK within SE-10-26-3-W5M, having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is approved as per the Tentative Plan for the reasons listed below:
1. The application is consistent with the Statutory Policy;
 2. The subject lands hold the appropriate land use designation;
 3. The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Transportation and Access

- 2) The Owner shall construct a mutual gravel approach to Badger Road in order to provide access to Lots 2, and 3. The Owner shall:
 - a) Provide an access right of way plan; and
 - b) Prepare and register respective easements on each title, where required.
- 3) The Owner is to enter into an Access Easement Agreement with the County, to provide a public access through a graveled cul-de-sac within the subject land as per the approved Tentative Plan, which shall include:
 - a) Registration of the applicable access right of way plan.
- 4) The Owner is to enter into a Road Acquisition Agreement with the County, to be registered by caveat on the title of Lots 1 and 2, to serve as notice that those lands are intended for future development as a County road, as per the approved Tentative Plan. The Agreement shall include:
 - a) The provision of 25.00 m (+/- 0.95 ha) road acquisition along approximately ± 392 m of the panhandles of Lots 1 and 2).



ROCKY VIEW COUNTY

- 5) The Owner is to enter into a Restrictive Covenant, to be registered by Caveat prepared by the County, on the title of Lot 1 that restricts the erection of any structure on or within 15.00m metres of a future road right-of-way, as shown on the approved Tentative Plan.

Stormwater/Developability

- 6) The Owner is to provide and implement a Site-Specific Stormwater Implementation Plan (SSIP) incorporating the onsite stormwater management strategies for Lots 2 and 3.
 - a) If the recommendations of the SSIP require improvements, then a Site Improvements / Services Agreement shall be entered into;

Site Servicing

- 7) The Owner is to enter into a Site Improvements / Services Agreement with the County and shall include the following:
 - a) In accordance with the Level 3 Private Sewage Treatment System (PSTS) Assessment, prepared by Mountain View Development Ltd. dated July 27, 2020 and reviewed by Osprey Engineering Inc. on August 20.
 - b) For the construction of a treatment mound with thickened layer sand for each of Lots 1, 2, and 3.
- 8) Water is to be supplied by an individual well on Lots 1, 2, and 3. The subdivision shall not be endorsed until:
 - a) An Aquifer Testing (Phase II) Report is provided, which is to include aquifer testing and the locations of the wells on each lot in accordance with County's servicing Standards.
 - b) The results of the aquifer testing meet the requirements of the Water Act.
 - c) The Owner has provided a Well Driller's Report to determine whether an adequate supply of water is available for Lot(s) 1, 2, and 3.
 - d) Verification is provided that each new well is located within each respective proposed lot boundaries.
- 9) The Owner is to enter into a Deferred Services Agreement with the County to be registered on title for each proposed Lots 1, 2, and 3, indicating:
 - a) Each future Lot Owner is required to connect to County piped water, wastewater, and stormwater systems when such services become available;

Municipal Reserves

- 10) The provision of Reserve in the amount of 10 % of the area of Lots 2 and 3, as determined by the Plan of Survey, is to be provided by payment of cash-in-lieu in the amount of \$45,950.17 per acre as listed in the land appraisal prepared by Atkinson & Associates, File No. 20073496, dated September 13, 2019, pursuant to Section 666(3) of the Municipal Government Act;
 - a) Reserves for Lot 1 are to be deferred with Caveat pursuant to Section 669(2) of the Municipal Government Act;
 - b) The existing registered deferred caveat on title (7732KY) may be discharged and replaced with a revised caveat to defer reserves in the amount of 10% of the area of Lot 1 as determined by Plan of Survey.

Payments and Levies

- 11) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of two new lots.



ROCKY VIEW COUNTY

- 12) The Owner shall pay the Transportation Off-Site Levy in accordance with Bylaw C-8007-2020 prior to subdivision endorsement. The County shall calculate the total amount owing;
 - a) from the total of Lots 2 and 3 as shown on the Plan of Survey;

Taxes

- 13) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw



ROCKY VIEW COUNTY

ATTACHMENT 'C': PUBLIC SUBMISSIONS

NO PUBLIC SUBMISSIONS RECEIVED

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: October 29, 2020

DIVISION: 7

APPLICATION: PRDP20202519

SUBJECT: Development Item: *Signs* (Digital Sign and Fascia Sign)

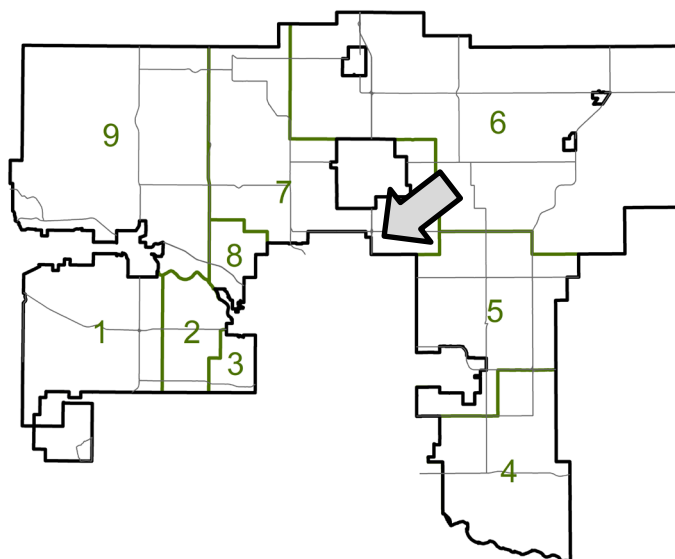
USE: Listed DC Use, with Variance

APPLICATION: Signs, installation of fascia and pylon signs, including a digital display.

GENERAL LOCATION: Located at the northeast junction of Twp. Rd. 260 and Rge. Rd. 291 (260040 Range Road 291).

LAND USE DESIGNATION: Direct Control District 94 (DC 94) and Land Use Bylaw C-4841-97

ADMINISTRATION RECOMMENDATION: Administration recommends Approval in accordance with Option #1.



VARIANCE SUMMARY:

Variance	Requirement	Proposed	Percentage (%)
Digital Display (Bylaw C-4841-97)	Non-digital	Digital	-

OPTIONS:

Option #1: THAT Development Permit Application PRDP20202519 be approved with the conditions noted in the Development Permit Report, attached.

Option #2: THAT Development Permit Application PRDP20202519 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Oksana Newmen, Planning and Development Services



DEVELOPMENT PERMIT REPORT

Application Date: August 27, 2020	File: 36401004
Application: PRDP20202519	Applicant/Owner: Permit Solutions Inc. (Joey Matwychuk)/Harmony Beef Ltd.
Legal Description: Lot 1, Block 1, Plan 0612816; SW-1-26-29-W4M	General Location: Located at the northeast junction of Twp. Rd. 260 and Rge. Rd. 291 (260040 Range Road 291)
Land Use Designation: Direct Control District 94 (DC-94) and Land Use Bylaw C-4841-97.	Gross Area: ± 23.76 hectares (± 58.7 acres)
File Manager: Oksana Newmen	Division: 7

PROPOSAL:

The proposal is for the installation of one free-standing pylon containing two signs, to include an internally illuminated sign, and variance to permit an animated LED portion; and one internally illuminated fascia sign. *Note, this application was assessed in accordance with DC 94 and Land Use Bylaw C-4841-97, as per DC 94 regulations.*

The signage is associated with a permitted business on-site, Harmony Beef Ltd., an abattoir and meat processing facility. The property has one existing access from Range Road 291. A pylon sign, to include and an internally lit portion and an animated digital LED portion will be located at the access point.

The conceptual scheme notes that back-lit signage is not permitted. However, a review of recently permitted signs in the Conceptual Scheme note several have been approved, and as such, the Development Authority has determined the proposed internally lit signs are in keeping with the development area. Further, as digital signage is not permitted under Land Use Bylaw C-4841-97, a variance will be required.

FREESTANDING SIGN

Signage Details:

- One freestanding sign
 - Overall height: 5.49 m (18.00 ft.)
 - Distance from western property line: 0.30 m (1.00 ft.)
 - Internally illuminated portion:
 - Length: 2.44 m (8.00 ft.)
 - Width: 2.44 m (8.00 ft.)
 - Area: 5.95 sq. m (64.00 sq. ft.)
 - Digital LED animated sign portion:
 - Length: 1.12 m (3.68 ft.)
 - Width: 2.56 m (8.40 ft.)
 - Area: 2.87 sq. m (30.91 sq. ft.)
 - Hours of operation: 5:00 am to 9:00 pm
 - Full colour board with multiple colours
 - Static copy with six second hold time; no flashing or moving images



BUILDING SIGNS

West Elevation (front on to Range Road 291)

- “HB | Harmony Beef” fascia sign: internally illuminated channel lettering in black and red print
 - Height: 3.14 m (10.30 ft.)
 - Width: 12.55 m (41.16 ft.)

Direct Control District 94 Requirements:

1.0.0 GENERAL REGULATIONS

- 1.2 *Parts One, Two, and Three of Land Use Bylaw C-4841-97 are applicable unless otherwise stated in this Bylaw.*
- 1.3 *All uses including the expansion of uses in this District shall require a Development Permit.*
- 1.4 *The Development Authority shall be responsible for the consideration and approval of Development Permit(s) for the lands subject to this Bylaw, unless otherwise stated.*
 - Signs may be approved by the Development Authority.

2.0.0 LAND USE REGULATIONS

2.2 Uses

2.2.8 Signs

Land Use Bylaw Requirements:

Section 67 Direct Control

67.5 Variance

Where a development does not comply with the approved DC Direct Control regulations for the site, the Development Authority may, if satisfied that the proposed variance will not unduly interfere with the amenities of the neighborhood nor materially interfere with or affect the use, enjoyment, or value of neighboring properties, issue a Development Permit granting a variance.

- Since the Direct Control District defers details regarding signage to the Land Use Bylaw, which does not allow for animated signs, a variance is required. Should the Municipal Planning Commission determine the proposed variance to allow animated signage will not unduly interfere with the amenities of the neighbourhood nor materially interfere with or affect the use, enjoyment or value of neighbouring properties, the Development Authority may grant the variance

Section 35 Sign Regulations

- 35.1 *In considering a Development Permit application for signs, or advertising material, the Development Authority may consider such factors as:*

- (a) *location of the proposed signage;*
- (b) *distance from roadway;*
- (c) *size;*
- (d) *height;*
- (e) *method of illumination;*
- (f) *such other considerations as the Development Authority may deem to be relevant.*

- 35.4 *Quality, aesthetic character, and finishing of sign construction shall be to the satisfaction of the Development Authority.*



ROCKY VIEW COUNTY

- 35.5 *Interiorly illuminated signs shall not be permitted in developments where they might, in the opinion of the Development Authority, affect residents in adjacent housing or residential areas, interfere with the interpretation of traffic signs or controls, or interfere with traffic.*
- The parcel is located in an industrial area, and is not adjacent to traffic controls. It is not anticipated that the signs will interfere with traffic.
- 35.7 *No signs of any kind shall be permitted within 0.80 km (0.49 miles) of any road, highway unless the prior approval of Alberta Transportation has been obtained, if required.*
- The signs are not within 0.80 km of a highway.
- 35.8 *All signs shall be kept in a safe, clean and tidy condition, and may be required to be renovated or removed if not properly maintained.*
- Permanent conditions of approval regarding sign maintenance are provided.

Property History:

Development Permits:

- PRDP20202244 Construction of a cooler addition (approx. 6,700 sq. ft.) to existing building. Approved October 20, 2020.
- PRDP20200125 Reprocessing of PRDP20173352 after permit expiry. Issued July 6, 2020.
- PRDP20173352 Addition to existing abattoir building (2,399,93 sq. ft.). File closed January 29, 2019.
- PRDP20173093 Accessory building (3,600 sq. ft.) for vehicle storage. Issued January 26, 2018.
- PRDP20160883 Construction of bone load-out addition (495 sq. ft.). Issued January 9, 2017.
- PRDP20141691 Construction of a building (process water recycling facility). Issued December 10, 2015.
- 2006-DP-12328 General Industry, Type II for precast concrete manufacturing facility, to include three buildings, three buildings, temporary office, and signage. Issued January 9, 2007.
- 2004-DP-11071 800 head abattoir and beef processing facility. Issued October 5, 2004.

Planning Applications:

- PL20140024 Stage 6 Outline Plan for High Plains Industrial Park Conceptual Scheme adopted September 29, 2015
- 2009-RV-273 High Plains Industrial Park Conceptual Scheme adopted July 27, 2010
- 2004297 Direct Control Bylaw 94 adopted October 5, 2004

STATUTORY PLANS:

The application was circulated to the City of Calgary as the subject lands fall within the Rocky View County/City of Calgary Intermunicipal Development Plan (IDP).

The subject lands are located within the Balzac East Area Structure Plan (BEASP), and as such, was in consideration of the plan. The BEASP call for signage to obtain Development Permits and be in accordance with the Land Use Bylaw or special district provisions for the site.

The site is also located within the High Plains Industrial Conceptual Scheme, in the Stage 6 Outline Plan area. While not a statutory document, it provides guidance regarding signage. The conceptual scheme notes that back-lit signage is not permitted, however, a review of recently permitted signs in the Conceptual Scheme note several have been approved, and as such, the Development Authority has determined the proposed internally lit signs are in keeping with the development area. The Stage 6 Outline Plan broadly concerns signage controls to prevent unnecessary and unsightly signage.

**INSPECTOR'S COMMENTS:**

Inspection date: September 2, 2020

- No sign installed at time of inspection.
- No concerns at time of inspection.

CIRCULATIONS:

ATCO Pipelines (September 15, 2020)

- ATCO Transmission high pressure pipelines has no objections.

ATCO Gas (September 3, 2020)

- ATCO Gas has no objection to the proposed.

Building Services (September 15, 2020)

- No concerns with signs.

City of Calgary

- No response received.

CNOOC Petroleum North America ULC (CNOOC) (September 24, 2020)

- SW of Sec. 1-26-29 W4M
 1. Right-of-Way Plan 502 JK – contains six abandoned lines (two fuel gas, five glycol, three sour natural gas, three salt water and two fresh water).
 2. Right-of-Way Plan 4965 JK – Pipeline contains one abandoned and one discontinued line (fuel gas, sour natural gas).
- Pipeline rights-of-way Plans 501JK and 4965 JK are registered and available through Alberta Land Titles.
- 3. SW/4 of Sec. 01-26-29 W4M (S106009) Surface Lease for an Access Road and Pipeline Valve Sites J03 and J04. We will still require access to our 11-36-25-29W4M Wellsite until we obtain a reclamation certification. A copy of the survey plan is attached.
- Subject to the terms and conditions set forth below, CNOOC has no objections or concerns with respect to the development permit. However, Harmony Beef will need to survey the CNOOC Right-of-Way closest to the sign to ensure that they not encroaching on our Pipeline Right-of way.
 1. Setback for pipelines in place is the width of the registered right-of-way. No permanent structures can be placed within the right-of-way, including but not limited to, trees and heavy vehicles.
 2. Any development will be in accordance with, and satisfy all regulatory setbacks applicable to the Facilities;
 3. Any development will contemplate compliance with Directive 079 abandoned wellbore requirements; and
 4. CNOOC assumes no responsibility for any damage, loss or liability related to operations conducted in or in proximity to the Facilities. In the event of such damage, loss or liability, the party responsible for same shall be liable for and indemnify and hold CNOOC and its officers, directors, employees, agents and representatives harmless against all losses, costs, damages,



ROCKY VIEW COUNTY

expenses and legal fees which any such parties may suffer, sustain, pay or incur directly or indirectly arising from or in connection with such operations; and in addition, indemnify CNOOC and its officers, directors, employees, agents and representatives from and against all actions, proceedings, claims and demands, losses, costs, damages, expenses and legal fees whatsoever which may be brought against or suffered by any such parties or which any such parties may sustain, pay or incur, directly or indirectly arising from, or in connection with such operations. This liability and indemnity shall apply without limit and without regard to cause or causes, including, without limitation, the negligence, whether sole, concurrent, gross, active, passive, primary or secondary, or the willful act or omission of CNOOC or its officers, directors, employees, contractors, agents and representatives or any other persons or otherwise.

- Please contact Derek Glowa at 403-801-8870 (C) or 403-699-5646 (W) for any questions or concerns that you may have with respect to the above.

Development Compliance, Rocky View County (September 2, 2020)

- Development Compliance has no comments or concerns related to the attached application.

Fortis Alberta (September 30, 2020)

- No concerns.

Plains Midstream

- No response received.

Planning and Development – Engineering (October 6, 2020)

General

- The applicant will be responsible for all 3rd party costs associated with the review and approval of the supporting technical studies at the time of subdivision/development. The applicant will be responsible for payment of engineering fees in accordance with the master rates bylaw at the time of development.
- As this application is for the erection of entry and fascia signage on private property, the engineering team have no concerns with the application. We note the entry sign is proposed in a location where pipeline rights of way exist and the applicant should be advised to ensure installation is acceptable to the utility owner. Based on the sketch provided the sign appears to be within pipeline right of way 4965JK.

Geotechnical:

- No requirements. Site development, including geotechnical reporting, have been addressed previously under PRDP20141691.

Transportation:

- No requirements. Site development, including transportation, have been addressed previously under PRDP20141691.
- The County's records indicate the transportation levy has been previously paid for on these lands.

Sanitary/Waste Water:

- No requirements. This application is for an entry sign/feature only and no changes are being proposed to the development onsite. Should future development be proposed, additional requirements may/will apply.

**Water Supply and Waterworks:**

- No requirements. This application is for an entry sign/feature only and no changes are being proposed to the development onsite. Should future development be proposed, additional requirements may/will apply.

Storm Water Management:

- No requirements. This application is for an entry sign/feature only and no changes are being proposed to the development onsite. Should future development be proposed, additional requirements may/will apply.

Telus Communications (September 4, 2020)

- No objections.

Transportation Services, Rocky View County

- No response received.

Utility Services, Rocky View County

- No response received.

OPTIONS:

Option 1: (this would allow the proposed development)

APPROVAL, subject to the following conditions:

Description:

1. That *Signs*, may be placed on the subject property in general accordance with the site plan and signage details, as prepared by ASAP Signs; WO#33706.1 dated August 14, 2020, submitted with the application:
 - i. One freestanding pylon containing two signs; one internally illuminated, approximately 5.95 sq. m (64.00 sq. ft.), and the second, approximately 2.87 sq. m (30.91 sq. ft.) with a variance to allow LED digital moving signage;
 - a) Hours of operation for the LED digital sign are 5:00am to 9:00pm;
 - b) Digital sign shall be multi-colour, full colour board;
 - c) Digital sign to have static copy with hold time of a minimum of six seconds or more; no moving or flashing images.
 - ii. One fascia sign, internally illuminated channel lettering (west elevation);
2. That the signs shall be maintained in accordance with the design drawings and site plan as submitted with the application.

Prior to Issuance:

3. That prior to issuance of this permit, the Applicant/Owner shall submit a survey plan, identifying the CNOOC Petroleum North America ULC (CNOOC) pipeline right-of-way, closest to the proposed pylon sign, to the satisfaction of the County, to ensure that the sign does not encroach into the pipeline right-of-way.
 - i. If the sign is encroaching, written confirmation shall be provided by CNOOC, accepting the location of the freestanding pylon.

**Permanent:**

4. That the signs shall be kept in a safe, clean and tidy condition at all times.

Advisory:

5. That the Applicant/Owner shall be responsible for all required payments of 3rd party reviews and/or inspections as per the Master Rates Bylaw based on the County's discretion or requirement.

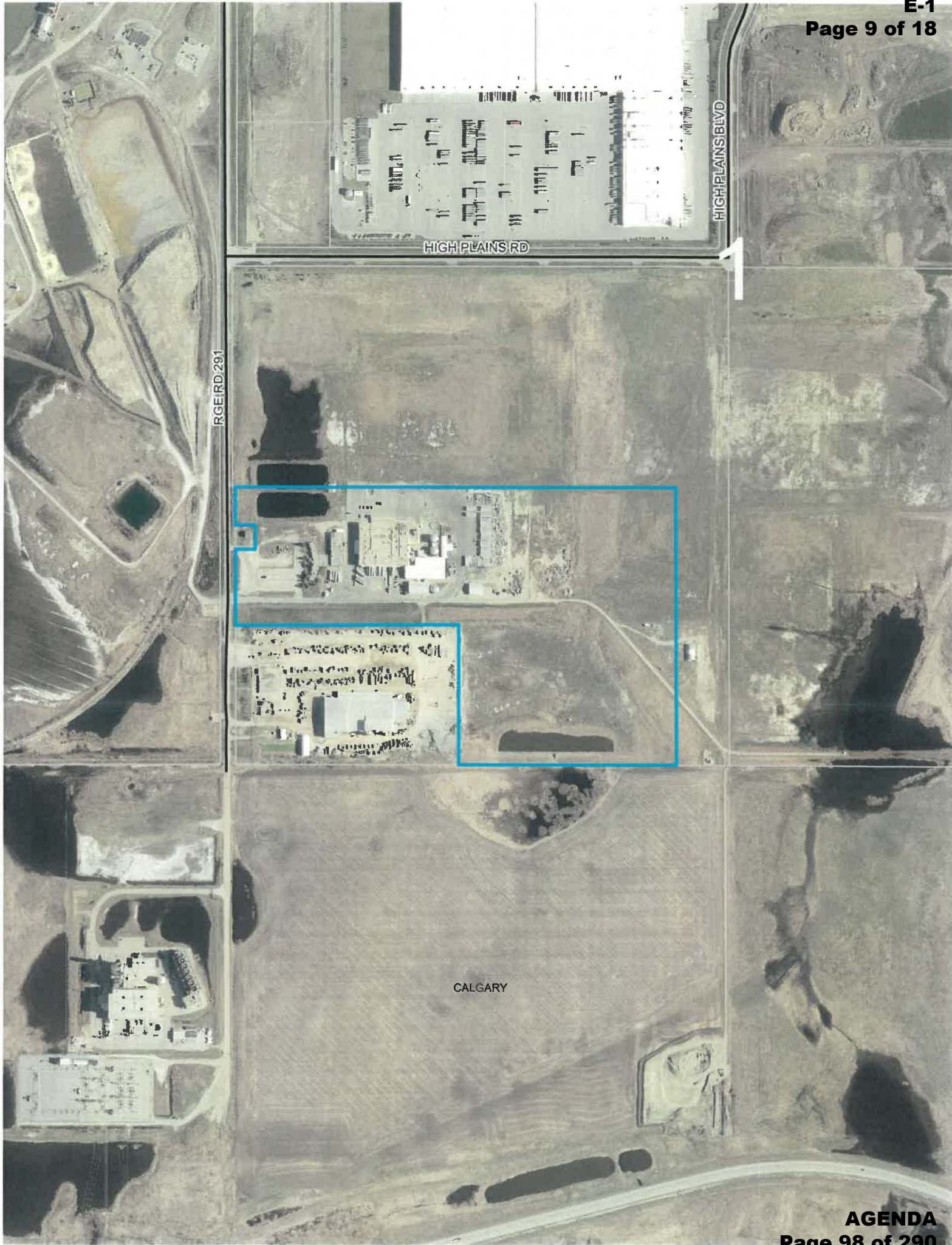
Note: For any 3rd party review work completed prior to Issuance of the Development Permit, the invoices shall be paid prior to the Development Permit being issued. For any work completed after Permit issuance but before Permit Occupancy, the invoices shall be paid prior to Development Occupancy.

6. That all other government compliances and approvals are the sole responsibility of the Applicant/Owner.
7. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
8. That if this Development Permit is not issued by **May 31, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Option 2: (this would not allow the proposed development)

REFUSAL, for the following reasons:

1. In the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY
Cultivating Communities

APPLICATION FOR A DEVELOPMENT PERMIT

20202519

FOR OFFICE USE ONLY	
Fee Submitted \$265.00	File Number 36401064
Date of Receipt Aug 27/20	Receipt # 2020 025199

Name of Applicant Permit Solutions Inc

Email [REDACTED]

For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) Harmony Beef Ltd.

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the SW $\frac{1}{4}$ Section 01 Township 26 Range 29 West of 4 Meridian
- b) Being all / parts of Lot 1 Block 1 Registered Plan Number 0612816
- c) Municipal Address 260040 RGE RD 291
- d) Existing Land Use Designation DC-94 Parcel Size 58.7 ac Division 7

2. APPLICATION FOR

Install new freestanding sign with LED panel and channel letters

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No X
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility?
(Sour Gas facility means well, pipeline or plant) Yes _____ No X
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No X
- d) Does the site have direct access to a developed Municipal Road? Yes _____ No X

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I Joey Matwychuk hereby certify that _____ I am the registered owner
(Full Name in Block Capitals)

X I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

Applicant's Signature [Signature]

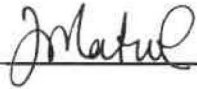
Date Aug 24, 2020

Owner's Signature _____

Date see attached letter

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Joey Matwychuk, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


Signature

Aug 24, 2020

Date

Oksana Newmen

From: Joey Matwychuk <joey@permitsolutions.ca>
Sent: September 2, 2020 9:29 PM
To: Oksana Newmen
Subject: [EXTERNAL] - RE: PRDP20202519 - Harmony Beef signs

Do not open links or attachments unless sender and content are known.

Hi Oksana

Here are our answers to your questions:

1. Hours of operation for the digital portion of the sign – 5am to 9pm
2. The background will be multiple colours as the sign is a full colour board
3. The digital sign will have static copy with a hold time of six seconds – there will be no moving or flashing images

Thanks,

Joey Matwychuk
Permit Solutions Inc
P: 780.238.2865
F: 780.486.0585

OUR NEW ADDRESSES! Please update your records:

445, 9768 – 170 Street
Edmonton, AB T5T 5L4
or
4371 Windjammer Drive
Richmond, BC V7E 4L5

Disclaimer: Permit Solutions has made every attempt to ensure the accuracy and reliability of our designs and specifications. However, we cannot accept any responsibility or liability for the accuracy, content, completeness, legality, or reliability of any information provided to us in completing our designs and specifications. Please verify any information provided to us prior to commencing any project.

From: ONewmen@rockyview.ca <ONewmen@rockyview.ca>
Sent: August 31, 2020 10:57 AM
To: Joey Matwychuk <joey@permitsolutions.ca>
Subject: PRDP20202519 - Harmony Beef signs

Hi Joey,

How are things?

So I'm working on the Harmony Beef signs, and wanted to check in with you on a few things:

1. What are the operating hours of the freestanding sign?
2. The plans show a black background to the LED digital portion – will the background always be black?
3. The current land use bylaw doesn't allow animated or flashing signs, and while that's not strictly defined as to what precisely that means, one could argue either way. It appears the application has been written with the

new land use bylaw requirements, however, as this is a Direct Control, the old land use bylaw is the one referenced in the DC, and will be the policy set we'll need to adhere to. The upshot is that this application is a Permitted Use in the DC, requiring a variance to the animated sign requirements. It will be heard by the Municipal Planning Commission. This would probably be the case even if the new land use bylaw was used, as all digital signs are discretionary, so I'm not sure this changes much. Just wanted to give you a heads up.

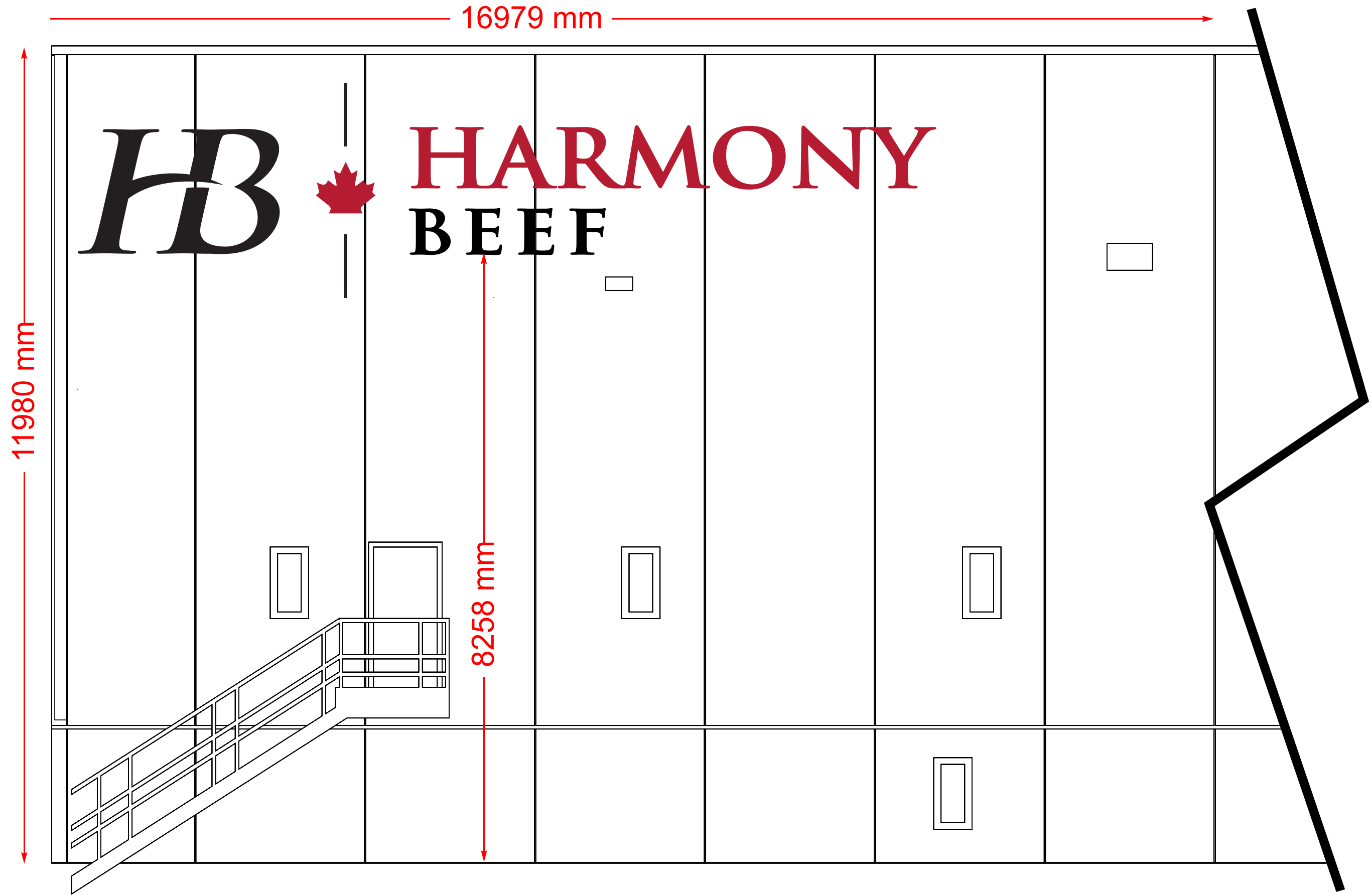
To summarize, we will take this file to MPC, and may offer a "soft" refusal recommendation, in that it doesn't comply with policy of the current land use bylaw. Your answers to #1 and #2 above may help support the application.

Kind of confusing, so if you want to chat, happy to do that.

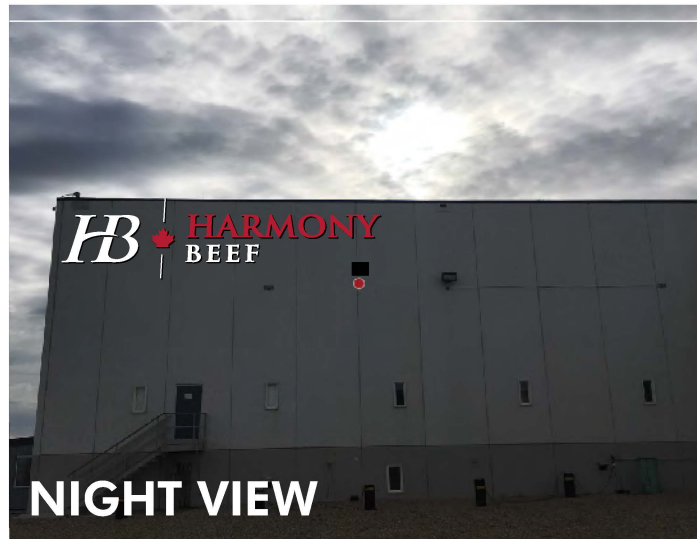
Warm regards,
~Oksana

OKSANA NEWMEN
Planner | Planning and Development Services

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520-7265
ONewmen@rockyview.ca | www.rockyview.ca



WEST ELEVATION



SPECIFICATIONS FOR FABRICATION AND INSTALLATION:

* INTERNALLY ILLUMINATED CHANNEL LETTERS

- ¥ QUANTITY: ONE (1)
- ¥ OVERALL HEIGHT OF SIGN: 123.59" / OVERALL LENGTH OF SIGN: 493.92" / TOTAL SQUARE FEET: 420
- ¥ ALUMINUM CONSTRUCTION: BACKS .063 / RETURNS .040 / DEPTH 3"
- ¥ PLEX FACE: 3/16"
- ¥ TRIM CAP: 1"
- ¥ MOUNTING METHOD: .25 LAG BOLTS
- ¥ PRIMARY ELECTRICAL REQUIREMENT: 120 VOLT (INSTALLED WITHIN SIX FEET OF SIGN BY OTHERS)

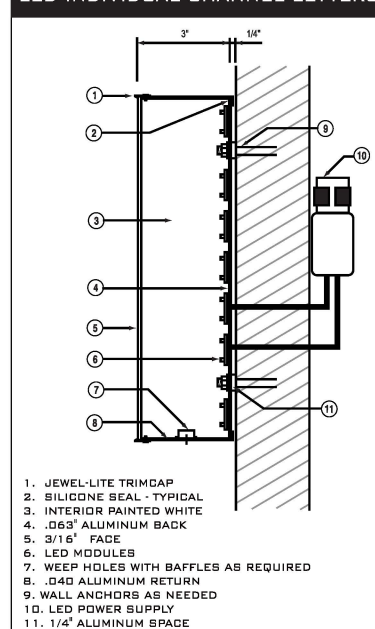
TIMER OR PHOTO-CELL (INSTALLED BY OTHERS)

COLOR AND LED SPECIFICATIONS:

- ¥ CHANNEL LETTERS PAINTED
- ¥ RETURNS: BLACK
- ¥ PLEX FACE COLOR: #2447 WHITE WITH BLACK DAY NIGHT VINYL AND RED VINYL
- ¥ TRIM CAP: BLACK
- ¥ LED: / COLOR: WHITE

OTHER COMPONENTS / SPECIAL CONSTRUCTION CONSIDERATIONS:

LED INDIVIDUAL CHANNEL LETTERS



ASAP SIGNS
Speed & Quality * (403) 287-SIGN

SUNSET AWNINGS
#12 1115 48 AVE S.E.
CALGARY, AB.
T2G 2A7

A-1 Signs
PH: (403) 287-7446
FX: (403) 243-8871
EMAIL: DESIGN@ASAPSIGNS.CA
WEB: WWW.ASAPSIGNS.CA

CLIENT NAME:
HARMONY BEEF

LOCATION:
260036 RANGE
RD 291

START DATE: AUG 14/ 20

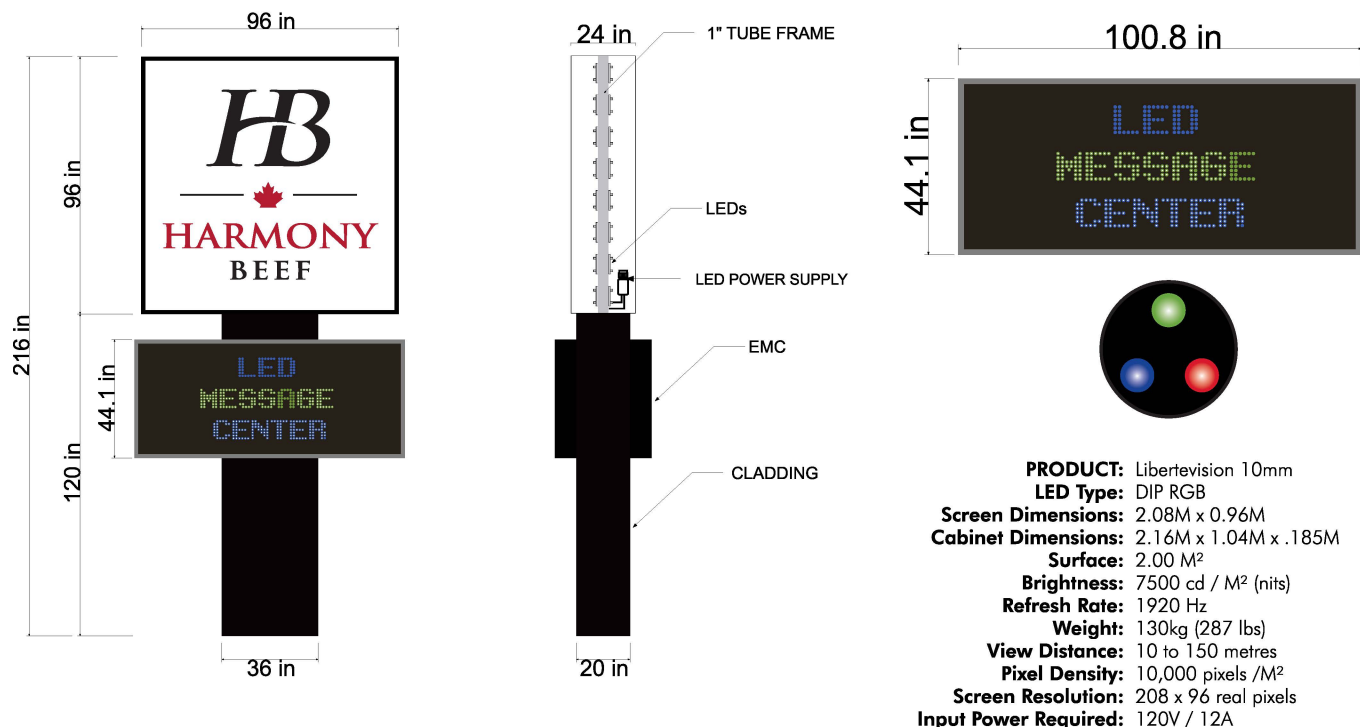
LAST REVISION: 00/00/00

JOB#: 33706.1

260040 RGE RD 291
Lot 1, Block 1, Plan 0612816

AGENDA

WO#: 33706.1



Produce and Install New LED Lit Pylon Sign with EMC
Cladding Around Post
Frame and Cladding to be Painted Black

10mm EMC (Electronic Message Centre) display installed on pylon
Exact Depths and Widths to be Determined

Special Notes:

Copy shown on a digital display must be static and remain in place for a minimum of six (6.0)seconds before switching to a new or the next copy.

The maximum transition time between each digital copy must not exceed .25 seconds

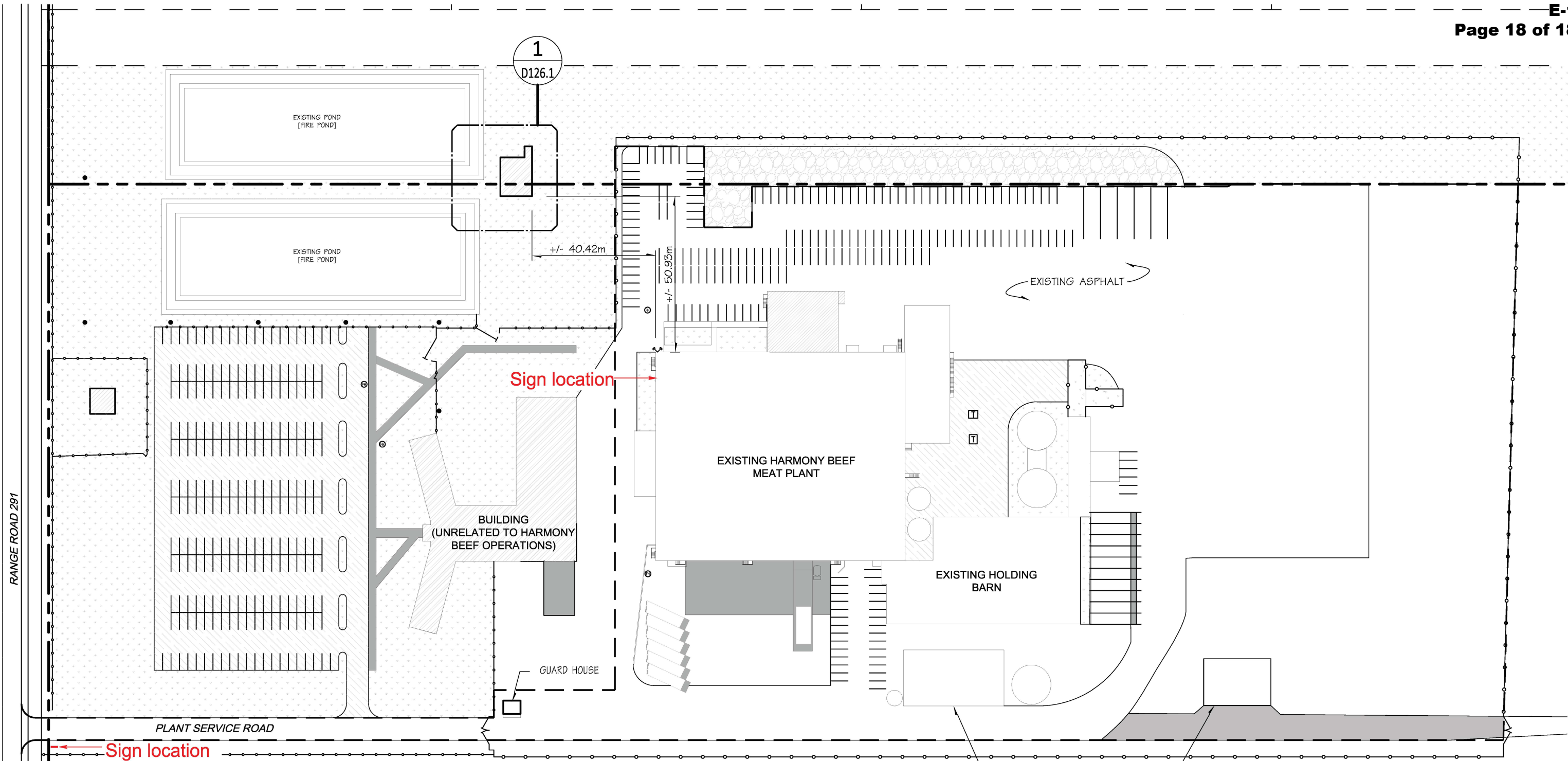
A maximum of 7,500 nits from sunrise to sunset, at those times determined by the National Research Council of Canada (sunrise/sunset calculator)

A maximum of 500 nits from sunset to sunrise at those times determined by the National Research Council of Canada (sunrise/sunset calculator)

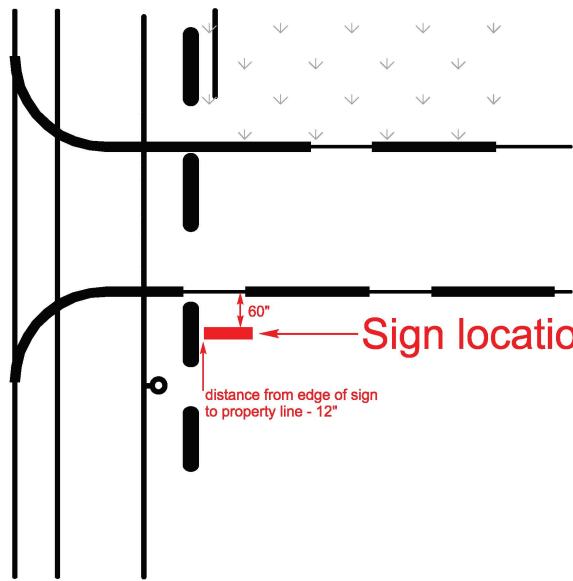
The sign must not increase the light levels around the digital display by more than 5.0 LUX above the ambient light level.



260040 RGE RD 291
Lot 1, Block 1, Plan 0612816



OVERALL SITE PLAN
LOT 1, BLOCK 1, PLAN 0612816



Close up of
freestanding
location

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 4
SUBJECT: Development Item: *Kennel*
USE: Discretionary use, with no Variances

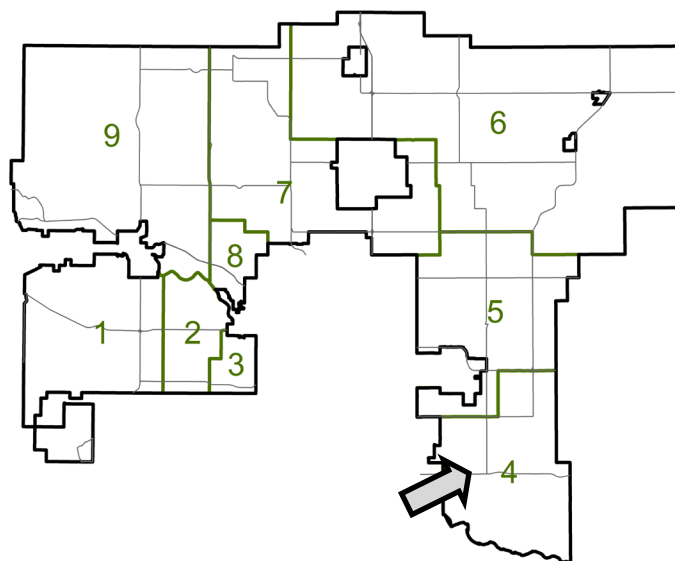
DATE: October 29, 2020
APPLICATION: PRDP20202671

APPLICATION: Kennel, for a daycare with a maximum of fifty (50) dogs on site, boarding of up to eight (8) dogs and one (1) onsite sign [replacement of PRDP20200089].

GENERAL LOCATION: Located approximately 2.42 km (1 1/2 mile) south of Hwy. 22x and on the west side of Rge. Rd. 284.

LAND USE DESIGNATION: Agricultural, General District (A-GEN) under Land Use Bylaw C-8000-2020

ADMINISTRATION RECOMMENDATION:
 Administration recommends Approval in accordance with Option #1.



OPTIONS:

- Option #1: THAT Development Permit Application PRDP20202671 be approved with the conditions noted.
- Option #2: THAT Development Permit Application PRDP20202671 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:





DEVELOPMENT PERMIT REPORT

Application Date: September 9, 2020	File: 02320004
Application: PRDP20202671	Applicant/Owner: Warren Flemming / Melo Developments Ltd.
Legal Description: NE-20-22-28-W04M (223169 Range Road 284)	General Location: Located approximately 2.42 km (1 1/2 mile) south of Hwy. 22x and on the west side of Rge. Rd. 284
Land Use Designation: Agricultural, General District	Gross Area: ± 32.37 hectares (± 80.00 acres)
File Manager: Jessica Anderson	Division: 4

PROPOSAL:

The purpose of this application is to provide for a *Kennel*. *This is a replacement application, for PRDP20200089. Note, this application was assessed in accordance with Land Use Bylaw C-8000-2020.*

The Applicant has submitted this replacement application to request changes to the previous development permit approval and correlating condition set for the *Kennel*.

The Kennel operations include a daycare for a maximum of 50 dogs, boarding for up to eight (8) dogs, and one sign. Day care includes morning session for 30 dogs, afternoon session 30 dogs, and full day sessions for 10-20 dogs (**See Operational Details below**).

Overall Business Details	Proposed (per application form)
Business Name	Paw Butler Inc.
Purpose	Dog socialization and boarding (8 dogs)
Size of Animals	Small, medium and large breed dogs
Hours / Days of Operation	7 am to 7 pm / Monday to Friday, 9 am to 7 pm (Saturday / Sunday)
Employees	Total 11 (2 part time, 9 full time)
Signage	YES, 1 on-site
Soundproofing	Minimal boarded dogs. Dogs will be housed in the Quonset which is already insulated. Soundproofing assumed as owners cannot hear dogs from outside.
Solid Waste Removal	Waste Removal company hired – 15 bins on property
Method of water waste removal	Septic System
Screening / Fencing	Entire site is fenced. Fencing provided around the 5 play areas. Fenced areas screened by trees along the north and partially on the east.

OPERATIONAL DETAILS (*per cover letter emailed January 23, 2020 and February 19, 2020*):

ENCLOSURES & SECURITY

- 5 fully fenced fields available for dogs
- Site fully fenced

PROGRAM MANAGEMENT

- Pick-up/ Drop-off for dogs in mini-vans equipped with kennels
- Approximately 10 dogs capacity in mini-vans
- Sorted by size, temperament and play style on site
- Each field supervised by staff member
- 2 sessions during day care (morning/ afternoon)
- Last session leaves park around 3:30 pm
- **Note:** Number of dogs will not exceed 50 at a given time according to the Applicant.
 - Includes 10-20 *Day Camp/ Dog Day Out* dogs and up to 30 unleashed dogs at one time.

OPERATIONS (Monday to Friday - 7 am to 7 pm)

Monday to Friday	10 am to 3:30 pm (approx.)	<i>Dogs Unleashed</i> - 1.5 hours <ul style="list-style-type: none"> • Morning and afternoon sessions • 30 dogs per session <i>Dogs Day Out</i> - 4.5 hours (longer sessions) <ul style="list-style-type: none"> • 10-20 dogs per session
Monday to Friday	7am to 6pm	<i>Day Camp</i> - up to 11 hours <ul style="list-style-type: none"> • Capped at 10 dogs per day • No dog kennels • Outdoor run / play or in heated Quonset
Monday to Friday	4pm to 9pm	<i>Field Rentals</i> <ul style="list-style-type: none"> • Fenced fields for client to rent/run own dogs • 5-client limit (except for rare special events)
Saturday/ Sunday	9am to 7pm	
Year Round	Ranch Boarding	Overnight stays for max. 8 dogs (if required) Must adhere to general rules

PARKING & ACCESS:

- Business vehicles and staff parking located north of the existing Quonset and Dwelling (*Refer to Site Plan submitted February 19, 2020*).
- Primary site access from existing approach located at east, from Range Road 284, with driveway leading to parking area shown on Site Plan.

OTHER SERVICES:

- Site services such as provide walks, grooming and boarding at client location.

SPECIAL EVENTS:

- Pet friendly events such as client appreciation BBQ in the summer, Animal Rescue events where dogs that are available for adoption, runs off leash in one of our fields, wearing a bandana saying that they are available for adoption, then potential adoption clients see how their dogs reacts to the dogs up for adoption.

Any events that could benefit from dogs being allowed.

SIGNS:

Refer to Sign Elevation and Site Plan - 1 sign by the entryway and 1 directional sign indicating to turn onto RR284, located on RR224. Refer to mock design sample for entryway sign below. Size of sign not provided.

Details of directional sign not provided; therefore, cannot be approved within this application. Should directional signage information be provided at a later time, a separate Development Permit application is required.



THE BEST PET CARE PROVIDER

PRIVATE OFF LEASH PARK
PRIVATE WALKS AND VISITS
Etc
Etc
Etc

EMAIL US AT SERVICES@PAWBUTLER.CA
CALL OR TEXT 403 437 8425

SITE INFORMATION:

- Site is adjacent to agricultural properties on the east, west, and north.
- Site is adjacent to Residential Two District to the south.
- There are small wetlands/ water bodies located on site.
- There is no oil & gas infrastructure on the property.
- Site has one (1) existing access off Range Road 284.
- Site topography appeared generally flat across the property.
- Entire site is fenced and screening by trees north and east of the dwelling and Quonset

Buildings & Setbacks

- There is presently one (1) single-family dwelling, one (1) accessory building (Quonset), attached to a Shop, and two (2) accessory buildings (Garage and Granary) onsite based on the submitted Site Plan (Real Property Report stamped in 2002).
- Buildings onsite meet the setback requirements of the Ranch and Farm District:

	Minimum (RF)	Proposed
Front Yard	45.00 m (147.63 ft.)	137.00 m (449.47 ft.) to Dwelling, Lots to Quonset
Side Yard (north)	3.00 m (9.84 ft.)	Lots to all buildings
Side Yard (south)	3.00 m (9.84 ft.)	Lots to all buildings
Rear Yard	7.00 m (22.96 ft.)	608.70 m (1,997.04 ft.) to Quonset; Lots to all buildings

PERMIT HISTORY

- There are no building permit records for the buildings on this site.
- Development Permit, PRDP20200089 was conditionally-approved by the Municipal Planning Commission on March 9, 2020, pending prior to issuance submissions
- RPR stamped for compliance in 2002, located one dwelling and four (4) accessory buildings on this site, including the attached Shop, Quonset, detached garage and Granary.

