

Municipal Planning Commission Meeting Agenda



ROCKY VIEW COUNTY

262075 ROCKY VIEW POINT
ROCKY VIEW COUNTY, AB
T4A 0X2

September 3, 2020

9:00 a.m.

A CALL MEETING TO ORDER

B UPDATES/APPROVAL OF AGENDA

C APPROVAL OF MINUTES

1. July 30, 2020 Municipal Planning Commission meeting minutes Page 3

D SUBDIVISION APPLICATIONS

1. Division 9 – File: PL20190190 (6920009) – Residential subdivision

Staff Report Page 27

2. Division 1 – File: PL20190080 (4817002) – Agricultural First Parcel Out Subdivision

Staff Report Page 49

3. Division 5 – File: PL20190089 (04329003) – Commercial subdivision – Cambridge Estates

Staff Report Page 70

4. Division 4 – File: PL20190112 (3305007) – Residential Two District subdivision

Staff Report Page 676

E DEVELOPMENT APPLICATIONS

1. Division 8 – File: PRDP20201813 (5736023) – Accessory Building

Staff Report Page 694

2. Division 2 – File: PRDP20201670 (57048069) – Cannabis Cultivation and Cannabis Facility

Staff Report Page 715

3. Division 9 – File: PRDP20201968 (6705023) – Accessory Building

Staff Report Page 737

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4. Division 6 – File: PRDP20201515 (7108004) – Cannabis Cultivation

Staff Report Page 756

5. Division 2 – File: PRDP20202100 (4734116) – Liquor Sales

Staff Report Page 790

6. Division 1 – File: PRDP20202131 (3913040) – Automotive, Equipment & Vehicle Services / Retail Shop

Staff Report Page 815

7. Division 2 – File: PRDP20202106 (5716086) – Single-lot Regrading and Placement of Clean Fill

Staff Report Page 839

8. Division 4 – File: PRDP20202020 (3219028) – Accessory Building & Signs, for a Religious Assembly

Staff Report Page 871

9. Division 4 – File: PRDP20202237 (3222095) – Dwelling, Single Detached

Staff Report Page 894

10. Division 7 – File: PRDP20201845 (6524006) – Farmer’s Market

Staff Report Page 911

11. Division 6 – File: PRDP20201842 (6105006) – Accessory Building

Staff Report Page 934

F OTHER BUSINESS
- None

G ADJOURN MEETING

H NEXT MEETING: September 24, 2020

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A regular meeting of Rocky View County Municipal Planning Commission was held in the Council Chambers of the County Hall, 262075 Rocky View Point, Rocky View County, Alberta on July 30, 2020 commencing at 9:14 a.m.

Present:	Division 5	Member J. Gautreau (Chair)
	Division 4	Member A. Schule (Vice Chair)
	Division 2	Member K. McKylor
	Division 3	Member K. Hanson
	Division 6	Member G. Boehlke
	Division 8	Member S. Wright

Absent:	Division 1	Member M. Kamachi
	Division 9	Member C. Kissel

Also Present:

- A. Hoggan, Chief Administrative Officer
- T. Cochran, Executive Director, Community Development Services Division
- D. Hafichuk, A/Executive Director, Operations
- C. Satink, Municipal Clerk, Municipal Clerk's Office
- S. MacLean, Planning Supervisor, Planning and Development Services
- A. Bryden, Senior Planner, Planning and Development Services
- O. Newmen, Planner, Planning and Development Services
- J. Targett, Development Officer, Planning and Development Services
- K. Tuff, Appeals Coordinator, Municipal Clerk's Office
- S. Hope, Policy Coordinator, Municipal Clerk's Office
- B. Duncan, Municipal Engineer, Planning and Development Services
- E. Neilsen, Development Assistant, Planning and Development Services
- S. Thompson, Development Assistant, Planning and Development Services

Call to Order

The Chair called the meeting to order at 9:14 a.m. with all members present, with the exception of Member Kamachi and Member Kissel.

2020-07-30-01 (B-1)

Updates/Acceptance of Agenda

MOVED by Member McKylor that the July 30, 2020 Municipal Planning Commission meeting agenda be amended as follows:

- Add emergent item F-2 – Legal Demand for Subdivision Item D-2 PL20190089

Carried

MOVED by Member McKylor that the July 30, 2020 Municipal Planning Commission meeting agenda be approved as amended.

Carried

2020-07-30-02 (F-2)

All Divisions – Legal Demand for Subdivision Item D-2 PL20190089

File: N/A

MOVED by Member Schule that the Municipal Planning Commission move into closed session at 9:18 a.m. to consider the following items under the following sections of the *Freedom of Information and Protection of Privacy Act*:

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Emergent Confidential Closed Session Item F-2 – Legal Demand for Subdivision Item D-2 PL20190089

- Section 24 – Advice from officials
- Section 27 – Privileged information

Carried

The Municipal Planning Commission held the closed session for Emergent Confidential Closed Session F-2 with the following additional people in attendance:

Rocky View County: A. Hoggan, Chief Administrative Officer
T. Cochran, Executive Director, Community Development Services Division

MOVED by Member Schule that the Municipal Planning Commission move into open session at 9:48 a.m.

Carried

MOVED by Member McKylor that Administration be directed to seek a legal opinion on the Carscallen LLP letter dated July 29, 2020.

Carried

2020-07-30-03 (D-2)

Division 5 – Subdivision Item – Other subdivision

File: PL20190089 (04329003)

MOVED by Member McKylor that consideration of Subdivision Application PL20190089 be tabled until the September 3, 2020 Municipal Planning Commission meeting.

Carried

2020-07-30-04 (C-1)

Approval of Minutes

MOVED by Member Schule that the July 13, 2020 Municipal Planning Commission meeting minutes be approved as presented.

Carried

Abstained: Member Hanson

2020-07-30-05 (D-1)

Division 7 – Subdivision Item – Other subdivision

File: PL20190176 (07308011)

MOVED by Member Boehlke that Subdivision Application PL20190176 be approved with the conditions noted in Appendix 'B':

- A. The application to create a ± 1.62 hectare (± 4.00 acre) parcel (Lot 1) with a ± 13.35 ha (± 32.99 acre) remainder (Lot 2) at Lot 9, Block 1, Plan 0012395 within NW 08-27-28 W4M, having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 and Section 14 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is approved as per the Tentative Plan for the reasons listed below.

1. The subject lands hold the appropriate land use designation;

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2. The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Transportation and Access

- 2) The Applicant/Owner shall upgrade the existing road approach to a mutual gravel standard as shown on the Approved Tentative Plan, in order to provide access to Lots 1 & 2. In addition, the Applicant/Owner shall:
 - a) Provide an access right of way plan; and
 - b) Prepare and register respective easements on each title, where required.
- 3) The Applicant/Owner is to enter into a Road Acquisition Agreement with the County, to be registered by caveat on the title of Lot 2, to serve as notice that those lands are intended for future development as a County road, as per the approved Tentative Plan. The agreement shall include:
 - a) The provision of approximately 25 m x 630 m (\pm 1.57 hectare/ \pm 3.89 acre) road acquisition along the southern portion of the lands;
 - b) Land is to be purchased for \$1.00 by the County.
- 4) The Applicant/Owner is to enter into a Restrictive Covenant, to be registered by Caveat prepared by the County, on the title of Lots 1 & 2 that restricts the erection of any structure on or within 15m of a future road Right of Way, as shown on the approved Tentative Plan.

Site Servicing

- 5) The Applicant/Owner has provided a Level 2 Assessment in accordance with the Model Process Reference Document for Lot 1;

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- a) The Applicant/Owner shall comply with the improvements recommended in the Model Process Assessment, prepared by Solstice Environmental Management, dated November 11, 2019, and if required enter into a Development Agreement (Site Improvements/Services Agreement) with the County.
 - 6) Water is to be supplied by an individual well on Lot 1. The subdivision shall not be endorsed until:
 - a) The Owner has provided a Well Driller's Report to demonstrate that an adequate supply of water is available for Lot 1.
 - b) Verification is provided that each well is located within each respective proposed lot's boundaries.
 - c) It has been demonstrated that the new well is capable of supplying a minimum of one (1) IGPM of water for household purposes.

Developability

- 7) The Owner is to provide and implement a (Site Specific) Stormwater Management Plan, which meets the requirements outlined in the Nose Creek Water Management Plan and the Nose Creek Internal Drainage Areas Study. Implementation of the Stormwater Management Plan shall include:
 - a) Registration of any required easements and / or utility rights-of-way;
 - b) Provision of necessary approvals and compensation to Alberta Environment and Parks for wetland loss and mitigation;
 - c) Provision of necessary Alberta Environment and Parks registration documentation and approvals for the stormwater infrastructure system;
- 8) Should the (Site Specific) Stormwater Management Plan indicate that improvements are required, the Applicant/Owner shall enter into a Development Agreement (Site Improvements/Services Agreement) with the County.

Municipal Reserves

- 9) The provision of Reserve in the amount of 10 percent of the area of Lot 1, as determined by the Plan of Survey, is to be provided by payment of cash-in-lieu in accordance with the per acre value as listed in the land appraisal (RDS Appraisal Group; File 209985; May 10, 2020), pursuant to Section 666(3) of the Municipal Government Act:
 - a) Reserves for Lot 2 are to be deferred by Caveat pursuant to Section 669(2) of the Municipal Government Act.
- 10) The Applicant/Owner shall pay the Transportation Off-Site Levy in accordance with Bylaw C-8007-2020 prior to subdivision endorsement. The County shall calculate the total amount owing from the total gross acreage of Lot 1, as shown on the Plan of Survey.

Payments and Levies

- 11) The Applicant/Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one (1) new lot.

Taxes

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- 12) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

1. Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw.

Carried

2020-07-30-06 (D-3)

Division 1 – Subdivision Item – Other subdivision

File: PL20190168 (05821003)

Presenter: Kim Biddle, on behalf of the Applicant

MOVED by Member Boehkle that condition 2 for subdivision application PL20190168 as noted in Administration's report be amended to read:

The Owner shall enter into a Development Agreement pursuant to Section 655 of the Municipal Government Act, in accordance with the approved Tentative Plan, and shall include the following:

- i. Rehabilitation of Range Road 43 from the current termination point to the access point of the subject lands in accordance with the drawing Preparing Subgrade Surface, Granular Base and Other Work Typical Section conducted by Eagle Engineering Corp. **drawing RLU 2 standard** dated July 2020 and the County Servicing Standards as shown in the tentative plan, which includes but is not limited to:
 - a) Completing with a cul-de-sac bulb at the termination point of the road;
 - b) Dedication of necessary easements and rights-of-way; and
 - c) Appropriate signage.
- ii. Implementation of the recommendations of the Construction Management Plan.
- iii. Implementation of the recommendations of the Erosion and Sedimentation Control Plan.

Carried

MOVED by Member Boehkle that Subdivision Application PL20190168 be approved with the conditions noted in Appendix 'B', as amended:

- A. That the application to create a \pm 32.37 hectare (80.00 acre) parcel with a \pm 32.37 hectare (80.00 acre) remainder within SE-21-25-04-W05M has been evaluated in terms of Section 654 of the Municipal Government Act and Section 7 of the Subdivision and Development Regulations. It is recommended that the application be approved as per the Tentative Plan for the reasons listed below:
 1. The application is consistent with the County Plan;
 2. The subject lands hold the appropriate land use designation;

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3. The technical aspects of the subdivision proposal have been considered, and are further addressed through the conditional approval requirements.
- B. The Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the condition will be met, in accordance with all County Policies, Standards and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a Qualified Professional, licensed to practice in the Province of Alberta, within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Owner from ensuring all permits, licenses, or approvals required by Federal Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Plan of Subdivision

- 1) Subdivision to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Accessibility to a Road

- 2) Rehabilitation of Range Road 43 from the current termination point to the access point of the subject lands in accordance with the drawing Preparing Subgrade Surface, Granular Base and Other Work Typical Section conducted by Eagle Engineering Corp. drawing RLU 2 standard dated July 2020 and the County Servicing Standards as shown in the tentative plan, which includes but is not limited to:
- i. Rehabilitation of Range Road 43 from the current termination point to the access point of the subject lands in accordance with the drawing Preparing Subgrade Surface, Granular Base and Other Work Typical Section conducted by Eagle Engineering Corp. dated July 2020 and the County Servicing Standards as shown in the tentative plan, which includes but is not limited to:
 - a) Completing with a cul-de-sac bulb at the termination point of the road;
 - b) Dedication of necessary easements and rights-of-way; and
 - c) Appropriate signage.
 - ii. Pre Implementation of the recommendations of the Construction Management Plan.
 - iii. Implementation of the recommendations of the Erosion and Sedimentation Control Plan.
- 3) The Owner shall provide a detailed Erosion and Sedimentation Control Plan, prepared by a qualified professional, in accordance with the County Servicing Standards and best management practices, to the satisfaction of the County.
- 4) The Owner shall provide a Construction Management Plan that is to include, but not be limited to, noise, sedimentation and erosion control, construction waste management, firefighting procedures, evacuation plan, hazardous material containment, construction, and management details.

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- 5) The Owner shall enter into an Encroachment agreement for the portion of the cul-de-sac bulb that is encroaching on the subject lands.
 - 6) The Owner shall construct two new gravel approaches on Range Road 43 in order to provide access to Lots 1 and 2. If a mutual approach is constructed, the Owner shall:
 - a) Provide an access right of way plan; and
 - b) Prepare and register respective easements on each title, where required.

Cost Recovery

- 7) The County will enter into an Infrastructure Cost Recovery Agreement with the Owner to determine the proportionate recovery of infrastructure money spent by the Owner to construct municipal infrastructure that will consequently provide benefit to other lands:
 - a) This Agreement shall apply to the construction of off-site infrastructure (transportation).

Payments and Levies

- 8) The Owner shall pay the County subdivision endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one new Lot.

Taxes

- 9) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

1. Prior to final endorsement of the Subdivision, the Planning Department is directed to present the Owner with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw.

Carried

2020-07-30-07 (E-1)

Division 5 – Development Item – Shopping Centre, Local

File: PRDP20200869 (04329127)

Presenter: Wojtek Wardynski, on behalf of the Applicant

MOVED by Member Schule that conditions 13, 16, and 33 for development permit PRDP20200869 as noted in the development permit report be amended to replace bylaw number C-7273-2013 with **C-8009-2020**.

Carried

MOVED by Member Schule that Development Permit Application PRDP20200869 be approved with the conditions noted in the Development Permit Report, attached, as amended:

APPROVAL, subject to the following conditions:

Description:

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- 1) That a shopping centre, local, (Phase 1) may take place in accordance with the application drawings as amended, and includes the following:
 - a) Construction of two buildings:
 - i. Building A: 765.52 sq. m (8,240 sq. ft.), to include 8 units
 - ii. Building B: 428.10 sq. m (4,608 sq. ft.), to include 4 units
 - b) Signage
 - i. One monument sign, backlit: 2.90 m (9.50 ft.) high x 5.49 m (18.00 ft.) wide x 0.46 m (1.50 ft.) depth;
 - ii. 12 fascia signs holders;
 - c) That the maximum floor area for the for the shopping, centre, local is relaxed from 600.00 sq. m (6,458.35 sq. ft.) to 1,193.62 sq. m.(12,848.00 sq. ft.).

Prior to Issuance:

General:

- 2) That prior to the issuance of this permit, the Applicant/Owner shall submit a revised Landscape Plan, in accordance with Section 26 of the Land Use Bylaw (LUB) and Appendix B of the Conrich Area Structure plan (ASP), to the satisfaction of the County and includes:
 - a) Relocation of any trees identified for placement within the road right-of-way to the subject site
 - b) Re-distribution and placement of trees on the subject site for off-numbered clustering;
 - c) Provision of a minimum 3.00 m landscaped area between buildings and adjoining parking area;
- 3) That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions and to submit a new road approach application, for the proposed approaches.
 - a) If required, a pre-construction inspection may be required for the proposed approach locations. Note: the approaches shall be constructed in accordance with County Servicing Standards.
 - b) Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.
- 4) That prior to the issuance of this permit, the Applicant/Owner shall submit a revised Parking Plan in accordance with Section 30 of the LUB and the in accordance to the National Building Code 2019-AB Edition, Article 3.8.2.5, to the satisfaction of the County identifying:

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- a) The minimum barrier free parking stalls (four [4]), stall dimensions, access aisle and associated signage for the subject site;
 - b) A proposed loading area for both buildings;
- 5) That prior to the issuance of this permit, the Applicant/Owner shall submit revised building elevations in conformance with Appendix B of the ASP, addressing regulation #5, #6, #7, #8 and #9, to the satisfaction of the County.
 - 6) That prior to the issuance of this permit, the Applicant/Owner shall submit a signage plan detailing the location, materials, dimensions and esthetics of the proposed signage onsite, in accordance with Section 35.14 of the LUB, to the satisfaction of the County.
 - 7) That prior to the issuance of this permit, the Applicant/Owner shall submit a lighting plan and details, identifying any proposed building and site lighting for the property and identifying the “dark sky” components and orientation in accordance with Section 27 of the LUB, the South Conrich Conceptual Scheme (CS), and Section 10.17 of the ASP, to the satisfaction of the County.
 - 8) That prior to the issuance of this permit the Applicant/Owner shall confirm acceptance of or refusal to participate in the Voluntary Recreation Contribution for Community Recreation Funding on the form provided by the County and that the contribution, if accepted, is \$1,200.00 calculated at \$800.00 per acre for 1.50 acres.

Geotechnical:

- 9) That prior to the issuance of this permit, the Applicant/Owner shall submit a construction management plan addressing noise mitigation measures, traffic accommodation, sedimentation and dust control, management of stormwater during construction, erosion and weed control, construction practices, waste management, firefighting procedures, evacuation plan, hazardous material containment, and all other relevant construction management details, in accordance with County Servicing Standards.
- 10) That prior to the issuance of this permit, the Applicant/Owner shall submit a Geotechnical Investigation Report, in accordance with the County’s Servicing Standards, in order to verify that the site is suitable for the proposed buildings/structures, site works, and deep utilities and provide recommendations for site grading, excavations, foundation construction, pavement structures, etc..

Note:

- a) Pavement structure requirements based on site CBR testing results;
- b) For areas with greater than 1.2 m of fill (if any), a Deep Fill report is required.

Transportation:

- 11) That prior to the issuance of this permit, the Applicant/Owner shall submit a Traffic Impact Assessment (TIA) in accordance with the County Servicing Standards, with a detailed scope.
 - a) Should upgrades be required as a result of the TIA, the Applicant/Owner shall be responsible for entering in to a Development Agreement with the County for the construction of the upgrades.

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- 12) That prior to issuance of the permit, the Applicant/Owner shall submit a refundable security in the amount of \$10,000 for each road approach proposed, requiring a security of \$20,000.
- a) Upon final acceptance of the road approaches from the County, the refundable security shall be returned to the Applicant/Owner.

Water Supply, Sanitary/Waste Water:

- 13) That prior to the issuance of this permit, the Applicant/Owner shall submit a detailed servicing analysis that demonstrates the wastewater demands of the proposed development based on use and occupancy. Any required wastewater capacity above the currently allocated capacity shall require the purchase of additional capacity in accordance with the County's Water & Wastewater Offsite Levy Bylaw (C-8009-2020), and Master Rates Bylaw (C-7992-2020)
- a) Confirmation shall be required to ensure that the proposed development can be accommodated with the allocation of wastewater servicing capacity identified in the Cost Contribution and Capacity Allocation Agreement (CCCAA) in place for the subject parcel. If insufficient allocation is present in the CCCAA agreement, then additional capacity will have to be purchased
- 14) That prior to the issuance of this permit, the Applicant/Owner shall enter in to a Customer Servicing Agreement with the County, for the water & wastewater services provided subject lands.
- 15) That prior to the issuance of this permit, the Applicant/Owner shall submit a Servicing Plan which provides a detailed layout of the on-site sanitary sewers, potable water lines, and stormwater infrastructure, in accordance with County Servicing Standards.
- 16) That prior to the issuance of this permit, the Applicant/Owner shall submit a detailed site water servicing design, including adequate fire protection, for the proposed development in accordance with the County Servicing Standards, County Bylaws as amended, that will tie into the Conrich potable water system.
- a) Any required water capacity above the currently allocated capacity shall require the purchase of additional capacity in accordance with the County's Water & Wastewater Offsite Levy Bylaw (C-8009-2020), and Master Rates Bylaw (C-7992-2020).
- 17) That prior to the issuance of this permit, the Applicant/Owner shall enter in to a Cost Contribution and Capacity Allocation Agreement, with the County, for water servicing capacity allocation.
- 18) That prior to the issuance of this permit, the Applicant/Owner shall pay the County for the supply and installation of a water meter and remote transmitter unit. The water meter shall be sized based on calculations to be provided by the Applicant/Owner and confirmed by Utility Operations.