LAND USE BYLAW:*Part 8 Definitions:*

“Kennel” means a facility for the keeping, breeding, boarding, caring, or training of dogs and/or other domestic pets over three months of age, excluding livestock.

*Section 304 Discretionary Uses - Kennel**Section 151 Sign Regulations**Signage General Requirements:*

- a) Signs shall be compatible with the general character of the prescribed District, to the satisfaction of the Development Authority,
- b) No sign or any part of a sign is allowed in a road allowances or County rights-of-way, and No sign or any part of a sign shall be within 3.0 m (9.84 ft) of overhead power and service lines.

STATUTORY PLANS:

The property does not fall within an Area Structure Plan or Conceptual Scheme; however, the lands are located within the RVC/City of Calgary Intermunicipal Development Plan. The plan does not provided guidance on the nature of the application; therefore, the application was evaluated in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:

Inspection date: February 11, 2020

- Roughly 12-15 dogs on site at the time of inspection.
- 2 employees on site at any given time, depending on the number of dogs (10 dogs/employee).
- Dogs are separated based on temperament.
- One small sign on property, potentially 1 additional one.
- Operate five days a week; weekends clients have option to rent one or five fields.
- Waste bin is filled and cleared on a regular basis.
- Quonset is heated with large space for dogs.
- Entire site is fenced and will be upgraded with storage material come spring/summer
- Dogs are always supervised.
- Main owner lives on site with his three personal dogs.
- Dogs not picked up or dropped off by owners but by using vans with cages in them
- Two work vehicles seen on site.

CIRCULATIONS:

Agricultural Services, Rocky View County (February 6, 2020):

- No concerns.

Alberta Environment and Parks:

- No comments received.

Alberta Health Services (February 14, 2020):

- No concerns with application and information provided.
- AHS-EPH would like to note that soils, groundwater and surface water sources should not become polluted due to operations on the subject lands. Also, potable water sources on the property and beyond must be adequately protected from any run-off, nuisance or contaminants.

Building Services, Rocky View County (February 11, 2020):

- Advisory condition - Applicant is required to submit a Building permit application prior to the structures being used for their intended use.
- The attached link consists of a hyperlink to the checklist for the an industrial/commercial/institutional facility:
https://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Building/checklists/Commercial-Industrial-Institutional_Checklist.pdf
- Advisory condition – All Buildings shall conform to the National Energy Code 2017 or 9.36. subject to a Part 3 or Part 9 Building permit with documentation/design at Building Permit stage: <http://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Building/resources/NECB-Submission-Requirements.pdf>
- The drawings and information listed in the checklist from items 1-11 (as applicable) shall be submitted as part of the Building permit application in a complete and satisfactory manner.
- Further comments may follow upon receiving the building permit application once a comprehensive submission with to-scale drawings are submitted for approvals.

City of Calgary

- No comments received.

Development Compliance (Enforcement) Review (January 29, 2020)

- Recommend that adequate fencing be constructed to contain all animals on the property;
- Recommend that the applicant be required to adhere to the County's Animal Control Bylaw at all times;
- Recommend that adequate parking arrangements be made, to accommodate all visiting traffic on the property and not on public or private roads.
- Development Compliance file related to application: File #DC201909-0115 – Concern received that too many dogs were on the property causing a noise nuisance issue and that visiting traffic was spilling over onto public and private roads. Development Compliance investigated and determined that no permits were in place for a dog-related business on the property. Officer spoke with the landowner, who was directed to apply for a development permit.

Re-circulated September 25, 2020

- Thank you for the opportunity to add any comments or concerns. Based on numerous complaints that our office has received, this operation continues to operate without a valid Development Permit in place.
- One of our officers has reminded Mr. Flemming that he has prior to release conditions to meet before he can operate.

- In addition, barking is the point of contention with respect to the complaints coming in at all hours of the day and night.

Planning and Development Services - Engineering Review (February 4, 2020)

General:

- The review of this file is based upon the application submitted. These conditions/ recommendations may be subject to change to ensure best practices and procedures.
- As per the application, the applicant is proposing Kennel, Commercial (daycare for up to 30 dogs morning and 30 dogs afternoon, and boarding for 8 dogs)

Geotechnical:

- Engineering has no requirements at this time as no changes to the current ground conditions are proposed.

Transportation:

- Access to the subject lands is via an approach off RGE RD 284.
- The proposed facility may cause an increase traffic in the road network. Prior to issuance of DP, the applicant is required to provide a Trip Generation Assessment indicating the volume of traffic to be drawn towards the site on a regular basis.
- Prior to the issuance of the DP, the applicant will be required to provide payment of the Transportation Offsite Levy in accordance with Bylaw C-7356-2014 for the total gross area associated with the proposed kennel operation. The applicant will be required to submit a revised site plan identifying the development area of the proposal.
- The development area refers to the portion of lands utilized directly for development purposes, and includes: the driveway access; all structures (buildings), the storage and display areas directly associated to the use; and the required parking area (as defined in the Land Use Bylaw)

Sanitary/Waste Water:

- The proposed kennel is to be contained within and around the existing structures. ES has no further concerns.

Water Supply And Waterworks:

- The proposed kennel is to be contained within and around the existing structures. ES has no further concerns.
- As an advisory condition, all commercial licensees for water supply from AEP shall be the responsibility of the applicant.

Storm Water Management:

- Engineering has no requirements as no addition of hard surfaces or changes to current drainage or are proposed at this time.

Environmental:

- As the applicant is not proposing any further redevelopment, Engineering has no further concerns at this time.

Fire Services Review

- No comments received

Operations Division Review - Utility Services, Rocky View County (January 27, 2020)

- No concerns.

RECOMMENDATION:

Development Authority recommends **approval**, to the satisfaction of the Municipal Planning Commission.

Development Authority Assessment:

- Based on assessment of the submitted cover letter, applicant details, Real Property Report, circulation responses, site inspection results, and the Land Use Bylaw, the keeping of 50 dogs for daycare and 8 dogs for boarding for the Kennel, Commercial operation, may have noise, parking, and traffic impacts neighbouring developments and roads.
- Applicant/Owner has at the time of this report has outlined measures to mitigate potential noise impact, parking requirements, visual impact, waste disposal, and water management concerns. However, a trip generation assessment is required indicating traffic volumes as a prior to issuance condition.
- If approved, Development Authority recommends a time limited permit for a period of one (1) year to monitor any issues/impacts resulting from the operation of the Kennel, Commercial. If the Applicant/Owner proposes to increase the number of dogs on site beyond 50, a development permit application will be required for the keeping of additional dogs.
- The proposed on-site signage may be approved under this development application, however the proposed directional sign will have to be applied as a separate development application.

OPTIONS:

Option #1: (this would allow the proposed development to commence)

APPROVAL subject to the following conditions:

Description:

1. That a *Kennel (50 dogs)* may operate on the subject property in accordance with the submitted Site Plan, cover letter, application details, and includes the following:
 - a. Two (2) existing accessory buildings (garage & quonset), and the existing dwelling may be used in the kennel operations;
 - b. A maximum of fifty (50) dogs may be allowed on the subject site at any one time; and,
 - c. Outside Dog Runs/fenced areas (as identified on the Site Plan submitted).
2. That one (1) on sign may be placed on site in accordance with the details provided with the application.

Prior to Issuance:

3. That prior to issuance of this permit, the Applicant/Owner shall submit a Trip Generation Assessment indicating the volume of traffic drawn towards the site on a regular basis, in accordance with County Servicing Standards.
4. That prior to issuance of this permit, the Applicant/Owner shall submit payment of the Transportation Offsite Levy in accordance with Bylaw C-8007-2020 for the total gross area

associated with the proposed kennel operation. The Applicant/Owner shall be required to submit a revised site plan identifying the development area of the proposal.

Permanent:

5. That any dogs that cause a nuisance by barking shall be kept indoors at all times.
6. That all dogs shall be kept indoors between the hours of 9:00 p.m. and 7:00 a.m.
7. That dogs residing on site, in the kennel operation shall not run outside at large, at any time.
8. That all waste shall be stored in solid metal or plastic containers, and shall be disposed of off-site.
9. That all water used for cleaning of pens and washing of animals shall be collected and disposed of in accordance with Provincial regulations.
10. That all waste shall be stored in metal or plastic containers and shall be disposed of offsite.
11. That the kennel area containing outside runs shall be enclosed with fencing (permanent wire containment fence / chain link), to ensure the dogs are contained and shall be maintained at all times.
12. That the maximum sound for the kennel operation shall not exceed 50 dba at the nearest residence, not at this property.
13. That upon request from the County, the operator shall engage a qualified Acoustical Engineer to monitor the sound levels at the nearest residence, not at this property and provide recommendations within the report, to help mitigate business noise levels.
 - a. If any recommendations are proposed within the report, the Applicant/Owner shall implement those recommendations, to the satisfaction of the County.
14. That the on-site signage shall be kept in a safe, clean, and tidy condition, and may be required to be renovated or removed if not properly maintained.
15. That the Applicant/Owner shall obtain any necessary Special Event Permit(s) prior to hosting events associated with the operation exceeding 50 dogs on site in accordance with the Special Events Bylaw C-7990-2020.
 - a. That for the purposes of this permit, a Special Event application may include but is not limited to client appreciation BBQs, Animal Rescue or Adoption events etc.;

Advisory:

16. That Dog Licenses shall be obtained yearly from the County Finance Department.
17. That the current the County's Animal Control Bylaw shall be adhered to at all times.
18. That the Applicant/Owner shall comply with the Canadian Veterinary Medical Association "Code of Practice for Canadian Kennel Operations" at all times while housing rescue dogs.
19. That any Building Permit(s) for change of occupancy shall be obtained through Building Services as required.
20. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
21. That if the development authorized by this Development Permit is not commenced with reasonable diligence within twelve (12) months from the date of issue, and completed within twenty-four (24) months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.



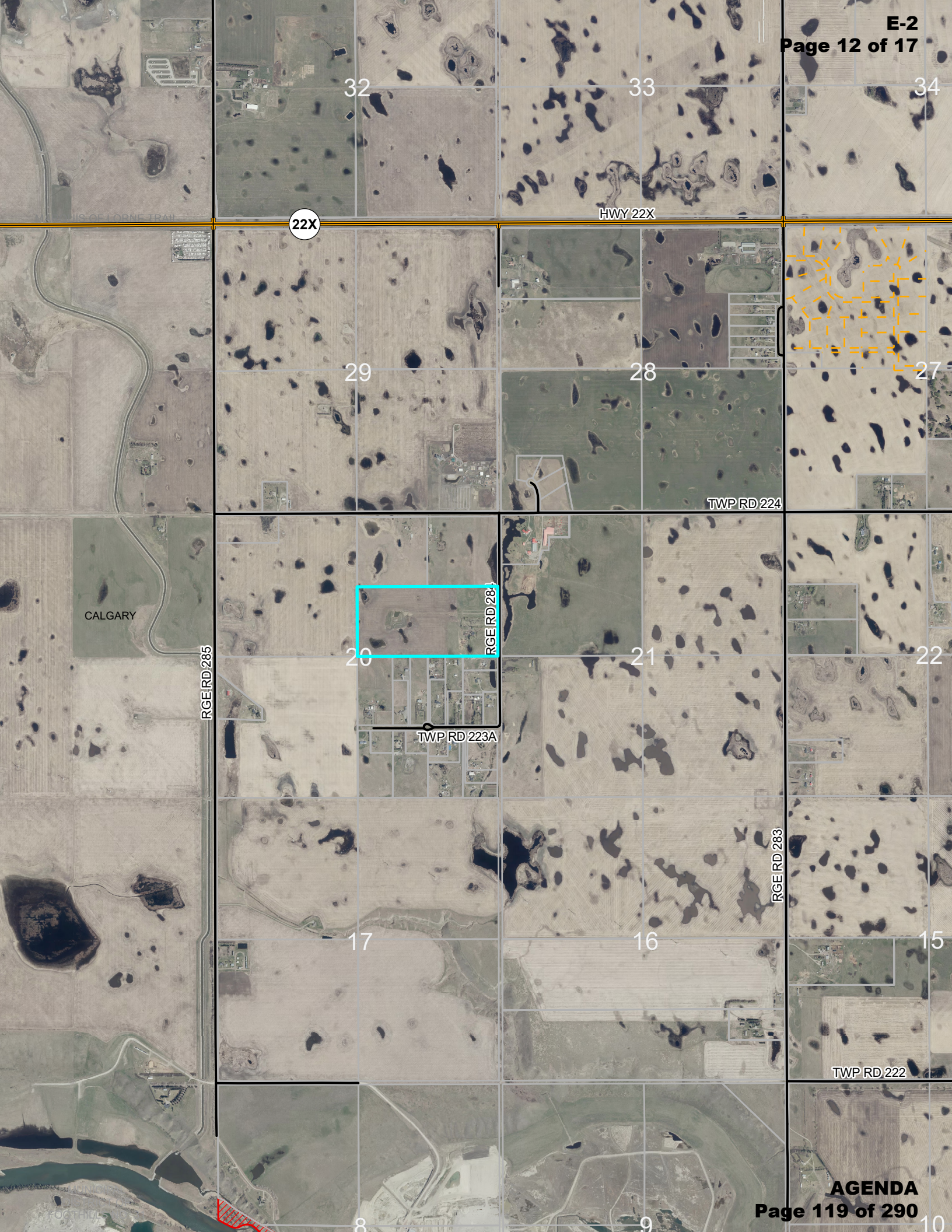
22. That if this Development Permit is not issued by **MAY 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.
23. That this Development Permit, once the prior to issuance conditions have been satisfied, shall be valid until **NOVEMBER 25, 2021**.

Option #2: (this would not allow the proposed development to commence)

REFUSAL as per the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY

DEVELOPMENT PERMIT APPLICATION

FOR OFFICE USE ONLY	
APPLICATION NO.	20202671
ROLL NO.	02320004
RENEWAL OF	
FEES PAID	156.25
DATE OF RECEIPT	SEP 9/20

APPLICANT/OWNER

Applicant Name: Warren Flemmink

Email: [REDACTED]

Landowner Name(s) per title (if not the Applicant): MITCH FRECKO

LEGAL LAND DESCRIPTION - Subject site

All/part of: NE 1/4 Section: 20 Township: 22 Range: 28 West of: 4 Meridian Division: 4
 All parts of Lot(s)/Unit(s): Block: Plan: Parcel Size (ac/ha): 80 ac
 Municipal Address: 223169 Rge Rd 284 Land Use District: A-GEN

APPLICATION FOR - List use and scope of work

Kennel - re-assessment of conditions
 PRDP 2020 0089

Variance Rationale included: ☐ YES ☐ NO ☐ N/ADP Checklist Included: ☐ YES ☐ NO

SITE INFORMATION

- a. Oil or gas wells present on or within 100 metres of the subject property(s) ☐ YES ☐ NO
 b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant) ☐ YES ☐ NO
 c. Abandoned oil or gas well or pipeline present on the property ☐ YES ☐ NO
 (Well Map Viewer: <https://extmapviewer.aer.ca/AERAbandonedWells/Index.html>)
 d. Subject site has direct access to a developed Municipal Road (accessible public roadway) ☐ YES ☐ NO

AUTHORIZATION

I, WARREN FLEMMINK (Full name in Block Capitals), hereby certify (initial below):

- ☐ That I am the registered owner OR ☒ That I am authorized to act on the owner's behalf.
☒ That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.
☒ That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is collected in accordance with s.33(c) of the Freedom of Information and Protection of Privacy Act.
☒ **Right of Entry:** I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for purposes of investigation and enforcement related to this application in accordance with Section 542 of the Municipal Government Act.

Applicant Signature

Date 9 September 2020

Landowner Signature

Date



ROCKY VIEW COUNTY

KENNEL

INFORMATION SHEET

FOR OFFICE USE ONLY	
APPLICATION NO.	
ROLL NO.	
DISTRICT	

ANIMAL DETAILS	LOCATION
Number and type of animals: 50 Dogs	Located within: <input type="checkbox"/> Dwelling OR <input type="checkbox"/> Accessory Building <input type="checkbox"/> Existing Building OR <input type="checkbox"/> New Building
Breed (if breeding):	
Size of animals (small, medium etc.): Small to Large	
Are the animals 3 months of age or more: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	
BUSINESS OPERATIONS (if applicable)	
Name of kennel (if applicable): Paw Butler Inc.	
Type of kennel (i.e. boarding, breeding, training, etc.): Off Leash Group Play, Boarding, Field Rental, Boarding	
Detail number of play areas/runs and their location(s): 5 Play areas, surrounding the house on the property	
Days of operation: 7	Hours of operation: 7am to 7pm (mon - fri) 9am to 7pm (sat, sun, stat days)
Total number of employees (including residents/applicant):	Part-time: 2 Full-time: 9
Number of non-resident employees:	Part-time: 2 Full-time: 7
Number of vehicle trips for pick-up/drop-off of animals (per day): 15 pick up 15 drop off	
Number of parking stalls on site: 15+	
Location of client and business vehicle parking on site: Client Parking by Quonset/Field Rentals Staff Parking off driveway	
ADDITIONAL INFORMATION:	
Describe how the kennel building(s) are soundproofed: Brand New Roofing installed and sound dampening insulation in exterior wall	
Describe method of solid waste disposal: For humans we have an outhouse that is services weekly and 2 working washrooms connected to a newly installed septic system and septic field	
For dogs, we have staff on site who picks up waste throughout the day. It is disposed in a rented dump bin which is emptied frequently	
Describe method water waste disposal: Septic System on site	
SCREENING AND SIGNAGE	
Specify material/height of any screening provided on site: 5 ft privacy screening	
Kennel signage proposed on site? <input checked="" type="checkbox"/> YES - attach Signage - Information Sheet and documents <input type="checkbox"/> NO	
ADDITIONAL SITE PLAN REQUIREMENTS	
<input type="checkbox"/> Indicate location of kennel, building dimensions, and setbacks from property lines <input type="checkbox"/> Indicate location and dimensions of proposed runs/play areas <input type="checkbox"/> Indicate parking area with number of stalls accommodated <input type="checkbox"/> Indicate type of existing/proposed screening/fencing/soundproofing (landscaping, berms) around site/play areas <input type="checkbox"/> Identify location for any proposed signage on or off-site	

Applicant Signature

Date

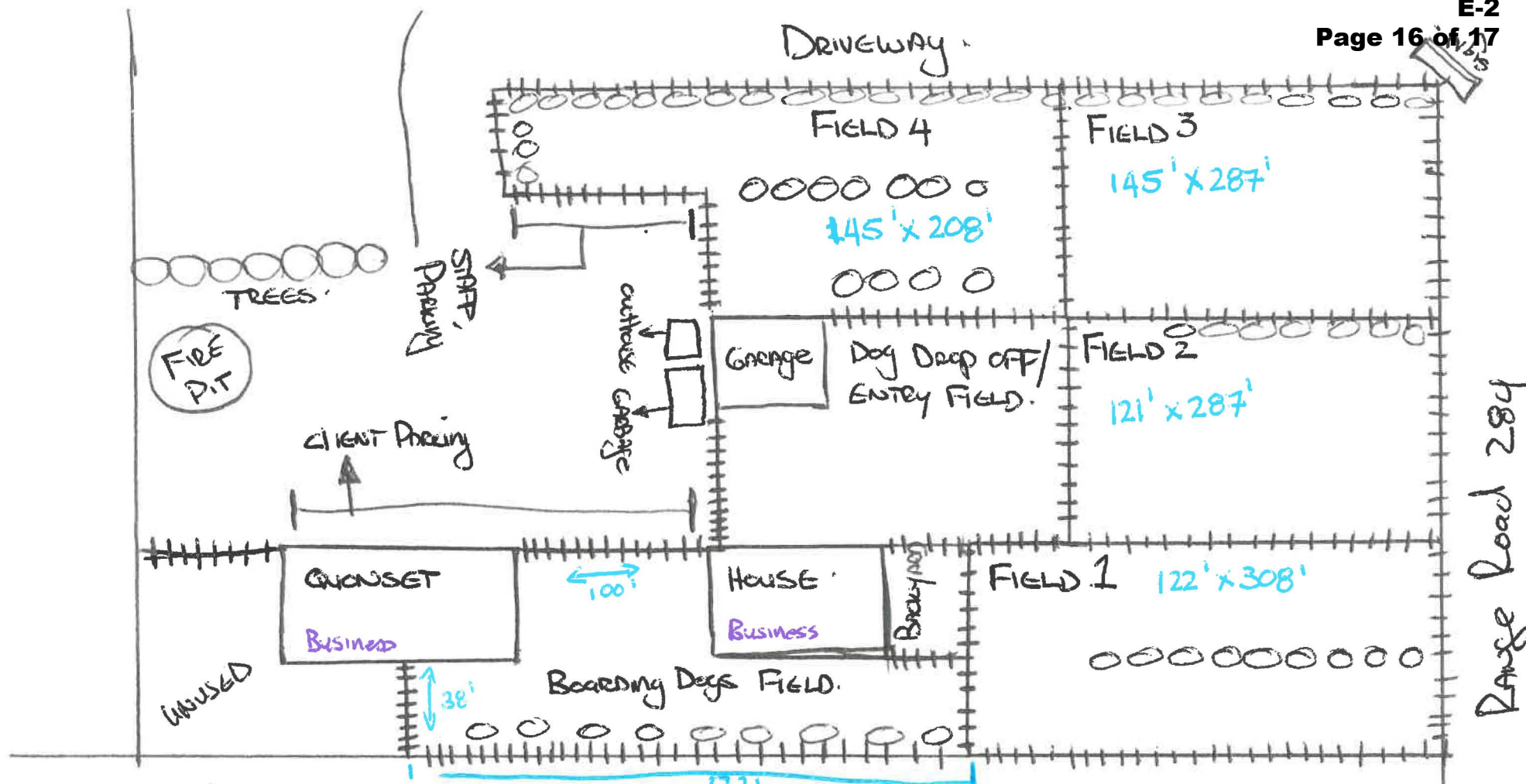
PAW BUTLER' main operation is to ~~provide~~ have one of our employees pick up clients dogs, using one of our mini vans, in Calgary bring them out to the property so that they can run and socialize with other dogs for approx 1.5 - 4.5 hours (depending on service option selected), ... this operation runs from 10AM - 3pm Monday through Fri

We also offer day care, where clients drop off their own dogs, and the operating hours for that is 7am - 6pm MON - FRI

The fields can also be rented by our clients to run their own dogs and that operating hours are MON - FRI 4pm - 9pm and SAT + SUN 9am - 9pm.

The final use for the property is MICRO BOARDING where we will board a maximum of 8 dogs overnight ... these dogs will spend most of their time outside and will sleep in the quonset.

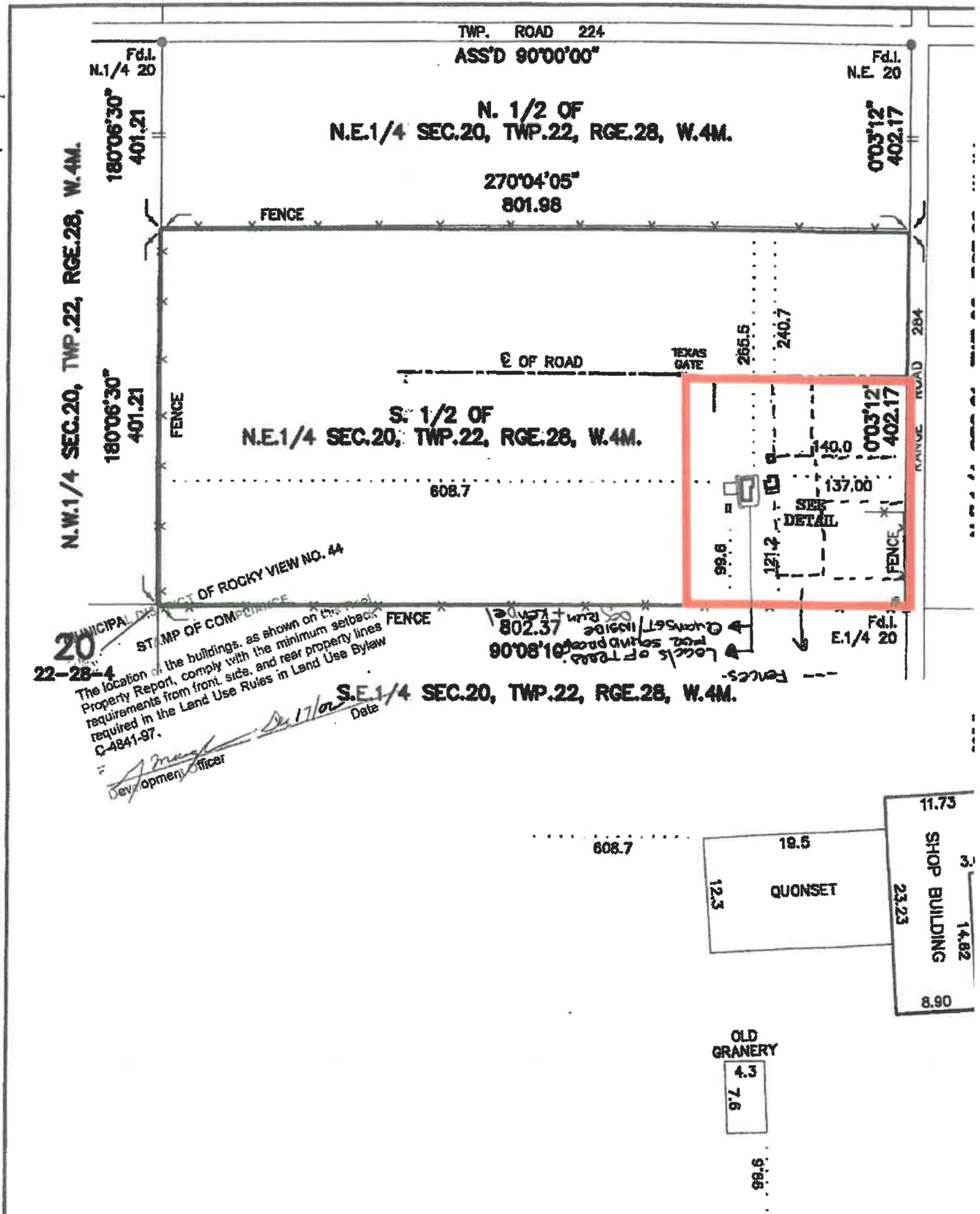
The property is fully fenced.



All FIELDS 1-4 Approx 1 Acre each.

TTTTT (Fence + gates)

OOOO (TREES)



PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 1
SUBJECT: Development Item: *Vacation Rental*
USE: Discretionary, with no Variances

DATE: October 29, 2020
APPLICATION: PRDP20202490

APPLICATION: Vacation Rental (existing dwelling, single detached).

GENERAL LOCATION: Located in the Hamlet of Bragg Creek.

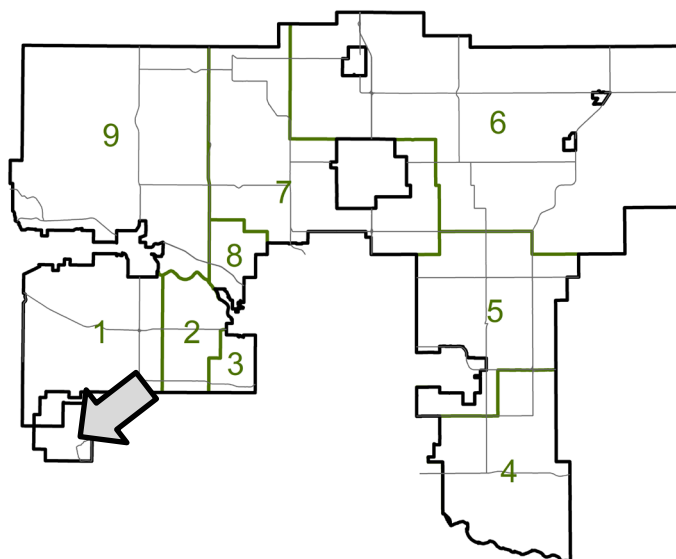
LAND USE DESIGNATION: Residential, Urban District (R-URB)

ADMINISTRATION RECOMMENDATION: Administration recommends Approval in accordance with Option #1.

OPTIONS:

Option #1: THAT Development Permit Application PRDP20202490 be approved with the conditions noted in the Development Permit Report, attached.

Option #2: THAT Development Permit Application PRDP20202490 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Wayne Van Dijk, Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: August 25, 2020	File: 03913093
Application: PRDP20202490	Applicant: Matthew and Teresa Weir Owner: Matthew and Teresa Weir
Legal Description: SE-13-23-05-W5M Municipal Address: 79 River Drive North	General Location: Located in the hamlet of Bragg Creek
Land Use Designation: Residential, Urban District (R-URB) under Land Use Bylaw C-8000-2020	Gross Area: ± 0.22 hectares (± 0.55 acres)
File Manager: Wayne Van Dijk	Division: 1

PROPOSAL:

The application is for the operation of a vacation rental within an existing dwelling, single detached.

Note: the application was assessed in accordance with Land Use Bylaw C-8000-2020.

The application is a result of an enforcement issue but that issue is resolved with this application being made. The applicants wish to utilize their property as a vacation rental property. The current dwelling is approximately 92.90 sq. m. (1000 sq. ft.) with three (3) bedrooms and two (2) bathrooms with a total of five (5) beds. The application states that there is adequate egress and a total of five (5) combination smoke/CO detectors in the dwelling, smoke extinguishers located at each exit and there is a wood burning stove that is professionally inspected annually.

The application states that the owners have a strict no-noise policy and do not allow for any events/parties to be held on the property and they also do not allow/permit any tenting and/or camping.

The applicant has stated that a large, 1.82 m (6.00 ft.), privacy fence has been constructed on the property line to the north and that they are installing sound monitoring devices around the property.

Land Use Bylaw C-8000-2020

Section 332 Discretionary Uses

Vacation Rental

Part Eight Definitions

a) "Vacation Rental" means a Dwelling Unit that is rented online via a hospitality service brokerage company that arranges lodging such as Airbnb, Vrbo, turnkey, HomeAway etc.

- There is one Dwelling Unit, Single-Detached on this parcel and the applicant utilizes an online brokerage service to book accommodations.

Onsite Parking and Loading

As per Table 5-Parking Minimums, Vacation Rental has the same parking requirements as Dwelling type.



- No additional parking requirements at this time.

STATUTORY PLANS:

The site falls within The Greater Bragg Creek Area Structure Plan (Bylaw C-7602-2016). That plan does not address applications such as this and this application was assessed utilizing the Land Use Bylaw (C-8000-2020).

INSPECTOR'S COMMENTS:

- Well-screened, neat and tidy;
- Adequate parking;
- No concerns at time of inspection.

CIRCULATIONS:

Development Compliance, Rocky View County

- This application is the result of an enforcement issue. As an application has been filed, Development Compliance has no comments at this time.

Utility Services

- The only comment I would have is that if they are not already hooked up to County water and wastewater that they be required to as a condition of approval.

Fire Services

- No comments at this time.

Engineering Services

- Engineering has no requirements at this time (as this if for an existing development) for this DP application.

No other comments received at time of report writing

OPTIONS:

Option #1: (this would approve the proposed development)

APPROVAL subject to the following conditions:

Description:

1. That the *Vacation Rental* (Airbnb) may operate on the subject property, within the existing dwelling, single detached, in accordance with the approved site plan, floor plans and the conditions of this permit.

Permanent:

2. That no off-site advertisement signage associated with the Vacation Rental shall be permitted.
3. That there shall be no non-resident employees at any time, with the exception of cleaning companies (if required).
4. That the *Vacation Rental* shall be limited to the dwelling, single detached.
5. That the Owner shall be responsible for ensuring that any renters are familiar with the property boundaries, whether that be by means of a fence, signage, or other means, to ensure no trespassing to adjacent properties.



6. That all customer parking shall be on the Owner's property at all times.
7. That the operation of the vacation rental shall not change the residential character and external appearance of the land and dwellings.
8. That the operation of this *Vacation Rental* shall not generate noise, smoke, dust, fumes, glare, or refuse matter considered offensive or excessive by the Development Authority and at all times the privacy of adjacent residential dwellings shall be preserved. The *Vacation Rental* shall not, in the opinion of the Development Authority, unduly offend or otherwise interfere with neighbouring or adjacent residents.
9. That the operation of the *Vacation Rental* shall be subordinate and incidental to the principal use of the dwelling unit as an owner-occupied residence.
10. That any minimal exterior modification of the structure or grounds may be considered by the County upon request, to ensure that no additional permits are required and that it is not changing the residential character of the property.

Advisory:

11. That a Building permit and applicable subtrade permits shall be obtained through Building Services, if required, prior to commencement of the *Vacation Rental*.
12. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
13. That this Development Permit shall be valid until **November 25, 2023**, at which time a new application shall be submitted. *Note, that the County will take into consideration any enforcement action of this Vacation Rental prior to considering subsequent applications.*

Option #2: (this would not allow the proposed development)

REFUSAL as per the following reasons:

1. That in the opinion of the Development Authority, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY
Cultivating Communities

20202490

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted <u>\$515.00</u>	File Number <u>039/3093</u>
Date of Receipt <u>Aug 25, 2020</u>	Receipt # <u>2020025179</u>

Name of Applicant Matthew Weir + Teresa Weir

Email [REDACTED]

For Agents please supply Business/Agency/ Organization Name N/A

Registered Owner (if not applicant) _____

Mailing Address _____

Postal Code _____

Telephone (B) _____

(H) _____

Fax _____

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the SE $\frac{1}{4}$ Section 13 Township 23 Range 5 West of 5 Meridian
- b) Being all / parts of Lot 6 Block 8 Registered Plan Number 1741 EW
- c) Municipal Address 79 River Drive N. Rocky View County, Alberta T0L 0K0
- d) Existing Land Use Designation R-URB Parcel Size 2,231.68 m² Division 01

2. APPLICATION FOR

To utilize our property as a Vacation Rental.

3. ADDITIONAL INFORMATION

- | | | |
|--|--------------|-------------|
| a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? | Yes _____ | No <u>X</u> |
| b) Is the proposed parcel within 1.5 kilometres of a sour gas facility?
(Sour Gas facility means well, pipeline or plant) | Yes _____ | No <u>X</u> |
| c) Is there an abandoned oil or gas well or pipeline on the property? | Yes _____ | No <u>X</u> |
| d) Does the site have direct access to a developed Municipal Road? | Yes <u>X</u> | No _____ |

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I MATTHEW WEIR, TERESA WEIR hereby certify that X I am the registered owner
(Full Name in Block Capitals)

_____ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

Affix Corporate Seal
here if owner is listed
as a named or
numbered company

Applicant's Signature [Signature]

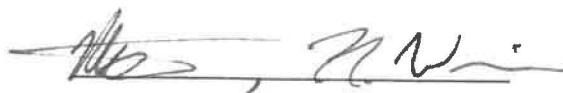
Date August 19, 2020

Owner's Signature [Signature]

Date August 19, 2020

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, MATTHEW WEIR + TERESA WEIR, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


Signature

August 19, 2020
Date

Matthew and Nicole Weir



Planning Services
Rocky View County
262075 Rocky View Point,
Rocky View County, Alberta
T: 403.230.1401
F: 403.277.3066
development@rockyview.ca

Dear Sir/Madam at Rocky View County Planning Services,

We have been operating a short-term vacation rental at the address of 79 River Drive North in the Hamlet of Bragg Creek for approximately one year. The rental consists of a 1000 sqft house situated on a 0.55 acre lot that backs onto the Elbow River. The house has three bedrooms, two bathrooms and sleeps a total of six people in five beds; each bedroom has a large window that meets egress requirements. The house has a total of five combination smoke/CO detectors, one in each of the bedrooms and in the common spaces. The house has a wood burning stove that is inspected and cleaned by a certified professional on an annual basis and there is a fire extinguisher located at each exit of the house.

We have a strict no-noise policy and do not allow for any events or parties to be held on the property and do not permit tenting or camping.

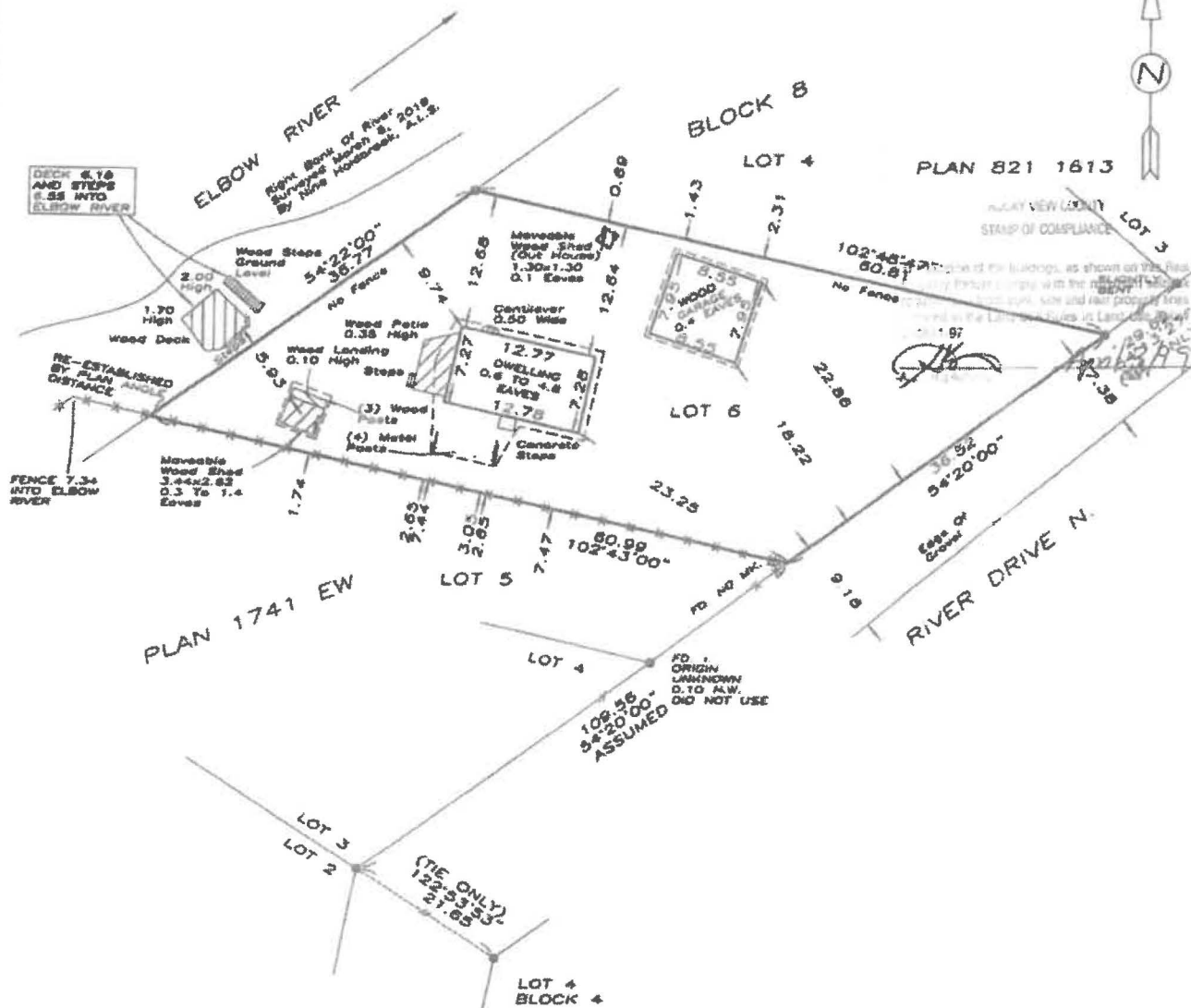
We are applying for a business development licence to operate our Vacation Rental under the new Rocky View County Land Use Bylaw C-8000, 2020.

Sincerely,



Matthew and Nicole Weir

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT



LEGAL DESCRIPTION :

LOT 6
BLOCK 8 (the "Property")
PLAN 1741 EW
CLIENT: BISHOP (the "Client")

CIVIC ADDRESS :
79 RIVER DRIVE N.
ROCKY VIEW COUNTY, ALBERTA

Date of Title Search : MARCH 7 2018 ; File No. 091 DRD 443
Date of Survey : MARCH 8 2018.

CERTIFICATION :

I hereby certify that this report and related survey, was prepared and performed under my personal supervision and in accordance with the Manual of Standard Practice of the Alaska Land Surveyors' Association and supplements thereto. Accordingly within these standards and as of the date of this report, I am of the opinion that:

1. The Plan shows the boundaries of the property, the improvements as defined in Part D, Section 8.5 of the Alberta Land Surveyors Association's Manual of Standards Practice, registered easements and right-of-way affecting the extent of the title to the property;
 2. the improvements are entirely within the boundaries of the property.
EXCEPT DECK AND STEPS INTO ELBOW RIVER AS SHOWN
 3. no within encroachments exist on the Property from any improvements situated on an adjoining property;
 4. no within encroachments exist on registered easements, or right-of-way affecting the extent of the property.
 5. **PROPERTY IS SUBJECT TO.**
- 1742 JW - CAMELOT RE: DEVELOPMENT AGREEMENT

LEGEND :

1. FOUNDATIONS -
 a. All foundations are in concrete and designed thermal.
 Structural Iron Post found shown thus : *
 Iron Post found shown thus : *
 c.c. denotes center mark. --- denotes brick line
 Unless otherwise specified, the dimensions shown relate to distances
 from property boundaries to extent of the foundation walls only of the
 line of the survey.
 Fence is within 0.20 metres of property line unless otherwise noted
 Foundations shown thus : ---
 Eaves are dimensioned to the fascia line and shown thus : ---
 Subject property is outlined thus : ---

PURPOSE :

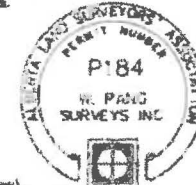
PROPERTY has been prepared for the benefit of the Property owner, subsequent owners and any of their agents, for the purpose of (a) land conveyance, support of a subdivision application, a mortgage application, a submission to the municipality for a compliance certificate, etc.) Copying is permitted only for the benefit of those parties. Where applicable, registered easements, utility rights-of-way and other matters noted on the map are shown. The information contained in this report unless shown otherwise, property owner markers have not been placed during the survey for this report. This report should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user. The information shown on this Real Property Report reflects the status of the property only as of the date of the survey and is not to be construed as a warranty. Real Property Report updated for future requirements.

Dated at Calgary, Alberta
this 18 day of MARCH 2019

William Pang, A.L.S.
(Copyright reserved)
This Report is not valid unless original signature (blue ink)
and W. Pang Surveyors Inc. Personal stamp (red ink).

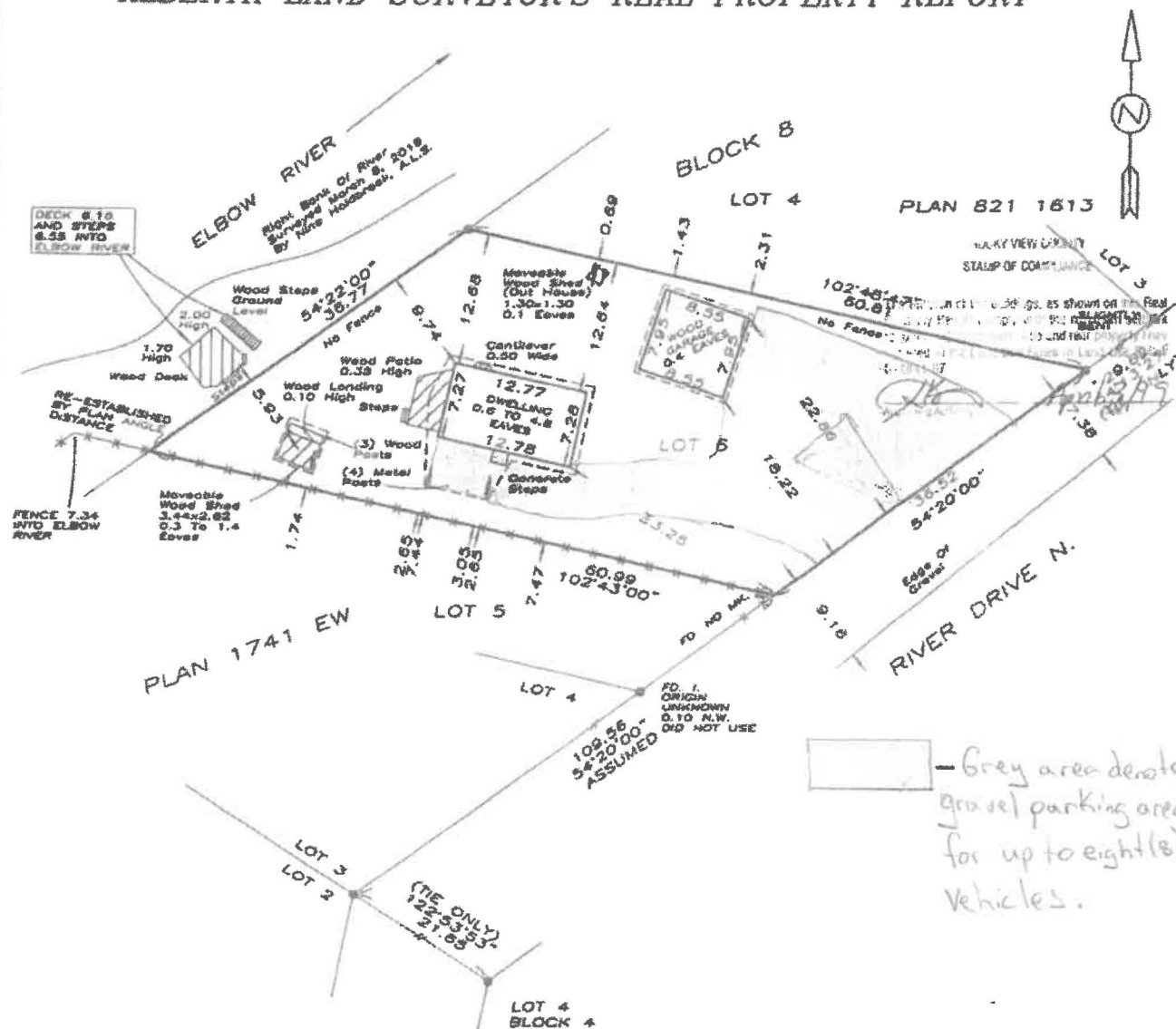
SCALE = 1:400

© COPYRIGHT © PANG SURVEYS INC. 2018



IF PANG SURVEYS INC.
910, 9040 Mainland Trail S.W.
Calgary, AB T2H 2E4
TEL: 243-8040
FAX: 243-8017
info@pangs-surveys.com
FILE: 2012-1159

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT



LEGAL DESCRIPTION :

LOT 6
BLOCK 8
PLAN 1741 EW (the "Property")

CLIENT : BISHOP (the "Client")

CIVIC ADDRESS :

79 RIVER DRIVE N.
ROCKY VIEW COUNTY, ALBERTA

Date of Tele Search : MARCH 7 2019 ; TRN No. 551 090 443
Date of Survey : MARCH 8 2019.



CERTIFICATION :

I hereby certify that this report and related survey, was prepared and performed under my personal supervision and in accordance with the Manual of Standards Practice of the Alberta Land Surveyors' Association and supplements thereto. Accordingly within these standards and as of the date of this report, I am of the opinion that:

1. The Plan illustrates the boundaries of the property, the improvements as indicated in Part D, Section 2.2 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements and right-of-way affecting the extent of the title to the property;
2. the improvements are entirely within the boundaries of the property;
EXCEPT DECK AND STEPS INTO ELBOW RIVER AS SHOWN
3. no visible encroachments exist on the Property from any improvements situated on an adjoining property;
4. no visible encroachments exist on registered easements, or right-of-way affecting the extent of the property;
5. **PROPERTY IS SUBJECT TO:
1742 EW - CAVAT RE-DEVELOPMENT AGREEMENT**


























LEGEND :

1. All dimensions are in meters and decimals thereof.

2. Stationary Iron Post found shown thus :  - 

3. c.a. denotes center and denotes break in the dimensions shown relate to distances from property boundaries to extent of the foundation walls only of the time of the survey.

4. Fence are within 0.20 meters of property line unless otherwise noted.

5. Grave shown thus :  -  -  -  -  -  -  -  -  -  -  -  -  -  -  -  -  -  -  -  -  -  -  -  -  - -

PURPOSE :

PURPOSE: This Report has been prepared for the benefit of the Property owner, subsequent owners and lenders for their agents, for the purpose of (a) land conveyance, support of a subdivision application, a mortgage application, a submission to the municipality for a compliance certificate, etc.) Copying is permitted only for the benefit of these parties. Where applicable, registered easements, utility rights-of-way and other encumbrances are noted on the map. This report is not to be used as a basis for the report. Unless shown otherwise, property corner markers have not been placed during the survey for this report. This report should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user. The information shown on this Final Property Report reflects the status of this property as of the date of the survey. This report is only to be used as a reference to the Final Property Report updated for future requirements.

Dated at Calgary, Alberta
this 18 day of MARCH 2019

William Pang, A.L.S.
(Copyright reserved)

This Report is not valid unless original signature (blue ink) and W. Pong Surveyors Inc. Permit stamp (red ink).