Storm Water Management:

- 19) That prior to the issuance of this permit, the Applicant/Owner shall submit a site-specific stormwater implementation plan (SSIP) for the subject property to demonstrate how stormwater from the site will be managed and integrated with the overall stormwater management system of the Cambridge Park Subdivision.
- a) The Applicant/Owner shall be responsible for any related EPEA and/or Water Act approvals for the on-site stormwater infrastructure

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- 20) That prior to the issuance of this permit, the Applicant/Owner shall submit an Erosion & Sediment Control Plan & Report, which shall be stamped and signed by a qualified professional engineer licensed to practice in the province of Alberta, for onsite construction activities in accordance with County Servicing Standards.
 - 21) That prior to the issuance of this permit, the Applicant/Owner shall submit a detailed Site Grading Plan and a Building Grade Plan, which identifies the original ground and finished grade elevations for the proposed development, which shall be stamped and signed by a qualified professional engineer licensed to practice in the province of Alberta, to the satisfaction of the County.
 - 22) That prior to issuance of this permit, the Applicant/Owner will be required to provide payment of the Stormwater Off-site Levy in accordance with applicable levy at time of Development Permit approval, as amended, for the total gross acreage of the lands proposed to be developed in accordance with Bylaw C-8008-2020.

Prior to Occupancy:

- 23) That prior to occupancy of this facility, the Applicant/Owner shall submit Built to design Certificates and As-built drawings, certified by a professional engineer licensed to practice in the Province of Alberta. The as-built drawings shall include verification of as-built wastewater infrastructure, water infrastructure, as-built stormwater infrastructure including (where applicable): verification of as-built pond volumes, trap low volumes, liner verification, irrigation systems and any other information that is relevant to the SSIP.
 - a) Following receipt of the as-built drawings from the consulting engineer, the County shall complete an inspection of the site to verify stormwater infrastructure has been completed as per the stamped "examined drawings".
- 24) That prior to occupancy, the County shall perform an inspection of the site, with final acceptance provided, to verify that the road approaches have been installed in accordance with the County Servicing Standards and approved plans. Note, any portion of the ditch that has been disturbed as a result of the approach construction or other activities on site must be restored to the original subdivision grades and adequately topsoiled & seeded, to the satisfaction of the County.
- 25) That all landscaping, parking, and final site surfaces shall be in place prior to occupancy of the site and/or buildings.
 - a) That should permission for occupancy of the site be requested during the months of October through May inclusive, occupancy may be allowed without landscaping and final site surface completion provided that an Irrevocable Letter of Credit in the amount of 150.00% of the total cost of completing all the landscaping and final site surfaces shall be placed with Rocky View County to guarantee the works shall be completed by the 30th day of June immediately thereafter.
- 26) That prior to occupancy of this facility, the Applicant/Owner shall contact County Utility Operations for an inspection and approval of the Water Meter, and Sanitary Sewer Service Connection.
- 27) That prior to occupancy of this facility and prior to connecting to the offsite water & waste water mains, the Owner shall enter into a Customer Service Agreement for wastewater use on the subject lands.

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- a) Should the Owner's use require additional servicing capacity, the Applicant/Owner shall be required to provide payment for that additional capacity in accordance with the Master Rates Bylaw C-7992-2020, as amended.

Permanent:

- 28) That any garbage or recycling containers shall be screened from view from all adjacent properties and public thoroughfares. The garbage and waste material on site shall be stored in weatherproof and animal-proof containers located within buildings or adjacent to the side or rear of buildings.
- 29) That connection to existing sanitary mains & water mains is not permitted without the authorization of the County's Utility Operations.
- 30) That the subject lot shall obtain water from the Conrich Water Distribution system.
- 31) That the subject parcel shall obtain wastewater servicing in accordance with the County's Water and Wastewater Bylaw C-8009-2020.
- 32) That if the Building changes commercial usage, the Applicant/Owner shall submit to the County a revised description of process and subsequent water and wastewater requirements.
- 33) That this facility shall be subject to water usage/wastewater monitoring by Utility Operations, in order to ensure compliance with Bylaw C-5083-99 and C-8009-2020.
- 34) That any signage not approved within this condition set shall require a separate Development Permit approval and shall adhere Section 35 of the LUB, the CS, and the ASP, to the satisfaction of the County.
- 35) That all signage shall be kept in a safe, clean, and tidy condition at all times.
- 36) That no temporary signs shall be place on the site at any time except any temporary signs required during development or building construction.
- 37) That the entire site shall be maintained in a neat and orderly manner at all times to the satisfaction of the Development Officer.
- 38) That all landscaping shall be in accordance with the landscaping details provided on the Landscape Plan, as revised.
- 39) That the Applicant/Owner shall be responsible for the irrigation and maintenance of the landscaped areas year-round, including the replacement of any deceased trees, shrubs, or plants within 30 days or by June 30th of the next growing season.
- 40) That all on site Lighting shall be "dark sky", and all private lighting, including site security lighting and parking area lighting, should be designed to conserve energy, reduce glare and reduce uplift. All development will be required to demonstrate lighting design that reduces the extent of spill-over glare and eliminates glare as viewed from nearby residential properties.
- 41) That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for each unit located on the subject site, to facilitate accurate emergency response.

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Note, the municipal addresses for this site are include:

Building A: 600 CAMBRIDGE PARK ROAD;
Building B: 500 CAMBRIDGE PARK ROAD;

- 42) That the minimum number of parking stalls, including barrier free stalls identified in the required parking plan shall be maintained on site at all times.
- 43) There shall be no customer or business parking at any time along the adjacent County Road System.
- 44) That water conservation strategies shall be implemented and maintained at all times.
- 45) That no potable water can be used for any irrigation purposes. There shall be no hose bibs installed on the exterior of the building.
- 46) That connection to existing potable water mains is not permitted without the written authorization of the County's Utility Operations.
- 47) That the Applicant/Owner shall extend the County's East Rocky View water system for water servicing, in accordance with the required/signed Cost Contribution and Capacity Allocation Agreement (CCCAA) in place for the subject site.
- 48) The Applicant/Owner shall implement all fire suppression infrastructure in accordance with the requirements of the County Servicing Standards and the Fire Hydrant Water Suppression Bylaw (ASP 21.6, 23.21).
- 49) That the outside storage of supplies, equipment and materials shall not be permitted.
- 50) That a separate development permit approval is required for the development of Phase 2 of the shopping centre, local, on the subject site.
- 51) That the site shall remain in accordance with the ASP and CS, in perpetuity.
- 52) That any plan, technical submission, agreement, or other matter submitted and approved as part of the Development Permit application or submitted in response to a Prior to Issuance or Occupancy condition, shall be implemented and adhered to in perpetuity, including the required SSIP, as well as the registration of any overland drainage easements and/or restrictive covenants as determined by the plan, to the satisfaction of the County.

Advisory:

- 53) That the subject development shall conform to the County's Noise Bylaw C-5773-2003 in perpetuity.
- 54) That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act [Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].
- 55) That the Applicant shall be responsible for all required payments of 3rd party reviews and/or inspections as per the Master Rates Bylaw.

Note: For any 3rd party review work completed prior to Issuance of the Development Permit, the invoices shall be paid prior to the Development Permit being issued. For any work

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completed after Permit issuance but before Permit Occupancy, the invoices shall be paid prior to Development Occupancy.

- 56) That a Building Permit and all applicable sub-trade permits shall be obtained, through Building Services, prior to any construction taking place, using the Commercial/Industrial checklist and shall include:
- a. The requested 3.2.2. Building Code Analysis;
 - b. The requested dimensioned site plan with dimensions to the hydrant locations, Siamese connection/front entry (if applicable), Access route design and water supply;

Note: The Development shall conform to the National Energy Code 2011 and any Acoustical Requirements of the Alberta Building Code.

- 57) That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 58) That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 36 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
- 59) That if the Development Permit is not issued by December 31, 2021 or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Note: The Applicant/Owner shall be responsible for all Alberta Environment and Park (AEP) approvals for any impact to any wetland areas or for any on-site stormwater Infrastructure or the proposed development.

Carried

2020-07-30-08 (E-2)

Division 5 – Development Item – Single-lot regrading

File: PRDP20201265 (04222018)

Presenter: Mike Tessemaker, the property owner

MAIN MOTION

MOVED by Member Schule that Development Permit Application PRDP20201265 be refused as per the reasons noted within the report.

AMENDING MOTION

MOVED by Member Boehlke that the main motion be amended as follows:

THAT Development Permit Application PRDP20201265 be refused as per the reasons noted within the report **and the failure of the applicant to supply the required reports.**

TABLING MOTION

MOVED by Member Wright that the amending motion and the main motion for item E-2 be tabled pending the submission of the technical reports by September 30, 2020.

Carried

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2020-07-30-09 (E-3)

Division 5 – Development Item – Home-based Business, Type II

File: PRDP20201460 (05204006)

MOVED by Member Boehlke that Development Permit Application PRDP20201460 be approved with the conditions recommended by Administration noted in the Development Permit Report, attached:

Description:

1. That a Home-Based Business, Type II, for a Vehicle Wholesale Business may operate on the subject parcel in accordance with the approved plans.
 - a. That the maximum allowed outdoor storage area is relaxed from 117.764 sq. m. [1266.267 sq. ft.] to 198.00 sq. m. [2131.25 sq. ft.].
 - b. That the minimum side yard setback requirement, for the outside storage area, is relaxed from 3.00 m to 0.00 m.
 - c. That the minimum front yard setback requirement, for the outside storage area, is relaxed from 45.00 m to 38.00 m.

Permanent:

2. That there shall be no non-resident employees at any time.
3. That the operation of this Home-Based Business may generate up to a maximum of 8 business-related visits per day.
4. That the operation of this Home-Based Business shall be secondary to the residential use of the subject parcel.
5. That the Home-Based Business shall not otherwise change the residential character and external appearance of the land and buildings.
6. That the operation of this Home-Based Business shall not generate excessive or unacceptable increases in traffic within the neighbourhood or immediate area.
7. That the Home-Based Business shall not generate noise, smoke, steam, odour, dust, fumes, exhaust, vibration, heat, glare, or refuse matter considered offensive or excessive by the Development Authority and at all times the privacy of the adjacent residential dwellings shall be preserved and the Home-Based Business use shall not, in the opinion of the Development Authority, unduly offend or otherwise interfere with neighbouring or adjacent residents.
8. That the Home-Based Business shall be limited to the dwelling, accessory building and the outside storage area.
9. That all outside storage that is a part of the Home-Based Business, Type II shall be completely screened from adjacent lands, shall meet the minimum setback requirements for buildings, and shall not exceed 198.00 sq. m. [2,131.25 sq. ft.].
10. That all vehicles, trailers, or equipment that are used in the Home-Based Business shall be kept within a building or the storage area in accordance with the approved Site Plan.

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11. That only vehicles classified as a “private passenger vehicle” by the *Traffic Safety Act* may be stored within the outside storage area and that at no time shall the applicant/owner utilize the outside storage area for the storage of recreational vehicles or commercial vehicles beyond the quantity allowed by Section 7.13 of Land Use Bylaw C-4841-97.
 12. That the outside storage area shall not contain more than ten (10) private passenger vehicles at any time.
 13. That at no time shall any mechanical/maintenance or electrical work be performed on any stored vehicle within the outside storage area.
 14. That there shall be no signage, exterior display or advertisement of goods or services discernible from the outside of the building.
 15. That no off-site advertisement signage associated with the Home-Based Business shall be permitted.
 16. That this Development Permit shall be valid until August 26, 2021.

Advisory:

17. That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
18. That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.

Carried

The chair called for a recess at 10:47 a.m. and called the meeting back to order at 10:53 a.m. with all previously mentioned members present.

2020-07-30-10 (E-4)

Division 5 – Development Item – Dwelling, Moved-in

File: PRDP20201338 (05330003)

MOVED by Member Schule that Development Permit Application PRDP20201338 be approved with the conditions noted in the Development Permit Report, attached:

Description:

1. That a farm dwelling, moved-in, may be placed on the subject lands, in accordance with the submitted site plan and application.

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

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3. That prior to issuance of this permit, the Applicant/Owner shall submit a refundable security deposit or letter of credit, in the amount of \$10,000.00, to ensure that conditions of this permit are satisfied upon development completion. If conditions of this permit are not satisfied, the County shall use the funds, enter onto the described land, to carry out the work necessary to ensure development completion.
 - i. That upon development completion, the Applicant/Owner shall request a site inspection from the County, to confirm that the development is completed in accordance with the condition. Upon acceptance, the County shall return the security deposit.

Permanent:

4. That the dwelling, moved-in:
 - i. shall be placed on a foundation and the foundation shall be parged;
 - ii. shall have the exterior steps finished to the satisfaction of the building inspector;
 - iii. shall have all damage incurred during the move repaired; and
 - iv. shall have the exterior completely finished.
5. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address, in accordance with the County Municipal Addressing Bylaw, for each dwelling unit located on the subject site to facilitate accurate emergency response.
6. That there shall be no more than 1.00 m (3.28 ft.) of fill/topsoil placed/excavated adjacent to or within 15.00 m (49.21 ft.) of the proposed dwelling unit, which is used to establish approved final grades unless a development permit has been issued for additional fill and topsoil.
7. That potable water shall be supplied in accordance with the most current edition of the Canadian Drinking Water Guidelines (eg. water cistern).
8. That there shall be adequate sanitary sewer servicing provided for the dwelling, moved-in.
9. That any plan, technical submission, agreement, or other matter submitted and approved as part of the development permit application, or submitted in response to a prior to issuance or occupancy condition, shall be implemented and adhered to in perpetuity.

Advisory:

10. That a Building Permit and applicable sub-trade permits shall be obtained through Building Services, prior to commencement of any building activity.
11. That during construction, all construction and building materials shall be maintained on site in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
12. That during construction, the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
13. That the site shall remain free of restricted and noxious weeds and maintained in accordance with the Alberta Weed Control Act [Statutes of Alberta, 2008 Chapter W-5.1, December 2017].

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14. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
 15. That if the development authorized by this development permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
 16. That if this Development Permit is not issued by February 28, 2021 or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Carried

2020-07-30-11 (E-5)

Division 6 – Development Item – Dwelling, Moved-in

File: PRDP20201727 (07135001)

MOVED by Member McKylor that that Development Permit Application PRDP20201727 be approved with the conditions noted in the Development Permit Report, attached:

Description:

1. That a Farm Dwelling, Moved-In, may be placed on the subject lands in accordance with the submitted site plan and application.

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.
3. That prior to issuance of this permit, the Applicant/Owner shall submit a refundable security deposit or letter of credit, in the amount of \$10,000.00, to ensure that conditions of this permit are satisfied upon development completion. If conditions of this permit are not satisfied, the County shall use the funds, enter onto the described lands, and carry out the work necessary to ensure development completion.
 - i. That upon development completion, the Applicant/Owner shall request a site inspection from the County, to confirm that the development is completed in accordance with the condition. Upon acceptance, the County shall return the security deposit.

Permanent:

4. That the Farm Dwelling, moved-in:
 - i. shall be placed on a foundation and the foundation shall be parged;

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- ii. shall have the exterior steps finished to the satisfaction of the building inspector;
 - iii. shall have all damage incurred during the move repaired; and
 - iv. shall have the exterior completely finished.
5. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address, in accordance with the County Municipal Addressing Bylaw, for each dwelling unit located on the subject site to facilitate accurate emergency response.
6. That there shall be no more than 1.00 m (3.28 ft.) of fill/topsoil placed/excavated adjacent to or within 15.00 m (49.21 ft.) of the proposed dwelling unit, which is used to establish approved final grades unless a development permit has been issued for additional fill and topsoil.
7. That potable water shall be supplied in accordance with the most current edition of the Canadian Drinking Water Guidelines (eg. water cistern).
8. That there shall be adequate sanitary sewer servicing provided for the dwelling, moved-in.
9. That any plan, technical submission, agreement, or other matter submitted and approved as part of the development permit application, or submitted in response to a prior to issuance or occupancy condition, shall be implemented and adhered to in perpetuity.

Advisory:

10. That a Building Permit and applicable sub-trade permits shall be obtained through County Building Services, prior to commencement of any building activity.
11. That during construction, all construction and building materials shall be maintained on site in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
12. That during construction, the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
13. That the site shall remain free of restricted and noxious weeds and maintained in accordance with the Alberta Weed Control Act [Statutes of Alberta, 2008 Chapter W-5.1, December 2017].
14. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
15. That if this Development Permit is not issued by February 28, 2021 or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.
16. That if the development authorized by this development permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

Carried

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MOVED by Member Boehlke that Development Permit Application PRDP20201385 be approved with the conditions noted in the Development Permit Report, attached:

Description:

1. That a *Golf Course Driving Range* may be constructed on the subject land in general accordance with the Site Plan and drawings submitted with the application, prepared by Modern Dimensions, Project Number: 18-006-04; Dwg. A101-A104 [as amended], dated May 29, 2020, and includes:
 - i. Construction of a principal driving range building, attached to the temporary Golf Course Clubhouse Facility, approximately 593.57 sq. m (6,389.24 sq. ft.) in gross floor area;
 - ii. Construction of a Driving Range;
 - iii. Associated signage (including wayfinding); and
 - iv. Associated Site Grading

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall submit a lighting plan, to the satisfaction of the County. The lighting plan shall include model types and details for any proposed building lighting for the *Golf Course Driving Range*.

Note: all proposed lighting shall be in accordance with the County dark sky regulations.

3. That prior to issuance of this permit, the Applicant/Owner shall confirm any signage requirements, with all relevant details submitted including dimensions, placement, type etc., required for the proposed *Golf Course Driving Range*.
4. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if the existing Harmony Master Road Use Agreement [#14-0010-05] remains applicable or if any additional agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

5. That prior to issuance of this permit, the Applicant/Owner shall submit all relevant Range details, including but not limited to, landscaping, fencing, netting, lighting, servicing, grading requirements, irrigation details, to the satisfaction of the County.

Technical:

6. That prior to issuance of this permit, the Applicant/Owner shall submit a detailed Site Plan that includes all proposed surface improvements on the subject site. The site plan shall summarize areas of proposed landscaping, impervious surface types, buildings and site features, to the satisfaction of the County.

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7. That prior to issuance of this permit, the Applicant/Owner shall submit a Site-specific Stormwater Implementation Plan (SSIP), in accordance with the Harmony Master Drainage Plans, in accordance with County Servicing Standards. The update to the Golf Course SSIP shall include:
 - i. Recommendations for the registration of overland drainage easements on the subject lands;
 - ii. Copies of proposed right of way plans and easements necessary;
 - iii. Proposed finished site surface/grading and drainage plans;
 - iv. The plan shall address the need for an oil/grit separator for site drainage;
 8. That prior to issuance of this permit, the Applicant/Owner shall submit a site grading plan including cut/fill and final grade elevations for the site to support the proposed development expansion, in accordance with County Servicing Standards.
 9. That prior to issuance of this permit, the Applicant/Owner shall submit a Sediment and Erosion Control Plan (ESC) and report for onsite construction activities in accordance with County Servicing Standards.
Note: That if the disturbed area onsite is greater than 2ha in size, a full ESC Report is required.
 10. That prior to issuance of this permit, the Applicant/Owner shall submit payment of the Transportation Offsite Levy in accordance with Bylaw C-8007-2020, as amended. The amount collected shall be based on the final site plan's total Development Area per the terms of the Bylaw.

Prior to Occupancy

11. That prior to occupancy of the site and building, the Applicant/Owner shall submit as-built drawings certified by a professional engineer licensed to practice in the Province of Alberta. The as-built drawings shall include verification of as-built water infrastructure, as-built sanitary infrastructure, as-built pond volumes, liner verification, traplow volumes, inverts and any other information that is relevant to the approved SSIP.
 - i. Following receiving the as-built drawings from the consulting engineer, Rocky View County shall complete an inspection of the site to verify stormwater infrastructure has been completed as per the stamped "examined drawings".