SCALE = 1:400

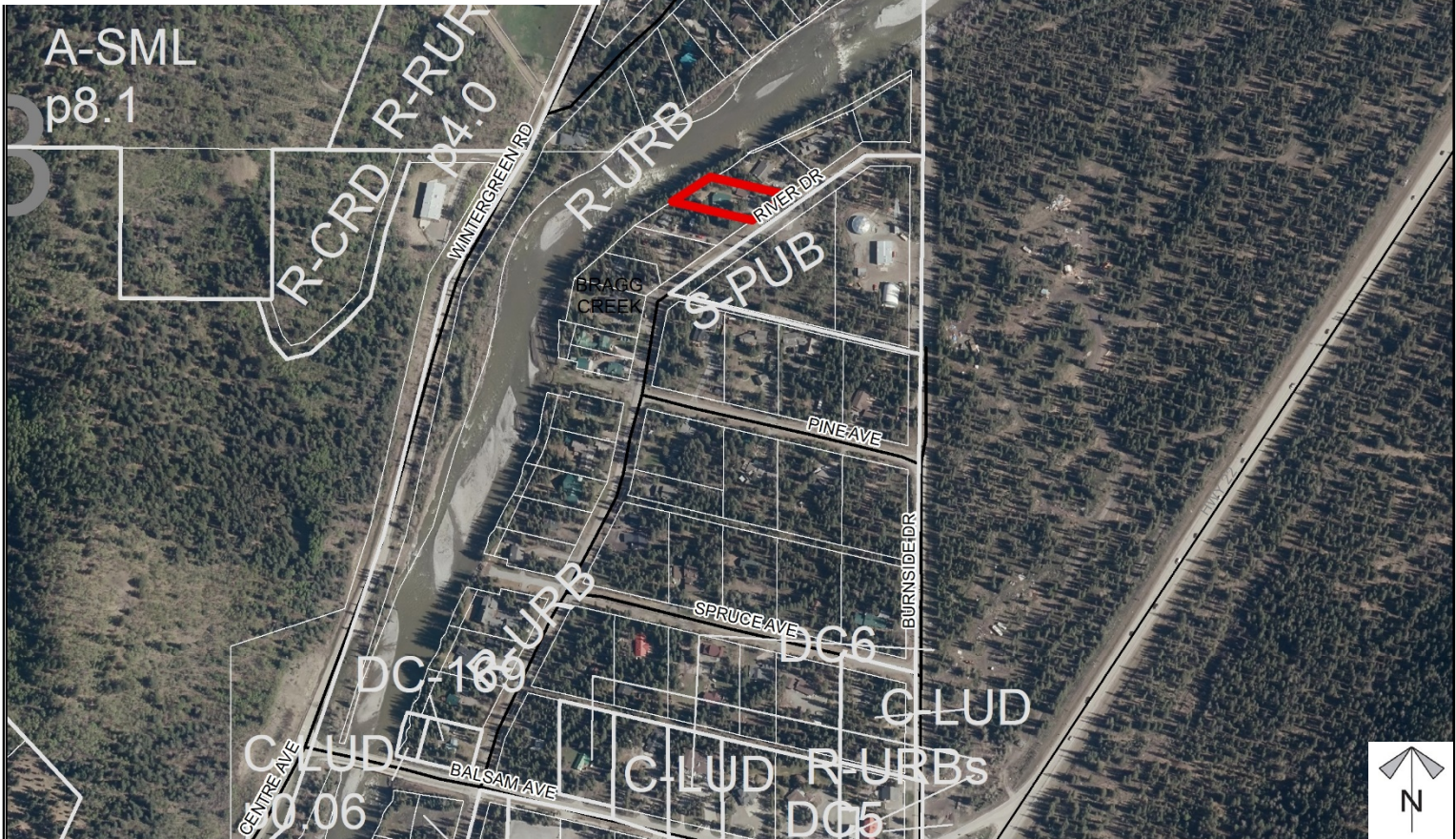
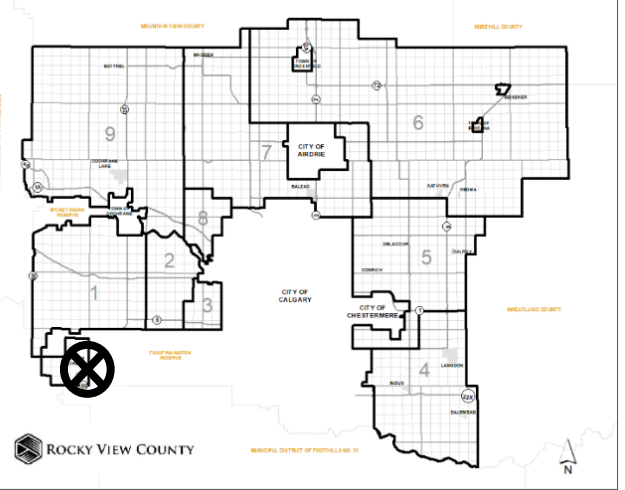
© COPYRIGHT W. PANG SERVICES INC. 2013

W. PANG SURVEYS INC.
 810 3800 Midland Ave. S.W.
 Calgary, AB T2M 2C4
 TEL: 242-8040
 FAX: 242-8017
 info@wpsurveys.com
 FILE: 2012-1199

Location & Context

Redes/Subd Proposal

Description of
development here



Division: 1
Roll: 03913093
File: PRPD20202490
Printed: September 29, 2020
Legal: SE-13-23-05-W05M
Lot: 6 Block: 8 Plan: 1741 EW

Development Proposal

Redes/Subd Proposal

Description of
development here



Division: 1
Roll: 03913093
File: PRPD20202490
Printed: September 29, 2020
Legal: SE-13-23-05-W05M
Lot: 6 Block: 8 Plan: 1741 EW

AGENDA

Environmental

Redes/Subd Proposal

Description of
development here



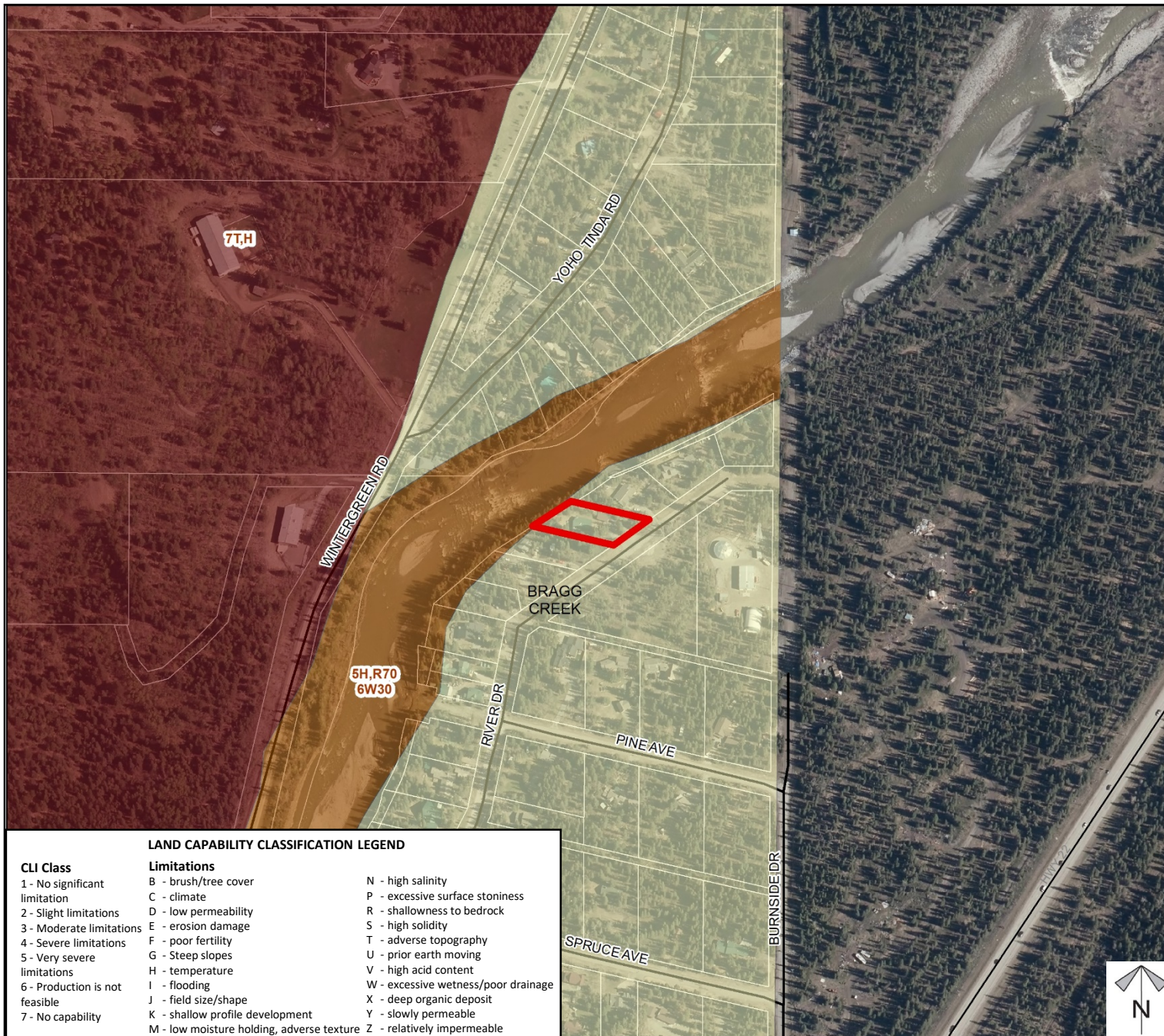
- Subject Lands
- Contour - 2 meters
- Riparian Setbacks
- Alberta Wetland Inventory
- Surface Water

Division: 1
 Roll: 03913093
 File: PRPD20202490
 Printed: September 29, 2020
 Legal: SE-13-23-05-W05M
 Lot: 6 Block: 8 Plan: 1741 EW

Soil Classifications

Redes/Subd Proposal

Description of development here





Division: 1
Roll: 03913093
File: PRPD20202490
Printed: September 29, 2020
Legal: SE-13-23-05-W05M
Lot: 6 Block: 8 Plan: 1741 EW

Landowner Circulation Area

Redes/Subd Proposal

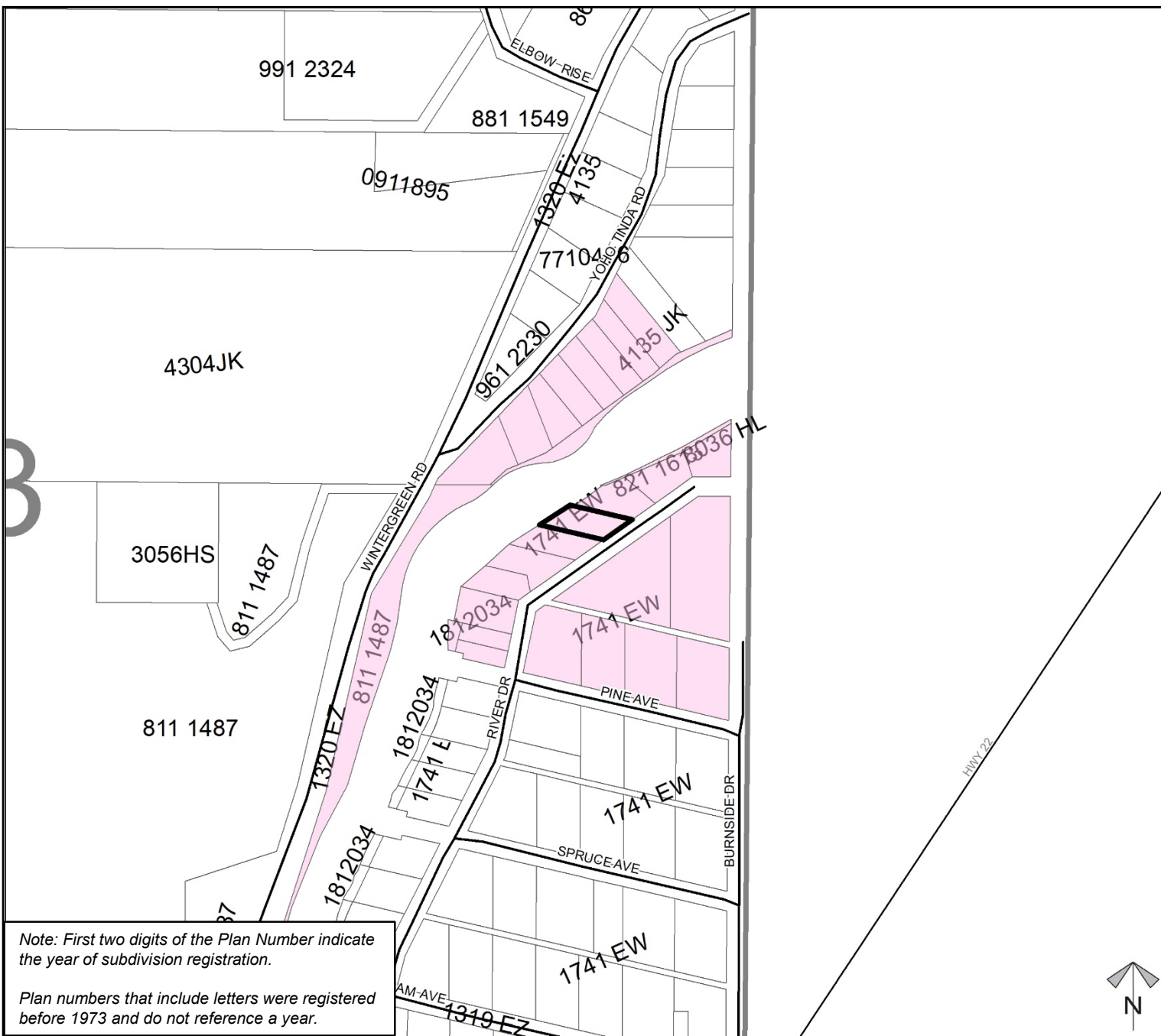
Description of
development here

Legend

- Support 
- Opposition 

Division: 1
Roll: 03913093
File: PRPD20202490
Printed: September 29, 2020
Legal: SE-13-23-05-W05M
Lot: 6 Block: 8 Plan: 1741 EW

AGENDA



Note: First two digits of the Plan Number indicate the year of subdivision registration.

Plan numbers that include letters were registered before 1973 and do not reference a year.

Schedule 'A'

**Bylaw
C-7979-2020**

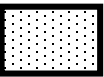
Amendment

FROM

Ranch and Farm
District

TO

Residential Two
District

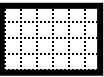


FROM

Ranch and Farm
District

TO

Residential One
District



RIVER DR



Division: 1
Roll: 03913093
File: PRPD20202490
Printed: September 29, 2020
Legal: SE-13-23-05-W05M
Lot: 6 Block: 8 Plan: 1741 EW

Tentative Plan

Subdivision Proposal

INSERT HERE

Legend

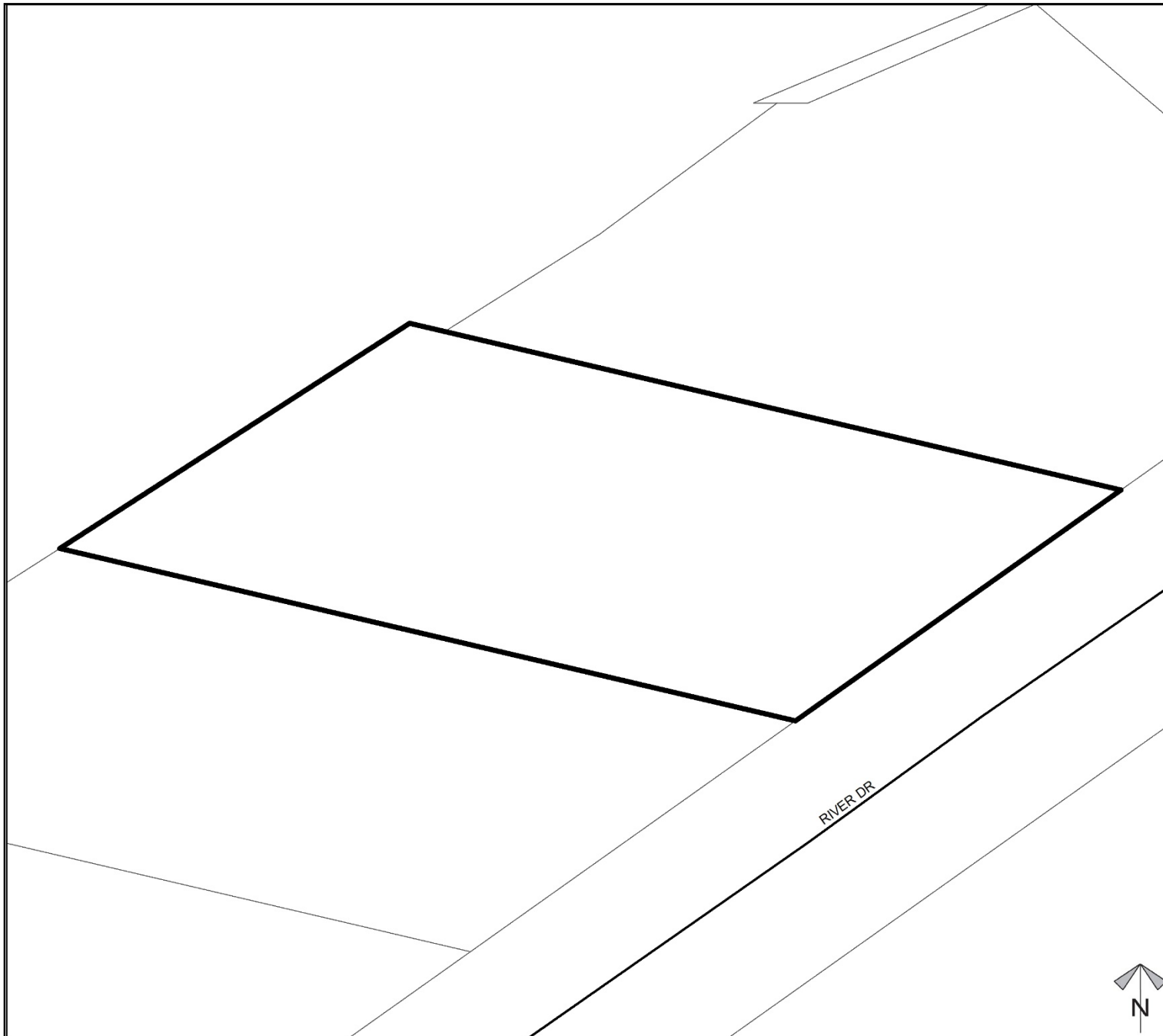
Dwelling	
Building	
Water Well	
Wastewater	
Existing Approach	
New Approach	
Driveway	
Road Widening	
Road Acquisition	

Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

Division: 1
 Roll: 03913093
 File: PRPD20202490
 Printed: September 29, 2020
 Legal: SE-13-23-05-W05M
 Lot: 6 Block: 8 Plan: 1741 EW

AGENDA





PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 9
SUBJECT: Development Item: *Accessory Building*
USE: Discretionary use, with Variances

DATE: October 29, 2020

APPLICATION: PRDP20202876

APPLICATION: construction of an accessory building (garage), relaxation of the maximum accessory building parcel coverage area.

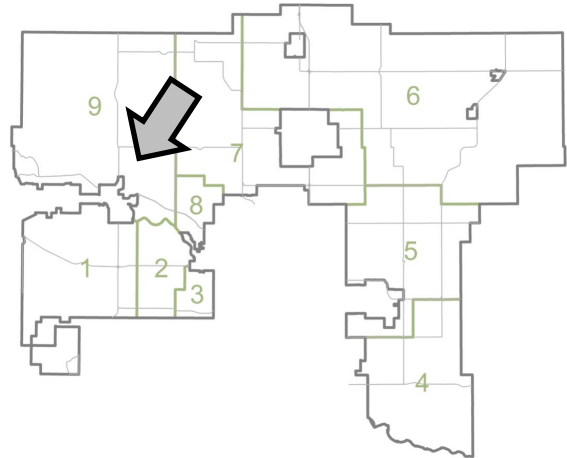
GENERAL LOCATION: Located approximately 0.41 km (1/4 mile) west of Rge. Rd 40 and 0.41 km (1/4 mile) north of Highway 1A.

LAND USE DESIGNATION: Residential –Rural District (R-RUR) under Land Use Bylaw C-8000-2020

ADMINISTRATION RECOMMENDATION:
 Administration recommends Approval in accordance with Option #1.

VARIANCE SUMMARY:

Variance	Requirement	Proposed	Percentage (%)
Accessory Building Parcel Coverage Area	285.00 sq. m (3,067.71 sq. ft.)	493.08 sq. m (5,307.46 sq. ft.)	73.01%



OPTIONS:

- Option #1: THAT Development Permit Application PRDP20202876 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20202876 be refused as per the reasons noted.

AIR PHOTO DEVELOPMENT CONTEXT:



Administration Resources

Evan Neilsen, Planning and Development Services



DEVELOPMENT PERMIT REPORT

Application Date: September 21, 2020	File: 06812031
Application: PRDP20202876	Applicant/Owner: Timothy Dutchak
Legal Description: 40065 RETREAT ROAD (Lot:1 Block:4 Plan:9411847; SE-12-26-04-W05M)	General Location: Located approximately 0.41 km (1/4 mile) west of Rge. Rd 40 and 0.41 km (1/4 mile) north of Highway 1A
Land Use Designation: Residential, Rural District (R-RUR) under Land Use Bylaw C-8000-2020.	Gross Area: ± 1.95 hectares (± 4.82 acres)
File Manager: Evan Neilsen	Division: 9

PROPOSAL:

This application is for the construction of an accessory building (garage), with a variance to the maximum accessory building parcel coverage area, under Section 322. *Note: this application was evaluated in accordance with Land Use Bylaw C-8000-2020.*

The proposed accessory building is existing onsite. The proposal will involve relocating the building to a new location onsite and renovating. The garage is proposed to move further south on the parcel and the final building area of the reconstructed garage will be 87.01 sq. m. (936.56 sq. ft.).

The proposed structure is compliant with the Land Use Bylaw and requires no further variances to the maximum height, required setbacks or permitted area for an accessory building. The number of accessory buildings will remain consistent at three (3) structures and all structures are either compliant with the requirements of the Land Use Bylaw or have the proper permitting in place. The only variance required is a variance to the maximum accessory building parcel coverage area, under Section 322(b),..

Variance(s) Required

Requirement	Required	Proposed	% Relaxation Required
<i>Front Setback</i>	<i>15.0 m (49.21 ft.)</i>	<i>Lots</i>	<i>0.00%</i>
<i>Side setbacks(north)/(south)</i>	<i>6.00 m (9.84 ft.)/ 6.00 m (9.84 ft.)/</i>	<i>Lots/ lots</i>	<i>0.00%</i>
<i>Rear setback</i>	<i>7.0 m (22.97 ft.)</i>	<i>21.8 m (71.52 ft.)</i>	<i>0.00%</i>
<i>Accessory Building Area</i>	<i>190.0 sq. m. (2,045.14 sq. ft.)</i>	<i>87.01 sq. m. (936.56 sq. ft.)</i>	<i>0.00%</i>
<i>Maximum area of all Accessory Buildings</i>	<i>285.00 sq. m. (3,067.71 sq. ft.)</i>	<i>493.08 sq. m. (5,307.46 sq. ft.)</i>	<i>73.01%</i>
<i>Height</i>	<i>7.0 m (22.97 ft.)</i>	<i>4.98 m (16.25 ft.)</i>	<i>0.00%</i>



STATUTORY PLANS:

- Cochrane/ Rocky View County IDP:
 - Policy 2.13.2.1 appears to support this application
- Bearspaw Area Structure Plan:
 - Policy 8.1.1 appears to tangentially support this application

INSPECTORS COMMENTS (Sept 30, 2020)

- Neat & Tidy
- No Construction Started
- No Concerns at time of inspection

CIRCULATIONS:

Building Services:

- a) Advisory condition- Applicant is required to submit a Building permit application prior to the structure being constructed.
- b) Advisory condition- Applicant is required to acquire permits for all electrical, plumbing and gas work for the accessory building.
- c) The attached link below includes the checklist for a personal use accessory/cold storage building-
https://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Building/checklists/Accessory-Buildings_Checklist.pdf
- d) Construction drawings and related documents referenced in the above checklist shall be provided for a BP submission.

Development Compliance:

- Development Compliance has no comments or concerns with the attached application.

Town of Cochrane:

- The Town of Cochrane has no concerns with regards to the proposed development.

Rocky View County Operational Services:

- No response received as of the writing of this report

OPTIONS:

Option #1 (this would allow the development to commence)

APPROVAL, subject to the following conditions:

Description

1. That an accessory building (garage) may be relocated/constructed on the parcel in accordance with the approved site plan and application.
 - i. That the total building area for all accessory buildings is relaxed from **285.00 sq. m. (3,067.71 sq. ft.) to 493.08 sq. m. (5,307.46 sq. ft.)**.

Permanent

2. That the exterior siding and roofing materials of the accessory building shall be similar to the existing dwelling, single-detached and/or area.



3. That the accessory building shall not be used for commercial purposes at any time, except for a home-based business, type I.
4. That the accessory building shall not be used for residential occupancy purposes at any time.
5. That there shall be no more than 1.00 m (3.28 ft.) of fill placed adjacent to or within 15.00 m (49.21 ft.) of the proposed accessory building under construction that is used to establish approved final grades unless a Development Permit has been issued for additional fill.

Advisory

6. That during construction of the accessory building, all construction and building materials shall be maintained on-site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
7. That during construction of the accessory building, the Applicant/Owner shall adhere to the County's Noise Bylaw (C-5772-2003) at all times.
8. That a Building Permit and applicable sub-trade permits shall be obtained through Building Services, prior to construction commencement, using the Accessory Building checklist.
9. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
10. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

Option #2 (this would not allow the development to commence)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.



TWPRD 262

RANCHE RD

A-SML
p8.1

R-RUR
p4.0

R-RUR
p4.0

GREEN VALLEY ESTATES

A-SML
p12.1

12

RGCRD 40

RETREAT RD

RETREAT LANE

A-SML
p8.1

A-SML
p8.1

R-RUR
A-SML
p8.1

BIG HILL RD

HWY 1A

1A

FOCHANE

R-RUR



ROCKY VIEW COUNTY

DEVELOPMENT PERMIT APPLICATION

FOR OFFICE USE ONLY

APPLICATION NO.

20202876

ROLL NO.

06812031

RENEWAL OF

FEES PAID

\$280.00

DATE OF RECEIPT

SEP 21, 2020

APPLICANT/OWNER

Applicant Name: TIM DUTCHAK CATHY COVAN

Email:

Business/Organization Name (if applicable):

Mailing Address:

Postal Code:

Telephone (Primary):

Alternative:

Landowner Name(s) per title (if not the Applicant):

Business/Organization Name (if applicable):

Mailing Address:

Postal Code:

Telephone (Primary):

Email:

LEGAL LAND DESCRIPTION - Subject site

All/part of: SE ¼ Section: 12 Township: 26 Range: 4 West of: 5 Meridian Division:

All parts of Lot(s)/Unit(s):

Block: 4

Plan: 9411847

Parcel Size (ac/ha): 4.82 acres

Municipal Address:

Land Use District:

APPLICATION FOR - List use and scope of work

RE BUILDING THE DETACHED GARAGE FURTHER SOUTH
OF THE PROPERTY TO MAKE ROOM FOR A FUTURE
ADDITION ON THE HOUSE

Variance Rationale included: ☐ YES ☐ NO ☐ N/ADP Checklist Included: ☒ YES ☐ NO

SITE INFORMATION

- a. Oil or gas wells present on or within 100 metres of the subject property(s) ☐ YES ☒ NO
- b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant) ☐ YES ☒ NO
- c. Abandoned oil or gas well or pipeline present on the property ☐ YES ☒ NO
(Well Map Viewer: <https://extmapviewer.aer.ca/AERAbandonedWells/Index.html>)
- d. Subject site has direct access to a developed Municipal Road (accessible public roadway) ☒ YES ☐ NO

AUTHORIZATION

I, TIM DUTCHAK (Full name in Block Capitals), hereby certify (initial below):

☒ That I am the registered owner OR ☐ That I am authorized to act on the owner's behalf.☒ That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.☒ That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is collected in accordance with s.33(c) of the Freedom of Information and Protection of Privacy Act.☒ Right of Entry: I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for purposes of investigation and enforcement related to this application in accordance with Section 542 of the Municipal Government Act.

Applicant Signature

Date

SEPT 21 2020

Landowner Signature

Date

SEPT 21 2020



ROCKY VIEW COUNTY

ACCESSORY BUILDING(s) INFORMATION SHEET

FOR OFFICE USE ONLY	
APPLICATION NO.	20202876
ROLL NO.	06812031
DISTRICT	R-RUR

DETAILS		USE TYPE
Building total floor area (footprint)	87 m ² (m ² / ft. ²)	<input checked="" type="checkbox"/> * Residential
Height of building	14.9 m (m / ft.)	<input type="checkbox"/> Agricultural
Total area of all accessory buildings (For Residential/Agricultural parcels)	493.08 m ² (m ² / ft. ²)	<input type="checkbox"/> Related to Home-Based Business (HBB), Type II (attach HBB Information Sheet)
		<input type="checkbox"/> Other (specify):
BUILDING DESCRIPTION		BUILDING TYPE
Purpose/use of building (workshop, studio, storage etc.): GARAGE / STORAGE		<input type="checkbox"/> Storage Shed
Building material(s): WOOD		<input type="checkbox"/> Barn
		<input type="checkbox"/> Quonset
		<input type="checkbox"/> Farm Building
		<input checked="" type="checkbox"/> Detached Garage
		<input type="checkbox"/> Gazebo
		<input type="checkbox"/> ** Shipping Container (Seacan)
		<input type="checkbox"/> Personal Greenhouse/Nursery
		<input type="checkbox"/> Horse Shelter/Stable
		<input type="checkbox"/> Tent (covered)
		<input type="checkbox"/> Other (specify):
Exterior colour(s): GREY		
Age of building(s), if permits not issued/available:		

VARIANCE(s) REQUESTED (If applicable)
Describe variances requested:
Describe reasons for variances (location, storage needs, etc.):

NOTE: Application must include a Site Plan identifying dimensions, area, and location of the building (including setbacks), floor plan(s), elevations, and requirements of the Development Permit Checklist.

Accessory Buildings, Land Use Bylaw, C-8000-2020:

* An Accessory Building on a parcel in a Residential District shall be similar to, and complement, the Principal Building in exterior material, colour and appearance.

** Where the Accessory Building is a Shipping Container it:

a) Shall not be attached, in any way, to a principal building;

b) Shall not be stacked in any Non-Industrial District; and

c) Shall be visually screened from public roads and adjacent properties in a manner which satisfies the Development Authority.

Applicant Signature

Date

SEPT 21 2020

September 21, 2020

40065 Retreat Road
Rocky View County
T4C 2W4

Rocky View County
Development Permits

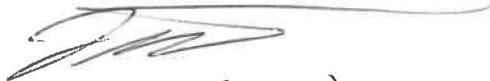
To whom it may concern,

This letter is in support of our application for a Development Permit to rebuild our garage on a new site on our property. The new garage keeps the same floor area with a slight reconfiguration of the footprint.

We are asking for this in preparation for a future addition on the house which would be situated where the current garage sits. The new proposed location would be better suited to our use.

Sincerely yours,

Tim Dutchak

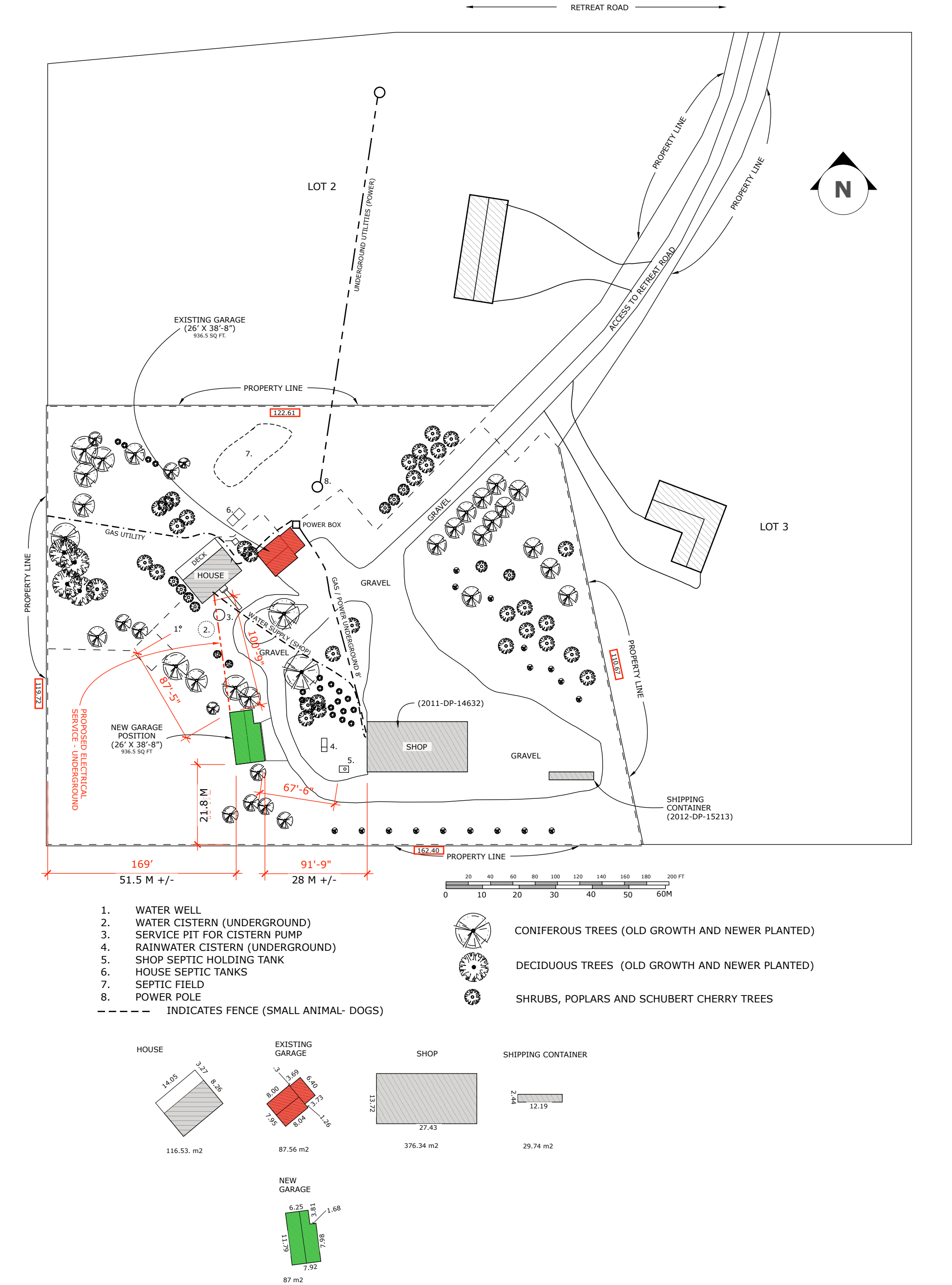


Cathy Cowan

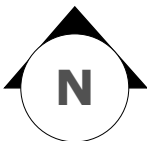


40065 Retreat Rd
LOT 1 BLK 4 PLAN 941 1847
SE ¼. 12-26-4-W5

APPLICATION FOR DEVELOPMENT PERMIT
ROCKY VIEW COUNTY
GARAGE RELOCATE
40065 RETREAT ROAD
LOT 1 BLK 4 PLAN 941 1847
SE ¼ 12-26-4-W5M



project: GARAGE RELOCATE	date: SEPTEMBER 7, 2020	2 AGENDA Page 153 of 290
drawing: SITE PLAN	scale: AS NOTED	
location: 40065 RETREAT ROAD LOT 1, BLK 4, PLAN 941 1847 SE1/4 12-26-4-W5 M		



GOOGLE MAPS IMAGE C. 2015

CURRENT
GARAGE
LOCATION

PROPOSED
NEW
GARAGE
LOCATION

project: GARAGE RELOCATE	date: SEPTEMBER 7, 2020	<div>3</div> <div>AGENDA</div> <div>Page 154 of 290</div>
drawing: SITE PLAN AERIAL PHOTO	scale: NO SCALE	
location: 40065 RETREAT ROAD LOT 1, BLK 4, PLAN 941 1847 SE1/4 12-26-4-W5 M		

SEE PAGE 3
FOR LOCATION OF
CAMERA FOR
EACH IMAGE



A. VIEW FROM ROAD - WITHOUT GARAGE



A. VIEW FROM ROAD - WITH GARAGE

NEW GARAGE
(SAME SIZE)
PLACEMENT

OLD GARAGE
TO BE DEMOLISHED



B. VIEW OF SITE SLOPE



C. ANGLE VIEW WITH HOUSE OF SITE



D. VIEW OF ACCESS TO GARAGE

date: SEPTEMBER 7, 2020

scale: NO SCALE

project: GARAGE RELOCATE

drawing: SITE PHOTOS

location: 40065 RETREAT ROAD
LOT 1, BLK 4, PLAN 941 1847
SE1/4 12-26-4-W5 M



E. PANORAMA VIEW - DISTORTED - from behind shop



F. PANORAMA VIEW - DISTORTED - from high corner of acreage



G. HOUSE

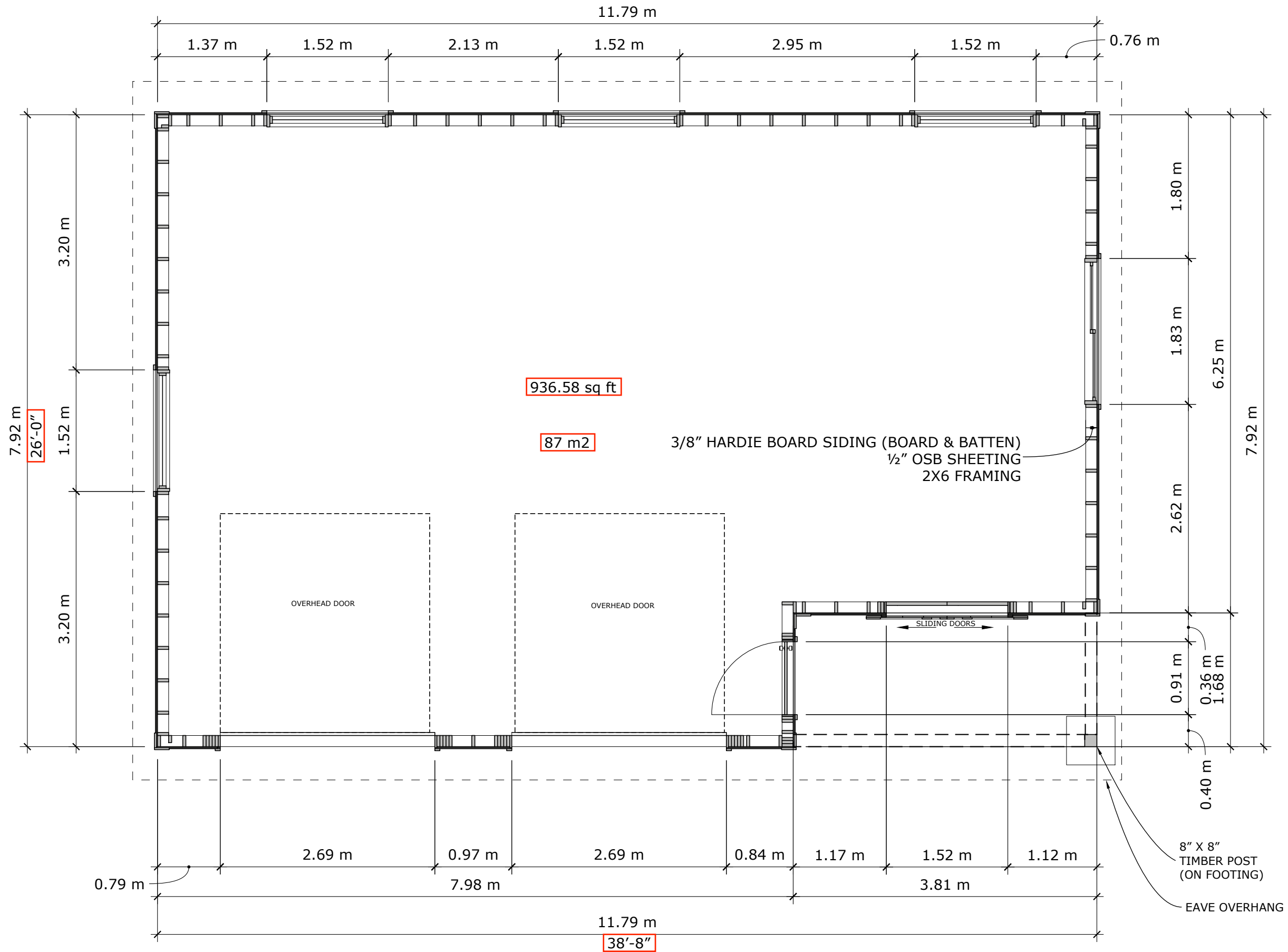


H. SHOP



I. OLD GARAGE

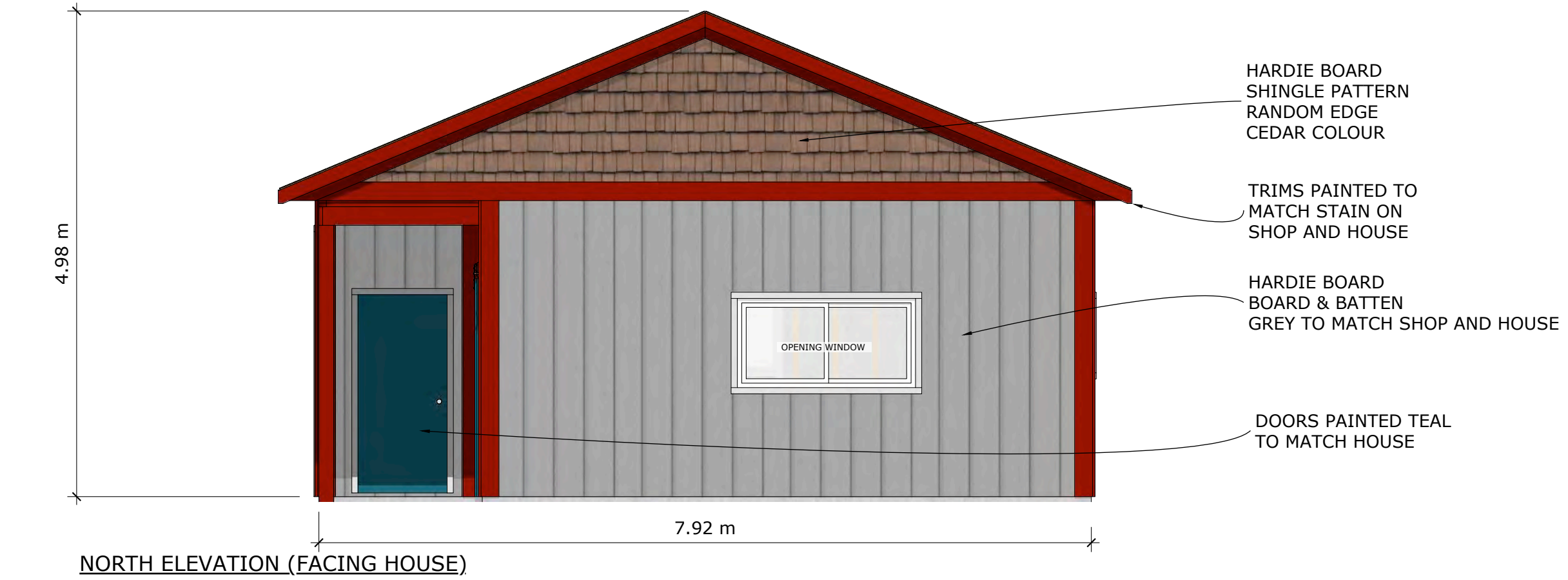
SEE PAGE 3
FOR LOCATION OF
CAMERA FOR
EACH IMAGE

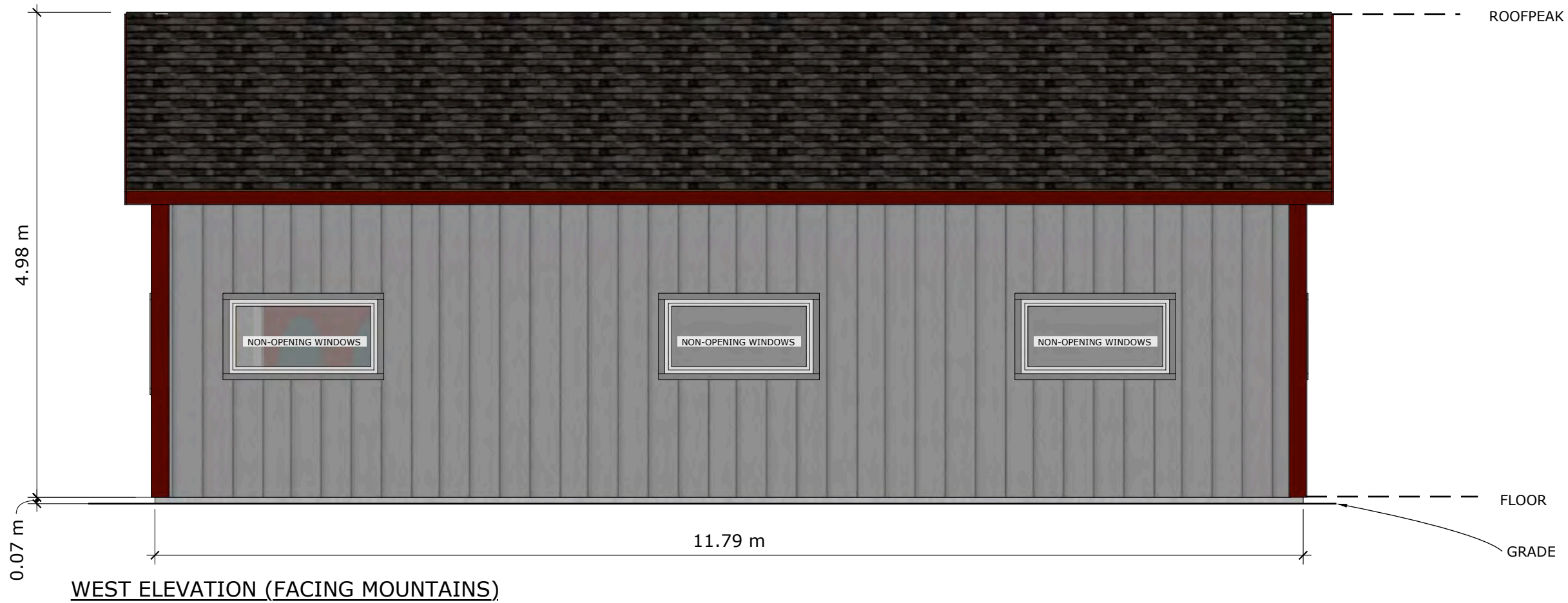


project: GARAGE RELOCATE date: SEPTEMBER 7, 2020

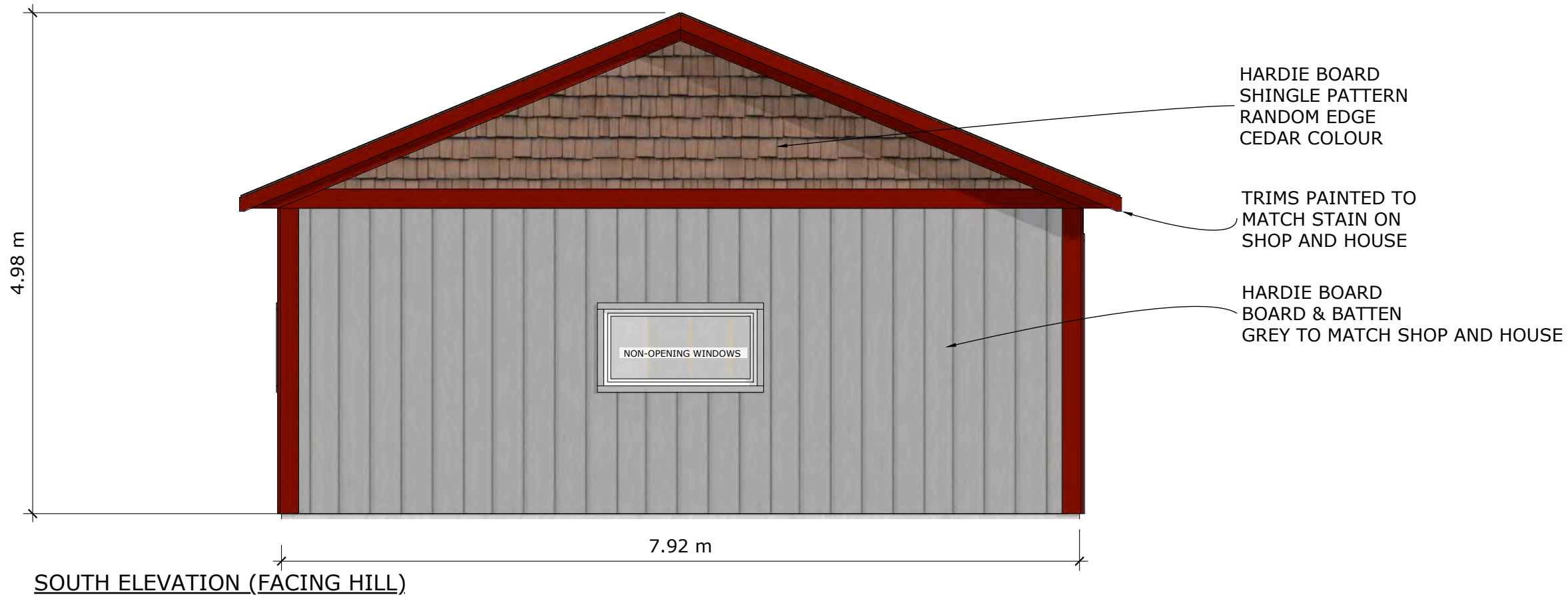
drawing: FLOOR PLAN scale: 1:50

location: 40065 RETREAT ROAD
LOT 1, BLK 4, PLAN 941 1847
SE1/4 12-26-4-W5 M

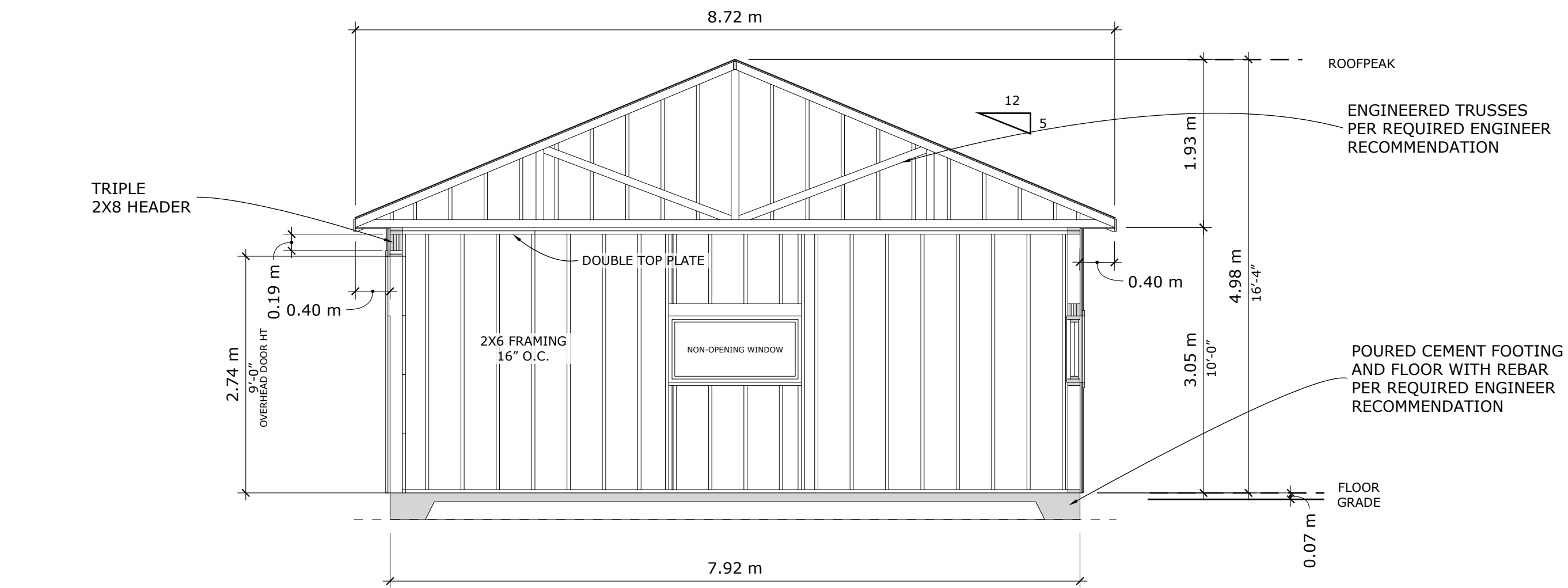




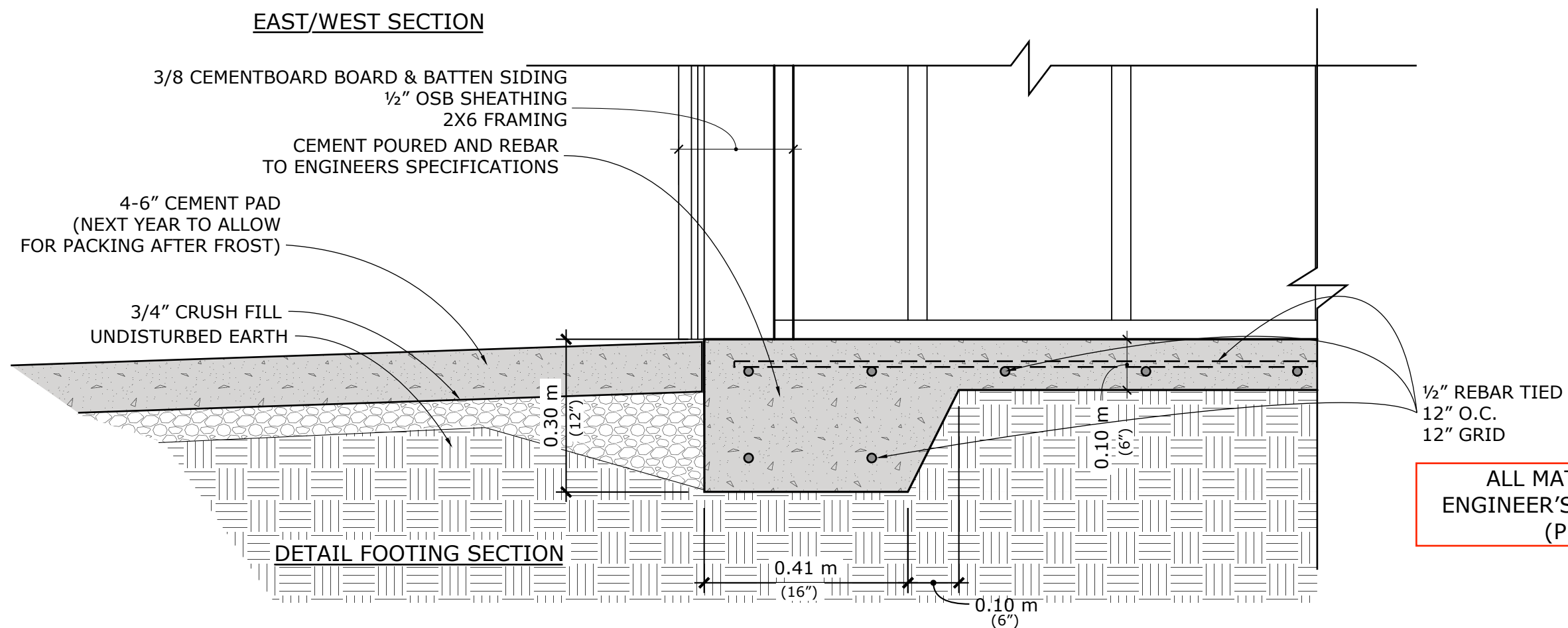
WEST ELEVATION (FACING MOUNTAINS)



SOUTH ELEVATION (FACING HILL)



EAST/WEST SECTION



ALL MATERIALS - PER
ENGINEER'S SPECIFICATIONS
(PENDING)

date: **SEPTEMBER 7, 2020**

scale: **1:50**

project: **GARAGE RELOCATE**

drawing: **SECTION & FOUNDATION DETAIL**

location: **40065 RETREAT ROAD
LOT 1, BLK 4, PLAN 941 1847
SE1/4 12-26-4-W5 M**

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: October 29, 2020

SUBJECT: Development Item: *Dwelling, Single Detached*

APPLICATION: PRDP20202435

USE: Listed DC use, with Variances

DIVISION: 9

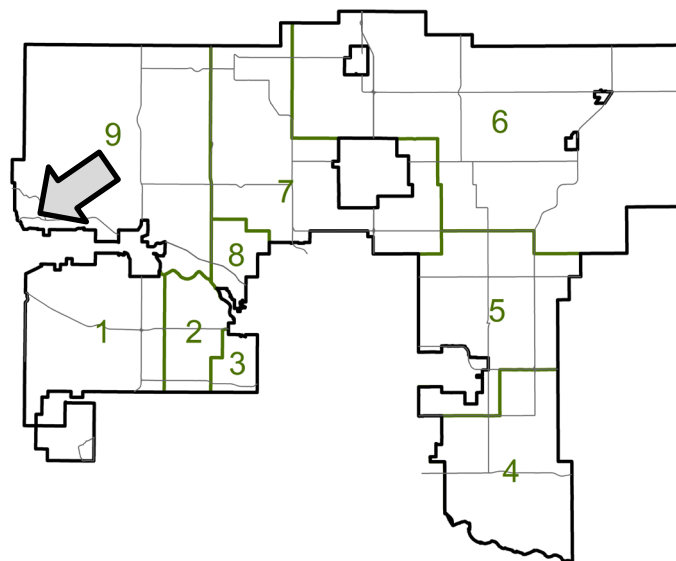
APPLICATION: dwelling, single detached (existing), construction of an addition and relaxation to the maximum total habitable building area

GENERAL LOCATION: Located approximately 0.41 km (1/4 mile) south of Hwy. 1A and 0.41 km (1/4 mile) west of Rge. Rd. 60.