Permanent:

12. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application, in response to a prior to issuance or occupancy condition, or approved with Development Permit #20194368 or the permanent Golf Course Clubhouse application onsite shall be implemented and adhered to in perpetuity, including but not limited to the approved SSIP and ESC.
13. That any event or activity held onsite, shall be in accordance with the definition of *Golf Course, Golf Course Clubhouse Facilities and/or Golf Course Driving Range*, defined within Direct Control District 129.
14. That all landscaping shall be in accordance with the landscaping details provided on the Landscape Plan. The proposed landscape plan shall not alter the approved SSIP design without prior written consent of the County.
15. That the Applicant/Owner shall be responsible for the irrigation and maintenance of the landscaped areas year-round. Any trees that perish shall be replanted by June 30th of the next growing season.

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16. That the entire site shall be maintained in a neat and orderly manner at all times to the satisfaction of the Development Officer.
 17. That all signage shall be kept in a safe, clean and tidy condition at all times.
 18. That no temporary signs shall be place on the site at any time except any onsite wayfinding (information/directional) signage or any temporary signs required during development or building construction.
 19. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address for the temporary *Golf Course Clubhouse Facility/Golf Course Driving Range building*, located on the subject site, in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), to facilitate accurate emergency response.

Note: the address for the combined building unit is 34055 HARMONY CIRCLE

20. That there shall be a minimum of 79 parking stalls, including barrier free, maintained on-site at all times, in accordance with the submitted parking plan.
21. That there shall be no customer or business parking at any time along the adjacent roadway. All customer or business parking shall be maintained onsite at all times.
22. That all onsite lighting shall be "dark sky" and all private lighting, including site security lighting and parking area lighting shall be designed to conserve energy, reduce glare, and reduce uplift. All development shall be required to demonstrate lighting design that reduces the use full cut-off (shielded) fixtures that direct the light downward and that no direct glare shall be visible from adjacent properties and roadways.
23. That water conservation strategies shall be implemented and maintained at all times.
24. That if any fencing is required to be installed onsite for wildlife and/or human use management purposes, the fencing shall be installed in accordance with the requirements of the County's Land Use Bylaw regulations.
25. That any/all efforts shall be made, including fencing, landscaping, netting etc., to decrease the potential of golf balls flying onto the adjacent public roadway.
26. That dust control measures shall be implemented at all times to control dust from blowing from the site onto adjacent lands and/or roadways.
27. That any garbage containers shall be screened from view from adjacent properties and public thoroughfares. The garbage and waste material on site shall be stored in weatherproof and animal proof containers.

Advisory:

28. That the Applicant/Owner shall be responsible for all required payments of 3rd party reviews and/or inspections as per the Master Rates Bylaw based on the County's discretion or requirement.

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Note: For any 3rd party review work completed prior to Issuance of the Development Permit, the invoices shall be paid prior to the Development Permit being issued. For any work completed after Permit issuance but before Permit Occupancy, the invoices shall be paid prior to Development Occupancy.

29. That during construction, all construction and building materials shall be maintained onsite in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
30. That the County Noise Control Bylaw C-5773-2003, as amended, shall be adhered to at all times.
31. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner including:

Airport Regulations

- i. That the regulations of the Springbank Airport Zoning Regulations shall apply and the Applicant/Owner shall contact Transport Canada to ensure compliance.
- ii. That the Applicant/Owner shall ensure compatibility to the land use recommendations and guidelines as set out in TP1247 – Land Use in the Vicinity of Airports.
- iii. That the Applicant/Owner shall contact Calgary Airport Authority Environmental Group for more information on mitigation measures for incompatible land uses and bird hazards.

Alberta Health Services Regulations

- i. That any required health approvals from Alberta Health Services shall be obtained, prior to final occupancy and/or operation of the *Golf Course Driving Range*.
 - ii. That the Applicant/Owner shall ensure that the building remains in compliance with the *Public Health Act* at all times.
32. That a Building Permit and applicable sub-trade permits shall be obtained, through Building Services, prior to any construction taking places. The application shall include the Commercial Building Checklist requirements.
- i. A 3.2.2. Building Code Classification; Note: Entire building must be sprinklered with fire alarm.

Note: The building shall conform to the National Building Code 2019 AE and National Energy Code 2017, with documentation/design at Building Permit stage.

33. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 36 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
34. That if this Development Permit is not issued by February 28, 2021 or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Note: The Applicant/Owner shall be responsible for all Alberta Environment and Park (AEP) approvals for any impact to any wetland areas or for on-site stormwater Infrastructure

Carried

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2020-07-30-13 (F-1)

All Divisions – Development Permits for Municipal Planning Commission Consideration

File: N/A

MOVED by Member Wright that this report be received as information.

Carried

Adjournment

MOVED by Member Schule that the July 30, 2020 Municipal Planning Commission meeting be adjourned at 11:14 a.m.

Carried

Chair or Vice Chair

Chief Administrative Officer or Designate

PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision Authority

DATE: September 3, 2020

SUBJECT: Subdivision Item: Residential Subdivision

APPLICATION: PL20190190

APPLICATION: To create two \pm 4 acre lots and \pm 0.85 acre Municipal Reserve land dedication at Lot 1, Plan 9110454, NW-20-26-05-W05M.

GENERAL LOCATION: Located approximately 2.5 mile (4 km) east of the Municipal District of Bighorn, approximately 1 mile (1.6 km) north of Highway 1A and on the west side of Highway 40.

LAND USE DESIGNATION: Residential Two District (R-2).

ADMINISTRATION RECOMMENDATION:
Administration recommends tabling in accordance with Option #2.

OPTIONS:

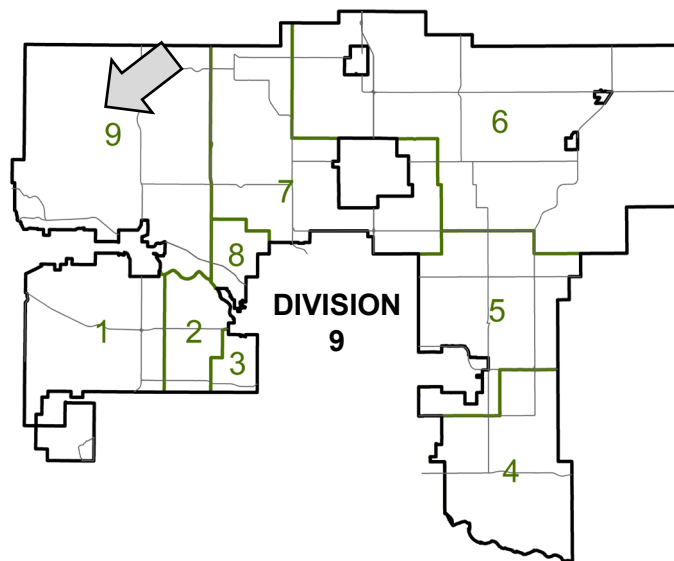
- Option #1: THAT Subdivision Application PL2019190 be approved with the conditions noted in Appendix 'B' as per the Applicant's request.
- Option #2: THAT Subdivision Application PL20190190 be tabled sine die pending for a market value appraisal report prepared in accordance with the *Municipal Government Act*, and a revised tentative plan.
- Option #3: THAT Subdivision Application PL2019019 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Johnson Kwan – Planning and Development Services





APPLICANT: John & Sharlyn Burns

OWNER: Joel B Jones Prof Corp.; Brett Jones Prof Corp.; Wetaskiwin Denture Clinic Ltd.

APPLICATION EVALUATION:

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS: <ul style="list-style-type: none"> • <i>Municipal Government Act</i>; • Subdivision and Development Regulations; • Municipal Development Plan; • Land Use Bylaw; and • County Servicing Standards. 	TECHNICAL REPORTS SUBMITTED: <ul style="list-style-type: none"> • Level IV PSTS Assessment b Almor Testing Services Ltd. (March 11, 2020).
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ESTIAMTED FEE/LEVY	AMOUNT OWING (ESTIMATE)
TRANSPORTATION OFFSITE LEVY (C-8007-2020) <ul style="list-style-type: none"> • The applicant will be required to provide payment of the TOL for the total gross acreage of the lands to be confirmed via plan of survey. • Base levy \$4,595 per gross acre x 8.85 acres = \$40,665.75 	Approximately \$40,665.75 to be confirmed via the Plan of Survey
WATER AND WASTEWATER OFFSITE LEVY	N/A
MUNICIPAL RESERVE <ul style="list-style-type: none"> • Municipal Reserve is outstanding and comprise of 10% of the subject land. • The applicant proposed dedication of Municipal Reserve (\pm 0.85 acres) instead of provision via cash in lieu. • A market value appraisal is required prior to subdivision approval is given as per Section 667 of the Municipal Government Act. 	To be confirmed via a market appraisal report prepared in accordance with the Municipal Government Act.

Accessibility to a Road:

Alberta Transportation indicated that no direct access to the highway is allowed. The department grants approval for the subdivision authority to grant a variance if there is sufficient local road access to the proposed lots and adjacent lands to satisfy section 15 of the *Subdivision and Development Regulation*.

The Applicant proposed a mutual approach to provide access for Lot 1 and 2; however, the proposed panhandle for Lot 2 is undersized at \pm 5.3 metres wide (57.6% variance) whereas the County Servicing Standards requires a minimum width of 12.5 metres.

Also, the proposed location of the mutual approach is located too close to the intersection of Highway 40 and Beaupre Creek Road ; proposed \pm 33.0 m from center of Highway 40; required minimum 45.0 m (26.67% variance). Administration recommends tabling the application pending for a revised



tentative plan to reflect a minimum 12.5 m wide panhandle for Lot 2, and relocation of the proposed mutual approach in accordance with the County Servicing Standards.

As a condition of subdivision, Administration recommends that the Applicant/Owner to enter into a Development Agreement for:

- The construction of a new internal road system from Highway 40 to the subject lands (approximately 25 m) to a Regional Low Volume standard complete with cul-de-sac bulb, all necessary signage and approaches to proposed lot 1, 2 and existing lot on the north side in accordance with the County Servicing Standards;
- Appropriate tie-in of the new internal road to Highway 40 to Alberta Transportation's satisfaction;
- Registration of access easement and right of way plan;
- Registration of any overland drainage easements and/or restrictive covenants to the County and Alberta Transportation's satisfaction;
- Submission of Erosion & Sedimentation Control Plan and implementation of the identified ESC measures in accordance with the approved Erosion & Sedimentation Control plan; and
- Submission of Construction Management Plan and implementation of the recommendations of the Construction Management Plan.

Municipal Reserves:

Municipal Reserve is outstanding and comprise of 10% of the subject land. At the time of application, the County requested a market value appraisal report to be submitted in accordance with Section 666 and 667 of the *Municipal Government Act*. The appraisal report is still outstanding at the time of this report.

The Applicant proposed land dedication (\pm 0.85 acres) instead of providing the municipal reserve via cash-in-lieu.

In accordance with the *Municipal Government Act* (Section 671 (2)), Municipal Reserve may be used by a municipality for a public park, a public recreation area, school board purpose, and/or to separate areas of land that are used for different purposes.

Recreation, Parks and Community Support services commented that this location has not been identified for future Municipal Reserve acquisition to support public park, open space, or development of an active transportation network inclusive of pathway or trail development. Therefore, it is recommended that all applicable reserve dedication to be provided by cash-in-lieu of land for this application.

According to Section 667 (2) of the *Municipal Government Act*, if money is required to be provided in place of municipal reserve, the subdivision authority must specify the amount of money required to be provided at the same time that subdivision approval is given. For this reason, Administration recommend tabling the application pending for a market value appraisal to be submitted in accordance with the *Municipal Government Act* if the Municipal Planning Commission decided to collect the outstanding municipal reserves via cash-in-lieu.



ROCKY VIEW COUNTY

Tentative Plan as per the Applicant's request

Subdivision Proposal: to create two ± 4 acre lots and ± 0.85 acre Municipal Reserve land dedication

Proposed
Mutual
approach for
Lots 1 and 2,
and proposed
Municipal
Reserve

Proposed
Lot 1
 ± 4 acres

Proposed
Municipal
Reserve
 ± 0.85 acres

Proposed
Lot 2
 ± 4 acres

BEAUPRE CREEK RD

40' FOREST TRAIL RUNK RD

Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

**TENTATIVE PLAN AS PER
APPLICANT'S REQUEST**



NW-20-26-05-W05M
Lot:1 Plan:9110454

Date: May 28, 2020

Application: PL20190190

File: 06920009



ROCKY VIEW COUNTY

Tentative Plan as per the Administration's recommendation

Subdivision Proposal: to create a ± 4 acre Lot 1 and a ± 4.85 acre Lot 2.

Construction of a local road to a Regional Low Volume standard with cul-de-sac bulb, approaches, and tie-in to Highway 40 as per Alberta Transportation and County's requirements.

**Proposed
Lot 1**
 ± 4 acres

Panhandle for Lot 2 to be widened to a minimum of 12.5 m in accordance with County Servicing Standard.

**Proposed
Lot 2**
 ± 4.85 acres

BEAUPRE-CREEK RD

A0 FORESTRY PARK RD

Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

**TENTATIVE PLAN AS PER
ADMINISTRATION'S
RECOMMENDATION**



NW-20-26-05-W05M
Lot:1 Plan:9110454

Date: May 28, 2020

Application: PL20190190

File: 06920009

**CONCLUSION:**

Administration recommends tabling the application pending for a market value appraisal report prepared in accordance with the *Municipal Government Act* and a revised Tentative Plan that includes a minimum of 12.5 m wide panhandle for proposed Lot 2 in accordance with the County Servicing Standards.

Respectfully submitted,

Concurrence,

“Theresa Cochran”

“Al Hoggan”

Executive Director
Community Development Services

Chief Administrative Officer

JKwan/llt

APPENDICES:

APPENDIX ‘A’: Maps and Other Information

APPENDIX ‘B’: Approval Conditions as per the Applicant’s request

APPENDIX ‘C’: Approval Conditions as per Administration’s recommendation

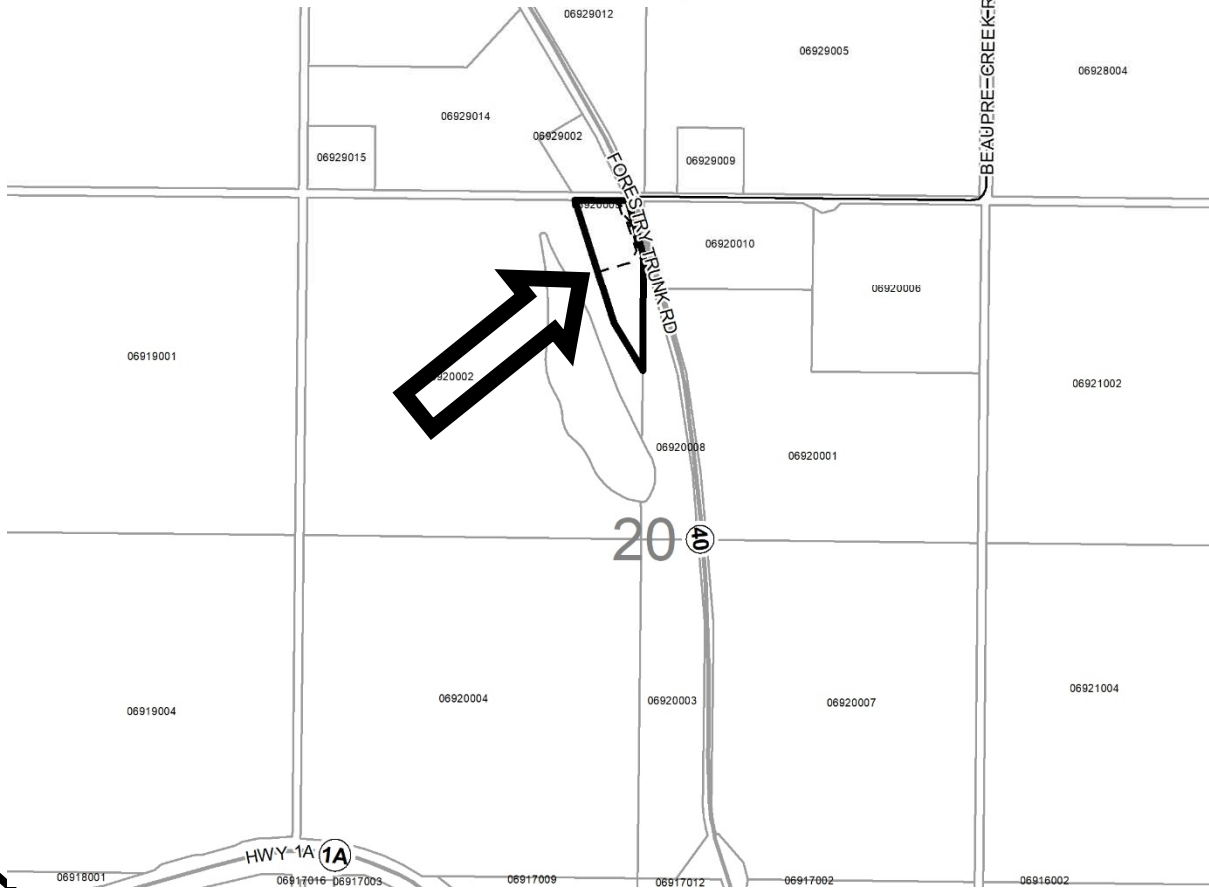
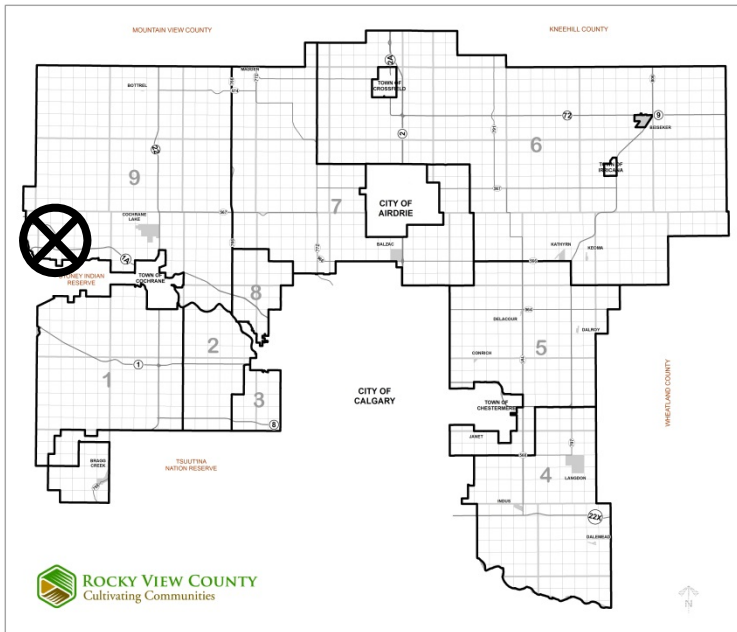
APPENDIX ‘D’: Letters



ROCKY VIEW COUNTY

APPENDIX 'A': MAPS AND OTHER INFORMATION

DATE APPLICATION RECEIVED: December 4, 2019 Revised on May 11, 2020	DATE DEEMED COMPLETE: N/A, pending for Appraisal Report prepared in accordance with the <i>Municipal Government Act</i> .
GROSS AREA: ± 8.85 acres	LEGAL DESCRIPTION: Lot 1, Plan 9110454, within NW-20-26-5-W05M
APPEAL BOARD: Municipal Government Board.	
HISTORY: March 4, 1991 Subdivision plan 9110454 was registered and created the subject property.	
PUBLIC & AGENCY SUBMISSIONS: The application was circulated to 21 adjacent landowners. One letter in support was received. The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.	