LAND USE DESIGNATION: Direct Control Bylaw 123 (DC-123) and under Land Use Bylaw C-4841-97.

ADMINISTRATION RECOMMENDATION:

Administration recommends approval in accordance with Option #1.



VARIANCE SUMMARY:

Variance	Requirement	Proposed	Percentage (%)
Total Habitable Building Area	88.00 sq. m (947.22 sq. ft.)	93.92 sq. m (1,011.00 sq. ft.)	6.73%

OPTIONS:

Option #1: THAT Development Permit Application PRDP20202435 be approved with the conditions noted in the Development Permit Report, attached.

Option #2: THAT Development Permit Application PRDP20202435 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Sandra Khouri, Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: August 20, 2020	File: 10013115
Application: PRDP20202435	Applicant/Owner: Aura Quality Homes Ltd
Legal Description: Lot UNIT 112, Block , Plan 1111762, NE-13-26-06-05	General Location: located approximately 0.41 km (1/4 mile) south of Hwy. 1A and 0.41 km (1/4 mile) west of Rge. Rd. 60
Land Use Designation: Direct Control District (DC-123) Cell A and under Land Use Bylaw C-4841-97.	Gross Area: ± 0.06 hectares (± 0.16 acres)
File Manager: Sandra Khouri	Division: 9

PROPOSAL:

The proposal is for dwelling, single detached (existing), construction of an addition and relaxation to the maximum total habitable building area. *Note, this application was assessed in accordance with DC 123 and under Land Use Bylaw C-4841-97.*

This property has an open enforcement file. Building Services conducted an inspection of the property, under the dwelling, single detached building permit PRBD20193588, and noted that the Applicant had constructed an addition with a greater area than described in the submitted floor plans. As such, Development Compliance had the owner apply for a development permit.

Requirements for Residential Area Cell 'A'				
Section	Regulation	Required	Proposed	Variance
2.3.4 a)	Dwelling, Single Detached (main floor)	56.00 sq. m (603.00 sq. ft.)	55.74 sq. m (600.00 sq. ft.)	0%
2.3.4 a)	Dwelling, Single Detached (total)	88.00 sq. m (947.22 sq. ft.)	93.92 sq. m (1,011.00 sq. ft.)	6.73%
2.3.4 f)	Accessory buildings (main floor)	37.20 sq. m (400.42 sq. ft.)	37.16 sq. m (400.00 sq. ft.)	0%
2.3.4 f)	Accessory buildings (total)	60.40 sq. m (650.00 sq. ft.)	60.11 sq. m (647.00 sq. ft.)	0%
2.3.5	Maximum number of accessory buildings	1	1	0%
2.3.6	Maximum building height (accessory buildings)	6.00 m (19.70 ft.)	5.90 m (19.36 ft.)	0%
2.3.6	Maximum building height (dwelling, single detached)	9.00 m (29.50 ft.)	8.17 m (26.80 ft.)	0%

2.3.7	Maximum site coverage (all buildings)	35%	25%	0%
2.4.1	Front yard	2.40 m (7.87 ft.)	Lots	0%
2.4.2	Side yard	2.40 m (7.87 ft.)	2.53 m (8.30 ft.) / 2.40 m (7.87 ft.)	0%
2.4.3	Rear yard (backing onto a common greenspace)	0.60 m (2.00 ft.)	Lots	0%

STATUTORY PLANS:

The site does not fall within an Area Structure Plan or an Intermunicipal Development Plan. Cottage Club Ghost Lake Conceptual Scheme is established for this area; however, the plan does not provide guidance on applications of this nature. Application assessed in accordance with relevant sections of the Direct Control Bylaw (DC 123).

INSPECTOR'S COMMENTS:

Inspection not completed at the time of this report.

CIRCULATIONS:
Alberta Transportation

- In reviewing the application, the proposed development falls within the control distance of a provincial highway as outlined in the Highways Development and Protection Act / Regulation. The proposed development, however, will not cause any concern for ongoing highway operation or future highway expansion.
- Pursuant to Section 25(3)(c) of the Highways Development and Protection Regulation, Alberta Transportation issues an exemption from the permit requirements to Michael Heier for the development listed above.

MD of Bighorn

- No comments.

Building Services Review

- No concerns subject to BP.

Development Compliance Officer Review

- This application is the result of an enforcement issue. As an application has been filed, Development Compliance has no comments at this time.

RECOMMENDATION:

Based on assessment of the application details, the requested variance is minor. As such, Administration recommends approval in accordance with Option # 1.

OPTIONS:

Option #1: (this would approve the proposed development)

APPROVAL subject to the following conditions:

Description:

1. That the addition to the second floor of the existing *Dwelling, Single Detached* may remain on the subject property, in accordance with the submitted application details and site plan, as follows:
 - i. That the maximum total habitable floor area of the dwelling, single detached is relaxed from **88.00 sq. m (947.22 sq. ft.) to 93.92 sq. m (1,011.00 sq. ft.)**.

Advisory:

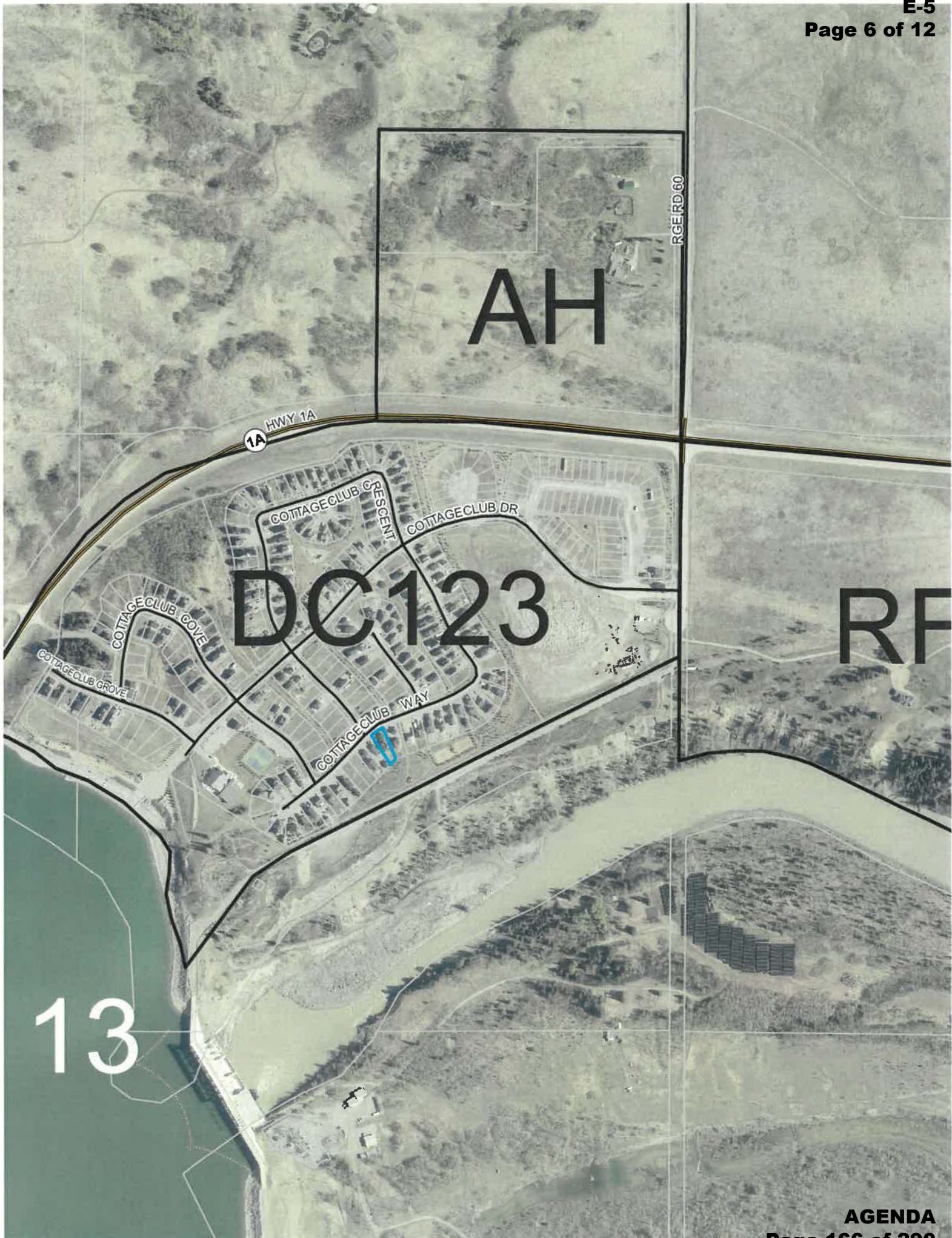
2. That revised Building plans shall be submitted to Building Services, related to Building Permit #PRBD20193588I, identifying all relevant details for the addition.
3. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

Option #2: (this would not allow the proposed development)

REFUSAL as per the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY
Cultivating Communities

20202435

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted 330.00	File Number 10013115
Date of Receipt Aug 20/20	Receipt # 2020 025137

Name of Applicant KEN DENCHUK

Email [REDACTED]

For Agents please supply Business/Agency/ Organization Name AURA QUALITY HOMES

Registered Owner (if not applicant) MICHAEL HEIER

Mailing Address [REDACTED]

Telephone (B) [REDACTED]

(H) [REDACTED]

Fax [REDACTED]

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the NE $\frac{1}{4}$ Section 13 Township 26 Range 06 West of 5 Meridian
- b) Being all / parts of Lot 112 Block 2 Registered Plan Number 1111762
- c) Municipal Address 349 COTTAGE CLUB WAY.
- d) Existing Land Use Designation DC-123 Parcel Size .1616 acres Division 9

2. APPLICATION FOR

SQUARE FOOTAGE RELAXATION ON UPPER FLOOR OF HOME.
ADDING 64 SQ/FT OF FLOOR SPACE.

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes No X
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility?
(Sour Gas facility means well, pipeline or plant) Yes No X
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes No X
- d) Does the site have direct access to a developed Municipal Road? Yes X No

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I KEN DENCHUK hereby certify that I am the registered owner
(Full Name in Block Capitals)

X I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

Affix Corporate Seal
here if owner is listed
as a named or
numbered company

Applicant's Signature [Signature]

Date AUG 20 / 2020

Owner's Signature [Signature]

Date AUG 19 / 2020

5. RIGHT OF ENTRY

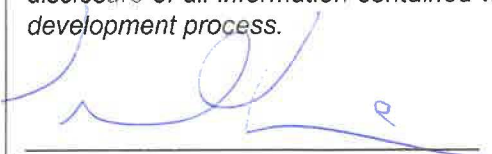
I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Michael Heier, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.



Signature

Aug 19 / 2020

Date



August 20th,2020

To whom it may concern,

The nature of this relaxation, is we are requesting extra square footage to the lake home @ 349 Cottageclub Way, Ghost Lake. The added footage is 64 square feet to the already existing 950 square feet of living space. The space will be used as storage and tiny office.

Best Regards,

A handwritten signature in black ink, appearing to read "Ken Denchuk", with a stylized flourish at the end.

Ken Denchuk

Please be safe and healthy

DGD/KRD



ROCKY VIEW COUNTY

Building Services

262075 Rocky View Point, Rocky View County, AB T4A 0X2
 TEL 403-230-1401 EMAIL building@rockyview.ca
 WEB www.rockyview.ca

Questions about your permit, please contact: ph: 403-230-1401 and ask to speak with a Safety Codes Technician or email: building@rockyview.ca

BUILDING PERMIT	DATE ISSUED	21 Oct 2019	EXPIRATION DATE	20 Oct 2020	ROLL #	10013115	PERMIT #	PRBD20193588
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01-New construction

Single Family Dwelling

Single Family Dwelling

Municipal Address	349 COTTAGECLUB WAY, Rocky View County AB	Unit/Bay #	
Legal Description	Lot UNIT 112 Block Plan 1111762 Pt. NE Sec.13	Twp. 26	Rge. 06 W05M

Property Owner Heier, Michael E and Lisa

Applicant	Aura Quality Homes Ltd	326 Cooperstown Common	Airdrie, AB T4B 2L2	Phone:	Res/Cell: (403) 470-3194
				Bus:	Fax:
Contractor	Aura Quality Homes Ltd	326 Cooperstown Common	Airdrie, AB T4B 2L2	Phone:	Res/Cell: (403) 470-3194
				Bus:	Fax:

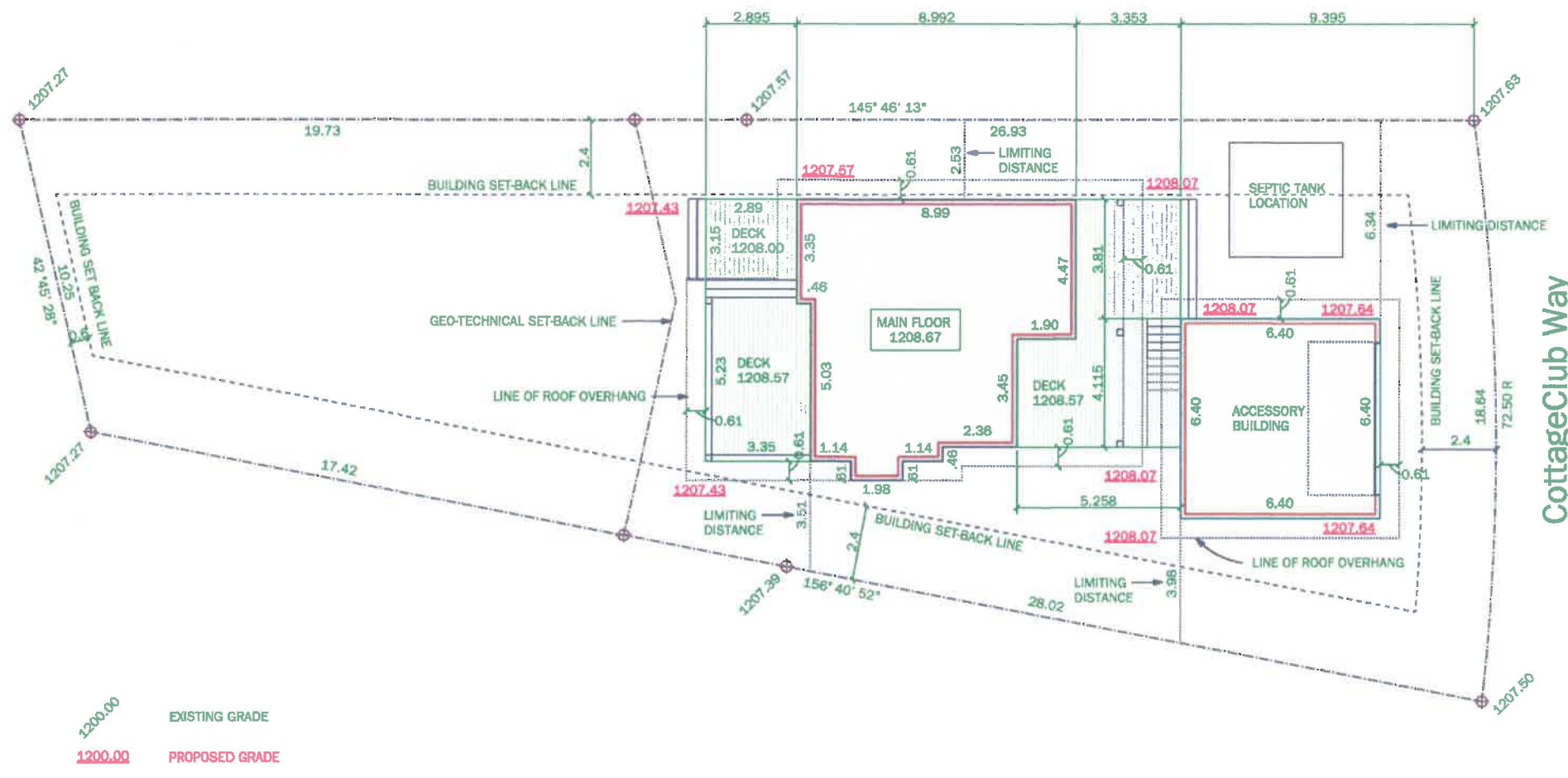
Floor Area: 87 sq m	The personal information provided as part of this application is collected under the Safety Codes Act and the Municipal Government Act and in accordance with the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, safety codes compliance verification and monitoring and property assessment purposes. The name of the permit holder and the nature of the permit is available to the public upon request. If you have any questions about the collection or use of the personal information provided, please contact Rocky View County.	Existing DW. Units: 0	No. of Acres: 0.16
Storeys: 2		New DW. Units: 1	Estimated Value: \$500,000.00
Exterior Finish: James Hardie		I certify that I am the named owner/agent in this application	
Fireplace: Wood: 1		SIGNATURE<>	
ALL PERMITS REQUIRE INSPECTIONS. FOR BUILDING INSPECTIONS CALL 403.520.1656			
Permit: \$1,310.26	Development Permit	Permit Issued By	
Foundation: \$100.00	No.	John Kennedy	D#: 9338
SCF: \$55.81	Date Issued:	Building Inspector	Signature
Permit Cost: \$1,466.07		Date Issued:	
			Subject to conditions on plans and in plan examination report
			21 Oct 2019

Warning: In accordance with the provision of the Alberta Building Code, no person shall use or occupy or allow the occupancy of any building, or part thereof, unless the owner has obtained an occupancy permit from Rocky View County.

The above signed hereby applies for a permit according to the Plans and Specifications herewith submitted and agrees to comply with all Bylaws and Municipal regulations, it being expressly understood that the issuing of a permit does not relieve the applicant from complying with all said Bylaws of Municipal regulations, though not called for in the specifications or shown on the plans submitted. The applicant further agrees that if a permit is revoked for any cause or irregularity or non-conformance of the said Bylaws or Regulations that in consideration of the issuing of the permit all claims are waived arising therefore against the Corporation of Rocky View County.

2.2.10.9. Responsibility for Compliance

1) Neither the issuance of a permit, nor inspections made by the authority having jurisdiction, shall in any way relieve the owner of a building from full responsibility for carrying out the construction or having the construction carried out in accordance with the requirements of the Safety Codes Act and regulations made pursuant to that Act, this Code, or the permit, including compliance with any special conditions required by the authority having jurisdiction.



ADDRESS: 349 COTTAGECLUB WAY

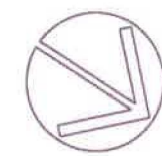
LEGAL DESCRIPTION:
LOT - 112
PHASE - 2
PLAN - 1111762

ISSUED FOR: GRADE SLIP
9-16-19

LOT AREA - 658.57 M2 (7088.82 S.F.)
BUILDING AREA - 65.56 M2 (706 S.F.)
FRONT DECK AREA - 33.15 M2 (357 S.F.)
REAR DECK AREA - 26.57 M2 (286 S.F.)
ACCESSORY BUILDING AREA - 40.97 M2 (441 S.F.)
LOT COVERAGE (INCLUDING DECKS/PORCH'S) -
166.25 M2 (1,790 S.F.) - 25.25%

CottageClub Way

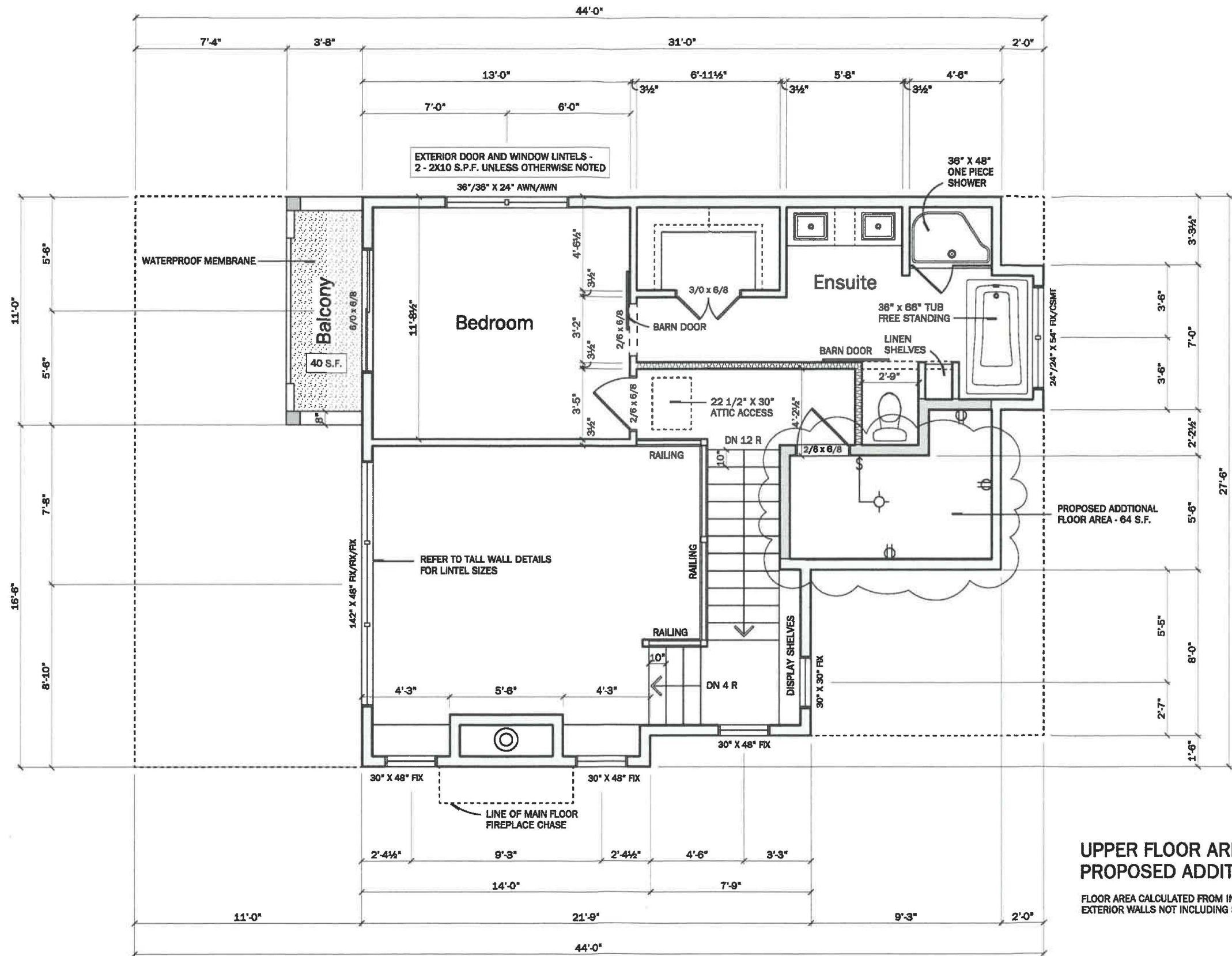
S.01 Site Plan



1200.00 EXISTING GRADE
1200.00 PROPOSED GRADE

BUILDER TO SURVEY EXISTING GRADES AND REPORT ANY DISCREPANCIES
WITH DESIGN GRADES TO RJD DESIGN MANAGEMENT
SURVEYOR TO USE KNOWN BENCH MARKS, NOT ROAD EDGE

SCALE - 1:200
DRAWN: R.J.D.



UPPER FLOOR AREA - 347 S.F.
PROPOSED ADDITIONAL FLOOR AREA - 64 S.F.
FLOOR AREA CALCULATED FROM INSIDE FACE OF
EXTERIOR WALLS NOT INCLUDING STAIRWELL



349 CottageClub Way
Ghost Lake, Alberta

Upper Floor Plan

Legal Description: Lot: 112 Phase: 2 Plan: 1111762	Issued for: Relaxation Request		A.07
	Date: 8/12/2020		
	Designed by: R.J.D.	Drawn by: R.J.D.	Scale: 3/16" = 1'-0"



PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: October 29, 2020

DIVISION: 1

APPLICATION: PRDP20202423

SUBJECT: Development Item: *Accessory Building*

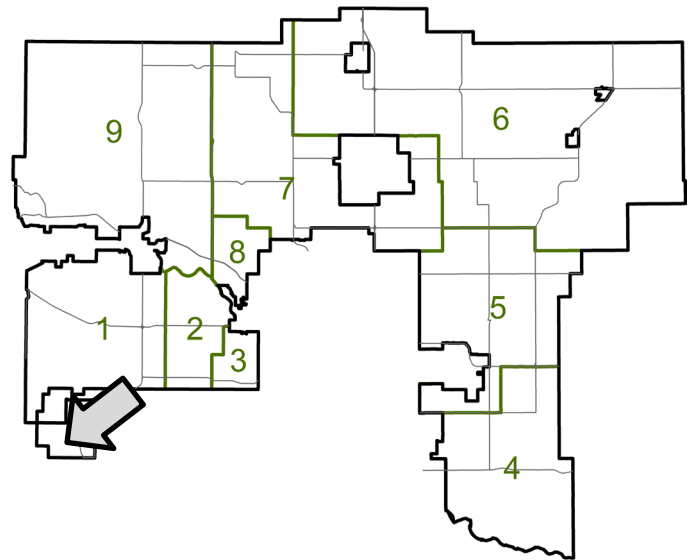
USE: Discretionary use, with Variances

APPLICATION: Construction of an accessory building (oversize shop), relaxation of the maximum building height and relaxation of the maximum accessory building parcel coverage.

GENERAL LOCATION: Located approximately 0.41 km (1/4 mile) south of Twp. Rd. 232 on the east side of Rge. Rd. 54.

LAND USE DESIGNATION: Residential – Rural District (R-RUR) under Land Use Bylaw C-8000-2020

ADMINISTRATION RECOMMENDATION: Administration recommends Approval in accordance with Option #1.



VARIANCE SUMMARY:

Regulation	Requirement	Proposed	Variance
318 Permitted use	<190.00 m ² (2045.14 ft ²)	222.96 m ² (2400.00 ft ²)	17.34%
321 Maximum Building Height	7.00 m (22.97 ft.)	7.86 m. (25.80 ft.)	12.28%
322 Maximum Accessory Building Parcel Coverage	285.00 m ² (3067.71 ft ²)	323.30 m ² (3480.00 ft ²)	13.43%

OPTIONS:

Option #1: THAT Development Permit Application PRDP20202423 be approved with the conditions noted in the report.

Option #2: THAT Development Permit Application PRDP20202423 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Natalie Robertson, Planning and Development Services



DEVELOPMENT PERMIT REPORT

Application Date: August 19, 2020	File: 03909050
Application: PRDP20202423	Applicant/Owner: Johnson, Chris
Legal Description: Lot 5; Plan 9212650 NW-09-23-05-W05M	General Location: Located approximately 0.41 km (1/4 mile) south of Twp. Rd. 232 and on the east side of Rge. Rd. 54
Land Use Designation: Residential, Rural District (R-RUR), under Land Use Bylaw C-8000-2000.	Gross Area: ± 1.59 hectares (± 3.94 acres)
File Manager: Natalie Robertson	Division: 1

PROPOSAL:

The proposal is for the construction of an accessory building (oversize shop), with a relaxation of the maximum height and a relaxation of the maximum accessory building parcel coverage. *Note, the application was assessed in accordance with Land Use Bylaw C-8000-2020, as requested by the Applicant.*

The proposed shop is a pole building, approximately 222.96 sq. m (2,400.00 sq. ft.) in footprint. The shop will include a metal roof and side walls, including a front wall of half log siding. The shop will be dark green in metal cladding and the log siding will be stained to match the existing dwelling, single detached. The building will be utilized for personal storage of equipment, tools, belongings and as a workshop.

The other accessory buildings on the property include:

- Accessory Building (detached garage) 62.43 m² (672.00 ft²)
- Accessory Building (garden shed) 8.91 m² (96.00 ft²)
- Accessory Building (sprung tent) 28.98 m² (312.00 ft²)

With the shop proposal, there will be single-lot regrading (appears up to 1.06 m [3.50 ft.] in cutting) and placement of clean fill (appears up to 0.05 m [0.16 ft.]). However, supporting technical and final confirmation will be required upon approval.

LAND USE BYLAW:

Residential, Rural District (R-RUR)

Requirements (Proposed Shop)				
Line	Regulation	Required (m)	Proposed (m)	Variance
318	Uses, Discretionary	Accessory buildings >190 m ² (2045.14 ft ²)	222.96 m ² (2400.00 ft ²)	17.34%

321 (a)	Maximum Height Accessory Buildings	7.00 m (22.97 ft.)	7.86 m. (25.80 ft.)	12.28%
322 (b)	Maximum Accessory Building Parcel Coverage	285 m² (3067.71 ft²).	323.30 m² (3480.00 ft²)	13.43%
323	Yard, Front – County	45.00 m (147.64 ft.)	lots	0%
323	Yard, Side – all others	3.00 m (9.84 ft.)	12.19 m (40.00 ft.)	0%
323	Yard, Rear – all others on parcels over 4.0 ha (9.88 ac)	30.00 m (98.43 ft.)	66.14 m (217.00 ft.)	0%

Permit History

Permit Number	Permit Type	Status
1992-BP-3111	Building – Dwelling Addition	Occupancy Granted
PRDP20144316	Development - Accessory Dwelling Unit	Complete
PRBD20145159	Building – Accessory Dwelling Unit	Occupancy Granted

STATUTORY PLANS:

The subject property is located within the Greater Bragg Creek Area Structure Plan. The application was also evaluated in accordance with the Land Use Bylaw C-8000-2020

INSPECTOR'S COMMENTS (September 10, 2020):

- Site is very well screened
- Grading appears to have started in preparation for building
- Site is marked 9with string) for building location
- Fairly neat and tidy
- No concerns at time of inspection

CIRCULATIONS:

Transportation Services

Applicant to contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.



Building Services Review

- Applicant is required to submit a Building permit application prior to the structure being constructed.
- Applicant is required to acquire permits for all electrical, plumbing and gas work for the accessory building.

Development Compliance Officer Review

- No concerns

Planning and Development Services - Engineering Review

General

- The review of this file is based upon the application submitted. Should the submission material be altered or revised at subsequent development stages these conditions/recommendations may be subject to change to ensure best practices and procedure.

Geotechnical:

- As part of the application, the applicant/owner is also proposing to alter and conduct slope mitigation measures on existing slopes that are steeper than 15% and 30%.
 - Prior to issuance, the applicant/owner is required to provide a grading site plan that shows the extent of the proposed grading work. The grading plan should provide pre-development and post-development contours.
 - Prior to issuance, the applicant/owner will be required to submit a slope stability analysis conducted and stamped by a professional engineer that assess the stability of the slope and provides recommendations for the proposed construction over the slope. The applicant/owner will be required to implement the recommendations from the analysis.
 - Prior to issuance, the applicant/owner will be required to provide a deep fills report that provide placement recommendations for areas of fill greater than 1.2 m in depth.
 - As a permanent condition, the applicant/owner is required to provide compaction testing results verifying that areas greater than 1.2m in depth were placed in accordance with the deep fills report accepted by the County.

Transportation:

- Engineering has no requirements at this time.
- There is an existing road approach off of Range Road 54 providing access to the subject land.
- The applicant/owner will not be required to pay the transportation offsite levy, as per the applicable TOL bylaw at time of DP issuance, as the development is directly associated with the construction of a dwelling.

Sanitary/Waste Water:

- Engineering has no requirements at this time.



Water Supply And Waterworks:

- Engineering has no requirements at this time.

Storm Water Management:

- It appears that the resulting imperviousness ratio over the subject land is greater than 20%.
 - Prior to issuance, the applicant/owner will be required to provide a memo and/or stormwater drainage drawing conducted and stamped by a professional engineer that demonstrates that post-development drainage does not exceed pre-development drainage conditions in accordance with the County Servicing Standards.
 - As a permanent condition, the applicant/owner will be required to implement the recommendations of the memo and/or stormwater drawing accepted by the County.

Environmental:

- Prior to issuance, the applicant/owner will be required to submit an erosion and sediment control plan to outline ESC measures (i.e. silt fence, stabilization, seeding of topsoil, etc.) to be implemented during the grading work and in perpetuity.
- As an advisory condition, the applicant/owner will be required to obtain all applicable AEP approvals should the development directly impact any wetlands.

OPTIONS:

Option #1 (this would allow the development to commence)

APPROVAL, subject to the following conditions:

Description:

1. That construction of an accessory building (oversize shop), **approximately 222.96 m² (2,400.00 ft²) in area**, may be constructed on the subject land in general accordance with the approved Site Plan, supporting Plot Plan drawings and submitted application, as amended.
 - i. That the maximum height requirement for the building is relaxed from **7.00 m. (22.97 ft.)** to **7.86 m. (25.80 ft.)**;
 - ii. That the maximum accessory building parcel coverage is relaxed from **285.00 m² (3,067.71 ft²)** to **323.30 m² (3,480.00 ft²)**; and
 - iii. Single-lot regrading and placement of clean fill in accordance with the final grading site plan.

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall submit a grading site plan that shows the extent of the proposed grading work, in accordance with County Servicing Standards. The grading plan shall provide pre-development and post-development contours.
3. That prior to issuance of this permit, the Applicant/Owner shall submit a slope stability analysis, conducted and stamped by a professional engineer, that assess the stability of the slope and



provides recommendations for the proposed construction over the slope, to the satisfaction of the County.

4. That prior to issuance of this permit, the Applicant/Owner shall submit a memo and/or stormwater drainage drawing, conducted and stamped by a professional engineer, that demonstrates that post-development drainage does not exceed pre-development drainage conditions in accordance with County Servicing Standards.
5. That prior to issuance of this permit, the Applicant/Owner shall submit an erosion and sediment control plan, to outline ESC measures (i.e. silt fence, stabilization, seeding of topsoil, etc.) to be implemented during the grading work and in perpetuity, in accordance with County Servicing Standards.
6. That prior to issuance of this permit, the Applicant/Owner shall submit a deep fills report, that provides placement recommendations for areas of fill greater than 1.20 m (3.93 ft.) in depth, to the satisfaction of the County.
7. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions
 - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

Permanent:

8. That the exterior siding and roofing materials of the accessory building shall be similar/cohesive to the existing dwelling, single detached.
9. That the accessory building shall not be used for residential occupancy or commercial purposes at any time unless approved by the separate Development Permit.
10. That the existing trees and terrain shall be retained onsite except as required to meet the development proposal and conditions of this permit. Any disturbed areas shall be replanted with vegetation similar to existing predevelopment ground cover upon development completion.
11. That during construction, dust control shall be maintained on the site and that the Applicant/Owner shall take whatever means necessary to keep visible dust from blowing onto adjacent lands.
12. That any dirt removed from the site during construction shall be hauled off in a covered trailer/truck that will prevent dust/small rocks from blowing onto the road, or from causing issues with other vehicles on the road.
13. That the entire site shall be maintained in a neat and orderly manner at all times and all waste material shall be deposited and confined in an appropriate enclosure. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways.
14. That all on-site lighting shall be "dark sky" and all private lighting, including site security lighting and parking area lighting, shall be designed to conserve energy, reduce glare, and reduce uplight. All development shall be required to demonstrate lighting design that reduces the extent of spill-over glare and eliminates glare as viewed from nearby residential properties.
15. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a prior to issuance or occupancy condition,

shall be implemented and adhered to in perpetuity including any recommendations of the stormwater memo and/or deep fills report.

Advisory:

16. That during construction, all construction and building materials shall be maintained on-site in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
17. That a Building Permit and applicable sub-trade permits shall be obtained through Building Services, prior to any construction taking place.
18. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the date of issue, the permit is deemed to be null unless an extension to this permit shall first have been granted by the Development Authority.
19. That if this Development Permit is not issued by **May 31, 2021**, then this approval is null and void and the Development Permit shall not be issued.
20. That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.

Note: The Applicant/Owner shall be responsible for all Alberta Environment approvals/compensation if any wetland is impacted by the proposed development.

Option #2 (this would not allow the development)

REFUSAL, for the following reasons:

1. That the requested height relaxation exceeds the maximum allowable requirements of Section 321(a) of the Land Use Bylaw C-8000-2020.
2. That the requested accessory building parcel coverage relaxation exceeds the maximum allowable requirements of Section 322(b) of the Land Use Bylaw C-8000-2020
3. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY
Cultivating Communities

20202423

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted \$265.00	File Number 03909050
Date of Receipt Aug 19, 2020	Receipt # 2020025125

Name of Applicant Christopher Johnson

Email [REDACTED]

For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) _____

Mailing Address _____

Postal Code _____

Telephone (B) _____

(H) _____

Fax _____

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the NW $\frac{1}{4}$ Section 9 Township 23 Range 5 West of 5TH Meridian
- b) Being all / parts of Lot 5 Block _____ Registered Plan Number 9212650
- c) Municipal Address 231178 RANGE ROAD 54
- d) Existing Land Use Designation R2 Parcel Size 3.94 ACRES Division 01

2. APPLICATION FOR

ACCESSORY BUILDING

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No X
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No X
(Sour Gas facility means well, pipeline or plant)
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No X
- d) Does the site have direct access to a developed Municipal Road? Yes X No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I CHRISTOPHER JOHNSON hereby certify that X I am the registered owner
(Full Name in Block Capitals)

_____ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

Affix Corporate Seal
here if owner is listed
as a named or
numbered company

Applicant's Signature _____

Date _____

Owner's Signature Chris Johnson

Date 18-AUG-2020

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, CHRISTOPHER JOHNSON, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.



Signature

18-AUG-2020

Date



ROCKY VIEW COUNTY
Cultivating Communities

APPLICATION FOR AN ACCESSORY BUILDING

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date Received	Receipt #

Name of Applicant Christopher Johnson

Email [REDACTED]

1. DETAILS OF ACCESSORY BUILDING

	Bylaw	Proposed
Accessory building size maximum	1614.59 sq ft	2400 sq ft
Accessory building height	18.04 ^{22.90} ft _{-EN}	25.8 ft
Number of existing accessory buildings on site	3	
Total size of all accessory buildings	2421.88 sq ft	3480 sq ft

Description of Accessory Buildings:

- a) Building materials Wood Pole Building with metal roof and side walls. Front wall 1/2 log siding
- b) Exterior colour Dark Green Metal Cladding, 1/2 Log Siding stained to match existing log house
- c) Please include why relaxations for buildings are needed (location, storage needs, tidy property, etc.)
Storage requirments for equipment and work shop and tools, tidy property, height for mezzanine and car lift
- d) Date when building permits were issued for existing buildings Garage Early 2000's, Garden Shed not Required based on area
- e) If no permits were issued - list age of buildings Sprung Tent ~3 years old

2. DESCRIBE THE USE OF THE ACCESSORY BUILDING

Genneral and Equipment Storage, Vehicle and RV storage,

Recreational mechanic shop and car lift

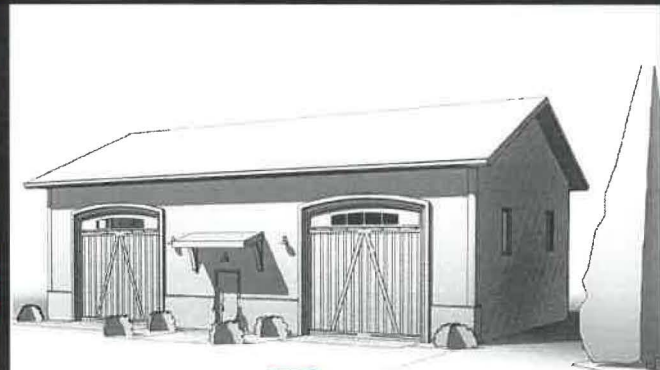
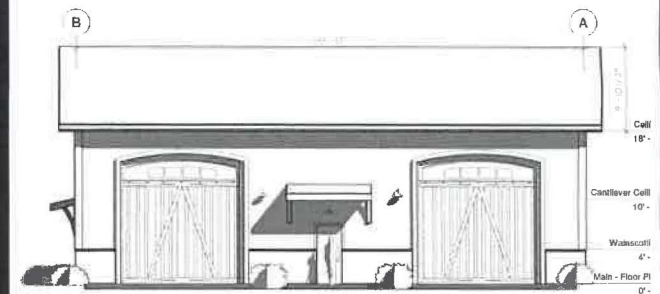
3. ADDITIONAL REQUIREMENTS

The following items must be provided in addition to your application:

- ☐ Elevation drawing(s) / floor plan(s)
- ☐ Site plan(s) showing all dimensions and setbacks

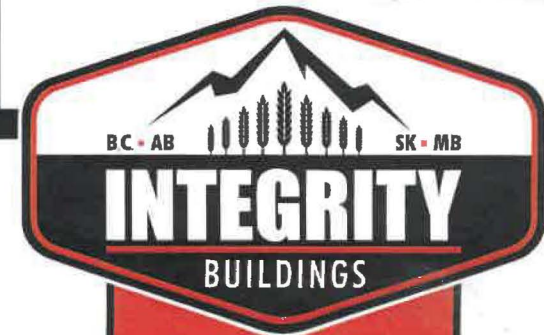
Signature of Applicant 

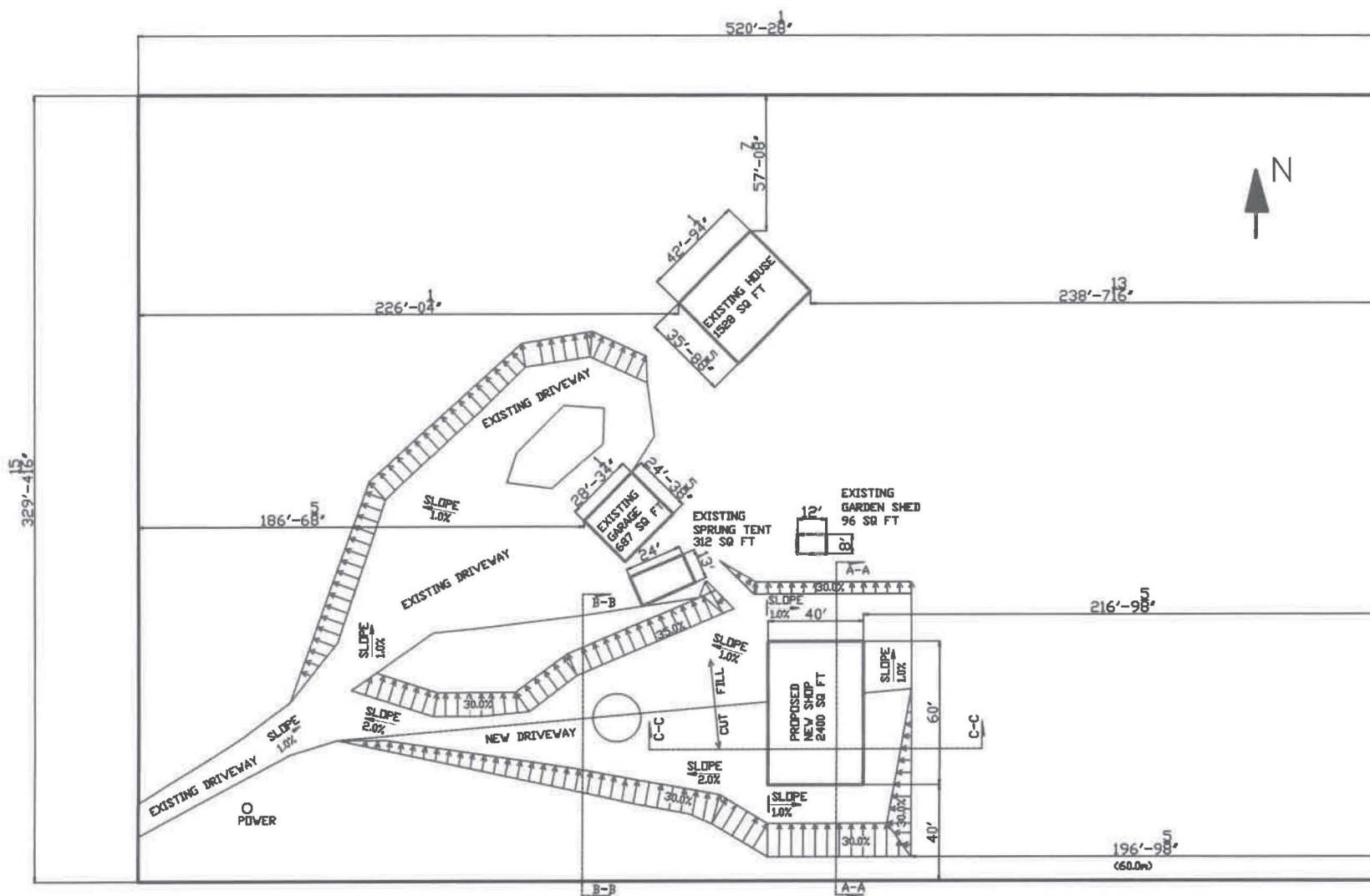
Date: 18-Aug-2020



ACCESSORY BUILDING

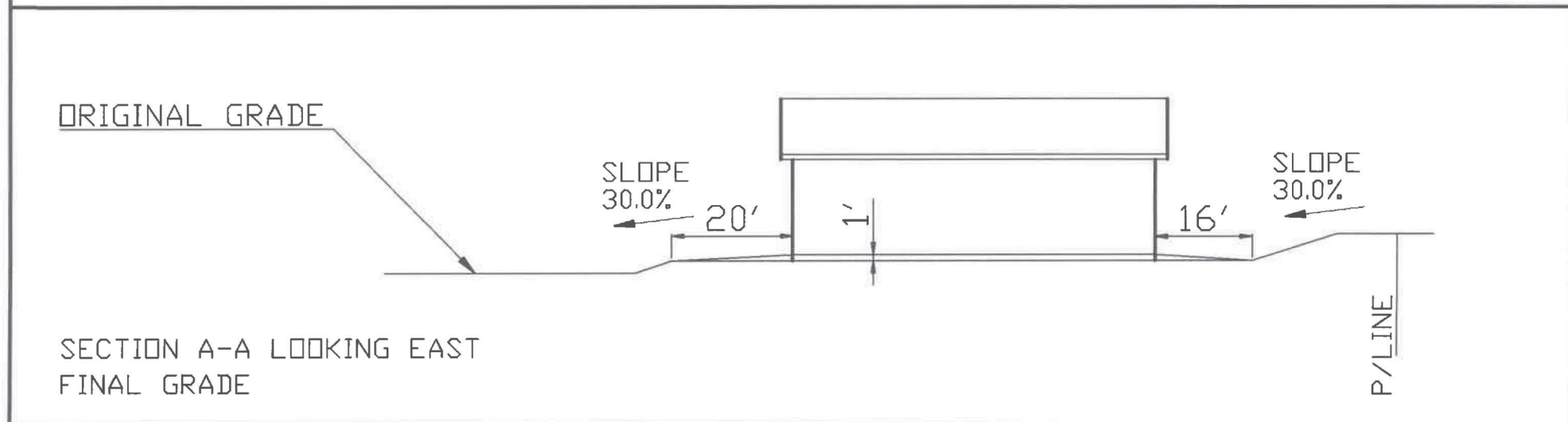
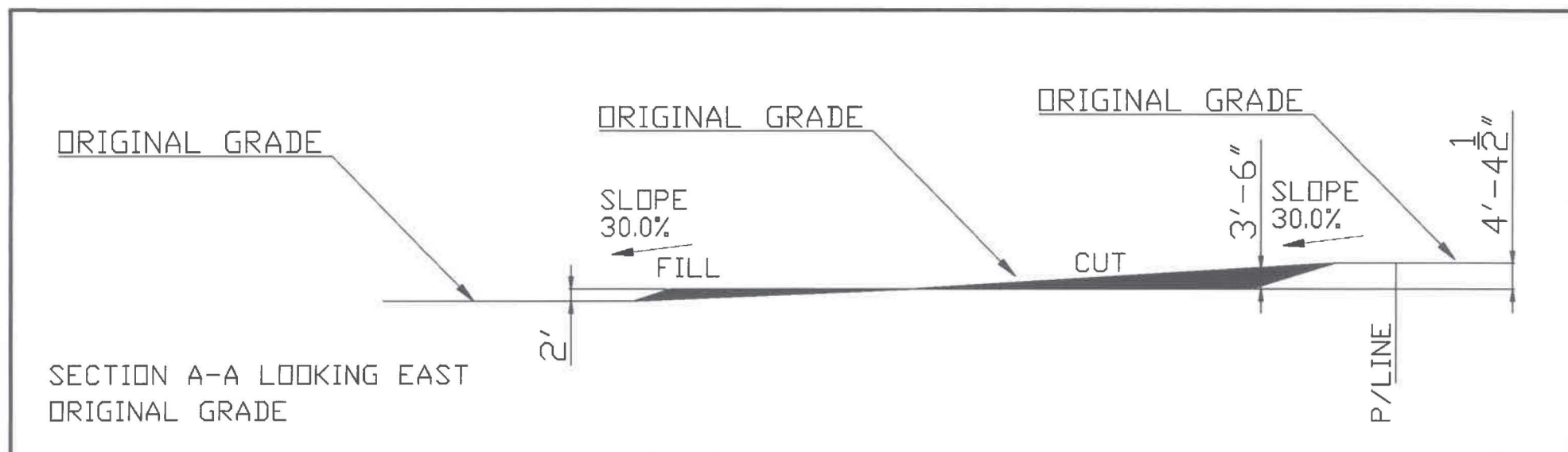
CHRIS JOHNSON
40' X 60' X 16'
JANUARY 29, 2019





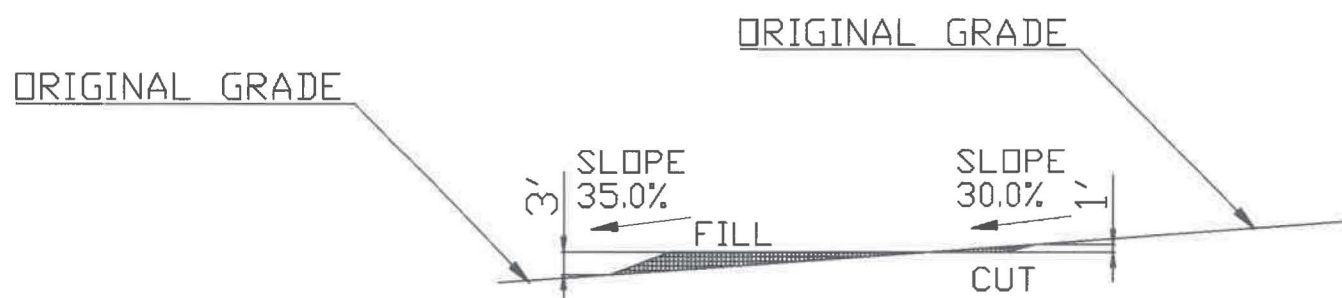
LOT 5 PLAN 9212650
231178 RANGE ROAD 54
NW 1/4 SECTION 9 TOWNSHIP 23 RANGE 5 WEST OF 5TH MERIDIAN

PLOT PLAN-1

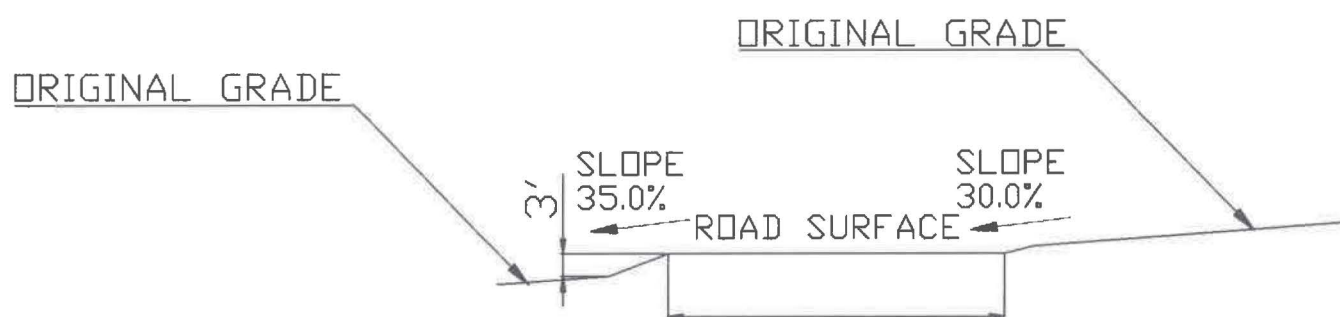


LOT 5 PLAN 9212650
231178 RANGE ROAD 54
NW 1/4 SECTION 9 TOWNSHIP 23 RANGE 5 WEST OF 5TH MERIDIAN

PLOT PLAN-2
SECTIONS A-A



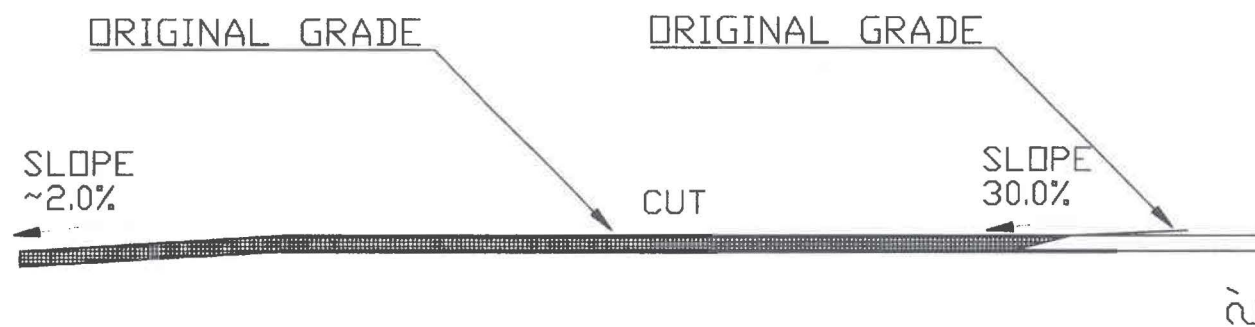
SECTION B-B LOOKING EAST
ORIGINAL GRADE



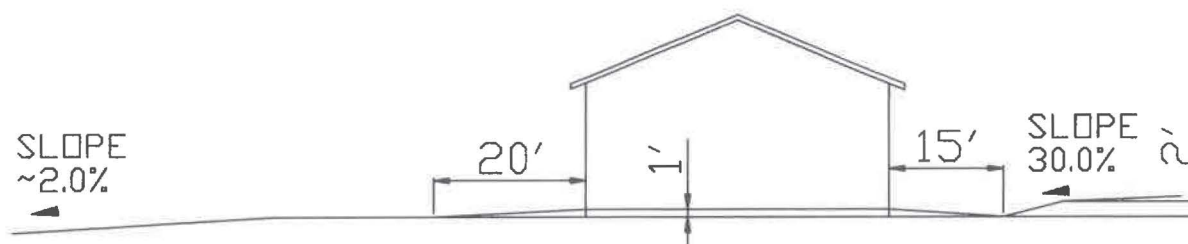
SECTION B-B LOOKING EAST
FINNAL GRADE

LOT 5 PLAN 9212650
231178 RANGE ROAD 54
NW 1/4 SECTION 9 TOWNSHIP 23 RANGE 5 WEST OF 5TH MERIDIAN

PLOT PLAN-3
SECTIONS B-B



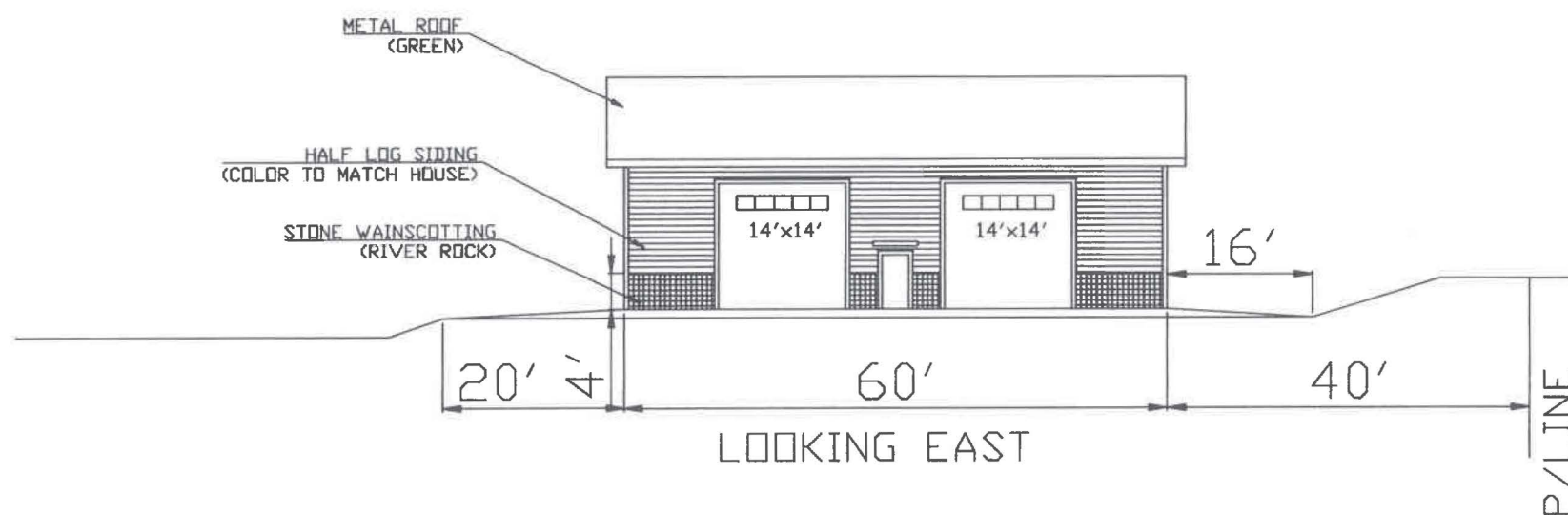
SECTION C-C LOOKING NORTH
ORIGINAL GRADE



SECTION C-C LOOKING NORTH
FINAL GRADE

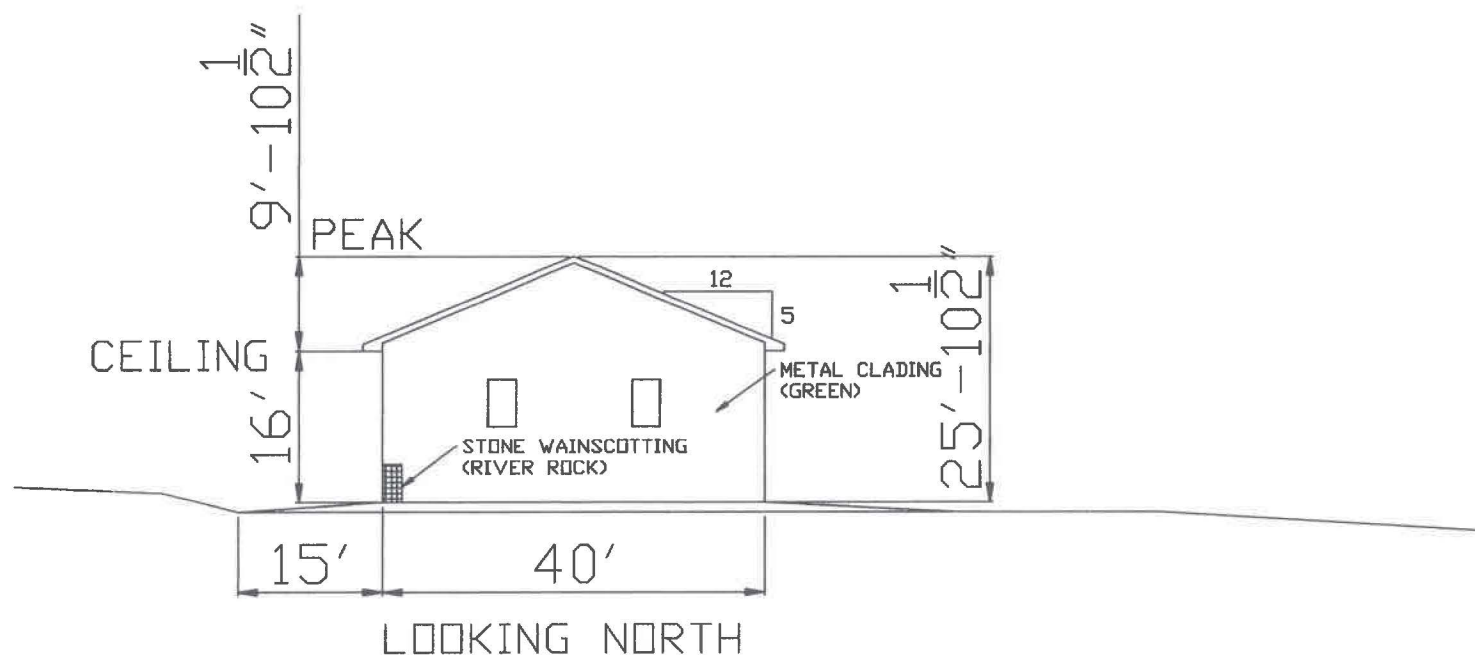
LOT 5 PLAN 9212650
231178 RANGE ROAD 54
NW 1/4 SECTION 9 TOWNSHIP 23 RANGE 5 WEST OF 5TH MERIDIAN

PLOT PLAN-4
SECTIONS C-C



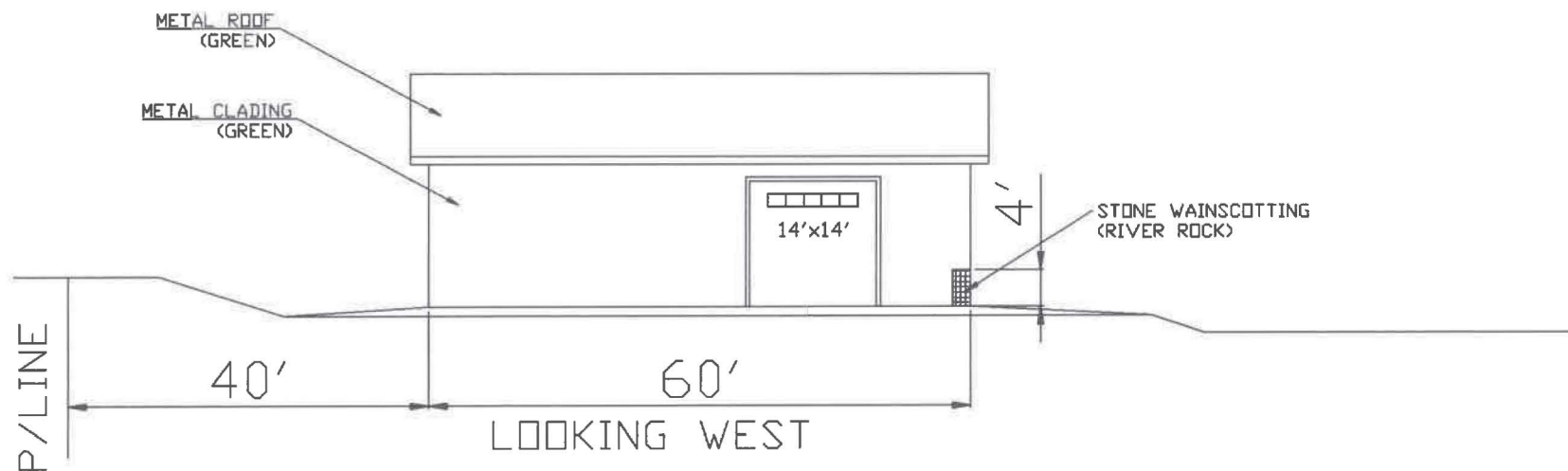
LOT 5 PLAN 9212650
231178 RANGE ROAD 54
NW 1/4 SECTION 9 TOWNSHIP 23 RANGE 5 WEST OF 5TH MERIDIAN

PLQT PLAN-5
LOOKING EAST



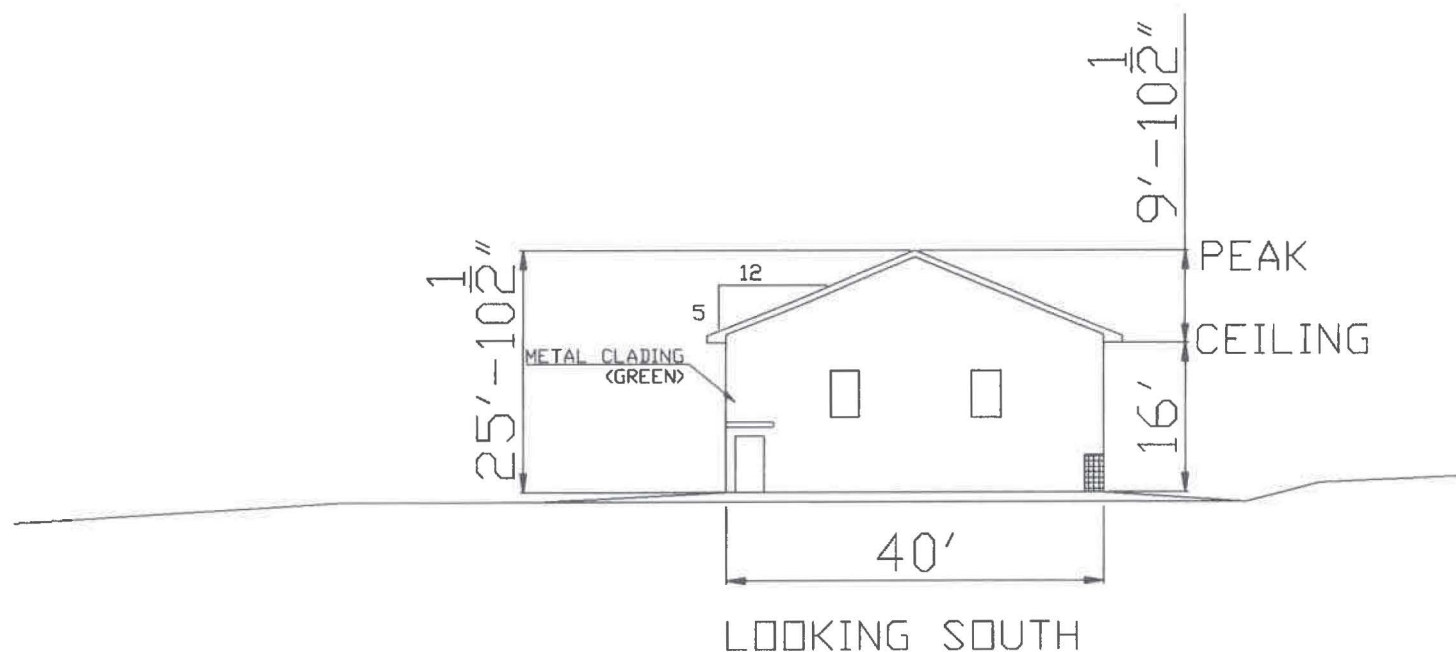
LOT 5 PLAN 9212650
231178 RANGE ROAD 54
NW 1/4 SECTION 9 TOWNSHIP 23 RANGE 5 WEST OF 5TH MERIDIAN

PLOT PLAN-6
LOOKING NORTH



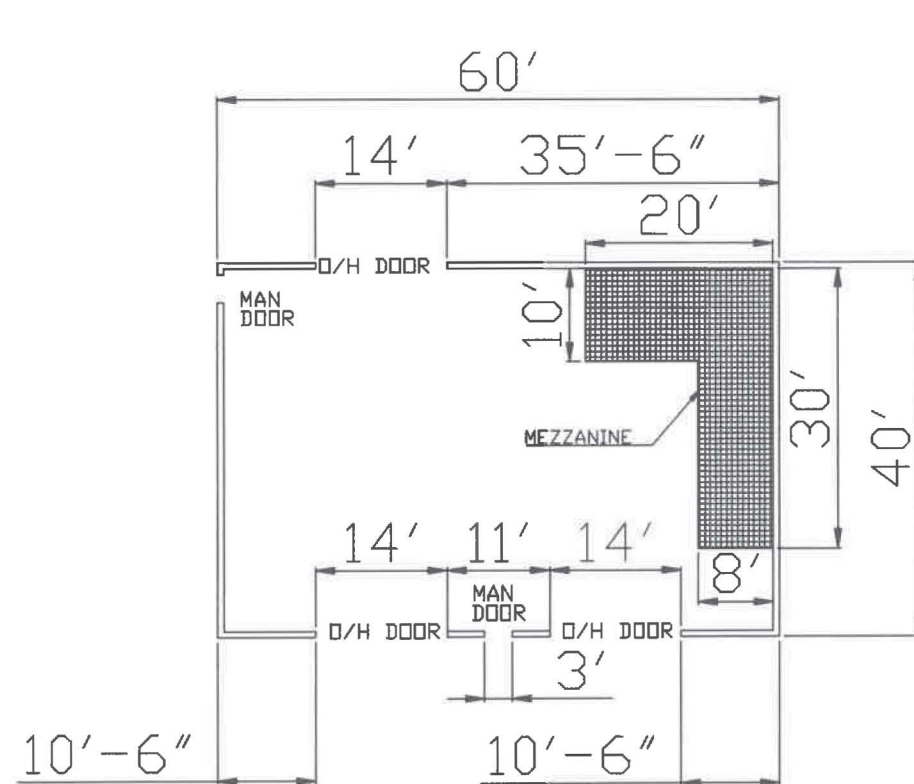
LOT 5 PLAN 9212650
231178 RANGE ROAD 54
NW 1/4 SECTION 9 TOWNSHIP 23 RANGE 5 WEST OF 5TH MERIDIAN

PLOT PLAN-7
LOOKING WEST



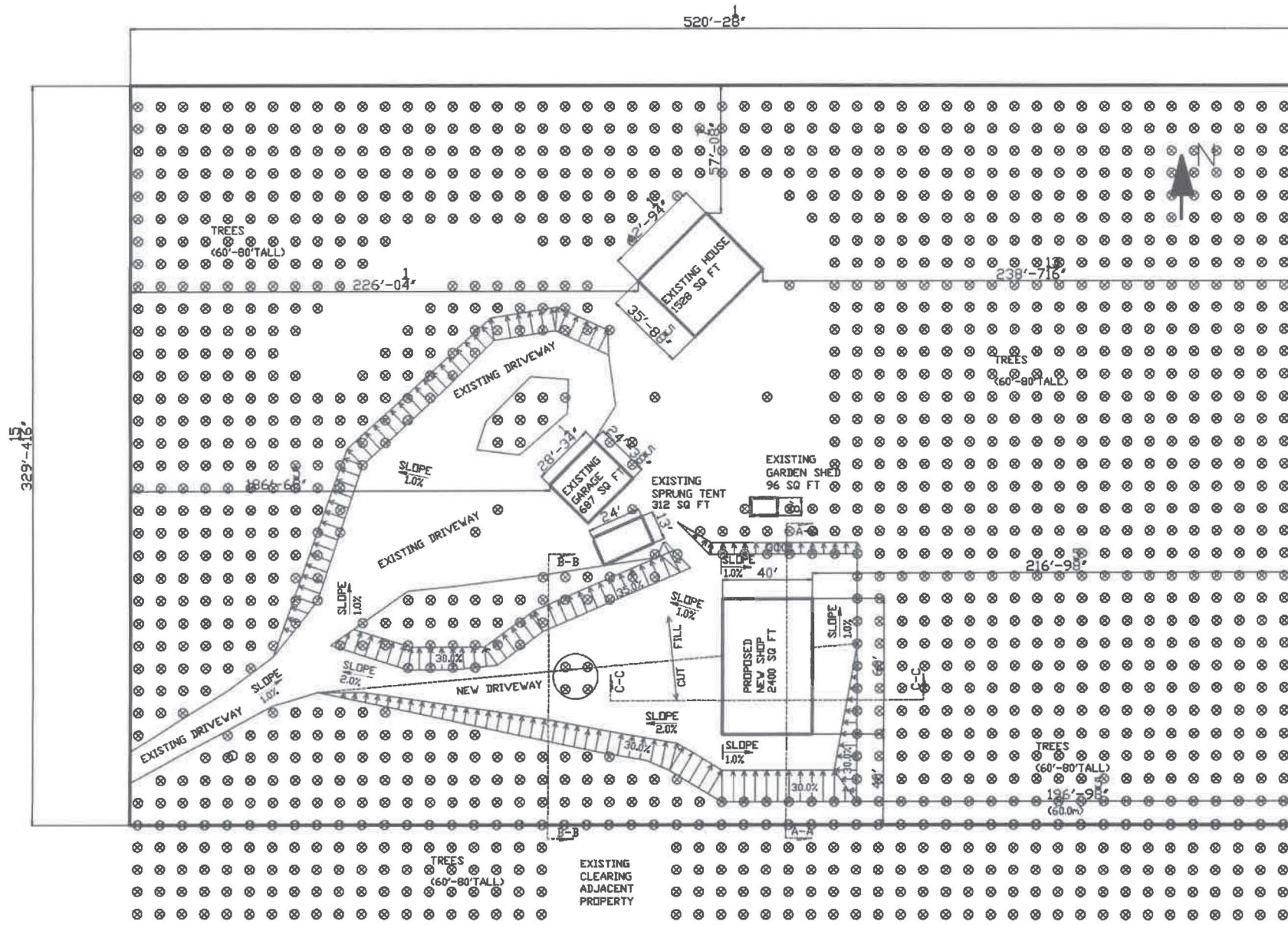
LOT 5 PLAN 9212650
231178 RANGE ROAD 54
NW 1/4 SECTION 9 TOWNSHIP 23 RANGE 5 WEST OF 5TH MERIDIAN

PLOT PLAN-8
LOOKING SOUTH



LOT 5 PLAN 9212650
231178 RANGE ROAD 54
NW 1/4 SECTION 9 TOWNSHIP 23 RANGE 5 WEST OF 5TH MERIDIAN

PLOT PLAN-9
SHOP FLOOR PLAN



LOT 5 PLAN 9212650
231178 RANGE ROAD 54
NW 1/4 SECTION 9 TOWNSHIP 23 RANGE 5 WEST OF 5TH MERIDIAN

PLOT PLAN-10
TREE CLEARINGS

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 6
SUBJECT: Development Item: *Dwelling, Manufactured*
USE: Discretionary use, no Variances

DATE: October 29, 2020

APPLICATION: PRDP20202633

APPLICATION: Dwelling, Manufactured

GENERAL LOCATION: located at the southwest junction of Twp. Rd. 280 and Rge. Rd. 255.

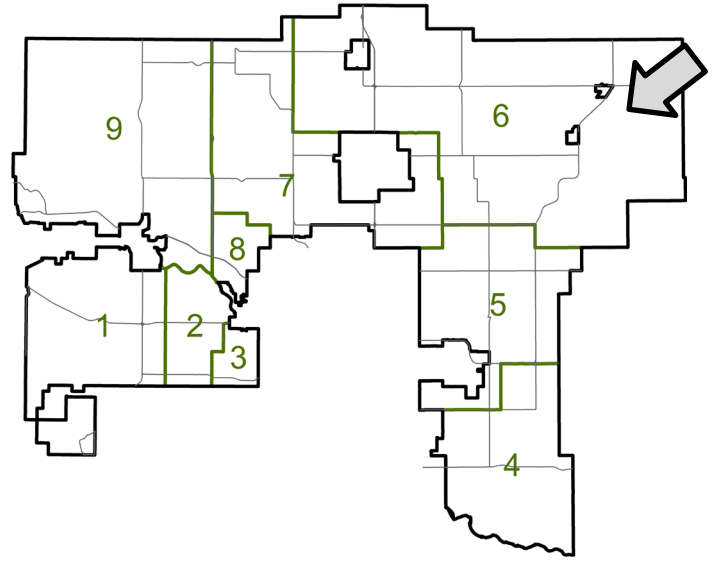
LAND USE DESIGNATION: Agriculture – General District (A-GEN) under Land Use Bylaw C-8000-2020.

ADMINISTRATION RECOMMENDATION: Administration recommends Approval in accordance with Option #1.

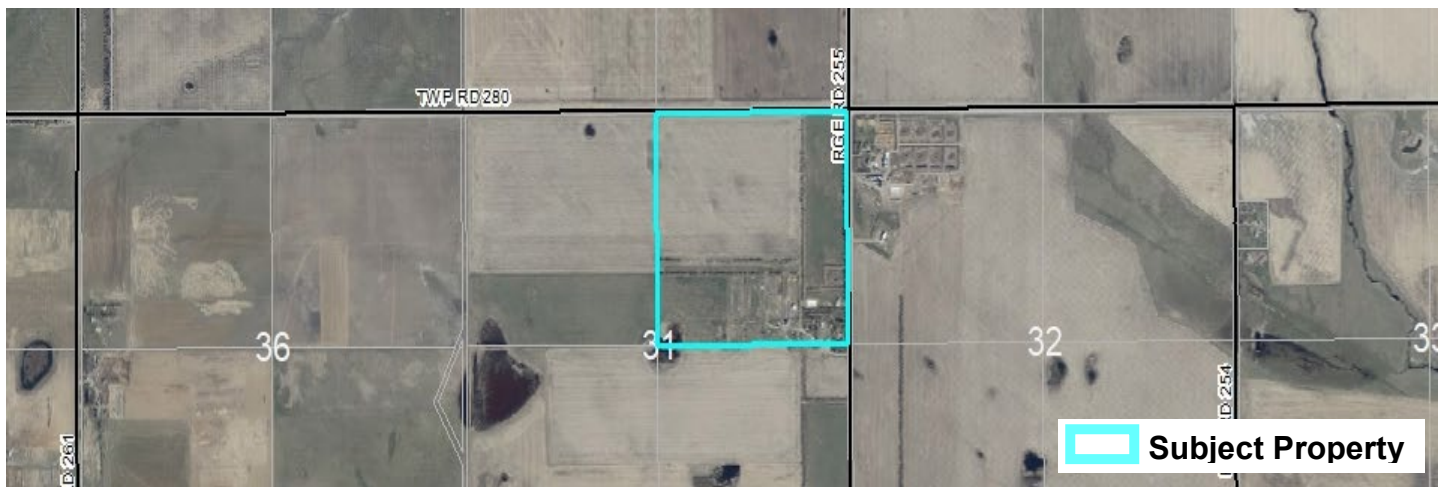
OPTIONS:

Option #1: THAT Development Permit Application PRDP20202633 be approved with the conditions noted in the report.

Option #2: THAT Development Permit Application PRDP20202633 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT



Administration Resources

Natalie Robertson, Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: September 4, 2020	File: 07031003
Application: PRDP20202633	Applicant: Zeigler, Kathleen
Legal Description: NE-31-27-25-W4M Municipal Address: 275131 Rge. Rd. 255	General Location: Located at the southwest corner of the junction of Twp. Rd. 280 and Rge. Rd. 255.
Land Use Designation: Agriculture, General (A-GEN) under Land Use Bylaw C-8000-2020.	Gross Area: ± 64.74 hectares (± 160.00 acres)
File Manager: Natalie Robertson	Division: 6

PROPOSAL:

The application is for a new *Dwelling, Manufactured*. Note, this application has been assessed under Land Use Bylaw C-8000-2020 as per written request from the Applicant.

The dwelling unit will be 141.21 sq. m (1,520.00 sq. ft.) [20.00 ft. x 76.00 ft.] in footprint and will be placed on metal pilings and skirted. Although a new permanent dwelling unit onsite, the Applicant has noted that the dwelling unit will be used as farm help, twelve months of the year. The subject parcel currently includes hay and grain farming, with a total farming operation of 1980 acres.

Land Use Bylaw C-8000-2020

Section 304 Discretionary Uses

Dwelling, Manufactured

Section 306 Maximum Density

b) On parcels greater than or equal to 32.4 ha (80.0 ac), a maximum of 4 Dwelling Units – two Dwelling, Single Detached and two other Dwelling Units

- There are two existing Dwelling Units, Single-Detached (one abandoned, one occupied)

Section 308 Minimum Setbacks

Permitted	Proposed	Variance %
Front Yard: 45.00 m (147.63 ft.)	lots	0
Side Yard: 6.00 m (19.68 ft.)	lots/lots	0
Rear Yard: 15.00 m (49.21 ft.)	lots	0



STATUTORY PLANS:

The site does not fall within any Area Structure Plan or Intermunicipal Development Plan and was assessed using Land Use Bylaw (C-8000-2020).

INSPECTOR'S COMMENTS (September 16, 2020):

- No building of any kind located at proposed dwelling location
- No concerns at time of inspection

CIRCULATIONS:

Transportation Services (October 1, 2020)

- Applicant to contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.

Development Compliance, Rocky View County (September 24, 2020)

- No comments or concerns related to this attached application.

Building Services (September 28, 2020)

- No concerns
- Dwelling subject to BP

ATCO (September 11, 2020)

- No concerns

Agriculture Services (September 11, 2020)

- No concerns

Planning and Development Services - Engineering Review (September 30, 2020)

General

- As per the application, the applicant is proposing to install a manufactured Dwelling (Mobile home).

Geotechnical:

- Engineering has no requirements at this time.

Transportation:

As per GIS review, the parcel gains access off Range Rd 255 which is a gravel standard road.

- The existing road approach was inspected by County Road Operations on Sept 25, 2020 and the following was observed:
 - The approach width is 4.0m; which does not meet the county standards of 6.1 m.
 - The approach surface is vegetated; which does not meet the county standards surface.

Therefore, prior to issuance, the applicant shall upgrade the existing road approach to a gravel standard as per county servicing standards and to the satisfaction of the County. Prior to the installation of the approach, the developer shall make a road approach application with the Road Operations Department.



- The applicant will not be required to pay the transportation offsite levy, as per the applicable TOL bylaw as the permit is directly associated with the construction of a dwelling.

Sanitary/Waste Water:

- As per the application, sewer is available in the yard.
- Engineering has no requirements at this time.

Water Supply And Waterworks:

- As per the application, water is available in the yard.
- Engineering has no requirements at this time.

Storm Water Management:

- Given the size of the subject land(s), engineering does not anticipate that the proposed development of the proposed parcel will result in a significant increase in imperviousness, therefore Engineering has no requirements at this time.

Environmental:

- Engineering has no requirements at this time.

Options:

Option #1: (this would allow the development to commence)

APPROVAL, subject to the following conditions:

Description:

1. That the *Dwelling, Manufactured* may be placed in general accordance with the submitted application and Site Plan.

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations:
 - i. with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - ii. with details on the existing road approach and if any upgrades are required to a gravel standard, as per County Servicing Standards.
 - a. If any upgrade is required, the Applicant/Owner shall submit an Application for Road Approach and complete all requirements.
 - iii. written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

Permanent:

3. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for each dwelling unit located on the subject site, to facilitate accurate emergency response.



4. That there shall be no more than 1.00 m (3.28 ft.) of fill placed/cut adjacent to or within 15.00 m (49.21 ft.) of the proposed dwelling unit that is used to establish approved final grades unless a Development Permit has been issued for additional.
5. That the *Dwelling, Manufactured* shall not be used for *commercial* or *vacation rental* purposes at any time unless approved by a Development Permit.

Advisory:

6. That during construction, all construction and building materials shall be maintained on-site in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
7. That a Building Permit and applicable sub-trade permits shall be obtained, through Building Services, prior to commencement of development.
8. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
9. That if the development authorized by this Development Permit is not commenced with reasonable diligence within twelve (12) months from the date of issue, and completed within twenty-four (24) months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
10. That if this Development Permit is not issued by **May 31, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Option #2: (this would not allow the development)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.

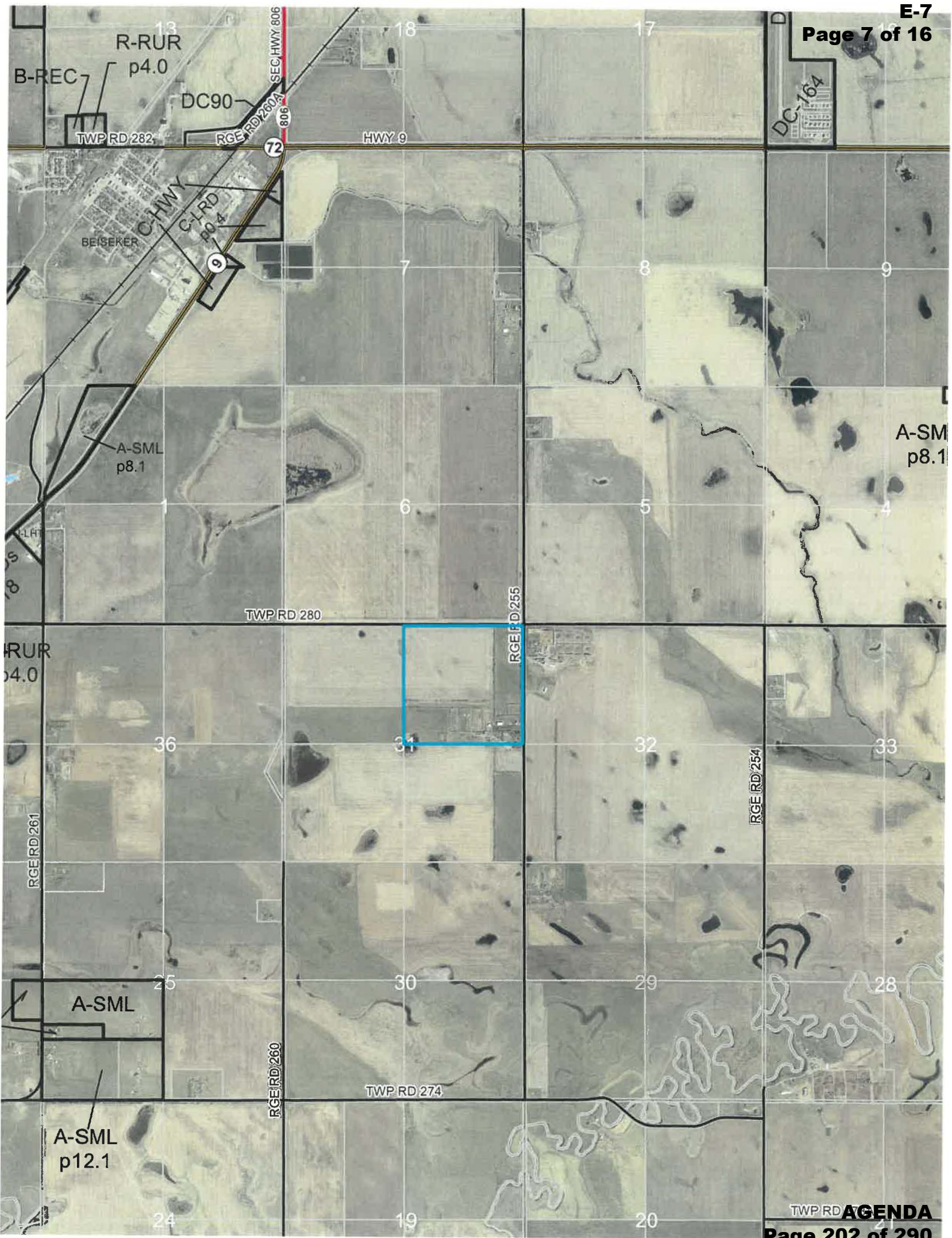
6

TWP RD 280

31

RGE RD 255

RGE RD 260





ROCKY VIEW COUNTY

20202633

DEVELOPMENT PERMIT APPLICATION

FOR OFFICE USE ONLY	
APPLICATION NO.	PRDP20202633
ROLL NO.	07031003
RENEWAL OF	
FEES PAID	\$265
DATE OF RECEIPT	9/4/20

APPLICANT/OWNER

Applicant Name: Schmaltz Farms Inc.

Email: [REDACTED]

Landowner Name(s) per title (if not the Applicant):

Business/Organization Name (if applicable):

Mailing Address:

Postal Code:

Telephone (Primary):

Email:

LEGAL LAND DESCRIPTION - Subject site

All/part of: NE ¼ Section: 31 Township: 27 Range: 25 West of: 4 Meridian Division:

All parts of Lot(s)/Unit(s): Block: Plan: Parcel Size (ac/ha): 160 ac

Municipal Address: 275171 Range Road 255

Land Use District: A-GEN

APPLICATION FOR - List use and scope of work

Mobile Home for farm help
Yard with Gas, water, sewer, power already in place
from 20+ years ago

Variance Rationale included: ☐ YES ☐ NO ☒ N/A

DP Checklist Included: ☒ YES ☐ NO

SITE INFORMATION

- a. Oil or gas wells present on or within 100 metres of the subject property(s) ☐ YES ☒ NO
- b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant) ☐ YES ☒ NO
- c. Abandoned oil or gas well or pipeline present on the property ☐ YES ☒ NO
(Well Map Viewer: <https://extmapviewer.aer.ca/AERAbandonedWells/Index.html>)
- d. Subject site has direct access to a developed Municipal Road (accessible public roadway) ☒ YES ☐ NO

AUTHORIZATION

I, KATHLEEN ZIEGLER (Full name in Block Capitals), hereby certify (initial below):

☒ That I am the registered owner OR ☒ That I am authorized to act on the owner's behalf.

☒ That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.

☒ That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is collected in accordance with s.33(c) of the Freedom of Information and Protection of Privacy Act.

☒ Right of Entry: I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for purposes of investigation and enforcement related to this application in accordance with Section 542 of the Municipal Government Act.

Applicant Signature

Date

Kathleen Ziegler
Sept 1/2020

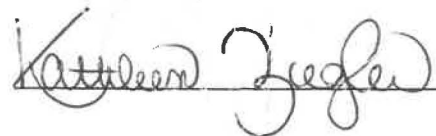
Landowner Signature

Date

Kathleen Ziegler
Sept 1/2020

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Kathleen Ziegler, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


Signature

Sept 1/2020
Date



ROCKY VIEW COUNTY
Cultivating Communities

APPLICATION FOR DWELLING, MOBILE HOME FOR FARM HELP

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date of Receipt	Receipt #

1. FARMING

What type of farming is being carried out on this parcel? Hay, Grain,

How many acres of this parcel are planted in:

Cereal _____ Crops 60 Hay 30 Grazing 35 Other 35 Yard/Corrals
Grain Bins

How many animals are involved on this parcel? 0

What breed(s) of animals? _____

How many acres do you farm in total? 1980 ac.

Of your **TOTAL** farming operation, how many acres are planted in:

Cereal _____ Crops 1570 Hay 125 Grazing 250 Other 35 Yard etc.

How many animals are involved at your other locations (parcels)? 7 Horses (4 retired/3 active)

What breed(s) of animals are involved? Irish Sport Horse

2. DWELLINGS

How many dwellings **NOT** including mobile homes, are on this parcel? 1* How many dwellings not including mobile homes, are on all the land that you farm? 1*

* unoccupied old farmhouse → contains asbestos/needs major renovations

3. OCCUPANTS

Will an occupant of the mobile home be farm help? (Yes/No)

If yes how many:

Hours per day? 8-10 Days per week? 5-6 Months per year? 12

Number of adults occupying mobile home? 1-2 Number of children occupying mobile home? 0

Signature of Applicant

Kathleen Ziegler

Date

Sept 1/2020

**Please be advised that on a new mobile home application, plumbing, gas and electrical permits are required from Rocky View County, Building Services Dept. prior to occupancy of the mobile home.*

PLEASE PROVIDE ALL OF THE ABOVE INFORMATION EVEN IF THIS IS A RENEWAL. THANK YOU

Schmaltz Farms Inc
Box 370
Beiseker, AB
T0M 0G0

Rocky View County
Planning and Development
262075 Rocky View Point
Rocky View County, AB
T4A 0X2

Dear Sirs:

Re: Application for Dwelling for Farm Help NE 31-27-25 W4

I am the President of Schmaltz Farms Inc. The company owns the N 1/2 and SE 31-27-25 W4. My husband and I (Earl and Kathleen Ziegler) own SW 31-27-25 W4. We farm full time. We do not have income from outside sources.

We would like to apply for approval to situate a mobile home for farm help on the NE 31-27-25 W4. We would like to hire extra farm help and purchase some cows/calves.

There had been a permit in place 20+ years ago. However, we had let it expire as extra farm help had no longer been needed and the mobile home, at that time, had been sold.

The yard has power, water, gas and sewer already in place. Please refer to the attached hand drawn Site plan. The proposed placement of the mobile home is 200 feet back, from the Spruce Trees that line the road/250 feet back from the edge of Range Road 255. The proposed mobile home measures 20 ft x 76 ft. / 1520 sq. ft. It is placed on metal pilings and there is a skirt that goes around the base of the building. In order to get the mobile home onto the proposed site, we will be removing part of the Carragana windbreak on the west side of the site and bring the mobile home in, through that area.

The old 911 address, for the yard is 275171 Range Road 255.

I have included with this application, some images from Google Maps. I am not exactly sure where the boundary line is between the NE 31-27-25 and SE 31-27-25 W4. There is the original farm house to the south of the proposed trailer yard. It was built in the early 1900's. The house is vacant as it contains asbestos and it would take a great deal of money to bring it up to code.

Thank you for your consideration,



Kathleen Ziegler
President
Schmaltz Farms Inc



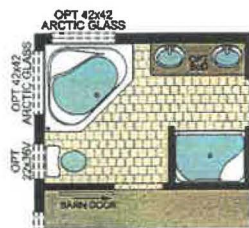
20' Wide Homes



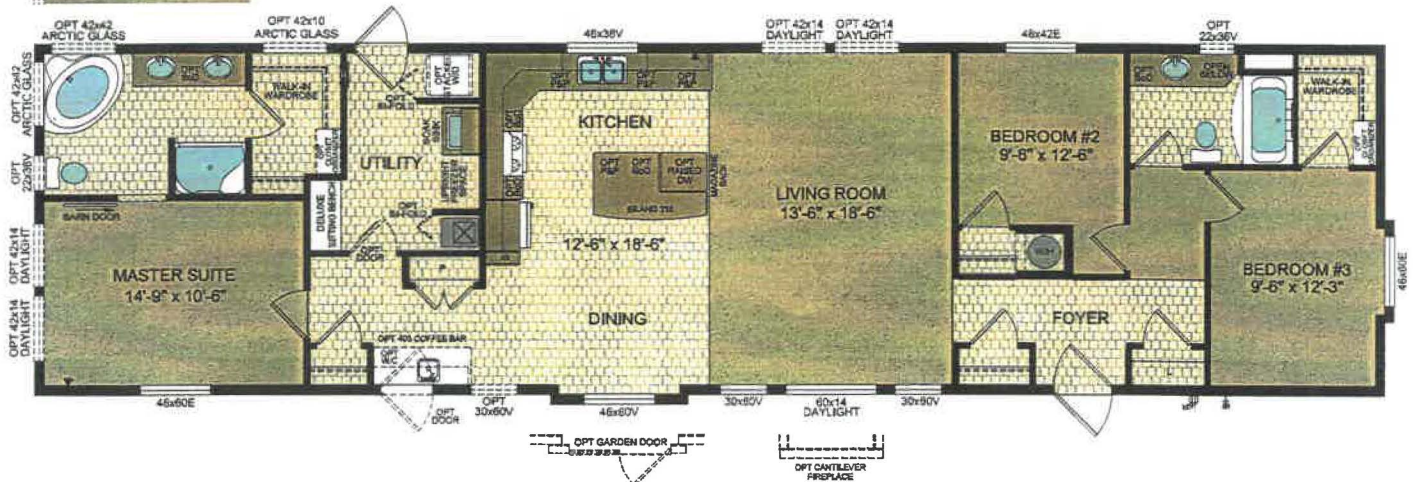
Norfolk

Model 20801

20' x 76' • 1520 sq. ft.



ENSUITE SHOWN
w/OPTIONAL DELUXE
JETTED CORNER OVAL TUB.



Follow us:  

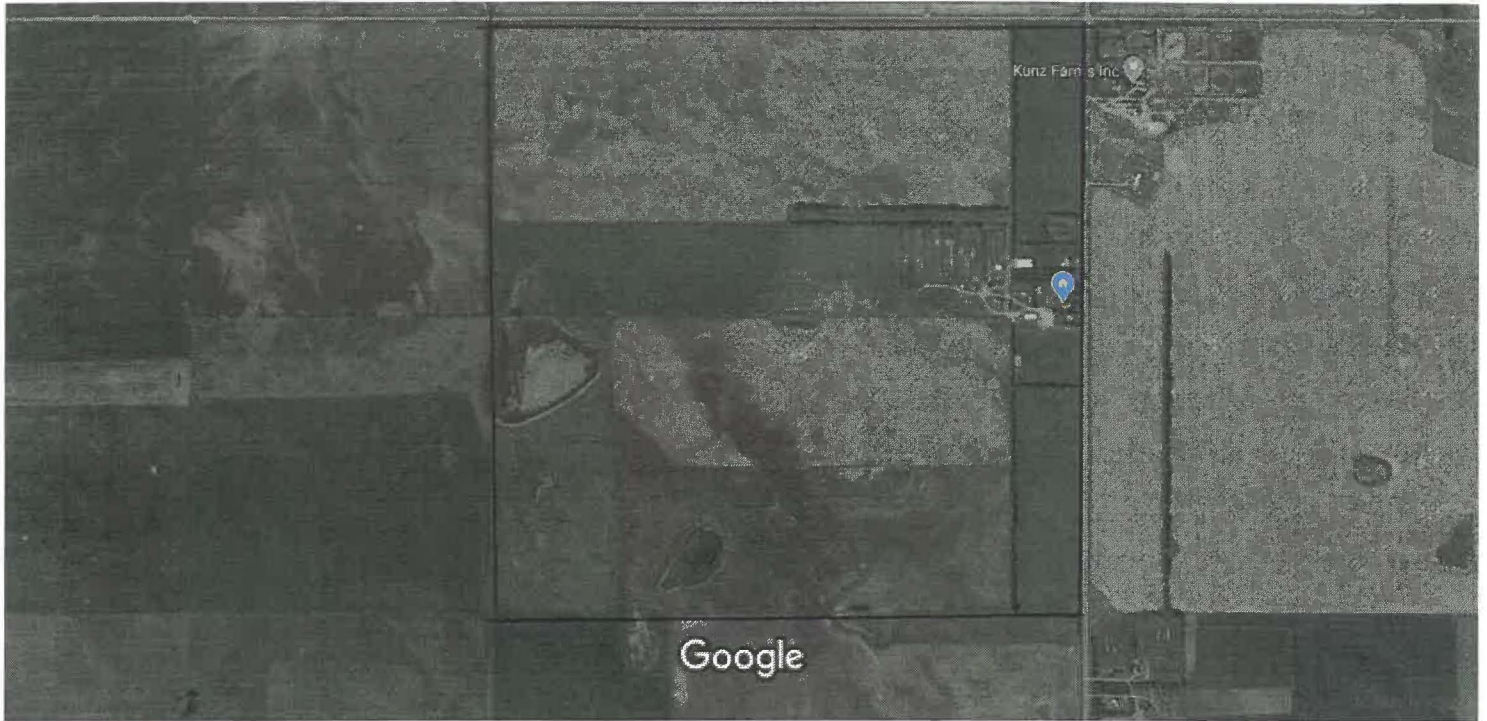
1421 Brier Park Crescent, Medicine Hat, Alberta T1C 1T8 Phone: (403) 527-1555 Fax: (403) 528-4486

In a continued effort to meet the challenges of product improvement, we reserve the right to modify plans, specifications and features without prior notice. Some homes may show optional items which are not standard. Please consult your dealer representative for details. Square footage and room sizes are approximate.

AGENDA

Page 207 of 290

Google Maps



Imagery ©2020 CNES / Airbus, Maxar Technologies, Map data ©2020 1000 ft

N $\frac{1}{2}$ +SE 31-27-25 W4 Schmaltz Farms Inc.
SW 31-27-25 W4 Earl & Kathleen Ziegler

Schmaltz Farms Inc \Rightarrow owners/shareholders
Earl & Kathleen Ziegler

Google Maps



Imagery ©2020 CNES / Airbus, Maxar Technologies, Map data ©2020 200 ft

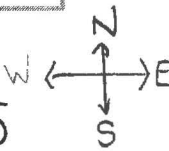
- #1 Main Residence: Earl & Kathleen Ziegler
#275131 Rg Rd 255
- #2 Original Farmhouse: No Occupants
due to extensive renovations that would be
required to remove asbestos & bring building
up to code
#275156 Rg Rd 255
- #3 Where we wish to put Mobile home. Had been
previously approved 20+ years ago, by
Rocky View, as site for mobile home for hired
help. We had sold mobile home as hired help
no longer required. Now wish to place
home back on the site for hired help.

Google Maps



Imagery ©2020 CNES / Airbus, Maxar Technologies, Map data ©2020 50 ft

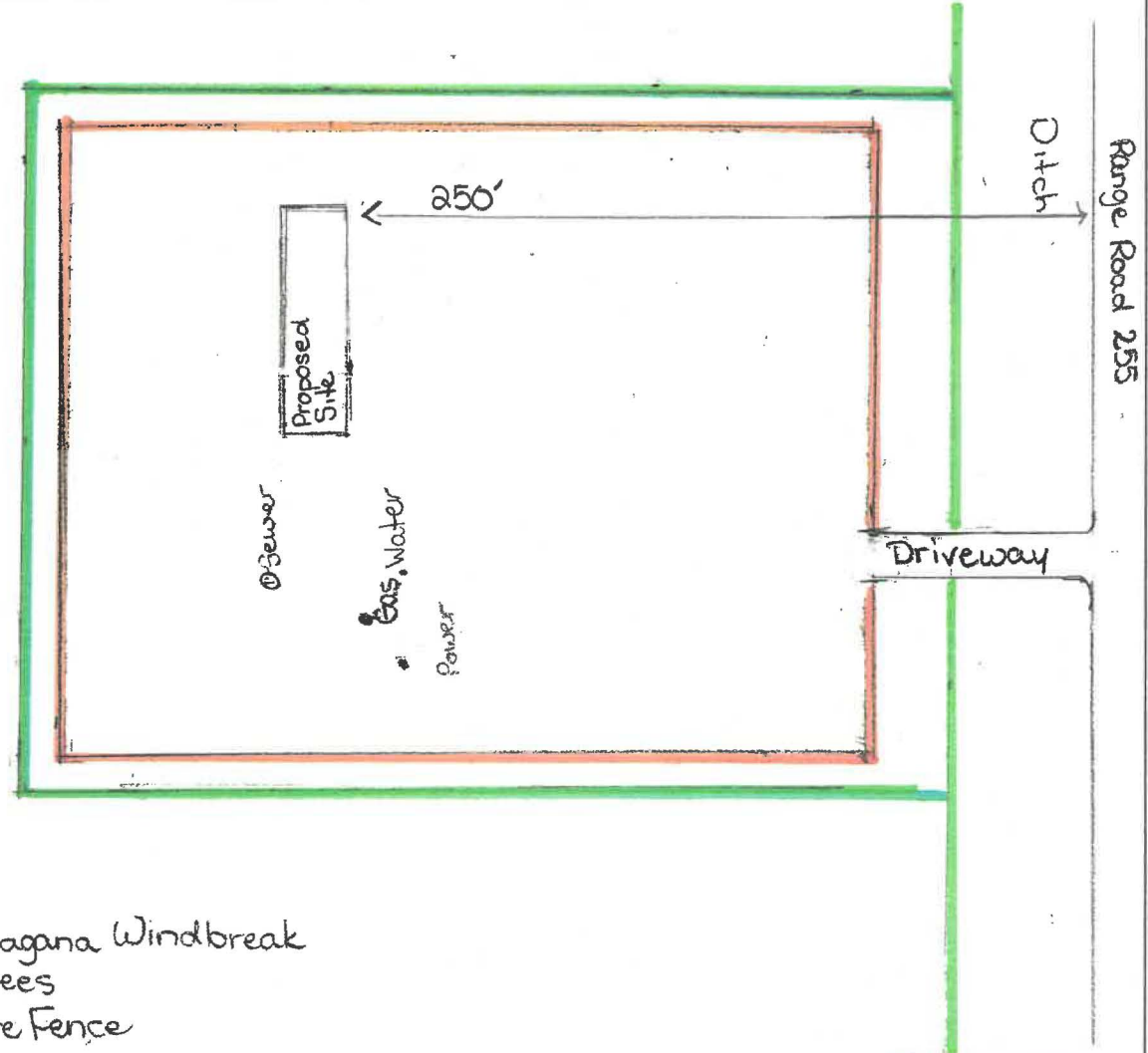
Municipal Address: 275171 Range Road 255





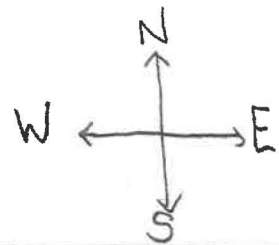
Site Plan

NAME: Attn: Kathleen Ziegler Schmaltz Farms Inc	PHONE: (403) 200-6511 C	SN (If available)	016-000-A-A002455A
SALESMAN: Mike White	LEGAL LAND DESCRIPTION: NE 31-27-25 W4		



- Maple Carragana Windbreak
- Spruce Trees
- Barb Wire Fence

1 cm = 25'



Please indicate

- 1. Hitch Location
- 2. Doors
- 3. Other Buildings
- 4. Potential Hazards
- 5. Septic Tanks
- 6. Utility Locations
- 7. Poles

Road Width: _____

Driveway Width: _____

Ditch Description: _____

OFFICE USE ONLY

Accepted ☐

More Info Needed ☐

Inspection Required ☐

SIGNATURE _____

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 8
SUBJECT: Development Item – *Vacation Rental*
USE: Discretionary use, without Variances

DATE: October 29, 2020
APPLICATION: PRDP20202740

APPLICATION: Vacation Rental (existing dwelling, single detached).

GENERAL LOCATION: Located approximately 0.41 km (1/4 mile) south of Burma Road and 0.41 km (1/4 mile) west of Bearspaw Road.

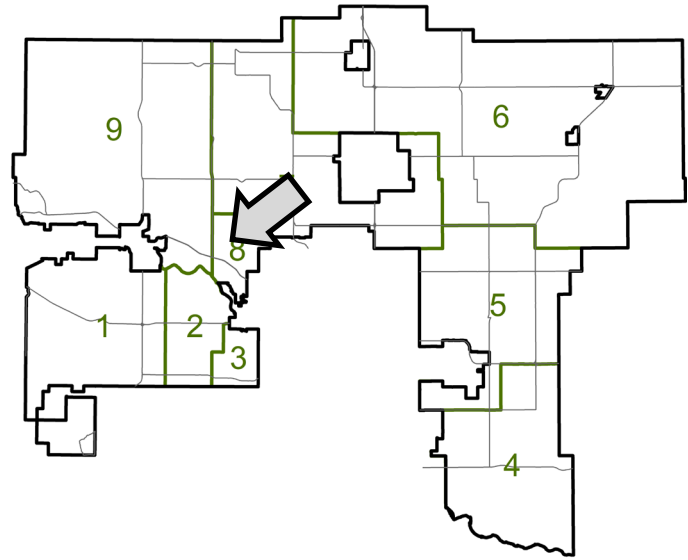
LAND USE DESIGNATION: Residential, Country Residential District (R-CRD) under Land Use Bylaw (C-8000-2020)

ADMINISTRATION RECOMMENDATION: Administration recommends Approval in accordance with Option #1.

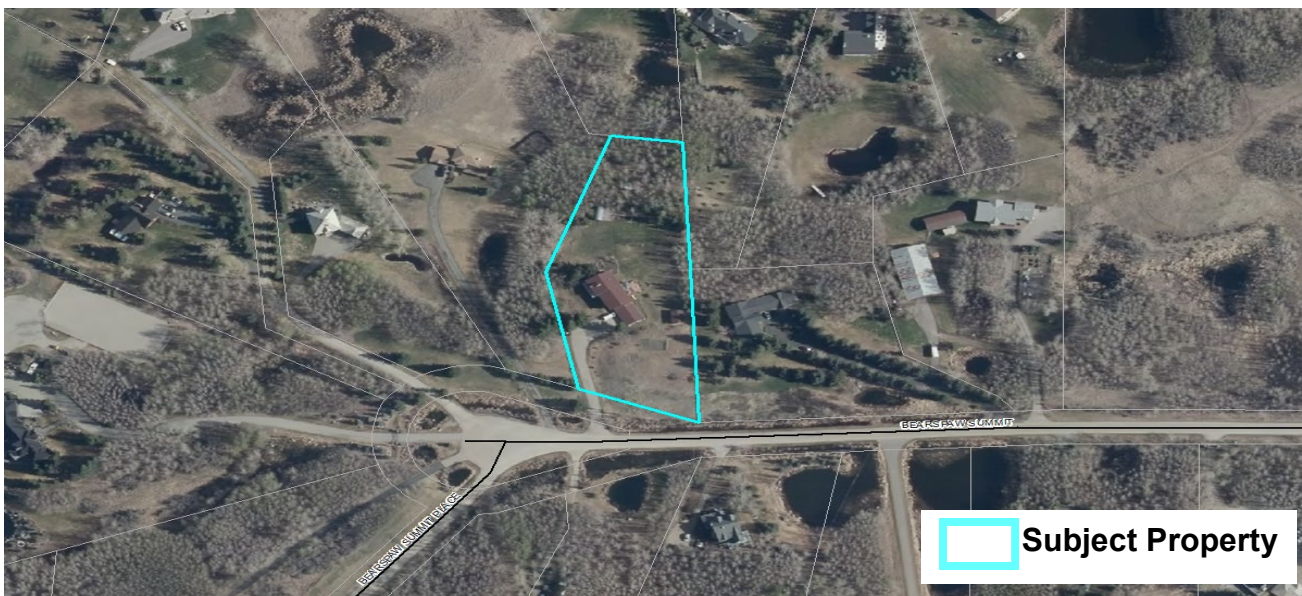
OPTIONS:

Option #1: THAT Development Permit Application PRDP20202740 be approved with the conditions noted in the report.

Option #2: THAT Development Permit Application PRDP20202740 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Xin Deng, Planning and Development Services



DEVELOPMENT PERMIT REPORT

Application Date: September 14, 2020	File: 05736016
Application: PRDP20202740	Applicant: Guangton Sun Owner: Hongyu Guo & Guangtong Sun
Legal Description: Lot 1, Block 7, Plan 8911456, NE-36-25-03-W05M	General Location: located approximately 0.41 km (1/4 mile) south of Burma Road and 0.41 km (1/4 mile) west of Bearspaw Road
Land Use Designation: Residential, Country Residential District (R-CRD) under Land Use Bylaw C-8000-2020.	Gross Area: ± 0.80 hectares (± 2.00 acres)
File Manager: Xin Deng	Division: 8

PROPOSAL:

The proposal is for a Vacation Rental, operation of Airbnb, within an existing dwelling, single detached.

- The property contains one dwelling and one accessory building, and is accessed off an existing approach off Bearspaw Summit.
- The existing dwelling habitable floor area is 186.92 sq. m (2,012 sq. ft.) in size. Note, this does not include the basement area.
- The basement is 102.19 sq. m (1,100.00 sq. ft.) and will be used for operation of an Airbnb, which include 3 bedrooms, 1 bathroom, 1 living room, 1 laundry room and utility room.
- No signage is proposed for the proposed development, as the advertisement is on the Airbnb website.
- 3 parking stalls will be allocated for the proposed development in the driveway.
- No employees are required. The Applicant will reside in the dwelling and provide regular maintenance for the proposed business.

LAND USE BYLAW (C-8000-2020):

“Vacation Rental” means a Dwelling Unit that is rented online via a hospitality service brokerage company that arranges lodging such as Airbnb, Vrbo, TurnKey, HomeAway etc.

Residential, Country Residential District

Section 325 Discretionary Uses:

- *Vacation Rental*
 - The proposed vacation rental is a discretionary use, and therefore, a Development Permit is required, and the application should be considered by Municipal Planning Commission in accordance with the Administrative Directive.



Section 329 Maximum Building Height:

- The proposed development is within the existing building, therefore, it meets the requirement.

Section 330 Minimum Setbacks:

- The proposed development is within the existing building, therefore, it meets the requirement.

Section 330.1 Additional Requirements:

- a) *Commercial development shall be accessory to a primary residential use on the parcel.*
- The proposed development is accessory to the primary residential use.

Additional Information:

Development Permit History:

- 2000-DP-8925: Development Permit for “construction of an accessory building relaxation of the minimum side yard setback requirement” was issued on August 26, 2000.

Building Permit History:

- 2000-BP-13931: Building Permit for “accessory building” was issued on July 26, 2000.
- 1973: The dwelling was built in 1973.

STATUTORY PLANS:

The subject land is located within the Bearspaw Area Structure Plan. Policy 8.2.12 states that home occupations may be considered to be appropriate land uses within the plan area provided they are approved and operated in accordance with the provisions of the Land Use Bylaw. The proposed development meets the definition of Home Occupations within Bearspaw Area Structure Plan, and is discretionary use within the Land Use Bylaw:

Home Occupation – *A commercial or industrial use which may be confined to the residence or the site and is ancillary to a principal residential land use as per the Land Use Bylaw.*

INSPECTOR’S COMMENTS:

- The property is accessed through the existing approach with a gate;
- The proposed Airbnb is operating in the basement, which is on the ground level.
- The main entrance to the dwelling is located on the other side of the house.

CIRCULATIONS:

Development Compliance, Rocky View County:

- This application is the result of an enforcement issue. As an application has now been filed, Development Compliance has no comments at this time.

Fire Services & Emergency Management, Rocky View County:

- No comment.

Building Services Review

- Advisory condition - Applicant is required to submit a Building permit application prior to any construction taking place in the basement.



- Advisory condition - Applicant to acquire all plumbing, gas, electrical and sewer permits for the related work.
- The attached links below includes the checklists that may be applicable once details construction are received. If deemed as a bed and breakfast without an independent suite classification the following checklist will apply
https://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Building/checklists/Basement-Development_Checklist.pdf.
- If deemed as a separate rental suite with an independent dwelling classification, the following checklist will apply as a secondary suite-
https://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Building/checklists/Accessory-Dwelling-Units_Checklist.pdf
- If deemed as the latter classification, all Building Code provisions of a secondary suite including sound transmission requirements shall apply.

Planning and Development Services - Engineering

- The portable water is provided by water well, and wastewater is treated by the septic tank and field. As the proposed development is within the existing building, Engineering Services has no concerns on transportation and stormwater.

OPTIONS:

Option 1: (this would allow the development to proceed)

APPROVAL, subject to the following conditions:

Description:

1. That the *Vacation Rental* (Airbnb) may operate on the subject property, within the existing dwelling, single detached, in accordance with the approved site plan, floor plans and the conditions of this permit.

Permanent:

2. That no off-site advertisement signage associated with the Vacation Rental shall be permitted.
3. That there shall be no non-resident employees at any time, with the exception of cleaning companies (if required).
4. That the *Vacation Rental* shall be limited to the dwelling, single detached.
5. That the Owner shall be responsible for ensuring that any renters are familiar with the property boundaries, whether that be by means of a fence, signage, or other means, to ensure no trespassing to adjacent properties.
6. That all customer parking shall be on the Owner's property at all times.
7. That the operation of the vacation rental shall not change the residential character and external appearance of the land and dwellings.
8. That the operation of this *Vacation Rental* shall not generate noise, smoke, dust, fumes, glare, or refuse matter considered offensive or excessive by the Development Authority and at all times the privacy of adjacent residential dwellings shall be preserved. The *Vacation Rental* shall not, in the opinion of the Development Authority, unduly offend or otherwise interfere with neighbouring or adjacent residents.
9. That the operation of the *Vacation Rental* shall be subordinate and incidental to the principal use of the dwelling unit as an owner-occupied residence.



10. That any minimal exterior modification of the structure or grounds may be considered by the County upon request, to ensure that no additional permits are required and that it is not changing the residential character of the property.

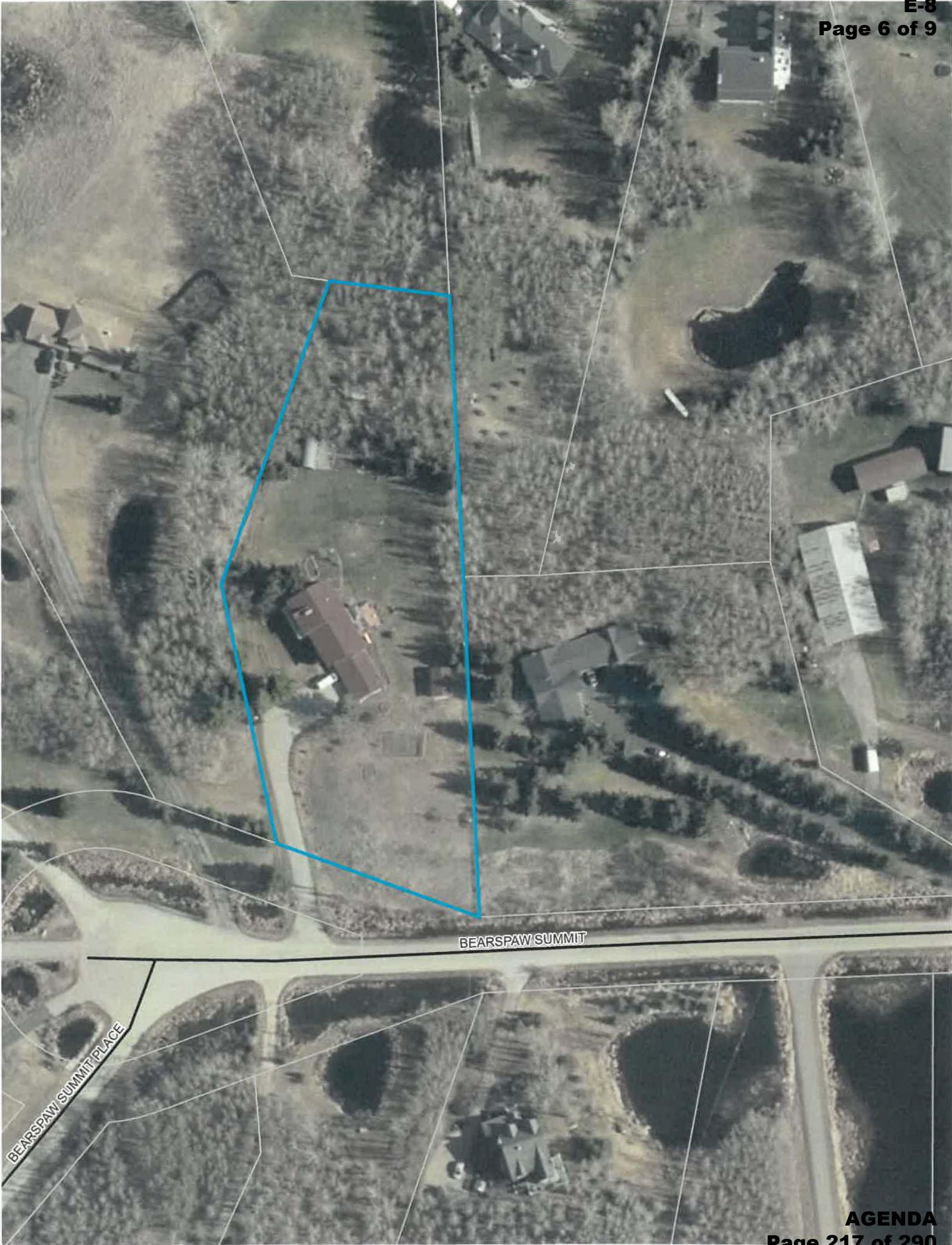
Advisory:

11. That a Building permit and applicable subtrade permits shall be obtained through Building Services, if required, prior to commencement of the *Vacation Rental*.
12. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
13. That this Development Permit shall be valid until **November 25, 2023**, at which time a new application shall be submitted. *Note, that the County will take into consideration any enforcement action of this Vacation Rental prior to considering subsequent applications.*

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighborhood and materially interferes with and affects the use, enjoyment, and value of neighboring parcels of land.





ROCKY VIEW COUNTY
Cultivating Communities

DEVELOPMENT PERMIT APPLICATION FORM

FOR OFFICE USE ONLY	
APPLICATION NO.	PRDP2020 2740
RENEWAL TO	
ROLL NO.	05736016
DATE OF RECEIPT	Sept 14, 2020
FEES PAID	\$580.00

APPLICANT/ OWNER

Applicant Name: GUANGTONG SUN

Email: [REDACTED]

Landowner Name(s) per title (if not applicant):

Business/ Organization Name (if applicable):

Mailing Address:

Postal Code:

Telephone (Primary):

Email:

LEGAL LAND DESCRIPTION - Subject site

All/ part of: NE 1/4 Section: 36 Township: 25 Range: 3 West of: 5 Meridian Division: 8

All parts of Lot(s): Block: 7 Registered Plan: 8911456 Parcel Size (ac/ ha): 2

Municipal Address (if assigned): 60 Benspan Summit Existing Land Use District: R-CRD

APPLICATION FOR - List use and scope of work

Vacation rental (Airbnb) in basement, 3 Rooms.

Variance Rationale included: ☐ YES ☐ NO ☐ N/A

DP Checklist included: ☐ YES ☐ NO

SITE INFORMATION

- a. Oil or gas wells present on or within 100 metres of the subject property(s) ☐ YES ☒ NO
- b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant) ☐ YES ☒ NO
- c. Abandoned oil or gas well or pipeline present on the property ☐ YES ☒ NO
(Well Map Viewer: <https://extmapviewer.aer.ca/AERAbandonedWells/Index.html>)
- d. Subject site has direct access to a developed Municipal Road (accessible public roadway) ☐ YES ☒ NO

AUTHORIZATION

I, GUANGTONG SUN (Full name in Block Capitals), hereby certify (initial below):

☐ That I am the registered owner OR ☐ That I am authorized to act on the owner's behalf

☐ That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.

☐ That I provide consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

Right of Entry: By signing this application I acknowledge that Rocky View County may enter, with reasonable notice, the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit Application in accordance with Section 542 of the Municipal Government Act.

Applicant's Signature [Signature]

Date Sept 14, 2020

Landowner's Signature [Signature]

Date Sept 14, 2020

Privacy Notification: All information provided by the Applicant/Owner associated with the development permit application will be treated as public information during the review and processing of the application. The information is collected in accordance with s.33(c) of the Freedom of Information and Protection of Privacy Act. If you have questions regarding the collection or use of this information, contact the Planning & Development Services at 403-240-1301.

Cover letter

Dear Sr./medan:

I, Guangtong Sun. landlord of 60 Bearspear Summit, Calgary. T3R1H55. living same place.

I plant to use my basement 3 bedrooms as Airbnb, vacation rental to get extra income.

We have 3 parking lot in front of house.

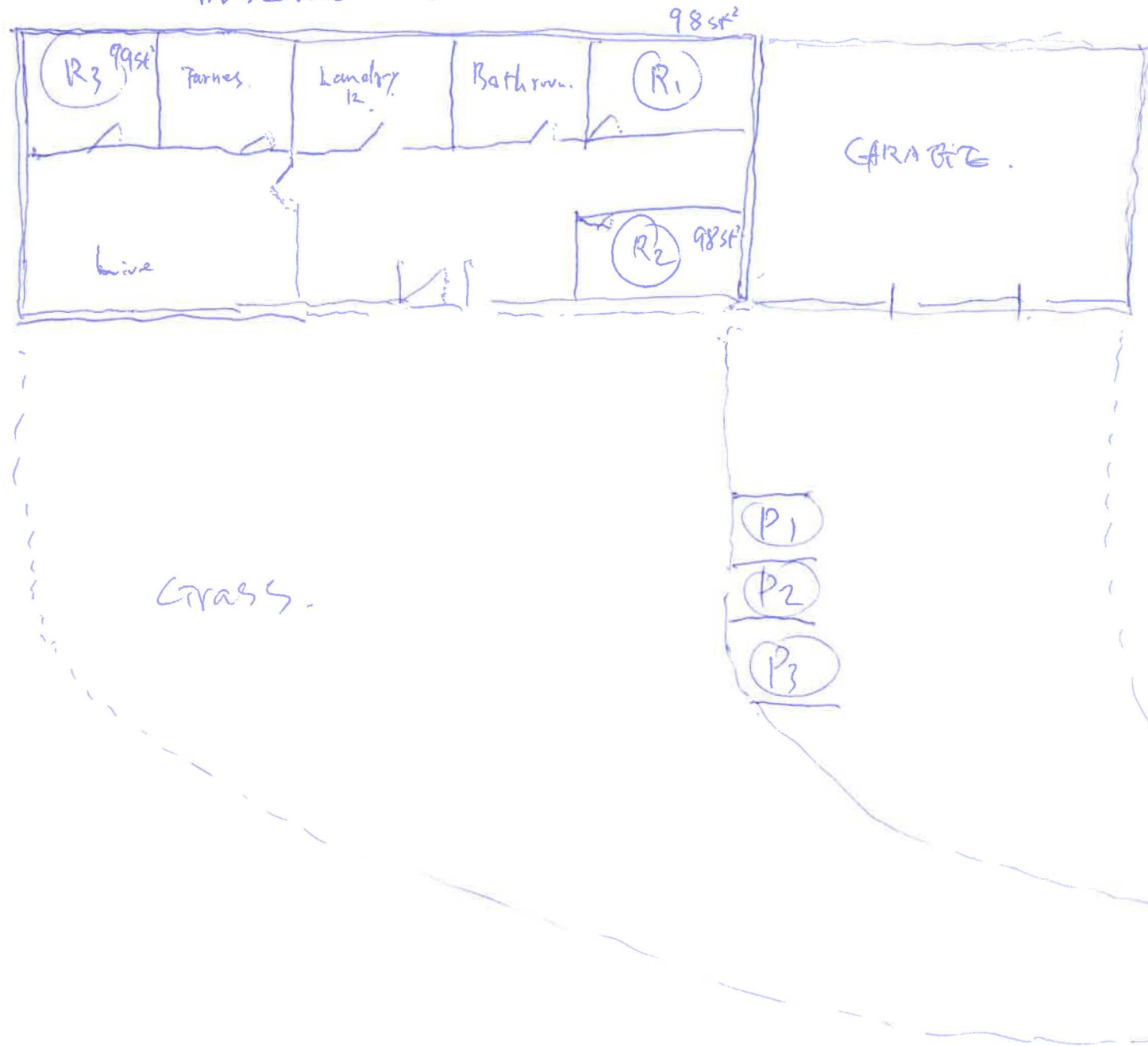
no kitchen in the basement, one bathroom
one laundry room.

Thank you.

Guangtong Sun.

sep. 14. 2022

Basement.



PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission **DATE:** October 29, 2020
DIVISION: 7 **APPLICATION:** PRDP20202835
SUBJECT: Development Item – *Commercial Communication Facility, Type B*
USE: Discretionary use, without Variances

APPLICATION: Commercial Communication Facility Type B and associated equipment shelter.

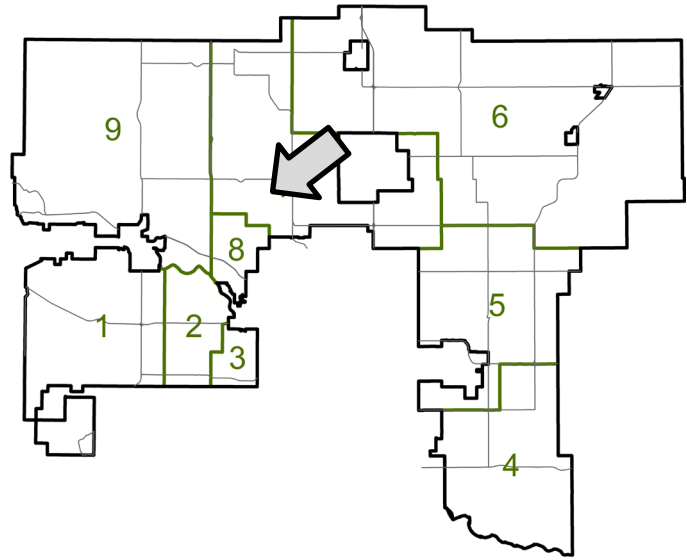
GENERAL LOCATION: Located approximately 1.61 km (1 mile) north of Highway 566 and on the east side of Range Road 20.

LAND USE DESIGNATION: Agricultural, General District (A-GEN) under the new Land Use Bylaw (C-8000-2020)

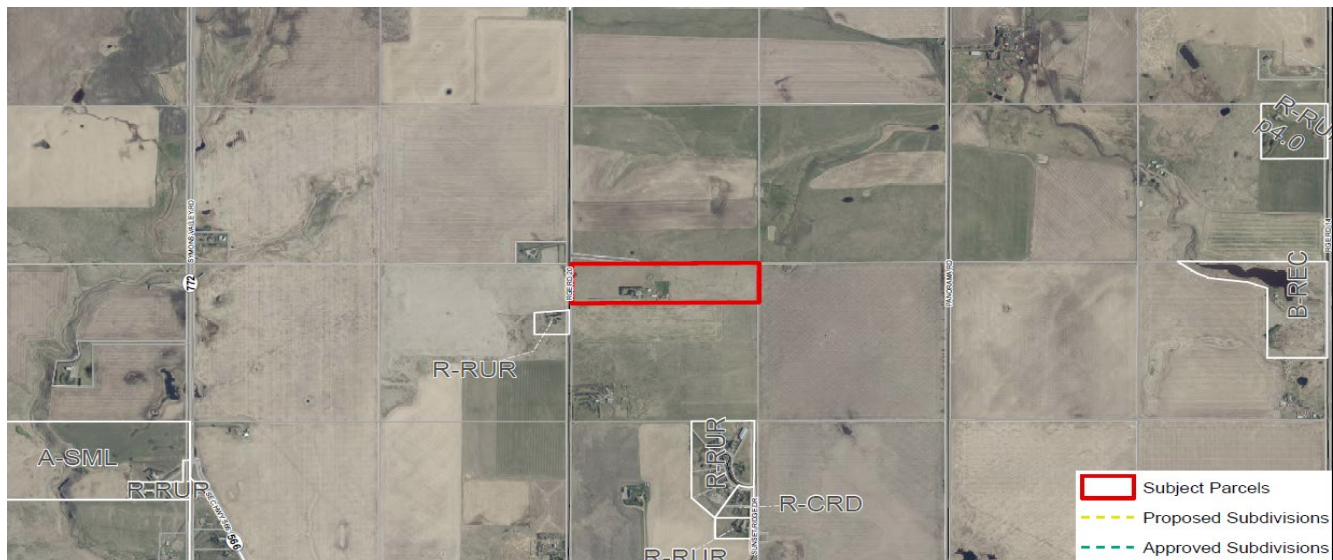
ADMINISTRATION RECOMMENDATION: Administration recommends Approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20202835 be approved with the conditions noted in the report.
- Option #2: THAT Development Permit Application PRDP20202835 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Xin Deng - Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: September 18, 2020	File: 06518005
Application: PRDP20202835	Applicant: Scott Telecom Services Ltd. (on behalf of Xplornet Communications Inc.) Owner: Douglas & Lois Habberfield
Legal Description: NW-18-26-01-W05M	General Location: Located approximately 1.61 km (1 mile) north of Highway 566 and on the east side of Range Road 20.
Land Use Designation: Agricultural, General District (A-GEN) under Land Use Bylaw C-8000-2020 and County Policies.	Gross Area: ± 16.18 hectares (± 40.00 acres)
File Manager: Xin Deng	Division: 7

PROPOSAL:

The proposal is for a Communication Facility Type B, for Xplornet Communications Tower.

- The property contains a dwelling, two accessory buildings, and a 15.00 m (49.21 ft.) high cell phone tower.
- The land can be accessed through the existing approach off Range Road 20.
- The Applicant proposes to install a new 18.50 m (60.70 ft.) high self-support tower with projecting antennas to replace the existing 15.00 m (49.21 ft.) high tower, in order to have upgraded technology to improve the coverage and capacity for the area. The existing 15.00 m (49.21 ft.) high tower will be removed following construction of the new tower.
- The proposed development also includes an equipment shelter, which is 2.00 m (6.56 ft.) (length) x 1.00 m (3.28 ft.) (width) x 1.00 m (3.28 ft.) (height), to accommodate the required equipment to operate the facility.
- The new tower and cabin will be built on a 15.00 m (49.21 ft.) x 15.00 m (49.21 ft.) compound ground. No fence is proposed around the compound ground.
- The proposed tower will be accessed by using the same approach off Range Road 20.
- The Federal Minister of Industry is the approving authority for telecommunication antenna structures and requires that the local land use authority and the public be consulted for input regarding the proposed placement of these structures. The County reviews proposed submissions based on specific physical criteria and a development permit (concurrence) or refusal (non-concurrence) is issued. The County cannot prevent a proponent from ultimately gaining permission from Industry Canada to install a telecommunications antenna on any lands; privately held, County owned, or otherwise.

Definitions:

Commercial Communications (CC) Facilities means facilities that are used for transmission of wireless communication signals. These facilities include telecommunication towers, antennas, and the buildings that house their supporting equipment. These facilities are used to transmit radio-frequency signals, microwave signals or other communications energy. The Land Use Bylaw defines three types of CC facilities:

- *Type B facilities means: either tower or pole structures between 4 and 20 meters (13.12 to 65.62 feet) in height, to which antennae are mounted for the purpose of telecommunications broadcast or signal transmission.*
 - The proposed Xplornet Communications Tower is 18.50 m (60.70 ft.) high in total, which is considered a Type B facility.

In assessing these types of applications, the County considers the following guidelines based on good practice and Industry Canada standards:

Public Notification shall be the responsibility of the applicant prior to the submission of any development permit application for Type A, Type B, or Type C facilities.

- a. *Public Notification is to include all properties within 250 meters of a proposed Type A facility, 500 meters of a proposed Type B facility, and 1,600 meters of a proposed Type C facility.*
 - The Applicant indicated that a notification package was mailed out to 7 local residents within 500 meters radius of the proposed tower. In addition, a public notice was posted on the local newspaper - Rocky View Weekly on August 18, 2020.
- b. *Public Notification packages are to include all relevant information related to the proposed facility, including a location map, elevation drawings, description, and contact information.*
 - The notification package included all of relevant information.
- c. *The Public Notification period is to last a minimum of 21 days, and all public submissions are to be included with the development permit application package.*
 - The local residents were given 21 days to response. No public submissions were received during the notification period (August 18 – September 15, 2020).

The following criteria give direction to the development of Type B and Type C facilities. Type B and C commercial communication facilities will be evaluated based on the following criteria:

- a. *CC Facility Type B or C must be listed as a use in a District in the Land Use Bylaw before an application for a Development Permit can be considered.*
 - Communications Facility Type B is a discretionary use under Agricultural, General District (A-GEN) within the Land Use Bylaw.
- b. *The rural vistas of the County should be respected. Tower and pole locations are discouraged on prominent natural or cultural features for the protection of views.*
 - While the proposed wireless communication tower will be located in an agricultural land, the purpose for this application is to replace the existing 15.00 m (49.21 ft.) high tower with the proposed new 18.50 m (60.70 ft.) high tower, which would not cause negative impact on the existing features.
- c. *Although criteria can be relaxed at the discretion of the Development Authority, as a guideline it is recommended that:*



- i. *Any tower proposed to be placed on a site abutting existing dwellings should be located no closer than 500 meters from those dwellings.*
 - There are two residential dwellings within a 500 meter radius of the proposed tower. One is the existing dwelling on the same property (with Owner's permission), and the other is located approximately 469 meters to the southwest of the tower.
 - Even though the proposed tower does not meet the distance requirement, the adjacent landowners had no comment during the public consultation period. As such, Administration supports the variance request by the Applicant.
- ii. *Type B and Type C facilities should be located one half times the height of the facility from an existing or future road allowance.*
 - The proposed tower will be 18.50 m (60.70 ft.) high. One and half times of height will be 27.75 m (91.04 ft.). The proposed tower is over 300 m away from the adjacent Range Road 20, which meets the distance requirement.
- iii. *Type B or Type C facilities should not be closer than 2,000 meters from other Type B or Type C facilities.*
 - It appears that Rogers' cell phone tower is located approximately 1,400 meters from the proposed new tower. The proposed new tower does not meet the distance requirement. The Applicant explained that the Rogers tower is too far away to co-locate equipment and meet coverage objectives. Administration supports the rationale provided by the Applicant.
- d. *Application for CC facility approval shall include a current picture of the lands where the tower is proposed (before installation), and a picture of the same lands with the proposed facility superimposed (after the installation) to reflect the appearance of the facility and associated buildings after installation.*
 - The applicant provided pictures showing before and after installation of the proposed tower.
- e. *The County prefers to only have active CC facilities on the landscape. Once a CC facility becomes inactive for a period of more than six months, the Carrier should remove the facility. If non-compliance with this policy occurs, the County will request removal of the facility through Industry Canada.*
 - The applicant acknowledges the requirement.

Commercial communication installations should be designed to limit the overall visual impact to the area. The design of commercial communication facilities will give consideration to the following criteria:

- a. *All towers and pole structures should be screened where possible or concealed through the use of innovative design strategies or camouflage. The use of landscaping, fences and architectural features on and around the equipment compounds, shelters and cabinets associated with a CC facility is encouraged to assist these structures to blend in with their surrounding environment.*
 - The applicant acknowledges the requirement.
- b. *All CC facilities should be neutral in colour and blend with the surroundings when possible. Mitigation of the visual aspects of the facility may include painting, appropriate and effective decorative fencing, screening, and/or landscaping, and should not clash with the sky or landscape given Alberta's changing seasons.*



- c. *Where applicable, Type B and Type C facilities must comply with Transport Canada's painting and lighting requirements for aeronautical safety. In all other locations Type B and Type C facilities should be lit with the lowest intensity light possible.*
 - The proposed tower is neutral in color without marking and lighting.

Co-location of communications equipment on Type B and Type C facilities is advised whenever possible.

- a. *Along with a development permit application, a letter is required to be submitted to the County stating that the carrier will allow co-location with other users, provided all structural, and technological characteristics of the facility can support additional development.*
- b. *Each application for Type B and Type C facilities will include letters of offer to the other major carriers to co-locate on the proposed facility. Responses to these letters from other carriers should be copied to Rocky View County's Development Authority.*
 - The applicant sent invitations to all major carriers (Rogers, Bell, Telus, and Freedom Mobile) to allow co-location with other users on the proposed new tower. Freedom Mobile declined the offer, and no responses were received from other carriers.
- c. *If there are other structures (i.e. other Type B or Type C facilities, flag poles, church steeples, electrical transmission towers, chimneys of smoke stacks) within 2,000 meters of the proposed location, which could support communications equipment, the applicant must identify them and provide reasons why these structures are unable to accommodate additional communications equipment (i.e. due to: structural capabilities, safety, available space, frequency interference).*
 - The Applicant investigated other possible structures. Due to safety concern and capacity, replacement of the existing cell phone tower with the new one is the best solution, as the existing one has older technology that could not support the equipment required to improve service and capacity in the existing area.
- d. *The applicant should notify Rocky View County Emergency Services department with plans for new Type B or Type C facilities. Where possible coordination with the County's Emergency Services regarding locating emergency equipment on the proposed facility should occur.*
 - The Applicant was advised to contact county emergency services to discuss about an Emergency Response Plan.

LAND USE BYLAW (C-8000-2020):

Agricultural, General District

Section 304 Discretionary Uses

- Communications Facility (Type B)
 - The proposed cell phone tower is discretionary use, and therefore, a Development Permit is required, and the application should be considered by Municipal Planning Commission in accordance with the Administrative Directive.

Section 308 Minimum Setbacks (Equipment Shelter)

Front yard:

- Required: 45.00 m (147.64 ft.) from county roads
- Proposed: lots, which meets the requirement

Side yard:

- Required: 6.00 m (19.69 ft.) from other parcels



- Proposed: 7.50 m (24.61 ft.) / lots, which meets the requirement

Rear yard:

- Required: 15.00 m (49.21 ft.) from other parcels
- Proposed: lots, which meets the requirement

Additional Information:

Development Permit History:

- None.

Building Permit History:

- 1976: The dwelling and accessory building were built in 1976.

STATUTORY PLANS:

The subject land does not fall within any Area Structure Plan. The application was assessed in accordance with Procedure 308 and the Land Use Bylaw.

INSPECTOR'S COMMENTS:

- The property is accessed through the existing approach with a gate
- The property contains a dwelling, a couple of accessory buildings, and a cell phone tower

CIRCULATIONS:

Development Compliance, Rocky View County:

- No comments or concerns.

Fire Services & Emergency Management, Rocky View County:

- No comment.

Building Services Review

- Advisory comment: Applicant to acquire all required sub trade permits for the project.
- Please note-a utility tower will not require a building permit application on its own.

Planning and Development Services (Engineering)

General

- The review of this file is based upon the application submitted. These conditions/ recommendations may be subjected to change to ensure best practices and procedures.

Geotechnical:

- Applicant is proposing to construct a new wireless communications tower.
- As a permanent condition, the applicant will be required to provide compaction testing results, prepared and provided by a qualified professional, for any areas of the site filled greater than 1.2m in depth.
- Engineering has no requirements at this time.

Transportation:

- Access to parcel is provided from an approach off Range Road 20.



- This is unlikely to increase traffic on local road networks. Traffic Impact Assessment and Transportation Off-site levy are not required.
- Engineering has no requirements at this time.

Sanitary/Waste Water:

- No information was provided.
- Engineering has no requirements at this time.

Water Supply And Waterworks:

- No information was provided.
- Engineering has no requirements at this time.

Storm Water Management:

- No significant increase in site runoff is expected due to proposed development.
- Engineering has no requirements at this time.

Environmental:

- No environmental constraints are present on site.
- Engineering has no requirements at this time.

OPTIONS:

Option 1: (this would allow the development to proceed)

APPROVAL, subject to the following conditions:

Description:

1. That a telecommunications tower for a Communications Facility, Type B, may be situated on the subject parcel in accordance with the approved Site Plan and drawing set (*as prepared by Tylon, Customer XPLOARNET*) and details submitted with the application, and includes the following:
 - i. Placement of one self-supporting telecommunications tower approximately 18.50 m (60.70 ft.) high;
 - ii. Placement of an equipment shelter; and
 - iii. Site grading for Tower Base/Foundation (as required).

Permanent:

2. That the existing 15.00 m (49.21 ft.) high Communication Facility shall be removed from the property, within three months, upon final completion/installation of the proposed Communications Facility.
3. That the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
4. That no topsoil shall be removed from the site.
5. That the Commercial Communication Facility shall be neutral in color and blend with the surroundings, mitigation of the visual aspects of the facility should include painting, decorative fencing, screening, landscaping, and should not clash with the sky or landscape.



6. That should the Commercial Communication Facility become deactivated or unused; the Commercial Communication Facility shall be removed from the parcel within six months of becoming deactivated or unused.

Advisory:

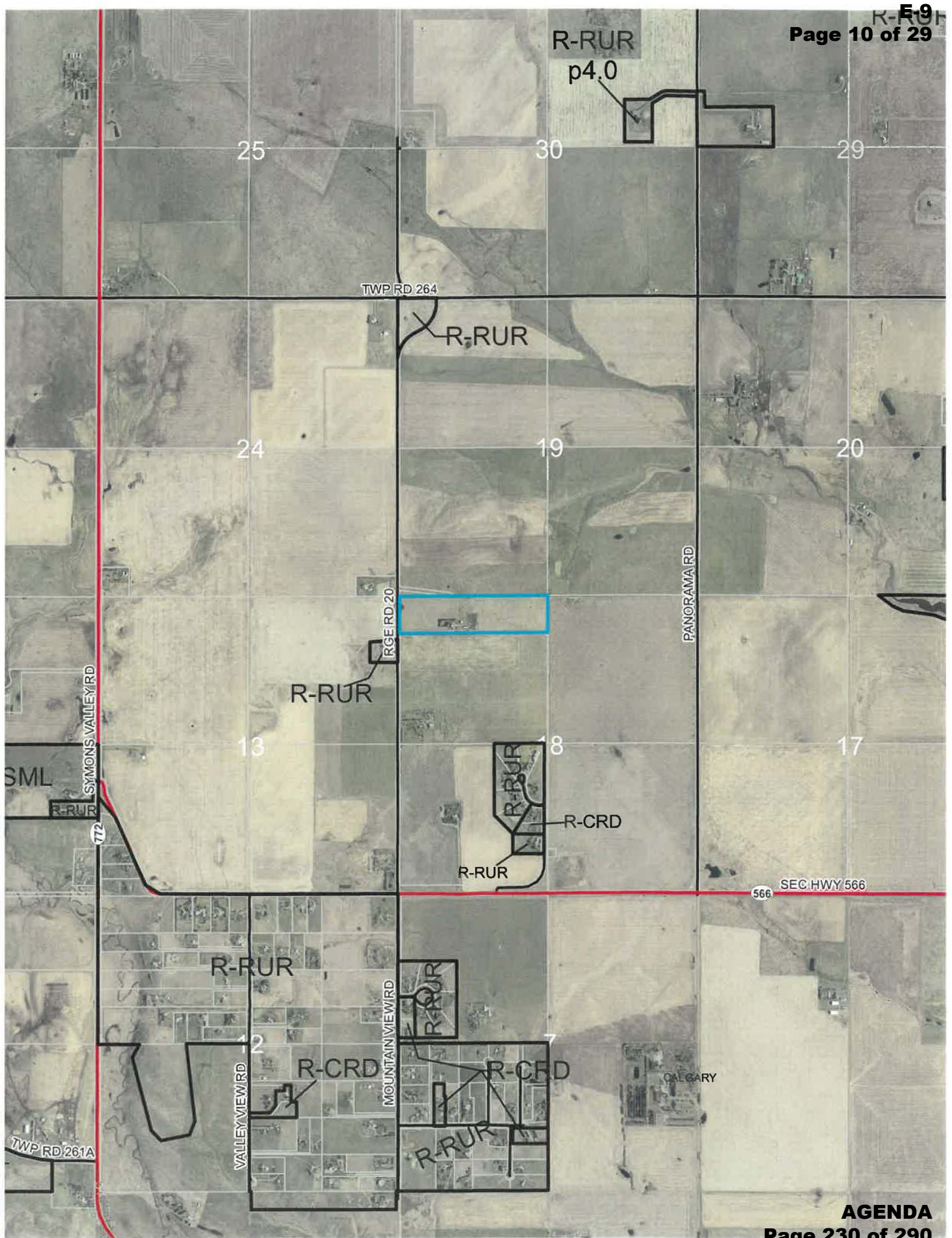
7. That that the Applicant/Owner shall acquire all required sub-trade permits, through Building Services, for the development project.
8. That it is advised that the Applicant shall contact the County's Emergency Services to discuss or provide an emergency response plan, indicating the response measures to be taken in case of an emergency at the site and the location of emergency equipment on the proposed facility site.
9. That any other federal, provincial or County permits, approvals, and/or compliances are the sole responsibility of the Applicant/Owner.
10. That if the development authorized by this Development Permit has not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighborhood and materially interferes with and affects the use, enjoyment, and value of neighboring parcels of land.

RGEIRD20





ROCKY VIEW COUNTY

DEVELOPMENT PERMIT APPLICATION

FOR OFFICE USE ONLY

APPLICATION NO.	20202835
ROLL NO.	06518005
RENEWAL OF	
FEES PAID	\$1000.00
DATE OF RECEIPT	Sept 18, 2020

APPLICANT/OWNER

Applicant Name: Scott Telecom Services Ltd.

Email: jpigeon@scotland.ca

Landowner Name(s) per title (if not the Applicant): Lois Anita Habberfield and Douglas Habberfield

LEGAL LAND DESCRIPTION - Subject site

All/part of: NW ¼	Section: 18	Township: 26	Range: 1	West of: 5	Meridian	Division:
All parts of Lot(s)/Unit(s):	Block:	Plan:		Parcel Size (ac/ha):		
Municipal Address: 262228 Range Road 20 Rocky View County, AB		Land Use District: RF				

Xplornet proposes to construct a telecommunications installation on a portion of NW 18-26-1 W5M located in Rocky View County. The proposed installation is a rebuild of an existing 15m tower that will be replaced with an 18.5m (60.7ft.) self-support tower with the approximate corresponding GPS coordinates of 51.225109° N, -114.135850° W. The dimensions of the tower are ±1.93m. (±6.33ft.) per side of the triangle.

Upon completion of construction of the proposed tower, an existing Xplornet 15m pole will be removed. Crews will use existing landowner approach.

Xplornet has used this approach for construction and access for the existing structure. Work is expected to take 2-4 weeks for completion and location will be accessed infrequently after installation.

Variance Rationale included: ☐ YES ☐ NO ☒ N/ADP Checklist Included: ☒ YES ☐ NO

SITE INFORMATION

- a. Oil or gas wells present on or within 100 metres of the subject property(s) ☒ YES ☐ NO
- b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant) ☐ YES ☒ NO
- c. Abandoned oil or gas well or pipeline present on the property ☐ YES ☒ NO
(Well Map Viewer: <https://extramapviewer.aer.ca/AERAbandonedWells/Index.html>)
- d. Subject site has direct access to a developed Municipal Road (accessible public roadway) ☒ YES ☐ NO

AUTHORIZATION

I, JASON PIGEON (Full name in Block Capitals), hereby certify (initial below):

☐ That I am the registered owner OR ☒ That I am authorized to act on the owner's behalf.

☒ That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.

☒ That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is collected in accordance with s.33(c) of the *Freedom of Information and Protection of Privacy Act*.

☒ **Right of Entry:** I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for purposes of investigation and enforcement related to this application in accordance with Section 542 of the *Municipal Government Act*.

Applicant Signature Jason PigeonLandowner Signature PLEASE SEE LOADate September 16, 2020

Date _____



September 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2
Attention: Evan Neilsen

**RE: Proposed Xplornet Telecommunications Rebuild
Located on a portion of NW 18-26-1 W5M
Development Permit and Request for Concurrence
Xplornet File: AB1239**

According to the Radiocommunication Act, the Minister of Industry retains sole jurisdiction over approving proposed radiocommunication antenna systems, including cell towers. Proponents must follow Innovation, Science and Economic Development Canada's antenna tower siting procedures, titled Radiocommunication and Broadcasting Antenna Systems (CPC-2-0-03).

Federal regulations require that Xplornet follow the below process:

- Investigate sharing or using existing infrastructure before proposing new antenna-supporting structures.
- Contact the land-use authority (LUA) to determine local requirements regarding antenna systems.
- Undertake public notification and address relevant concerns, whether by following local LUA requirements or Innovation, Science and Economic Development Canada's default process, as is required and appropriate.
- Satisfy Innovation, Science and Economic Development Canada's default process, as is required and appropriate.

In accordance with these policies, public consultation has been completed following ISEDC requirements and Rocky View County requirements. A notification package was prepared and mailed to 7 nearby landowners within 500m of the tower location and a public notice was listed in the August 18, 2020 issue of the Rocky View Weekly. September 15, 2020 marked the end of the public consultation period, with no comments received.

We respectfully request that Rocky View County review the following attachments. The attachments are enclosed either as required by your guidelines, or in addition to your guidelines, in order to provide sufficient information to make a decision regarding concurrence:

- Communications Facilities Application form and Fee
- Certificate of Title.
- Letter of Authorization.
- Detailed Site Plan
- Elevation Drawings

- Landowner Notification Package
- Photo Simulation reflecting proposed new build next to existing pole to be removed
- Tearsheet of Public Notice

Xplornet makes every attempt to develop as sensitively as possible, while balancing the technical requirements and customer demand for improving service in an area. The location for the proposed telecommunications tower was identified by qualified radiofrequency engineers. It is central to an area experiencing poor signal coverage and that is susceptible to capacity limitations as shown in the included coverage maps. Xplornet attests that the installation will be installed and operated on an ongoing basis to comply with Health Canada's Safety Code 6.

In conformance with Innovation, Science and Economic Development Canada's (ISED) (formerly Industry Canada) policy for approving new telecommunications installations, Xplornet has researched all existing antenna systems and other infrastructure capable of entertaining telecommunications equipment in the area. Xplornet assessed 1 existing structure and 1 structure to be rebuilt within a 3km radius of the targeted area on which to collocate Xplornet's equipment. As Xplornet is replacing an existing 15m pole with an 18.5m tower, Xplornet meets collocation objectives. The existing structures are detailed below. All equipment necessary to operate this facility will reside within an equipment cabinet at the base of the tower. Xplornet attests that the installation will respect good engineering practices, including structural adequacy.

Latitude	Longitude	Height (m)	Distance (km)	Licensee Name	Disqualification Justification
51.213056	-114.142222	40	1.41	Rogers Communications Canada Inc.	Not required as Xplornet is replacing existing pole.
51.225075	-114.135814	15	0	Xplornet Communications Inc.	Pole to be removed following construction of new tower.

Should you have any questions or concerns, please do not hesitate to contact me.

Thank you,



Jason Pigeon
Land Agent
Scott Land & Lease Ltd.
Cell: 403-473-6661
jpigeon@scottland.ca

515. Notices 515. Notices

PUBLIC NOTICE



Xplornet Communications Inc. would like to notify area residents of a proposal of a new telecommunications installation situated on a portion of the NW 18-26-1 W5M. The proposed installation is a rebuild of an existing 15m tower that will be replaced with an 18.5m self-support tower. Upon completion of construction of the proposed tower, an existing Xplornet 15m pole will be removed. All of the equipment required to operate the facility will be located inside an equipment shelter at the base of the tower.

This new telecommunications facility will improve coverage to the Balzac area.

Your comments are welcome at
(403) 261-6517

Written comments can be faxed to
(403) 264-6265

Or email to notify@scottland.ca

All comments will be accepted until
September 15, 2020.

3220. Misc. Wanted 3220. Misc. Wanted

WANTED DEAD OR ALIVE

Canadian Prairie Pickers

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3220. Misc. Wanted 3220. Misc. Wanted



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You can send it to us & we might
publish it in an upcoming issue
of the paper.

Send us your photo of a local event or a
perfect nature shot, and your name &
photo credit will be published.

Send your photos to
news@airdrie.greatwest.ca

Include your name and contact phone number



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Weekly

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NEWSPAPER

Church Directory

To advertise your church in this section email sales@airdrie.greatwest.ca to book your space.
The cost to run in the Church Directory is \$2.50 per week for your ad to be in one paper
or \$5.00 per week if your ad runs in both papers.

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2 miles South and 3.5 miles West of Acme
6 miles North and 3.5 miles West of Beiseker
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www.acmecog.org

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Sundays | 9:30 and 11:15 AM
(403) 686-0608 or info@mcvc3church.ca
On Hwy #1 - 91 Commercial Ct. Calgary T3Z 2A5

KINGDOM CITY
1604 Summerfield Blvd.
Formerly Airdrie Alliance Church
Join Us For Church Online | Sundays at 10:00am
kingdomcity.ca/online

Springbank United Church
250011 Range Road 33, Calgary, Alberta T3Z 1L2
Phone: 403-288-9086 email: sbunited@telus.net
website: www.springbankunited.org
Sunday Service at 10:30 am

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airdrieadventist@gmail.com
www.airdriesda.org

**Crossfield United
Church**
www.crossfieldunited.com
Sunday Worship Service 10:00 am
Rev. Dave Crawford 403-946-5514

KING'S COURT
Sundays 10:30 a.m.
&
Thursdays 7:00 p.m.
2964 Kingsview Blvd. SE Airdrie T4A 0C9
info@rccgairedie.org • 403-420-5575
www.rccgairedie.org

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Sunday Worship: 10:30 a.m.
• Sunday School • Nursery • U.C.W. •
airdrieunitedchurch.ca

Crossfield Baptist Church
www.crossfieldbaptistchurch.com
Mothers of Preschoolers Program • Children & Youth Ministries
Nursery & childcare provided.
Worship Service 10:30am
.5 km north of Crossfield on Hwy 2A
Pastor Dave Wiebe 403-946-5651

**Lutheran Church of
the Master - ELCIC**
216 Main St S., Airdrie
Tel: 403-948-3567 • Rev. Tim Wray
Sunday Worship 10:30 am

St. Paul's Catholic Church
Fr. Julian Studden
Mass Times: Saturday-5 pm,
Sunday- 9 & 11am
www.stpaulsairdrie.ca
Reconciliation: Saturday at 4:00 pm

Balzac United Church
A short drive south of Airdrie - 403-226-5844
Sunday Service 9:30 a.m.
Sunday School & Nursery Available
www.balzacunitedchurch.com

Dalemead Church
"whosoever will may come"
Argyle St. & Gordon Ave., Dalemead
Sunday Worship Service - 10:30 a.m.
Pastor Wes Thiessen Ph 403-251-5577
dalemeadchurchpastor@gmail.com

MOUNTAIN VIEW
244191 Range Rd 31
(Old Banff Coach Rd & Hwy 1 W.)
Worship: 9:30am
Bible Study (all ages) 10:45am
403-242-5000 • mountainviewchurch.org

Tri - Community Baptist Church
239 9th Street, Beiseker
Church Office - 403-947-3284
Pastor: Eric Spletzer
e-mail: tcbc@efirehose.net
Family Worship Service - 10:30 am

**Beiseker Levelland Seventh Day
Adventist Church**
2800041A Rge Rd 242, 16km E of Beiseker, 2km S
Saturday Service: Sabbath school @ 10a.m.
Worship Service @ 11a.m.
Pastor Anthony Kern 825-365-3321, email: akern@albertaadvantist.ca

DAYBREAK
COMMUNITY CHURCH
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with DayBreak kids at 10:00 am
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Pastor Darren Dressler 403-912-9013
www.airdrielutheran.com

Chestermere Christian Fellowship
Services: Sunday 10:00 am
Pastor Darcy Neufeld 403-204-2079
1.6 km north of Hwy 1 on Conrich Road



September 4, 2020

To: Landowner

Re: **Proposed Xplornet Telecommunications Installation**
Located on a portion of NW 18-26-1 W5M
Xplornet's File: XPL-0001.053 (AB1239)

Xplornet Communications Inc. (Xplornet) would like to notify area residents of a proposal to construct a telecommunications installation on a portion of **NW 18-26-1 W5M** located in Rocky View County. The proposed installation is a rebuild of an existing 15m tower that will be replaced with an 18.5m (60.7ft.) self-support tower with the approximate corresponding GPS coordinates of 51.225109° N, -114.135850° W. The dimensions of the tower are ±1.93m. (±6.33ft.) per side of the triangle. Upon completion of construction of the proposed tower, an existing Xplornet 15m pole will be removed.

About Xplornet

Xplornet's Proposal

In conformance with Innovation, Science and Economic Development Canada's (ISED) (formerly Industry Canada) policy for approving new telecommunications installations, Xplornet has researched all existing antenna systems and other infrastructure capable of entertaining telecommunications equipment in the area. Xplornet assessed 1 existing structure and 1 structure to be rebuilt within a 3km radius of the targeted area on which to collocate Xplornet's equipment. As Xplornet is replacing an existing 15m pole, Xplornet meets collocation objectives. All equipment necessary to operate this facility will reside within an equipment cabinet at the base of the tower. Xplornet attests that the installation will respect good engineering practices, including structural adequacy.

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51.225075	-114.135814	15	0	Xplornet Communications Inc.	Pole to be removed following construction of new tower.

SB C = (3) 1-1/4" x 4-1/2"

TOWER KIT NUMBER	5.640.0800.060
DESCRIPTION	S-01
MARKING	SR 2
LEG	SR 2 1/4
HORIZONTAL	SR 0 3/4
DIAGONAL	SR 0 7/8
SECTION WT. (lbs)	474
SPLICE BOLTS/LEG	(3) 1" x 3-1/2"
	SB C

Material grade legs: 350W
Material grade bracing: 300W

EL = 60.00'
c-c = 3.00'

EL = 50.00'
c-c = 3.25'

EL = 40.00'
c-c = 3.50'

EL = 30.00'
c-c = 3.75'

EL = 20.00'
c-c = 4.00'

EL = 10.00'
c-c = 4.25'

EL = 0'
c-c = 4.50'

GALVANIZED ANCHOR BOLTS: (2) 1.5" DIA X 60" LONG PER LEG

LEG FACTORED FOUNDATION LOADS

Max Download = 73.96 (Kips)
Max Uplift = 69.53 (Kips)
Max Shear = 4.13 (Kips)

GLOBAL FACTORED FOUNDATION LOADS

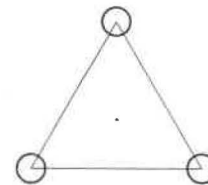
Max Axial = 6.27 (Kips)
Max OTM = 282.07 (Kipsft)
Max Shear = 6.81 (Kips)

ANTENNA LOADING CHART

No.	Description	Qty	Elev. (m)	Elev. (ft)	Azimuth (°TN)	TX Line Description	Owner	Status
1	Huawei ATD4516R5	1	18.0	59.0	30	(1)DC+(3)FO	Xplornet	F
2	(3) Huawei RRU5258	1	18.0	59.0	0	Jumpers	Xplornet	F
3	Xplornet P.W. 4.927.0139.001	1	18.0	59.0	0	(1)DC+(3)FO	Xplornet	P
4	Huawei ATD4516R5	1	18.0	59.0	150	(1)DC+(3)FO	Xplornet	F
5	Huawei ATD4516R5	1	18.0	59.0	270	(1)DC+(3)FO	Xplornet	F
6	(3) Huawei RRU5258	1	18.0	59.0	0	Jumpers	Xplornet	P
7	Huawei ATD4516R8	0	18.0	59.0	30	(1)DC+(3)FO	Xplornet	P
8	Huawei ATD4516R8	1	18.0	59.0	150	(1)DC+(3)FO	Xplornet	P
9	Huawei ATD4516R8	1	18.0	59.0	270	(1)DC+(3)FO	Xplornet	P
10	VHLP2-18	1	15.0	49.2	276	(1)DC+(1)FO+(1)CAT5	Xplornet	P
11	VHLP2-18	1	15.0	49.2	0	(1)DC+(1)FO+(1)CAT5	Xplornet	F
12	(2) Ceragon IP-20C	1	15.0	49.2	276	-	Xplornet	P
13	(2) Ceragon IP-20C	1	15.0	49.2	0	-	Xplornet	F
14	VHLP4-18	1	12.5	41.0	180	(1)DC+(1)FO+(1)CAT5	Xplornet	F
15	(2) Ceragon IP-20C	1	12.5	41.0	180	-	Xplornet	F
16	RDL3000 5G Ellipse Base	1	10	32.8	0	(1)Cat5	Xplornet	F
17	RDL3000 5G Ellipse Base	1	10	32.8	90	(1)Cat5	Xplornet	F
18	RDL3000 5G Ellipse Base	1	10	32.8	180	(1)Cat5	Xplornet	F
19	RDL3000 5G Ellipse Base	1	10	32.8	240	(1)Cat5	Xplornet	F

STATUS: E-EXISTING, F-FUTURE, I-INITIAL, P-PROPOSED

INTEGRAL LADDER & SAFETY CABLE



TOWER CROSS SECTION

MAX LEG CAPACITY < 90% TOTAL LEG CAPACITY

* SITE SPECIFIC WIND REQUIRED FOR FINAL DESIGN

NOTES:

DESIGN STANDARD:
DESIGN WIND PRESSURE Q_h (1:50):
SERVICE WIND PRESSURE Q_h (1:10):
TERRAIN CLASSIFICATION:
BASIC ICE THICKNESS:
SEISMIC CONSIDERED - SITE CLASS
IMPORTANCE FACTOR:
SERVICEABILITY FACTOR:
MAX MW ROTATION AT:

CAN/CSA-S37-18
10.0 (psf) [480 (Pa)]
7.8 (psf) [374 (Pa)]
Open Terrain
0.39 (in) [10.00 (mm)]
D GROUND ACC TO NBCC
1.1
1
7.8 (psf) +/- 0.20'

CONFIDENTIAL: ALL INTELLECTUAL PROPERTY RIGHTS HEREIN ARE THE PROPERTY OF TRYLON TSF Inc. ALL DUPLICATION, RECORDING, DISCLOSURE OR USE IS PROHIBITED WITHOUT WRITTEN CONSENT OF TRYLON TSF Inc.



Trylon

CUSTOMER:	SITE:	
XPLORNET AB1239 12184	BALZAC WEST	10
DATE:	BY:	CHK:
11 AUG 20	DF	
TITLE:	DRAWING NO.	
60FT (18.3m) W800 AWSS	TA4478-1	

BALZAC W 18.5M SELF SUPPORT (AB1344) 15M
POLE REBUILD

Tower Coordinates: (51.22507°, -114.13581°)

Legal Land Description NW ¼, 18, 26, 1, W5
VIEW FROM 20M LOOKING EAST



Additional Comments:

Please provide your name, full mailing address and email address (optional) if you would like to be informed of the further status of this proposal. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate municipal officials.

(Please print clearly)

Name:

Mailing Address:

Postal Code

Email Address:

We thank you for your input.

Comments may be faxed to 403-263-5263, emailed to notify@scotland.ca



Comment Sheet (XPL-0001.053) (AB1239)
NW 18-26-1 W5M

1. Are you an internet service user?
☐ yes ☐ no

2. Do you currently own any of the following devices?
☐ Tablet ☐ Laptop ☐ E-reader ☐ Home Computer

3. Do you plan on purchasing any of the following devices in the next year?
☐ Tablet ☐ Laptop ☐ E-reader ☐ Home Computer

4. Do you feel this is the most appropriate location for the site in this area?
☐ yes ☐ no

5. Are you satisfied with the appearance of the proposed facility?
If not, what changes would you suggest?
☐ yes ☐ no

6. What comments do you have that could improve our consultation process?

Consultation Process and Procedures

Service providers are required to consult with the Local Land Use Authority and the public regarding new telecommunications installations. Rock View County's Land Use Bylaw C—4841-97, Policy POL#308 is being followed for this proposal.

Additional Information

General information regarding telecommunications systems is available on ISED's Spectrum Management and Telecommunications websites:

Innovation, Science and Economic Development Canada: Facts about towers – <http://ic.gc.ca/antenna>

Innovation, Science and Economic Development Canada: FAQ on Radiofrequency Energy and Health – <http://www.ic.gc.ca/eic/site/smt-gst.nsf/eng/sf08792.html>

Health Canada: Safety Code 6, Radiofrequency Exposure Guidelines – http://www.hc-sc.gc.ca/ewh-semt/pubs/radiation/radio_guide-lignes_direct-eng.php

Health Canada: Cell Phone Towers – <http://www.hc-sc.gc.ca/ewh-semt/radiation/cons/stations/index-eng.php>

Canadian Wireless Telecommunications Association (CWTA): Health and Safety – <http://www.cwta.ca/for-consumers/health-safety/>

Should you have any comments, questions or concerns regarding Xplornet's telecommunications proposal described herein, please feel welcome to contact the undersigned prior to September 15, 2020. Comments may be mailed to Scott Telecom Services, Suite 900, 202 – 6th Avenue SW, Calgary, Alberta T2P 2R9. Comments may also be faxed to 403-263-5263 or emailed to notify@scottland.ca.

Regards,



For: Jason Pigeon
Land Agent
Agent for Xplornet
Phone: 403-473-6661
Email: jpigeon@scottland.ca

Additional Contact Information:

Innovation, Science and Economic Development Canada
Southern Alberta District Office
Spectrum Management Operations
Harry Hays Building
#478, 220 - 4th Avenue SE
Calgary, AB T2G 4X3
Telephone: 1-800-267-9401
Fax: 403-292-4295
Email: ic.spectrumcalgary-calgaryspectre.ic@canada.ca

Rock View County
Development Officer
262075 Rocky View Point
Rocky View County, AB T4A 0X2
Telephone: 403-520-7285
Email: Development@rockyview.ca

Attachments: Comment sheet

Rationale for a Tower Site

As more Canadians rely on internet services for personal security, convenience and business, Xplornet is required to respond to the demands of our customers by completing network expansion and improvements.

Photo-simulation

Below is a simulation depicting what the tower is expected to look like, post construction.

Type: Self-Support **Height:** 18.5m. **Cabinet Dimensions:** 2m. x 1m. x 1m.

BALZAC W 18.5M SELF SUPPORT (AB1344) 15M POLE REBUILD

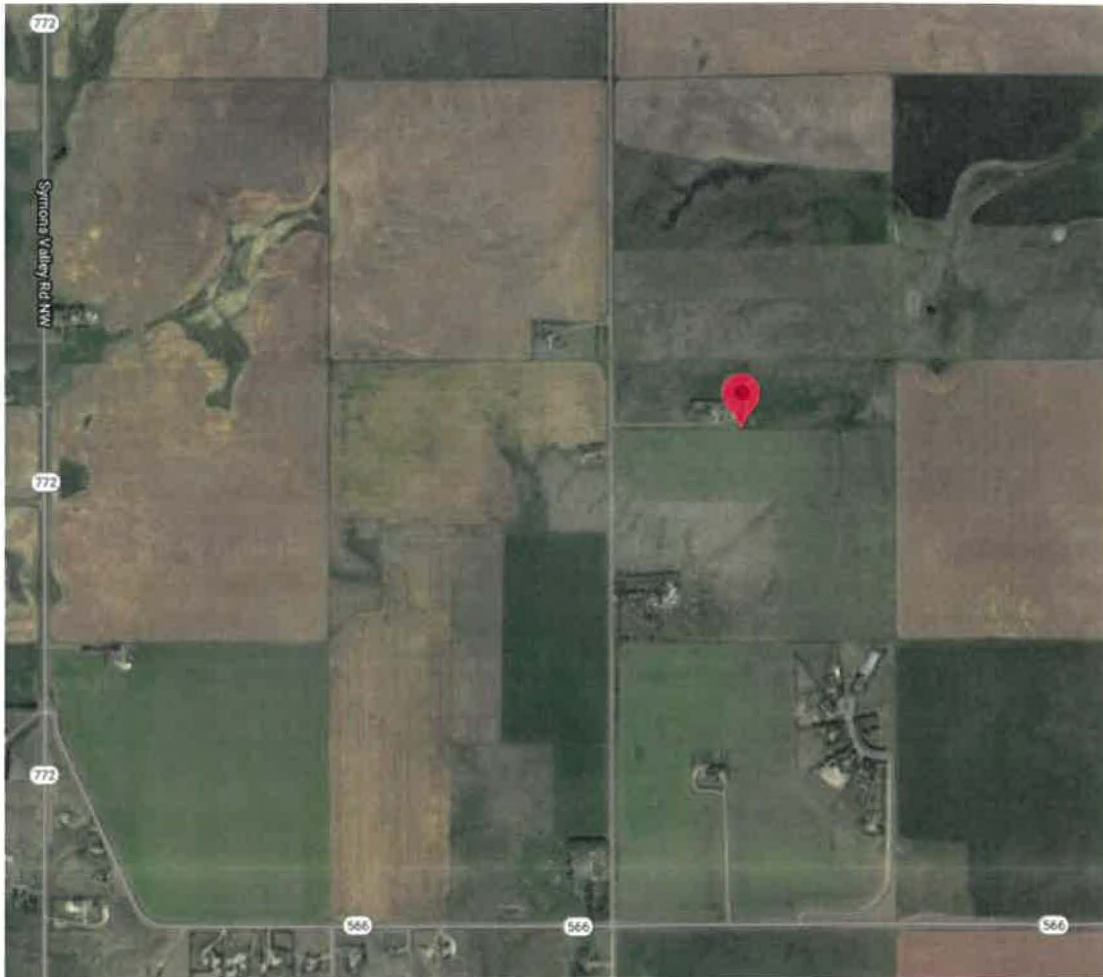
Tower Coordinates: (51.22507°, -114.13581°)

Legal Land Description NW ¼, 18, 26, 1, W5

VIEW FROM 20M LOOKING EAST



Proposed Map



Health Canada

ISED requires all wireless carriers to operate in accordance with Health Canada's safety standards. Xplornet attests that the installation described in this notification package will be installed and operated on an ongoing basis to comply with Health Canada's *Safety Code 6*. This includes all combined effects of the installation, setting restrictions and limits to exposure to all radio frequencies and electromagnetic field strengths.

Canadian Environmental Assessment

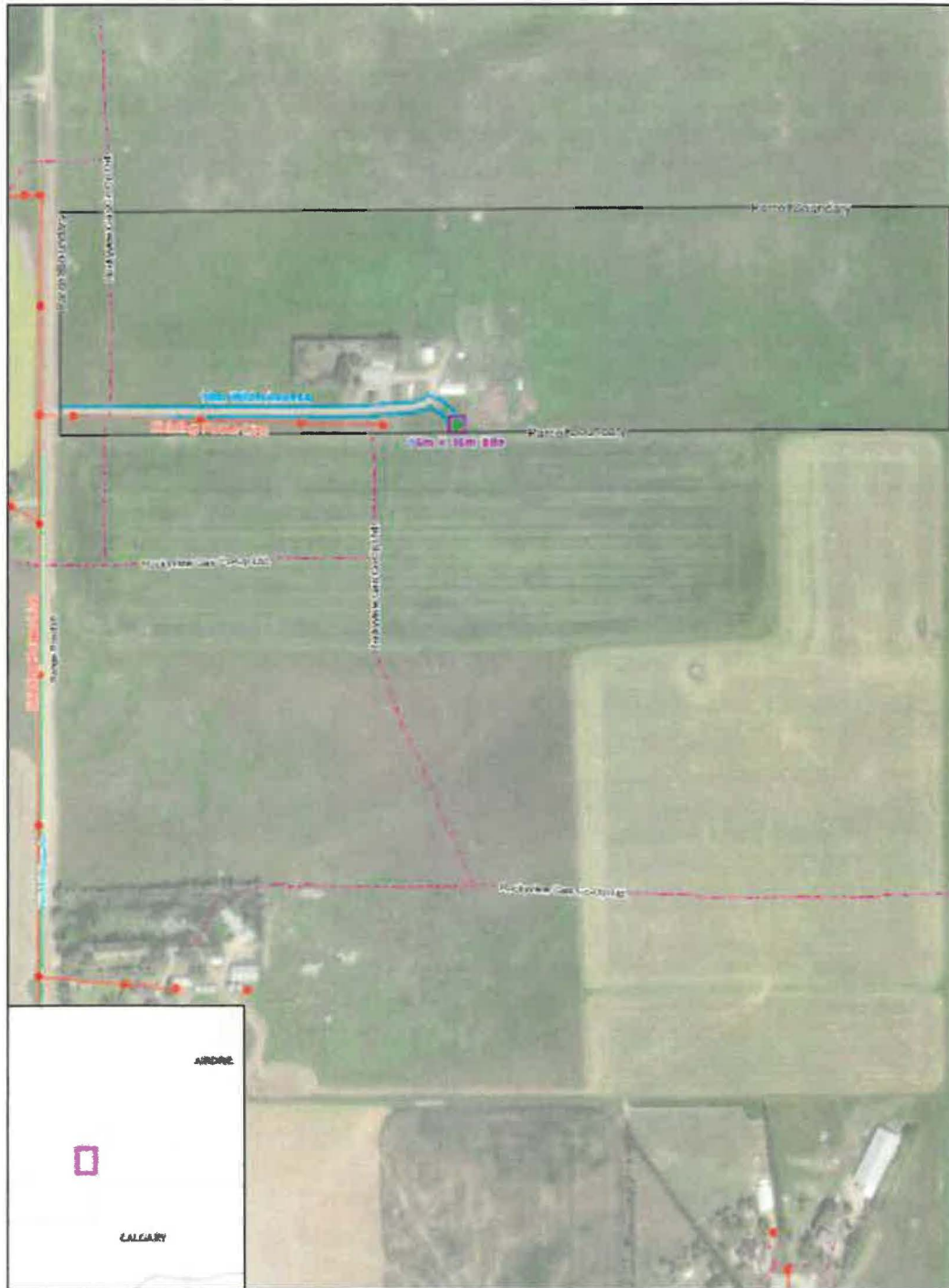
Proponents are responsible for ensuring that antenna systems are installed and operated in a manner that complies with other statutory requirements such as *the Canadian Environmental Protection Act, 1999*, *the Migratory Birds Convention Act, 1994*, and *the Species at Risk Act*, as applicable. The proposed telecommunications facility described in this notification package is excluded from environmental assessment under the *Impact Assessment Act (IAA)*.

Transport Canada / NAV Canada Requirements

Transport Canada and NAV Canada determine requirements for marking and lighting of the tower and whether the proposal would have an impact on the provision of the national air navigation system. Based on the information regarding the proposed tower, the expectation is that marking or lighting will not be required, however the federal authorities will make the final determination.

Site Plan

The tower compound will be 15m. x 15m. All equipment necessary to operate this facility will reside within an equipment cabinet with the approximate dimensions of 2m x 1m x 1m. Access to the tower will be via an existing approach off Township Road 20.

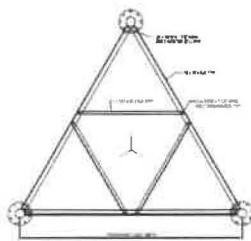


Colocation

It is Xplornet's policy to first consider collocating (sharing) existing infrastructure, including other carrier's towers before proposing to build a new structure. Where a new structure is required to be built, Xplornet welcomes colocation applications by other carriers. In accordance with federal regulations, Xplornet has processes in place to facilitate the sharing of Xplornet's telecommunications tower infrastructure in a timely manner. Future sharing may result in additional antennas being installed on the proposed tower.

Elevation Profile/Antenna Mounts

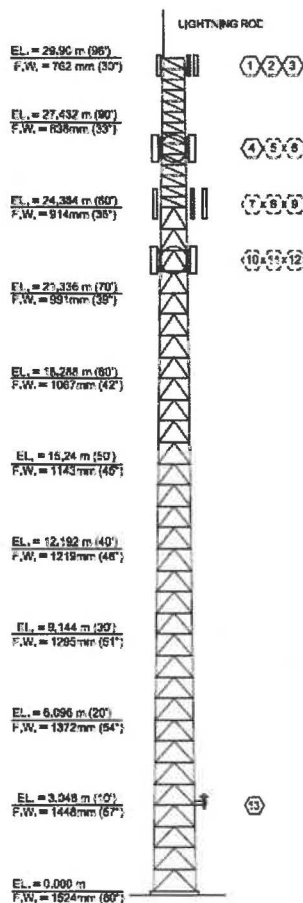
Below is the elevation profile of the proposed 18.5m. self-support tower, a tower plan view and photos indicative of the mounted antenna(s) that are planned to be located on this tower. All of the equipment required to operate the facility will reside within an equipment cabinet with the approximate dimensions of 2m. x 1m. x 1m. located within the fenced compound.



Tower Plan View:
±1.93m. (±6.33ft.) per side



Antenna Dimensions:
750mm x 280mm x 85mm



TOWER PROFILE



Site Sketch 5;1;26;18;NW

- Tower Centre
- 15m X 15m Site
- 10m Wide Access
- Parcel Boundaries
- Existing Power Lines
- Low-pressure Pipelines
- TELUS Trenches



Municipal Address: 262228 Range Road 20

WARNING: This map is based on overlaid public data sets and may be inaccurate. Do not use this map for construction. It is not a legal survey. Buried hazards or infrastructure such as pipelines, powerlines or cables may not be shown accurately or at all. The same is true for facilities and geographical features. Relying on the accuracy or completeness of this map could cause serious injury or death. Use it at your own risk.



0 110 220
Metres

Scale: 1:3,400
Coordinate System: NAD 1983 3TM 114

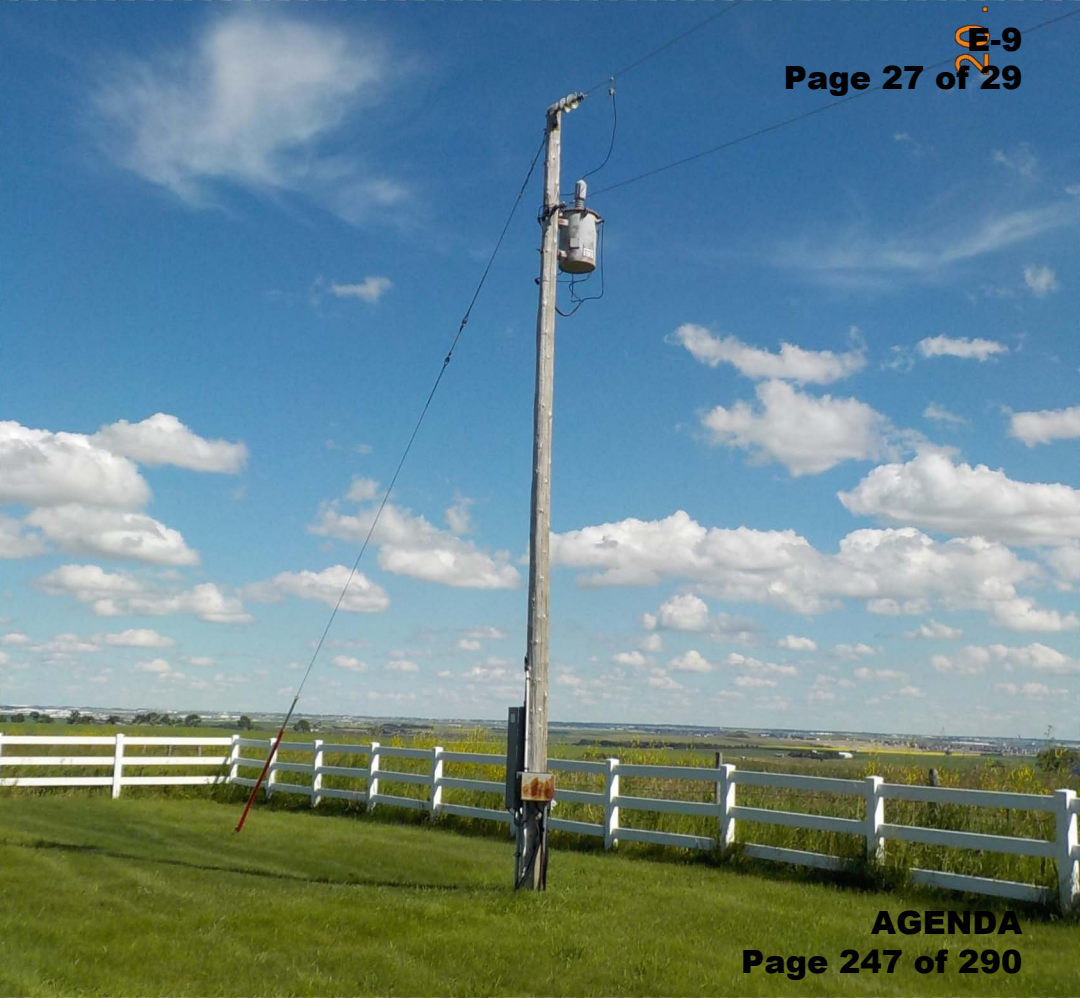
Author: Dave Taylor
Contact: (403) 261-6529
Publish Date: 2020-09-10



XPL-0001.053

Sources: Esri, © OpenStreetMap contributors, HERE, Garmin, FAO, USGS, EPA, NPS, AAFC, NRCAN, GeoEye, Maxar, Altalis, GeoGratis, DataBC, Abadata









PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 9
SUBJECT: Development Item: Equestrian Center
USE: Discretionary use, with Variances

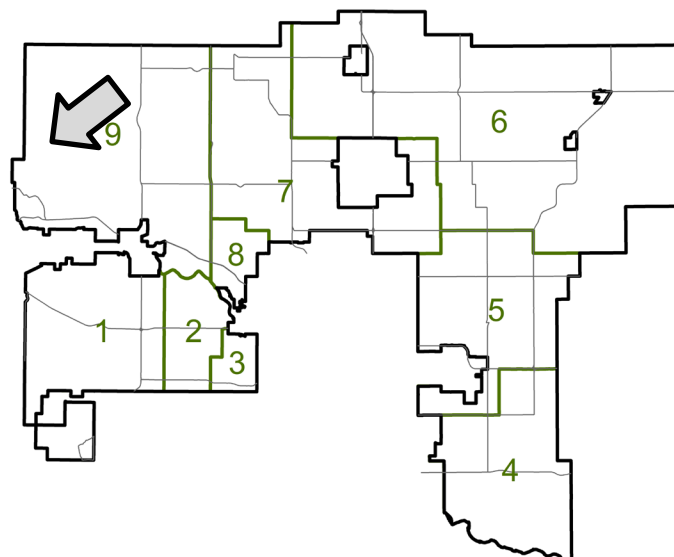
DATE: October 29, 2020
APPLICATION: PRDP20201510

APPLICATION: Equestrian Centre (riding camps and lessons), construction of accessory buildings (sea container, office, four (4) horse shelters, barn, and three (3) outhouses), and signage.

GENERAL LOCATION: Located approximately 2.41 km (1.50 m) north Twp. Rd. 272 and on the west side of Beaupre Creek Rd.

LAND USE DESIGNATION: Agricultural, Small Parcel District (A-SML) under Land Use Bylaw C-8000-2020

ADMINISTRATION RECOMMENDATION:
Administration recommends Approval in accordance with Option #1.



OPTIONS:

- Option #1: THAT Development Permit Application PRDP20201510 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20201510 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Jacqueline Targett - Planning and Development Services



DEVELOPMENT PERMIT REPORT

Application Date: June 15, 2020	File: 07919003
Application: PRDP20201510	Applicant/Owner: Owens, John
Legal Description: Lot 2, Block 1, Plan 0810227, SE-19-27-05-05	General Location: Located approximately 2.41 km (1.5 m) north Twp. Rd. 272 and on the west side of Beaupre Creek Rd.
Land Use Designation: Agricultural, Small Parcel District (A-SML) under Land Use Bylaw C-8000-2020.	Gross Area: ± 32.69 hectares (± 80.80 acres)
File Manager: Jacqueline Targett	Division: 9

PROPOSAL:

The proposal is for an Equestrian Centre (riding camps and lessons), construction of accessory buildings (sea container, office, four (4) horse shelters, barn, and three (3) outhouses), and signage.

Note, this application was received prior to September 8, 2020; however, it was assessed in accordance with Land Use Bylaw C-8000-2020 as requested by the Applicant.

The subject site is developed with multiple accessory buildings (sea container, office trailer, and four horse shelters) and is proposing to construct a barn. The site does not have physical access from a road allowance but includes legal access off Beaupre Creek Road [chipSeal surface], through Lot 4, Block 1, Plan 0810227 [registered on title, via access easements]. The site is un-serviced.

The property, operated by Bar JO Ranch, recently started an Equestrian Riding Camp operation, which was previously operating offsite and relocated to the noted parcel. Through development compliance, the Applicant submitted the required application, to continue operations on the noted property. The Riding camp operates Monday to Friday, 10:00 a.m. to 3:00 p.m. in the fall, spring and summer. The camp includes a combination of trail rides, riding instructions and horse education.

This specific operation does not include a principal Equestrian Centre arena, but includes the noted accessory buildings and open pasture areas. The site will be serviced by outhouses and a water well. Children are transported to the site by bus. The maximum number of individuals onsite, at one time, would not exceed 60.

Besides the noted property, the riding camp also utilizes an additional 64.42 hectares (159.20 acres), totalling 97.12 hectares (240.00 acres). There are 46 horses and 4 Shetland ponies/donkeys, totalling 50 livestock units.

Building Details

Building Type	Foundation Type	Quantity	Area	Dimensions	Use
Barn (proposed)	On-grade	1	355.03 sq. m (3,821.52 sq. ft.)	18.20 m x 19.50 m (60.00 ft. x 64.00 ft.)	Horses; Tack; Equipment

Storage Container (existing)	On-grade	1	29.62 sq. m (318.89 sq. ft.)	2.43 m x 12.19 m (8.00 ft. x 40.00 ft.)	Storage
Office (existing)	Skids	1	14.79 sq. m (159.29 sq. ft.)	2.43 m x 6.09 m (8.00 ft. x 20.00 ft.)	Storage
Horse Shelter (existing)	Skids	4	14.79 sq. m (159.29 sq. ft.)	2.43 m x 6.09 m (8.00 ft. x 20.00 ft.)	Horses
Outhouse (existing)	Skids	3	1.35 sq. m (14.56 sq. ft.)	1.11 m x 1.21 (3.66 ft. x 4.00 ft.);	Wastewater

Pipeline Restrictions

Canlin Energy owns and operates two natural gas pipelines, running north to south, on the subject property. Canlin Energy was circulated for the application and noted some concerns on the accessory building placement in proximity to the pipeline right-of-way's. A revised site plan shall be submitted to address the relocation of the buildings, outside of the pipeline right-of-way's.

Manure & Pasture Management

The property includes 50 animal units [46 horses + 4 Shetland ponies] onsite. The Applicant grazes/pastures the livestock on the 240.00 acres from May to October. The livestock is relocated to a separate quarter section from November to April. The horses are also provided grass hay in winter.

The application identifies that all manure is spread daily, or as often as possible, throughout the entire 240.00 acres.

Property History:

- Planning Applications
 - 2006-RV-148; The subject property was part of an application to create three +/- 80.00 acre parcels with an +/- 80.00 acre remainder from two parent quarter sections totalling 320.00 acres.;
- Development Permits
 - No history
- Building Permits
 - PRBD20200655; (Barn); Issued March 24, 2020
 - PRBD20203107; (Dwelling, Single Detached); Waiting for Information
- Assessment History:
 - No history

Land Use Bylaw:

EQUESTRIAN CENTRE

136 Equestrian Centre General Requirements:

- a) *The maximum number of spectators for an event shall not exceed one hundred (100) persons, or as set out in the Development Permit conditions,*
 - As per the application, the number of spectators, staff, camp attendees will not exceed 60.

- b) *Overnight camping may be allowed for a maximum of five (5) consecutive nights, or as set out in the Development Permit conditions, and*
 - The proposed development does not include any overnight camping as it strictly operational in the daytime
- c) *The number of persons camping shall not exceed twenty (20) at any time, or as set out in the Development Permit conditions.*
 - Not applicable in accordance with Section 136(b)

137 Equestrian Centre Site Requirements:

- a) *A maximum of fifty (50) animals are allowed onsite at any time, or as set out in the Development Permit conditions.*
 - The proposed development is proposing a maximum of 50 horses onsite, at one time.

138 Equestrian Centre Development Permit Requirements:

- a) *A Development Permit application will respond to Section 136 and 137, and further set out:*
 - i. *Maximum number of horses and/or cattle that may be kept on the site at any one time,*
 - ii. *Maximum number of animals allowed to participate in an event, which shall be in addition to the animals kept on the site,*
 - iii. *Whether overnight camping of event participants may be allowed,*
 - iv. *Garbage and manure control, and*
 - v. *On-site stock trailer parking and participant/spectator parking,*
- b) *If the maximum number of spectators is anticipated to exceed one hundred (100) persons an applicant is required to submit the following in support of a Development Permit:*
 - i. *A Water and Wastewater Servicing Plan, and*
 - ii. *A Traffic Impact Analysis.*
 - As the maximum number of individuals onsite will not exceed 60, a water and wastewater servicing plan and traffic impact analysis is not deemed warranted with the scale of the proposed operation

149 Livestock Site Requirements:

The maximum number of animals permitted on a parcel of land are as follows:

Table 3 – Animal Units by Parcel Size

- **>16.1 ha (>39.78 ac) No Maximum**
 - As the subject property is over 16.10 hectares (39.78 acres), the property is not restricted to the regulations within Section 149; however, with an application for an Equestrian Centre, a development permit may dictate the permitted number of livestock units. In this case, no restriction is being applied.

Table 5 Parking Minimums

Equestrian Centre 1 per spectator (as determined within the Development Permit)

- The application does not identify where parking is occurring onsite. A revised site plan will be requested to confirm the parking area's location.

Agricultural, Small Parcel District

311 Discretionary Uses: Equestrian Centre

314 Maximum Building Heights: All others: None

- The proposed operation does not include a principal Equestrian Centre building, but minor accessory buildings. All structures are less than 10.00 m (32.91 ft.).

315 Minimum Setbacks:

- *Required Front Yard 45.0 m (147.64 ft.) from County roads (undeveloped open County road allowance)*
 - All buildings proposed exceed 45.00 m (147.64 ft.) from the east property line;
- *Required Side Yard 6.0 m (19.69 ft.) from other parcels*
 - All buildings proposed exceed 6.00 m (19.69 ft.) from the north and south property lines;
- *Required Rear Yard 15.0 m (49.21 ft.) from other parcels*
 - All buildings proposed exceed 15.00 m (49.21 ft.) from the west property line;

*A revised site plan will be requested to confirm the final location of the accessory buildings. All buildings will have to comply with the minimum land setbacks upon final placement.

Part 8 Definitions

"Equestrian Centre" means public facilities (buildings, shelters or other structures) at which horses are exercised or trained, training in equestrian skills or equestrian competitions or shows rodeos or other similar events are held, where a fee has been paid to participate, attend or use the facilities

STATUTORY PLANS:

The property does not fall under any approved Area Structure Plan or Intermunicipal Development Plan. The application was evaluated in accordance with the County Plan and the County's Land Use Bylaw.

Within the County Plan, the development of an Equestrian Centre on an existing Ranch and Farm parcel is consistent with agricultural policy (Section 8.0). Some of the key goals of the plan are to, "Support individual agriculture producers and related business to help them be successful," and to, "support agriculture operators in going about their day-to-day business with minimum adverse impacts from non-agricultural land uses."

INSPECTOR'S COMMENTS:

Inspection: June 29, 2020

- Buildings built and being utilized
- Building closest to road is 7.00m setback
- All buildings on skid
- Area clean and tidy

CIRCULATIONS:Alberta Health Services

- No comments received

Building Services Review

- No comments received

Canlin Energy Pipelines

1. First Comments: (July 15, 2020)
 - Concerns regarding the placement of the buildings in proximity to the pipelines
 - Site Inspection referred to confirm existing locations and proximity to pipelines
2. Second Comments: (July 17, 2020)
 - Site inspection completed
 - Buildings over pipelines
3. Final Comments: (August 4, 2020)
 - Buildings to be relocated outside of the Pipeline Right of Way
 - Can assist Applicant in relocation, by utilizing out line location services
 - Please let us know and we can coordinate onsite

Planning and Development Services - Engineering Review (August 5, 2020)**General**

Engineering has concerns with the approval of this application for the construction of an accessory building with the following comments:

- Engineering has concerns with the location of the proposed accessory buildings as it is currently located above a pipeline right of way (Plan 0612344) and the existing road right of way. The road right of way (Plan 0810228) currently provide access to 3 other quarter sections of land west and south of the property. Engineering would like to ensure that all buildings are to be located outside of the right of way to ensure that adequate access will be provided to adjacent landowners.

Geotechnical:

- The applicant has not provided information on any grade changes and as such Engineering assumed that all existing grades are to remain as is and accessory buildings are on skids.
- Engineering has no requirements at this time.

Transportation:

- Access to the subject land is provided by the driveway on an access/road right of way (Plan 0810228), no other access have been proposed at this time. All buildings are to be located outside of the registered road right of way.
- The applicant will not be required to pay the transportation offsite levy, as per the applicable TOL bylaw at time of DP issuance, since the proposed development is directly associated with the construction of an accessory building as per Bylaw C-8007-2020

- Engineering has no requirements at this time.

Sanitary/Waste Water:

- As per the application, sewage and waste will be removed from site on a weekly basis via Mr. P Potty.
- Engineering as no requirement at this time.

Water Supply And Waterworks:

- Application has not provided any information at this time for water services, however, the proposal is for a summer camp operation and therefore Engineering has no requirement at this time.

Storm Water Management:

- No significant increase in site runoff is expected as a result of the proposed development.
- Engineering has no requirement at this time.

Environmental:

- Engineering has no requirements at this time.

Fire Services & Emergency Management Review

- No comments received

Fortis Alberta Review (July 27, 2020)

- FortisAlberta has no concerns

Operational Services Review

- No comments received

OPTIONS:

Option #1 (this would allow the proposed development)

APPROVAL, subject to the following conditions:

Description:

1. That an Equestrian Centre, for a riding camp and lessons, and signage may take place on the subject site in accordance with the submitted site plan and details, as amended, with the application.
2. That the existing accessory buildings (horse shelters, sea container, office) and the proposed buildings (barn) onsite may be used for ancillary uses related to the Equestrian Centre.

Prior to Issuance:

3. That prior to issuance of this permit, the Applicant/Owner shall submit a revised site plan, identifying:
 - i. The parking area(s) for staff and camp attendees;
 - ii. The revised location of or all any accessory buildings outside of the road and pipeline right-of-ways, to the satisfaction of the County.
4. That prior to issuance of this permit, the Applicant/Owner shall submit any signage details, for the Equestrian Centre, to the satisfaction of the County.

Permanent:

5. That for purposes of this permit, an equestrian event/camp is an activity that involves the training of horses and/or riders, horsemanship lessons, and camps & learning programs.
6. That a commercial use on the site, which is any event/camp where there is a fee for admission or for use of the facilities or for services provided, shall be for equestrian events only.
7. That food services shall be limited to participants and the guests of participants.
8. That the total number of participants at any outdoor event/camp activity shall not exceed 60 people.
9. That once approved, the Manure and Grazing Management Plan as submitted with the application shall be practiced at all times.
 - i. Upon request of the County, the Applicant/Owner may have to update the approved Manure and Grazing management plan if any issues arise or complaints are received on the property, to the satisfaction of the County.
10. That there shall be no spreading or storage of manure within 50.00 m of any watercourse.
11. That this Development Permit does not permit any overnight camping on the site.
12. That all parking of vehicles, including buses, trailers and participant/spectator parking, shall be limited to on-site only, to the approved parking area, as per the revised site plan. The parking areas shall be available at all times. At no time shall there be parking on the roadway.
13. That all outdoor building or site lighting shall use full cut-off (shielded) fixtures that direct the light downward, and that no direct glare shall be visible from adjacent properties, roadways, and highways. All lighting shall be dark-sky complaint in accordance with the County's Dark-Sky principles.
14. That the garbage and waste material on site shall be stored in weatherproof and animal-proof containers located within buildings or adjacent to the side or rear of buildings. The containers shall be screened from view from all adjacent properties and public thoroughfares.
15. That the subject property shall be adequately fenced and maintained at all times when livestock are present. No livestock shall be allowed on unfenced areas.

Advisory:

16. That all facilities on the subject site that are involved with the equestrian centre shall conform to the Alberta Building Code. Any Building Permit(s) / Farm Building Exemption(s) shall be obtained through Building Services, if required.
17. That the Applicant/Owner shall be aware of any Registered Instruments on title, relating to the subject property.
18. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
19. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
20. That if the Development Permit is not issued by **MAY 31, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

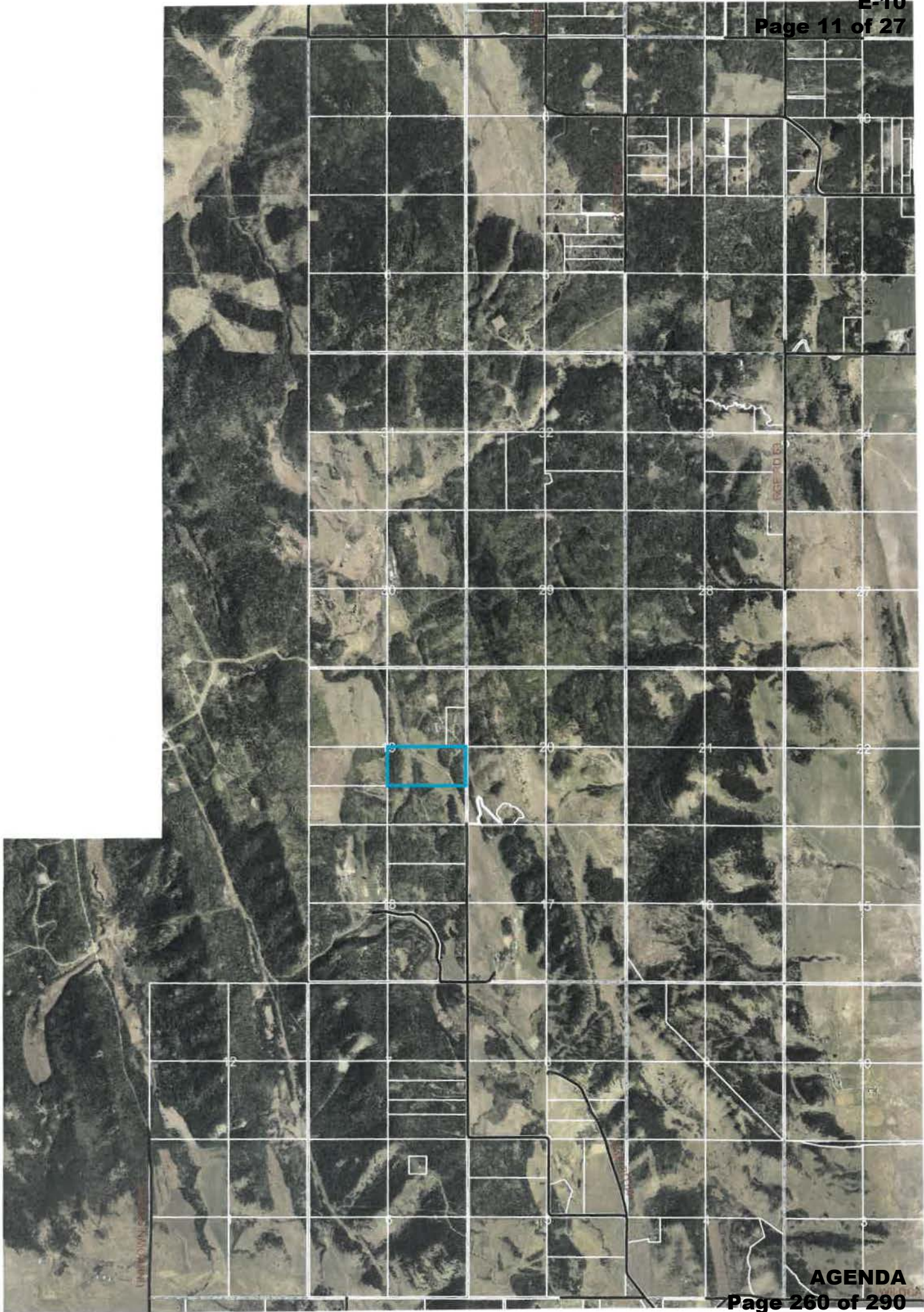


Option #2: (this would not allow the proposed development)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY
Cultivating Communities

20201510

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted \$740.00	File Number 07919003
Date of Receipt June 16/2020	Receipt # 2020029412

Name of Applicant John Owens Email [REDACTED]

For Agents please supply Business/Agency/ Organization Name Bar JO Ranch

Registered Owner (if not applicant) E Valerie Owens

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the SE $\frac{1}{4}$ Section 19 Township 27 Range 5 West of 5 Meridian
- b) Being all / parts of Lot 2 Block 1 Registered Plan Number 0910227
- c) Municipal Address 273041 Braupre Creek Rd. Rocky View AB
- d) Existing Land Use Designation farm Parcel Size 80 acres Division lease 160 acres

2. APPLICATION FOR

Spring / Summer Camps
Riding Lessons.

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes ☐ No ☒
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility?
(Sour Gas facility means well, pipeline or plant) Yes ☐ No ☒
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes ☐ No ☒
- d) Does the site have direct access to a developed Municipal Road? Yes ☒ No ☐

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

JOHN OWENS hereby certify that ☒ I am the registered owner
(Full Name in Block Capitals)

☒ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

Affix Corporate Seal
here if owner is listed
as a named or
numbered company

Applicant's Signature [Signature]
Date June 12 2020

Owner's Signature Valerie Owens
Date June 15, 2020



APPLICATION TO INCREASE NUMBER OF LIVESTOCK

FOR OFFICE USE ONLY	
Fee submitted	File Number
Date of Receipt	Receipt #

1. SITE PLANS

Provide site plans identifying:

1. Confinement and pasture areas & acres available for animals
2. Feeding site(s) and methods (i.e. feeders/racks/ground/etc.)
3. Watering site(s) and methods (i.e. tank/waterer/creek/etc.)
4. Location of your well, any sloughs, ponds, water runs, coulees, etc.
5. Description of slope of your property.
6. Proximity of neighbours' houses and livestock (if any).

2. OPERATION

Describe the type and breed (if applicable) of livestock in your livestock operation: horses / ponies

The number of each type of livestock in your "livestock operation" is: 50

Do you have a Premises Identification number? (PID – Alberta Agriculture & Forestry):

Yes ☐ No ☒

If yes, PID#: _____

3. SITE INFORMATION

Topography: Flat ☒ Rolling ☒ Steep ☐
 Select Grass/Forage Species present: Alfalfa ☐ Brome ☒ other: _____
 Fescue ☒ Timothy ☐ Other: _____

Supplemental feed? Yes ☐ No ☐
 If yes, please explain: horses fed grass hay in winter.

Are riparian or wetland areas present? Yes ☐ No ☒

Are you interested in finding out more information about Rocky View County's Green Acreages Program?
 Yes ☐ No ☒

4. MANURE MANAGEMENT

Will manure be stored on site? ~~Yes~~ No ☒
 If yes, identify storage methods: Compost ☐ Stockpile ☐ Spread and incorporated ☒
 How long will the manure be stored? spread daily throughout 240 acres.
 If no, identify where manure is going: _____

Note: Manure storage facility construction must comply with the 'Agricultural Operation Practices Act'

5. GRAZING AND FEEDING STRATEGIES

Describe your grazing and feeding strategies (i.e. year-round grazing, rotational pastures with supplemental feed, etc.)

~~40~~ 50 horses pastured offsite Oct - April
50 horses pastured on 240 acres @ Bar Jo Ranch
May - Oct.

6. RUNOFF

What is the current practice to prevent manure from contaminating water bodies (e.g. wetlands, sloughs, dugouts) on your property? manure not spread near water bodies

Describe how runoff will be kept out of your well and other water areas on your property.

- well not near water areas.

Describe how runoff will be kept on your own property (It is an offence under the Alberta Environmental Enhancement and Protection Act to allow manure and its nutrients to move off your property)

- manure not spread near water areas.

7. PEST AND WEED CONTROL

Describe how flies and other pests will be managed so they don't affect your neighbours.

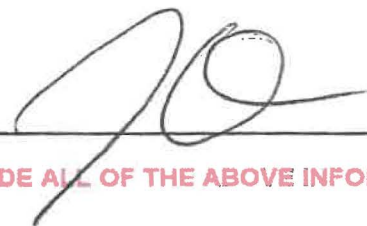
- not a concern.

Do you have a weed control program in place? Yes ☐

No ☒

If yes, describe the weed control program:

Signature of Applicant



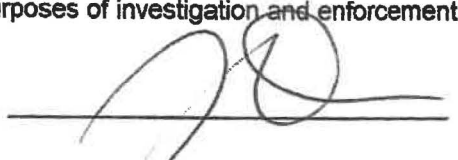
Date

June 12 2020.

PLEASE PROVIDE ALL OF THE ABOVE INFORMATION EVEN IF THIS IS A RENEWAL. THANK YOU

5. RIGHT OF ENTRY


I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature
Valerie Owens
owner

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, John Owens, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.



Signature
June 12 2020.
Date

Bar JO Ranch
Box 1314
Cochrane AB
T4C 1B3
403-561-4488
www.barjo.ca

To Whom it may concern

Bar JO Ranch offers spring, summer and fall riding camps for children aged 5-16. These camps are only day camps (Monday to Friday). Children are bussed to and from the ranch each day. Camp hours are from 10am to 3pm. We could have up to 55 staff and children onsite at one time.

I have been operating the Griffin Valley Ranch Inc camps for 10 years and have been forced to downsize my operations onto a new parcel of land south of the Griffin property starting in 2020.

The camp operates on 240 acres all attached together with approximately 46 horses and 4 Shetland ponies/donkeys. I pasture the 50 head of livestock on the 240 acres from May to Oct. And I winter pasture the 50 head on a quarter section east of the ranch during the months of Nov to April.

Camp infrastructure includes:

60'x64' pole barn-only horses, tack and equipment permitted

8'x20' storage office on skids

3 outhouse facilities for sewage and waste (removed from site weekly via Mr. P Potty)

4 shelters on skids

Seacan-storage container

Fuel tanks

I carry valid insurance to operate equine activities via Capri insurance.

Camp activities include a combination of trail riding and riding instruction. I have grown up riding in these camps for over 30 years. I have many year's experience with both livestock and children and look forward to continuing a business that my grandfather started many years ago.

Please do not hesitate to call me at 403 561 4488 for any additional information.

Thanks,



John Owens



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0032 977 670 0810227;1;2 081 110 989

LEGAL DESCRIPTION
PLAN 0810227
BLOCK 1
LOT 2
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 32.407 HECTARES (80.08 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5;5;27;19;SE

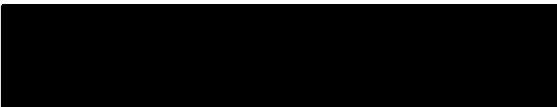
MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 081 021 987

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
081 110 989	27/03/2008	TRANSFER OF LAND	\$520,000	SEE INSTRUMENT

OWNERS

VALERIE OWENS



ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION		
NUMBER	DATE (D/M/Y)	PARTICULARS
4833LB	07/10/1971	EASEMENT "SUBJECT TO. IN FAVOUR OF THE NW 1/4 OF SEC 20"
6116LB	09/11/1971	EASEMENT "EXTENDED BY, OVER THE NW 1/4 OF SEC 20"
921 108 291	11/05/1992	UTILITY RIGHT OF WAY GRANTEE - AGT LIMITED. BOX 2411

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
081 110 989

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

EDMONTON
ALBERTA T5J2S4

961 079 047 17/04/1996 CAVEAT
RE : SURFACE LEASE
CAVEATOR - CANLIN ENERGY CORPORATION.
PO BOX 4335 STATION C
CALGARY
ALBERTA T2T5N2
(DATA UPDATED BY: TRANSFER OF CAVEAT
101334680)
(DATA UPDATED BY: CHANGE OF ADDRESS 121001054)
(DATA UPDATED BY: TRANSFER OF CAVEAT
171285577)

961 079 048 17/04/1996 CAVEAT
RE : SURFACE LEASE
CAVEATOR - CANLIN ENERGY CORPORATION.
PO BOX 4335 STATION C
CALGARY
ALBERTA T2T5N2
(DATA UPDATED BY: TRANSFER OF CAVEAT
101334680)
(DATA UPDATED BY: CHANGE OF ADDRESS 121001054)
(DATA UPDATED BY: TRANSFER OF CAVEAT
171285577)

991 152 760 02/06/1999 CAVEAT
RE : SURFACE LEASE UNDER 20 ACRES
CAVEATOR - PERSIST OIL AND GAS INC.
ATTN: SURFACE LAND DEPT
700, 444-7 AVE SW
CALGARY
ALBERTA T2P0X8
(DATA UPDATED BY: TRANSFER OF CAVEAT
101080823)
(DATA UPDATED BY: CHANGE OF NAME 111062746)
(DATA UPDATED BY: TRANSFER OF CAVEAT
111110850)
(DATA UPDATED BY: TRANSFER OF CAVEAT
141040089)
(DATA UPDATED BY: TRANSFER OF CAVEAT
161210569)
(DATA UPDATED BY: TRANSFER OF CAVEAT
171039254)
(DATA UPDATED BY: TRANSFER OF CAVEAT
191095627)

991 191 933 08/07/1999 CAVEAT

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 3
081 110 989

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
		RE : SURFACE LEASE UNDER 20 ACRES CAVEATOR - CANLIN ENERGY CORPORATION. PO BOX 4335 STATION C CALGARY ALBERTA T2T5N2 (DATA UPDATED BY: TRANSFER OF CAVEAT 101333445) (DATA UPDATED BY: TRANSFER OF CAVEAT 171285838)
991 378 136	29/12/1999	UTILITY RIGHT OF WAY GRANTEE - CANLIN ENERGY CORPORATION. (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 111006365) (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 171274234)
001 049 715	24/02/2000	CAVEAT RE : ROADWAY CAVEATOR - CANLIN ENERGY CORPORATION. PO BOX 4335 STATION C CALGARY ALBERTA T2T5N2 AGENT - SEAL. (DATA UPDATED BY: TRANSFER OF CAVEAT 101334680) (DATA UPDATED BY: CHANGE OF ADDRESS 111306601) (DATA UPDATED BY: TRANSFER OF CAVEAT 171237592)
001 125 864	11/05/2000	CAVEAT RE : EASEMENT
001 127 287	12/05/2000	CAVEAT RE : RIGHT OF FIRST REFUSAL CAVEATOR - GRIFFIN VALLEY RANCHES LTD. BOX 812 COCHRANE ALBERTA T0L0W0 AGENT - ALMOND H GRIFFIN
001 127 289	12/05/2000	CAVEAT RE : LEASE CAVEATOR - GRIFFIN VALLEY RANCHES LTD. BOX 812, COCHRANE ALBERTA T0L0W4 AGENT - ALMOND H GRIFFIN
011 265 316	11/09/2001	CAVEAT

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 4
081 110 989

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

RE : EASEMENT

081 021 989 16/01/2008 EASEMENT
AS TO PORTION OR PLAN:0810228
OVER AND FOR BENEFIT OF: SEE INSTRUMENT

191 254 271 13/12/2019 CAVEAT
RE : UTILITY RIGHT OF WAY
CAVEATOR - FORTISALBERTA INC.
ATTN:LAND DEPARTMENT
320-17TH AVENUE SW
CALGARY
ALBERTA T2S2V1
AGENT - ELIZABETH ROSE DELL

TOTAL INSTRUMENTS: 015

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 15 DAY OF JUNE,
2020 AT 04:22 P.M.

ORDER NUMBER: 39514846

CUSTOMER FILE NUMBER: PRDP20201510



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

CORPORATE ACCESS NUMBER: 2014410837

**Government
of Alberta ■**

BUSINESS CORPORATIONS ACT

**CERTIFICATE
OF
AMENDMENT**

**GRIFFIN VALLEY RANCH INC.
CHANGED ITS NAME TO JO RANCH LTD ON 2019/11/21.**



Inspection Photos
Date: June 29, 2020



Inspection Photos

Date: June 29, 2020

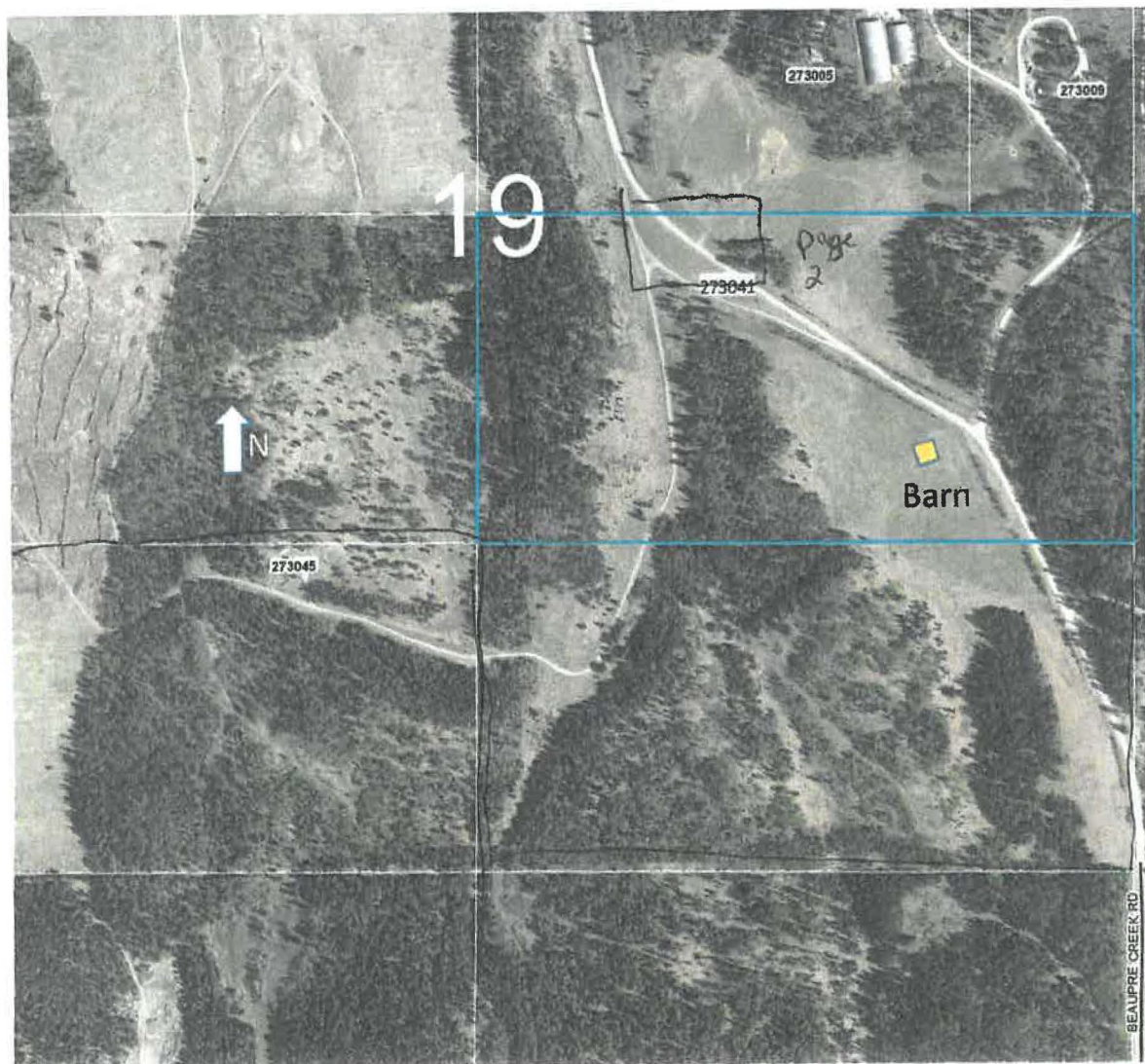


Inspection Photos
Date: June 29, 2020



Inspection Photos
Date: June 29, 2020





273041 Beupre Creek Road. Rocky View County
Plan 0810227
Block 1
Lot 2
ATS REF 5;5;27;19;SE

Valerie Owens
OF 1239 Lake Twintree Dr. SE
Calgary, AB
T2J 2X1

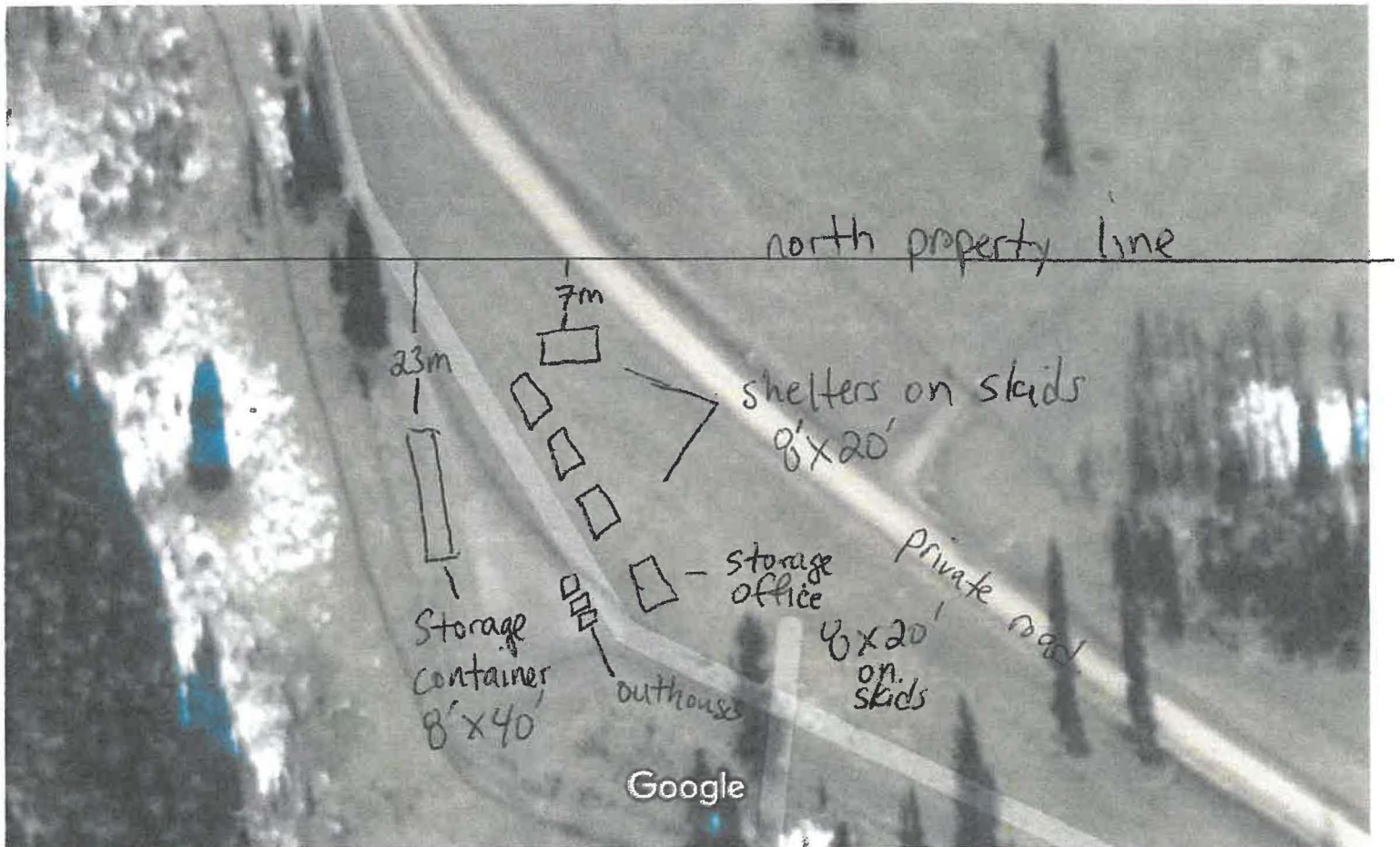
— we operate on 3
80 acres parcels

— visit page 2 for a
closer map of north property
line

page 1

Google Maps

N↑



Imagery ©2020 CNES / Airbus, Maxar Technologies, Map data ©2020 10 m

page 2 of map.

PLANNING AND DEVELOPMENT SERVICES

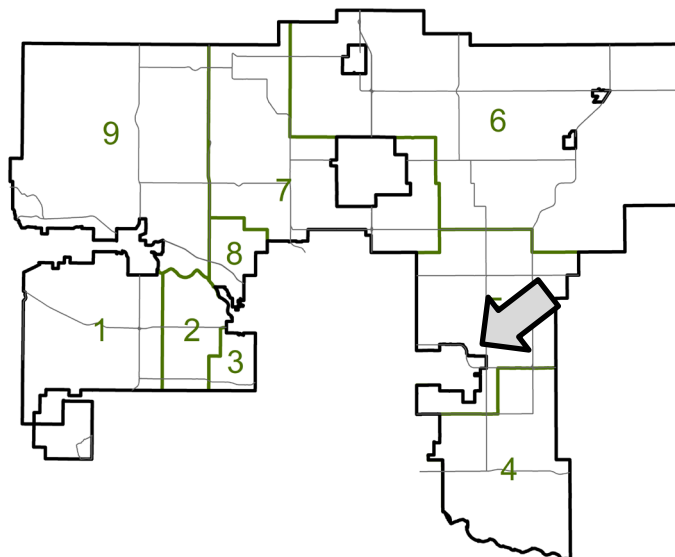
TO:	Municipal Planning Commission	DATE:	October 29, 2020
DIVISION:	5	APPLICATION:	PRDP20202818
SUBJECT:	Development Item: Dwelling, Single Detached & Accessory Building		
USE:	Permitted use, with Variances		

APPLICATION: Dwelling, single detached (existing) and an accessory building (existing shed), relaxation of the minimum front and side yard setback requirement.

GENERAL LOCATION: Located approximately 0.41 km (1/4 mile) west of Hwy. 791 and 0.41 km (1/4 mile) south of Hwy. 1

LAND USE DESIGNATION: Residential, Country-Residential District (R-CRD) under Land Use Bylaw C-8000-2020

ADMINISTRATION RECOMMENDATION:
Administration recommends Approval in accordance with Option #1.



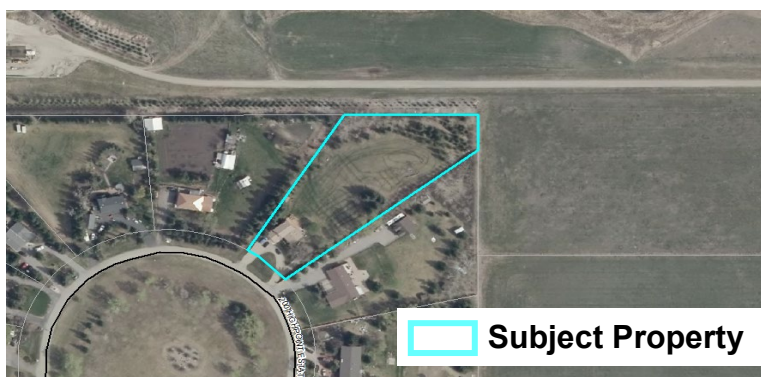
VARIANCE SUMMARY:

Regulation	Requirement	Proposed	Percentage
330 (front yard)	15.00 m (49.21 ft.)	14.12 m (46.32 ft.)	5.86%
330 (side yard)	3.00 m (9.84 ft.)	0.60 m (1.96 ft.)	80.00%

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20202818 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20202818 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Jacqueline Targett, Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: September 17, 2020	File: 04312019
Application: PRDP20202818	Applicant/Owner: Weaver, Val R.
Legal Description: Lot 9, Block 1, Plan 7510553, NE-12-24-28-04	General Location: located approximately 0.41 km (1/4 mile) west of Hwy. 791 and 0.41 km (1/4 mile) south of Hwy. 1
Land Use Designation: Residential – Country Residential (C-CRD) under Land Use Bylaw C-8000-2020.	Gross Area: ± 0.81 hectares (± 2.00 acres)
File Manager: Jacqueline Targett	Division: 5

PROPOSAL:

The proposal is for a dwelling, single detached (existing) and an accessory building (existing shed), relaxation of the minimum front and side yard setback requirement. *Note, this application was assessed in accordance with Land Use Bylaw C-8000-2020.*

The property is located in the northern High Point Estates subdivision, with direct access off High Point Estates. It is developed with a dwelling, single detached and the accessory building (shed). The dwelling was constructed in 1977 and the shed was constructed in 2015.

The dwelling, single detached is considered legal non-conforming as it was constructed in accordance with the Land Use bylaw regulations at time of development. This application will include a variance request, to bring the dwelling, single detached in accordance with the current Land Use Bylaw regulations.

The shed is constructed of wood materials, includes a green exterior and asphalt shingles foundation. The shed is used for garden storage. The subject property contains extensive mature landscaping along the perimeter of the property, predominately of coniferous trees. The shed was placed in its current location to help offset adjacent neighbour sight lines and for easy access and site manoeuvring.

Property History:

Development Permits:

- No history

Building Permits:

- PRBD20151018 (Kitchen Renovation); Issued Occupancy April 20, 2017

Planning Applications:

- May 10, 1974, (74-C-100 + 101); The subject ± 0.81 hectare (±2.00 acre) property was part of the High Point Estates subdivision application, with 31 lots created;

Assessment History:

- Dwelling, Single Detached 1977
- Attached Garage 1977

Other:

- Restrictive Covenant 761 048 154 (Developer Architectural Controls)
 - Regulation #9 states that “*SUBJECT to the requirements of the Municipal District of Rocky View, each building on any of the lots shall be setback from the front property line distance of not less than fifty feet and side yards shall be at least ten percent of the width of the lot at the point of measurement*”
 - At the point of measurement, the lot is 48.00 m (157.48 ft.) and therefore the 10% requirement would be 4.8 m (15.74 ft.).
 - As this is not a County registered instrument, the County is bound by the regulations required within any approved policy document. Therefore, the Land Use Bylaw is considered the guiding document as it has higher statutory standing

LAND USE BYLAW (C-8000-2020)**Part 8: DEFINITIONS**

“Accessory Building” means a detached building, with or without a permanent foundation, which is subordinate or incidental to the Principal Use or Principal Building located on the same site. Typical accessory buildings include, but are not limited to, fabric covered buildings, garages, sheds, chicken coop etc. Accessory Building does not include Accessory Structure.

SECTION 69: DECISIONS ON DEVELOPMENT PERMITS APPLICATIONS

Section 69(b) Use, Permitted Applications:

The Development Authority, in making a decision on a Development Permit application for:

(b) A Permitted Use that does not meet all requirements:

- i. May approve the application, with or without conditions, if the proposed development conforms with the Bylaw, or*
- ii. May approve the application, with or without conditions, if the proposed development does not conform with the Bylaw, subject to the approval of any required variances,*

SECTION 167: BUILDING DESIGN

A building’s character and appearance may be considered in the review of proposed developments with respect to:

- a) Consistency with the prescribed District,*
- b) Compatibility with nearby buildings, and*
- c) Compliance to the provisions of any Statutory Plan, which sets out specific guidelines as to the design, character, appearance, or building materials used in a development.*
- The subject accessory building (shed) is not obtrusive in design, exterior appearance and is cohesive with the existing property and surrounding area.

SECTION 173 & 174: ACCESSORY BUILDINGS

An Accessory Building on a parcel in a Residential District shall be similar to, and complement, the Principal Building in exterior material, colour and appearance.

- The subject accessory building (shed) is a typical building, commonly located within country residential developments;

- 174 *Where the Accessory Building is a Shipping Container it:*
- a) *Shall not be attached, in any way, to a principal building;*
 - b) *Shall not be stacked in any Non-Industrial District; and*
 - c) *Shall be visually screened from public roads and adjacent properties in a manner which satisfies the Development Authority.*
- The subject accessory building (shed) is not a shipping container;

SECTION 324 RESIDENTIAL, COUNTRY RESIDENTIAL DISTRICT (CRD)

- 325 *Accessory buildings less than 80.00 sq. m (861.11 sq. ft.)*
- The accessory building is 9.18 sq. m (98.81 sq. ft.) in area;
- 327(a) *2 Dwelling Units per parcel (1 Dwelling, Single Detached and 1 other Dwelling Unit)*
- There is one existing dwelling unit onsite;
- 328(a) *The total Accessory Building footprint shall not exceed 120.00 sq. m (1,291.67 sq. ft.)*
- As there is only one accessory building onsite, the total building area is 9.18 sq. m (98.81 sq. ft.);
- 329(a) *Building Height: Accessory Buildings: 7.00 m (22.97 ft.)*
- The accessory building (shed) is less than 2.69 m (8.83 ft.) in height;
- 329(b) *Building Height: All others: 12.00 m (39.37 ft.)*
- The existing dwelling, single detached is less than 12.00 m (39.37 ft.) in height
- 330 *The minimum required front yard setback for any building from any Internal Subdivision road is 15.00 m (49.21 ft.)*
- The dwelling, single detached is located 14.12 m (46.32 ft.) from the south property line
 - This is a **relaxation request of 5.86%**
 - The accessory building (shed) is located well away from the south property line
The minimum required side yard setback for all other is 3.00 m (9.84 ft.)
 - The dwelling, single detached is located 5.19 m (17.02 ft.) from the west property line
 - The accessory building (shed) is located 0.60 m (1.96 ft.) from the west property line
 - This is a **relaxation request of 80.00%**
 - The dwelling, single detached is located 17.81 m (58.43 ft.) from the east property line
 - The accessory building (shed) is located well away from the east property line
 - *The minimum required rear yard setback for all other is 6.00 m (19.69 ft.)*
 - The dwelling, single detached is located well away from the north property line
 - The accessory building (shed) is located well away from the north property line

STATUTORY PLANS:

This property does not fall under any approved Area Structure Plan or Intermunicipal Development Plan. Therefore the application was evaluated in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:

- Inspection not completed at the time of this report.

CIRCULATIONS:

- Not required for this application

OPTIONS:

Option #1: (this would allow the proposed development)

APPROVAL, subject to the following conditions:

Description:

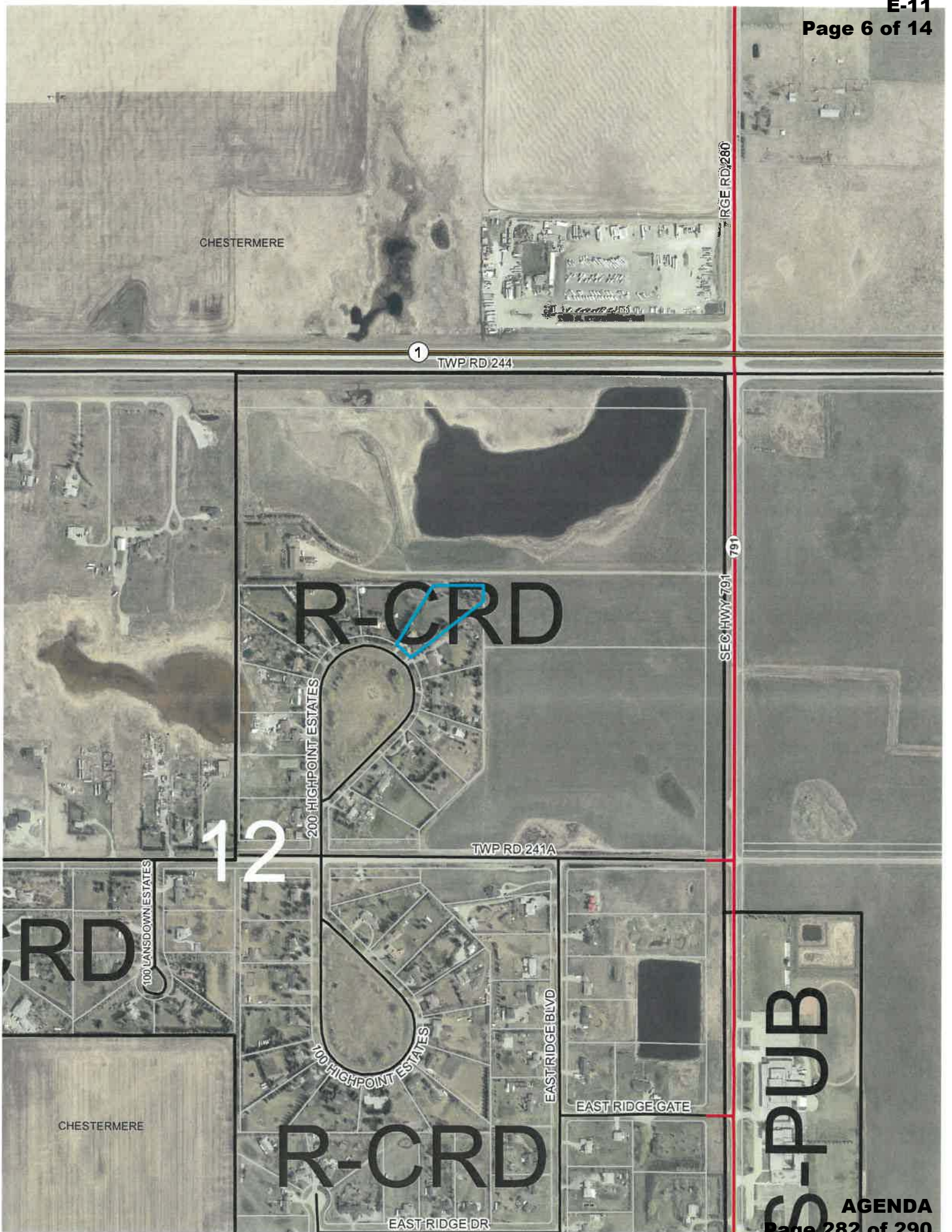
1. That the dwelling, single detached (existing) and the accessory building (existing shed), approximately 9.18 sq. m (98.81 sq. ft.) in area, may remain on the subject in general accordance with the submitted application and site plan, as shown on the Real Property Report, prepared by Vista Geomatics Ltd.; File #20065070, dated August 20, 2020.
 - i. That the minimum front yard setback requirement for the dwelling, single detached is **relaxed from 15.00 m (49.21 ft.) to 14.12 m (46.32 ft.)**.
 - ii. That the minimum side yard setback requirement for the accessory building (shed) is **relaxed from 3.00 m (9.84 ft.) to 0.60 m (1.96 ft.)**.

Advisory:

2. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

Option #2: (this would not allow the proposed development to proceed)

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY

DEVELOPMENT PERMIT APPLICATION

FOR OFFICE USE ONLY **Page 8 of 14** **E-11**

APPLICATION NO.	PRDP2020 2818
ROLL NO.	04312019
RENEWAL OF	
FEES PAID	\$285. -
DATE OF RECEIPT	Sept 17, 2020

APPLICANT/OWNER

Applicant Name: VAL WEAVER

Email: [REDACTED]

Business/Organization Name (if applicable):

Landowner Name(s) per title (if not the Applicant):

Business/Organization Name (if applicable):

Mailing Address:

Postal Code:

Telephone (Primary):

Email:

LEGAL LAND DESCRIPTION - Subject site

All/part of: NE ¼ Section: 12 Township: 24 Range: 28 West of: 4 Meridian Division:
All parts of Lot(s)/Unit(s): 129 Block: A1 Plan: 751 0553 Parcel Size (ac/ha): 2
Municipal Address: 228 High Point Estate Land Use District: R-CRD

APPLICATION FOR - List use and scope of work.

Side yard & height variance to garden shed built in 2015

Variance Rationale included: ☒ YES ☐ NO ☐ N/A

DP Checklist Included: ☒ YES ☐ NO

SITE INFORMATION

- | | |
|---|---|
| a. Oil or gas wells present on or within 100 metres of the subject property(s) | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| b. Parcel within 1.5 kilometres of a sour gas facility (well, pipeline or plant) | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| c. Abandoned oil or gas well or pipeline present on the property
(Well Map Viewer: https://extmapviewer.aer.ca/AERAbandonedWells/Index.html) | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| d. Subject site has direct access to a developed Municipal Road (accessible public roadway) | <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO |

AUTHORIZATION

I, VAL R WEAVER (Full name in Block Capitals), hereby certify (initial below):

☒ That I am the registered owner OR ☐ That I am authorized to act on the owner's behalf.

☒ That the information given on this form and related documents, is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.

☒ That I provide consent to the public release and disclosure of all information, including supporting documentation, submitted/contained within this application as part of the review process. I acknowledge that the information is collected in accordance with s.33(c) of the Freedom of Information and Protection of Privacy Act.

☒ Right of Entry: I authorize/acknowledge that Rocky View County may enter the above parcel(s) of land for purposes of investigation and enforcement related to this application in accordance with Section 542 of the Municipal Government Act.

Applicant Signature

Date Sept 17, 2020

Landowner Signature

Date Sept 17, 2020



ROCKY VIEW COUNTY

ACCESSORY BUILDING(s) INFORMATION SHEET

FOR OFFICE USE ONLY	
APPLICATION NO.	PRDP2020 2818
ROLL NO.	04312018
DISTRICT	5

DETAILS		USE TYPE
Building total floor area (footprint)	9.18 m ² (m ² / ft. ²)	<input checked="" type="checkbox"/> * Residential
Height of building	2.69 m (m / ft.)	<input type="checkbox"/> Agricultural
Total area of all accessory buildings (For Residential/Agricultural parcels)	9.18 m ² (m ² / ft. ²)	<input type="checkbox"/> Related to Home-Based Business (HBB), Type II (attach HBB Information Sheet)
		<input type="checkbox"/> Other (specify):
BUILDING DESCRIPTION		BUILDING TYPE
Purpose/use of building (workshop, studio, storage etc.): Garden shed		<input checked="" type="checkbox"/> Storage Shed
Building material(s): wood, asphalt shingles		<input type="checkbox"/> Barn
Exterior colour(s): Green, cedar		<input type="checkbox"/> Quonset
Age of building(s), if permits not issued/available: 5yr built 2015		<input type="checkbox"/> Farm Building
		<input type="checkbox"/> Detached Garage
		<input type="checkbox"/> Gazebo
		<input type="checkbox"/> ** Shipping Container (Seacan)
		<input type="checkbox"/> Personal Greenhouse/Nursery
		<input type="checkbox"/> Horse Shelter/Stable
		<input type="checkbox"/> Tent (covered)
		<input type="checkbox"/> Other (specify):
VARIANCE(s) REQUESTED (If applicable)		
Describe variances requested: side yard variance, height variance		
Describe reasons for variances (location, storage needs, etc.): shed placed to minimize sight of in yard, neighbours, ease of access height to facilitate owner & riding mower		
NOTE: Application must include a Site Plan identifying dimensions, area, and location of the building (including setbacks), floor plan(s), elevations, and requirements of the Development Permit Checklist.		
Accessory Buildings, Land Use Bylaw, C-8000-2020:		
* An Accessory Building on a parcel in a Residential District shall be similar to, and complement, the Principal Building in exterior material, colour and appearance.		
** Where the Accessory Building is a Shipping Container it:		
a) Shall not be attached, in any way, to a principal building;		
b) Shall not be stacked in any Non-Industrial District; and		
c) Shall be visually screened from public roads and adjacent properties in a manner which satisfies the Development Authority.		

Applicant Signature

Date Sept 17, 2020

Sept 17, 2020

Val Weaver

228 High Point Estate

NE ¼ 12-24-28W4, Lot 12, Block A, Plan 7510553

2 ac parcel

Re: Request for a side yard & shed height variance for existing garden shed

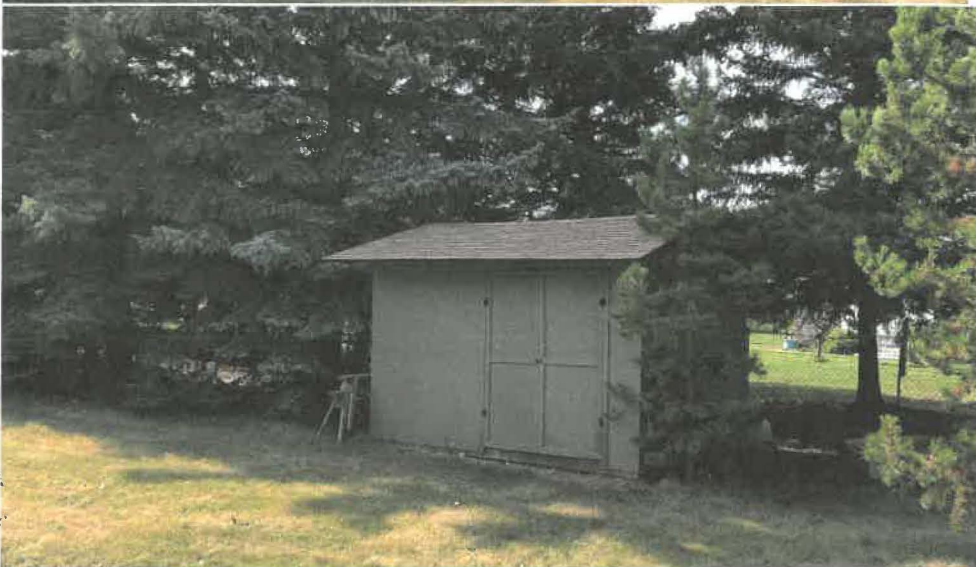
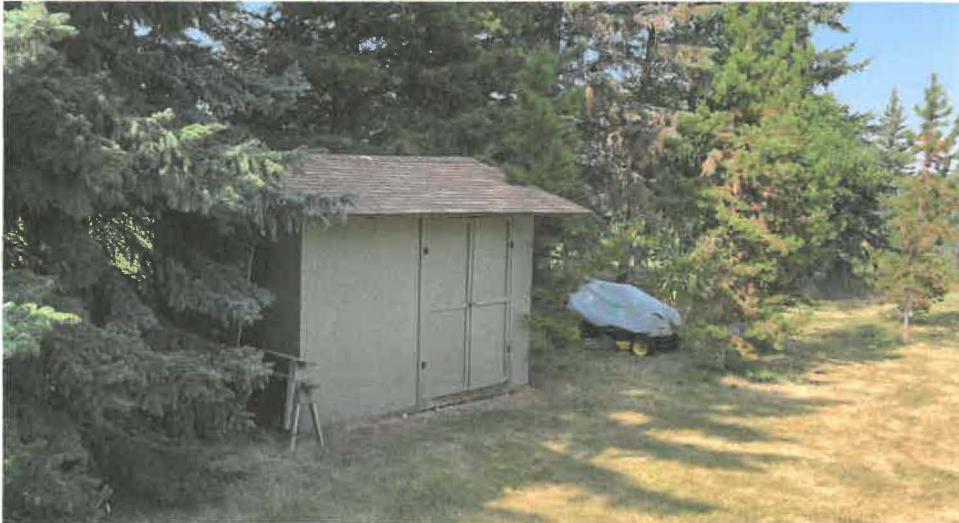
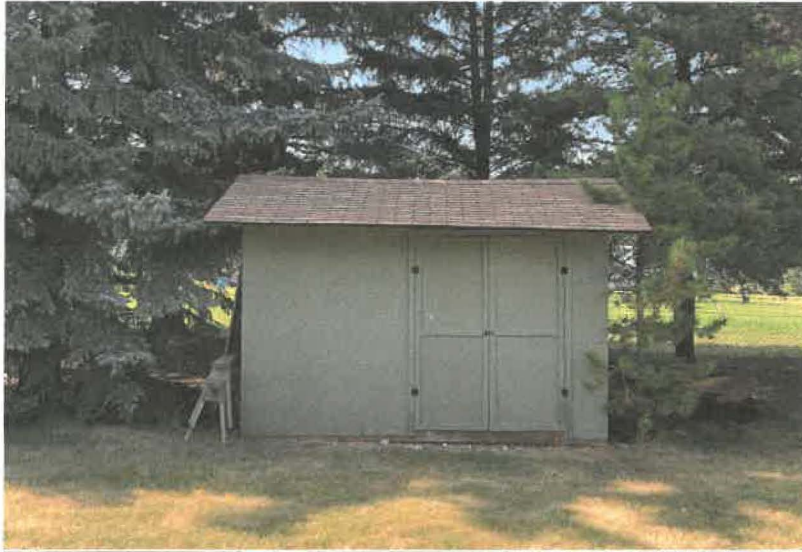
1. Proposed Land use: Residential, garden shed, no new work planned
2. Variance Rational for shed placement at 228 High Point Estate
 - a. Wooden Shed was built in 2015
 - b. Placement was selected to minimize visual changes to backyard setting
 - i. Offset from primary sight lines
 - ii. Nestled into the tree belt
 - iii. Sufficiently offset to current fencing to allow for ease of workspace to facilitate any future fence work and push mower
 - iv. Shed constructed to allow ease of access for tall owner, 2.5m floor to roof, and riding mower
3. Shed has been and in place for ~5ys with no grievances from community
4. Placement and construction was supported with adjacent neighbor at 232

Home has been sold Sept 1, 2020, sale is pending the completion of compliance documentation of the real property report.

Val Weaver



228 High Point Estate, Side yard variance for shed built in 2015





Abandoned Well Map Viewer

Search...



Getting Around

Annotate

Analysis

☒ Tool Labels X



Print



Help



Pan



Zoom In



Zoom Out



Full Extent



Previous Extent



Next Extent



Previous View



Polygon



Rectangle



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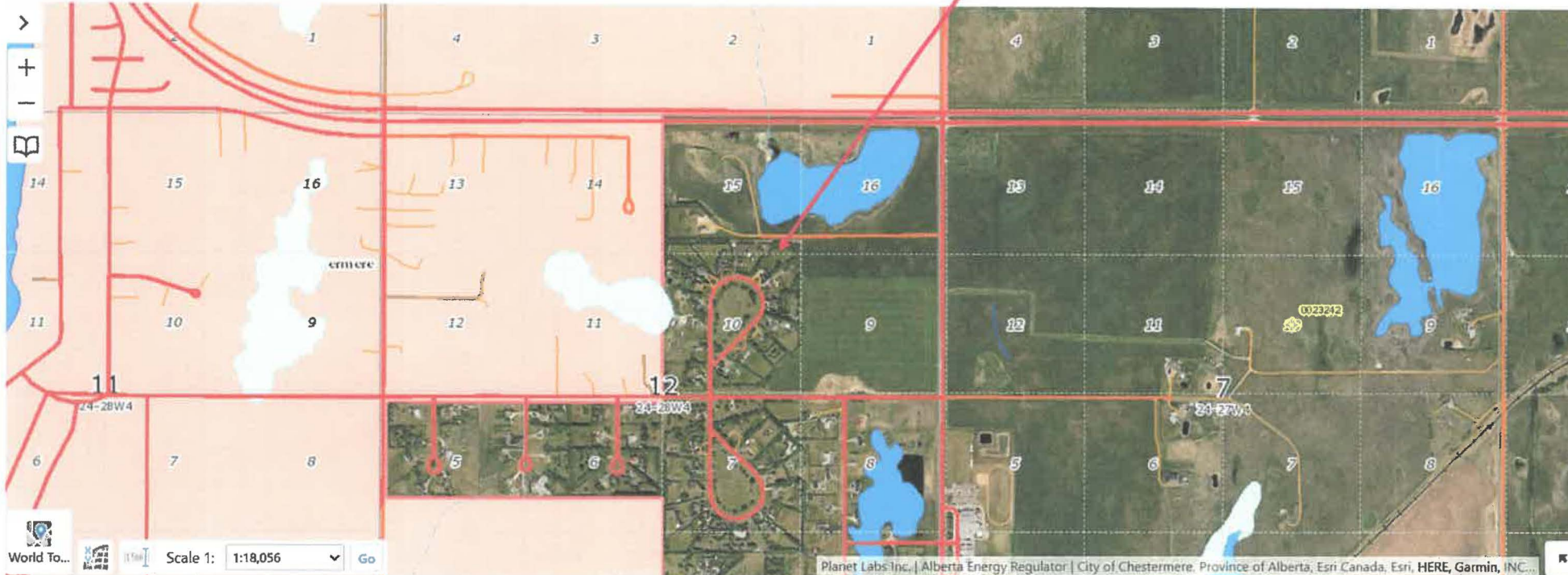
Export well to excel

Printing

Help File

Navigation Tools

Location Info



ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

PLAN 751 0553
BLOCK A

Assumed
90°02'30"
82.27



VISTA GEOMATICS LTD.
Bay 28, 2015 32nd Ave. N.E.
Calgary, Alberta T2E 6Z3
Phone (403) 270-4048
E-mail: admin@vistageomatics.com

DESCRIPTION OF PROPERTY

Lot(s) 9
Block 1
Plan 751 0553

I, Jody E. Clarke, Alberta Land Surveyor do hereby certify that this report was prepared and performed under my personal supervision and in accordance with the Manual of Standard Practice of the Alberta Land Surveyors' Association and supplements thereto. Accordingly within those standards and as of the date of this report, I am in the opinion that:

- The Plan illustrates the boundaries of the Property, the improvements as defined in Part D, Section 8.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements and right-of-way affecting the extent of the title to the property;
- The improvements are entirely within the boundaries of the property, except nil;
- No visible encroachments exist on the Property from any improvement situated on an adjacent property, except nil; and;
- No visible encroachments exist on registered easements or rights-of-way affecting the extent of the property, except nil;
- Title information is based on a title search dated August 7th A.D. 2020 C. of T. No. 151 069 174.
- The dimensions shown relate to distances from Property boundaries to foundation walls at time of survey.
- Distances are in metres and decimals thereof.
- This document is not valid unless it bears an original signature (in blue ink) and a red Vista Geomatics Ltd. permit stamp.
- Purpose: This Report has been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose of a real estate transaction. Copying is permitted only for the benefit of these parties. Where applicable, registered easements and utility rights of way affecting the extent of the property have been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report. The plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user. The information on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.
- This survey was performed between the dates of: October 10th, 2012 and August 15th, 2020.
- Property is subject to Restrictive Covenant Reg. No. 751 048 154
- This survey is an update of Ref. Job No. 12065642

LEGEND

ABBREVIATIONS AND SYMBOLS THAT MAY APPEAR ON THIS PLAN.
Drill Hole found shown thus ...
Iron Bar found shown thus ...
Statutory Iron Post found shown thus ...
Magnetic Nail found shown thus ...
Delta (Central) angle of arc shown thus ...
Eave Fascia shown thus ...
Eave Dimensions (where applicable) are to line of Fascia
Fences are shown thus ...
Fences are within 0.20m of the Property Line unless otherwise noted
Line not to scale shown thus ...
Utility Rights-Of-Way are shown thus ...
Building foundation shown thus ...
Property line shown thus ...
A denotes Length of Arc
A/C denotes Air Conditioner
Blk. denotes Block
Cant. denotes Cantilever
Conc. denotes Concrete
c.s. denotes Countersunk
E. denotes East
Fd. denotes Found
G.L. denotes Ground Level
m denotes Metres
Mk. denotes Mark
M/F denotes Main Floor
M.A. denotes Maintenance Access
Mks. denotes Marks
N. denotes North
O.D. denotes Overland Drainage
P/L denotes Property Line
R denotes Radius of Arc
Reg. No. denotes Registration Number
Ret. Wall denotes Retaining Wall
R.W. denotes Right-Of-Way
2/F denotes Second Floor
S. denotes South
U. denotes Utility
W. denotes West
W/W denotes Window Well

Note: No Eaves for Cant. Unless Otherwise Noted



Dated this 20th day of August A.D. 2020.

MUNICIPAL ADDRESS: 228 High Point Estates Rocky View County, Alberta	Jody E. Clarke, A.L.S.
CLIENT Val Weaver	
FILE NO. N/A	Drawn: DL Checked: JC
SCALE 1: 550	V.G. FILE NO. 20085070