LOCATION PLAN

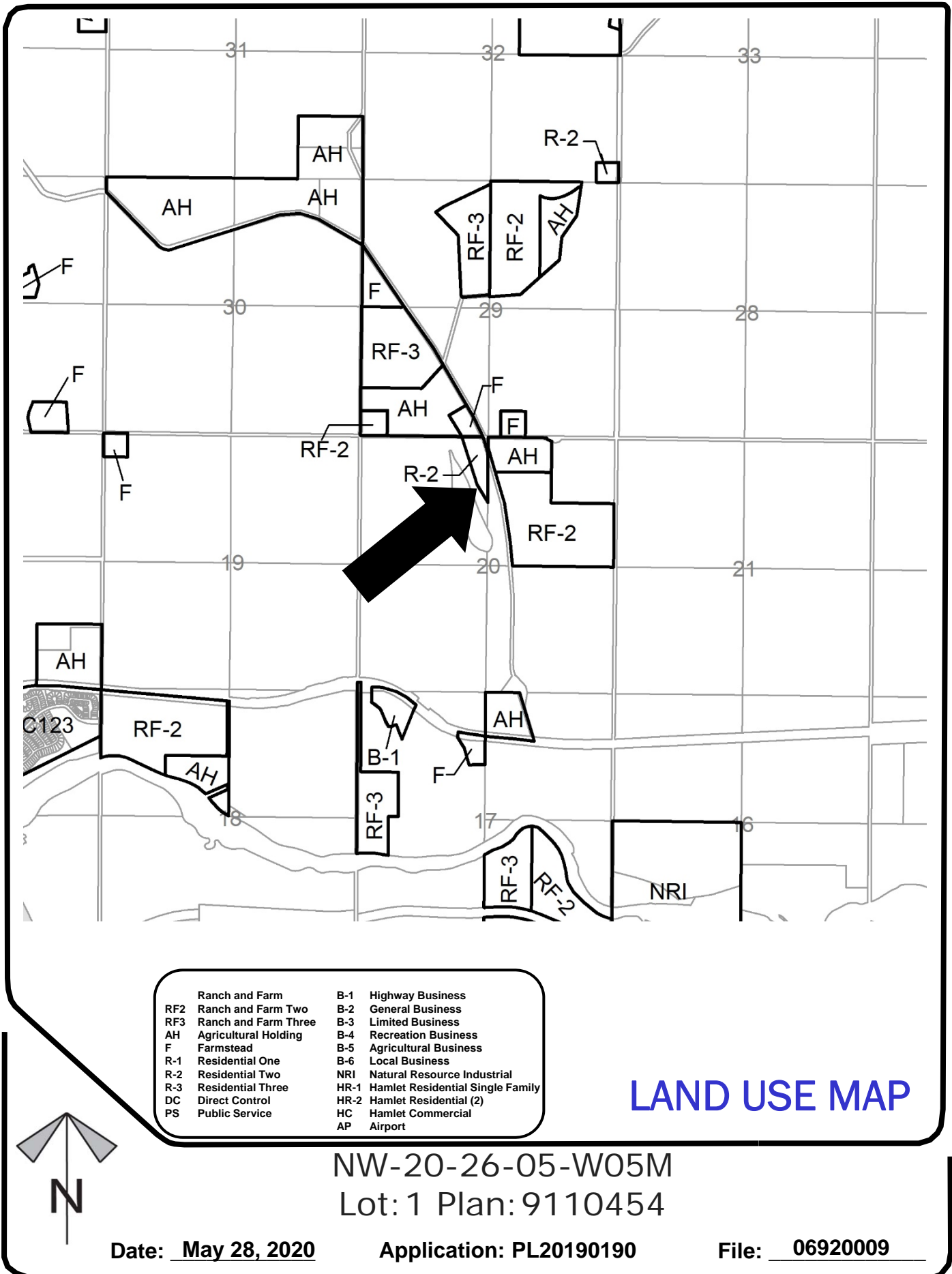
NW-20-26-05-W05M

Lot: 1 Plan: 9110454

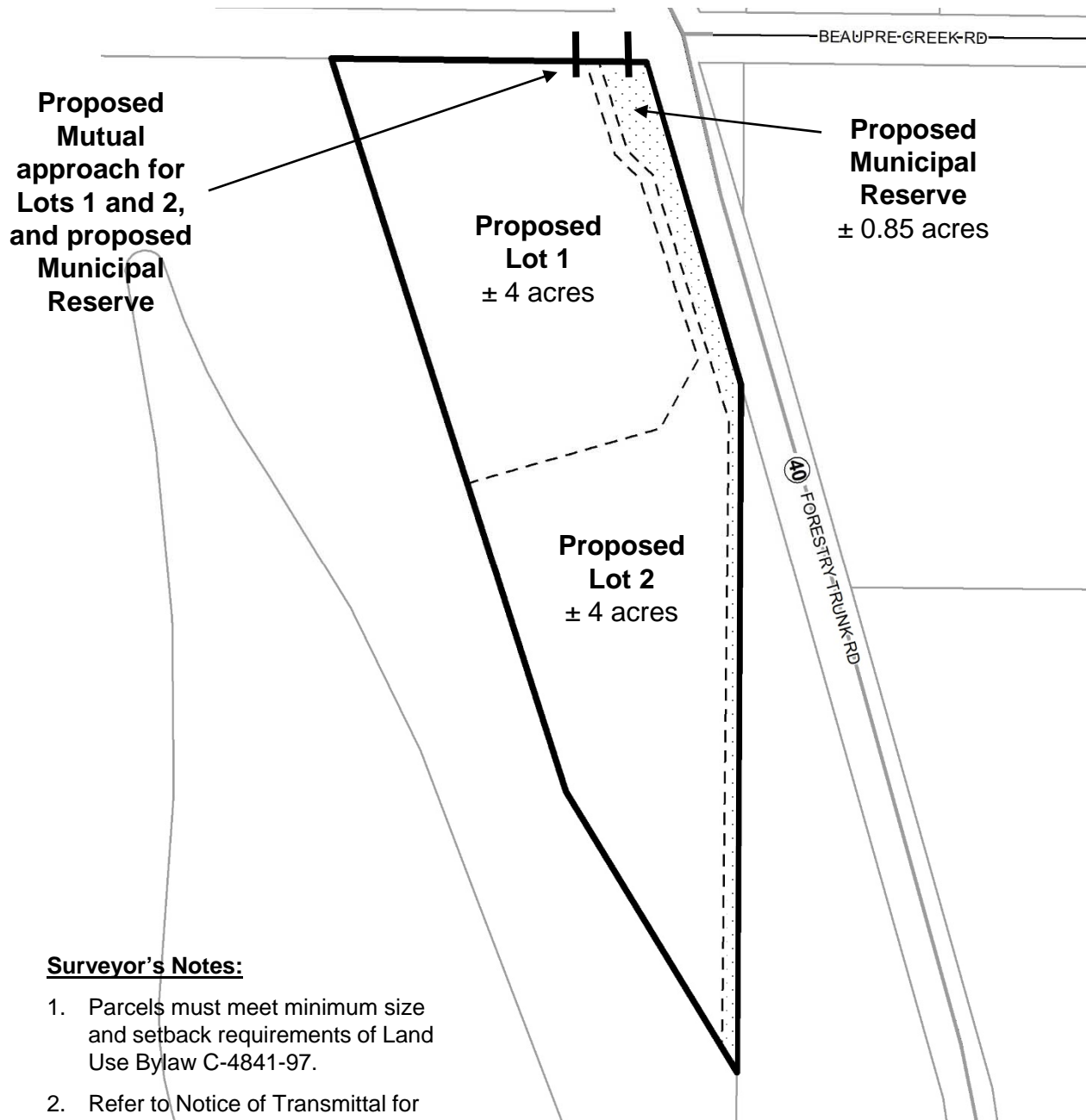
Date: May 28, 2020

Application: PL20190190

File: 06920009



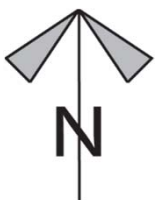
Subdivision Proposal: to create two ± 4 acre lots and ± 0.85 acre Municipal Reserve land dedication



Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

**TENTATIVE PLAN AS PER
APPLICANT'S REQUEST**



NW-20-26-05-W05M

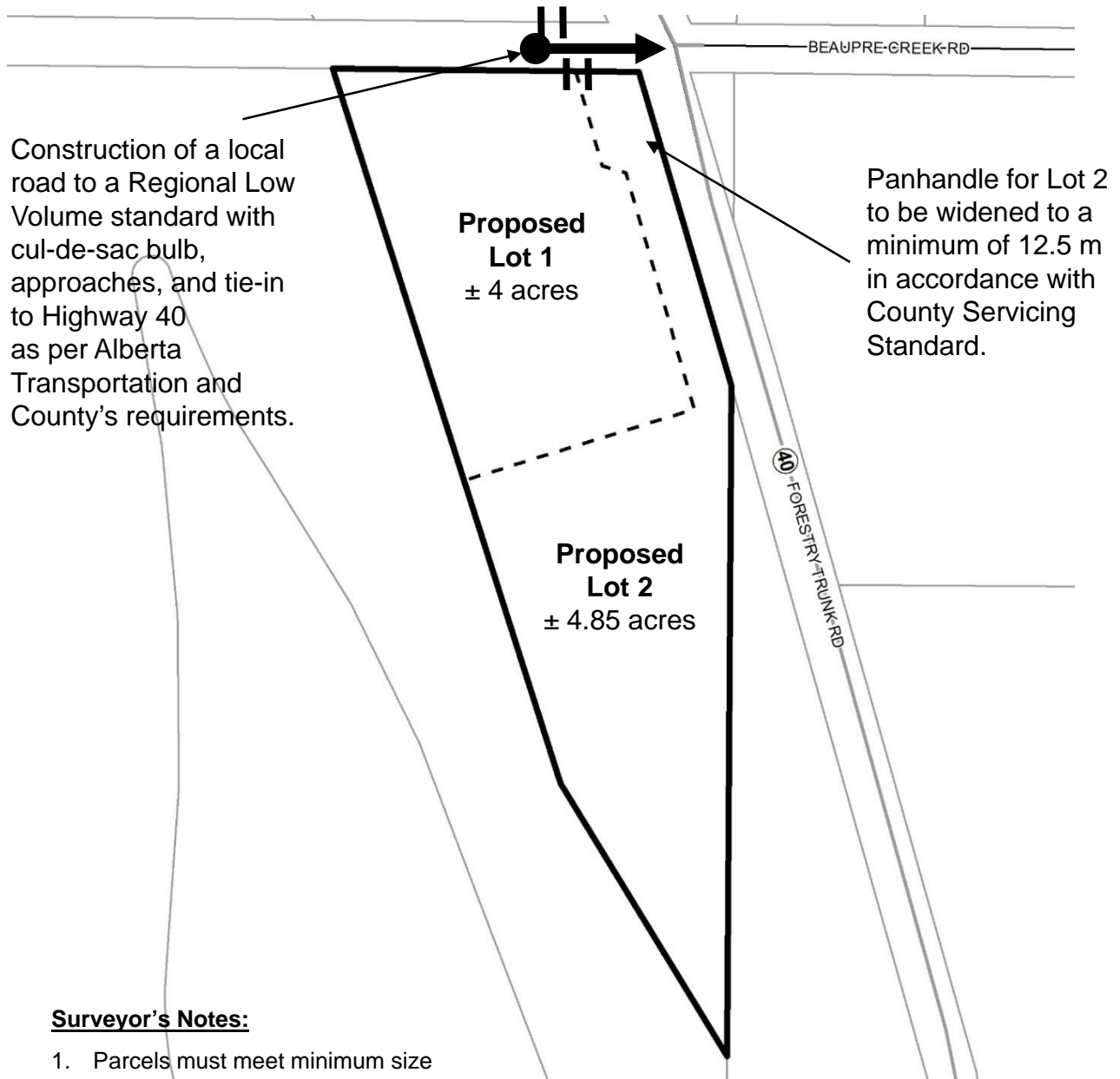
Lot: 1 Plan: 9110454

Date: May 28, 2020

Application: PL20190190

File: 06920009

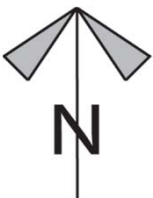
Subdivision Proposal: to create a ± 4 acre Lot 1 and a ± 4.85 acre Lot 2.



Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

**TENTATIVE PLAN AS PER
ADMINISTRATION'S
RECOMMENDATION**



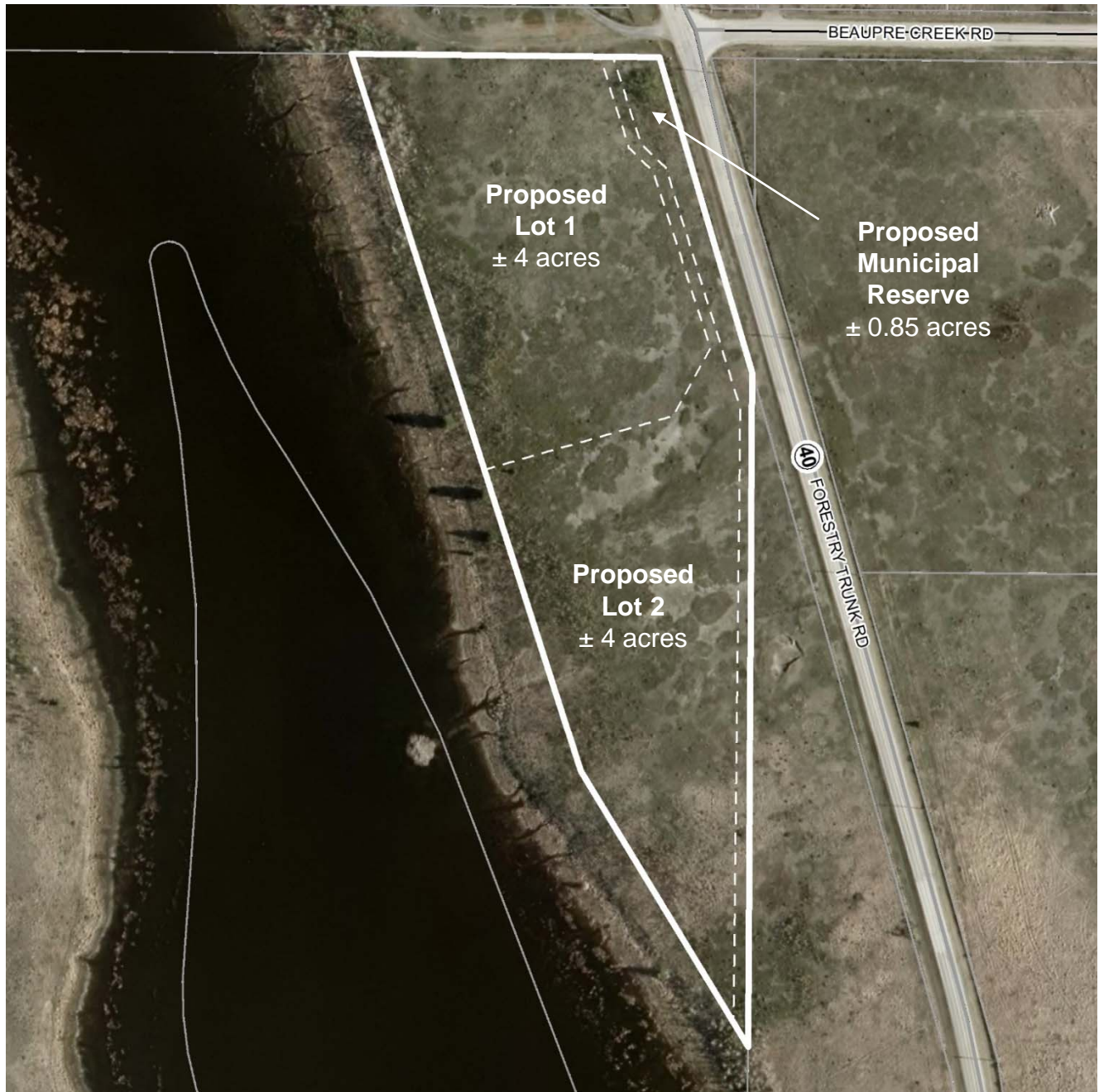
NW-20-26-05-W05M

Lot: 1 Plan: 9110454

Date: May 28, 2020

Application: PL20190190

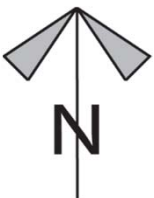
File: 06920009



Note: Post processing of raw aerial photography may cause varying degrees of visual distortion at the local level.

AIR PHOTO

Spring 2018



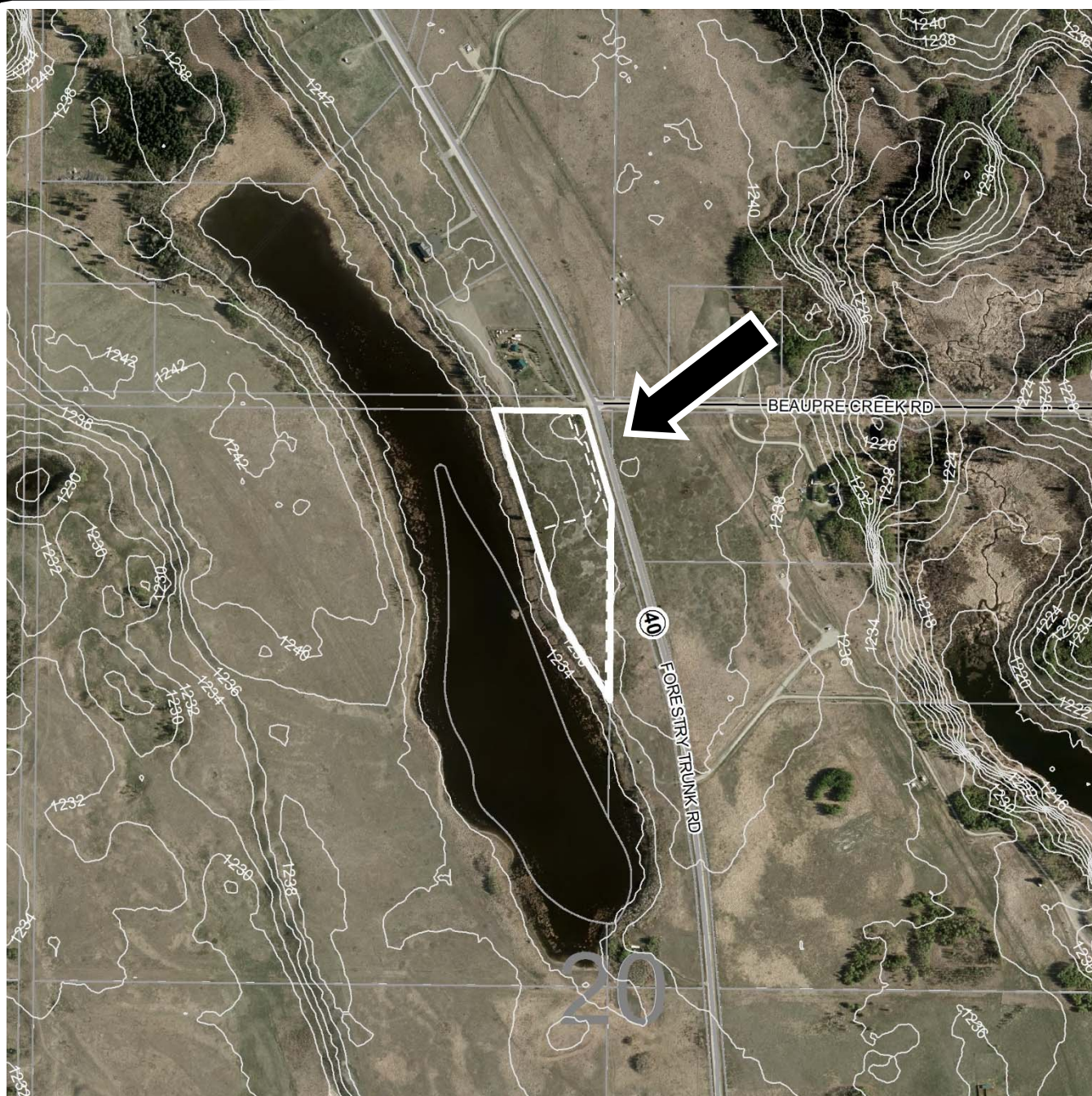
NW-20-26-05-W05M

Lot: 1 Plan: 9110454

Date: May 28, 2020

Application: PL20190190

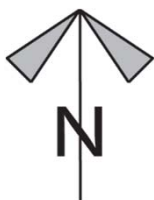
File: 06920009



Contours are generated using 10m grid points, and depict general topographic features of the area. Detail accuracy at a local scale cannot be guaranteed. They are included for reference use only.

TOPOGRAPHY

Contour Interval 2 M



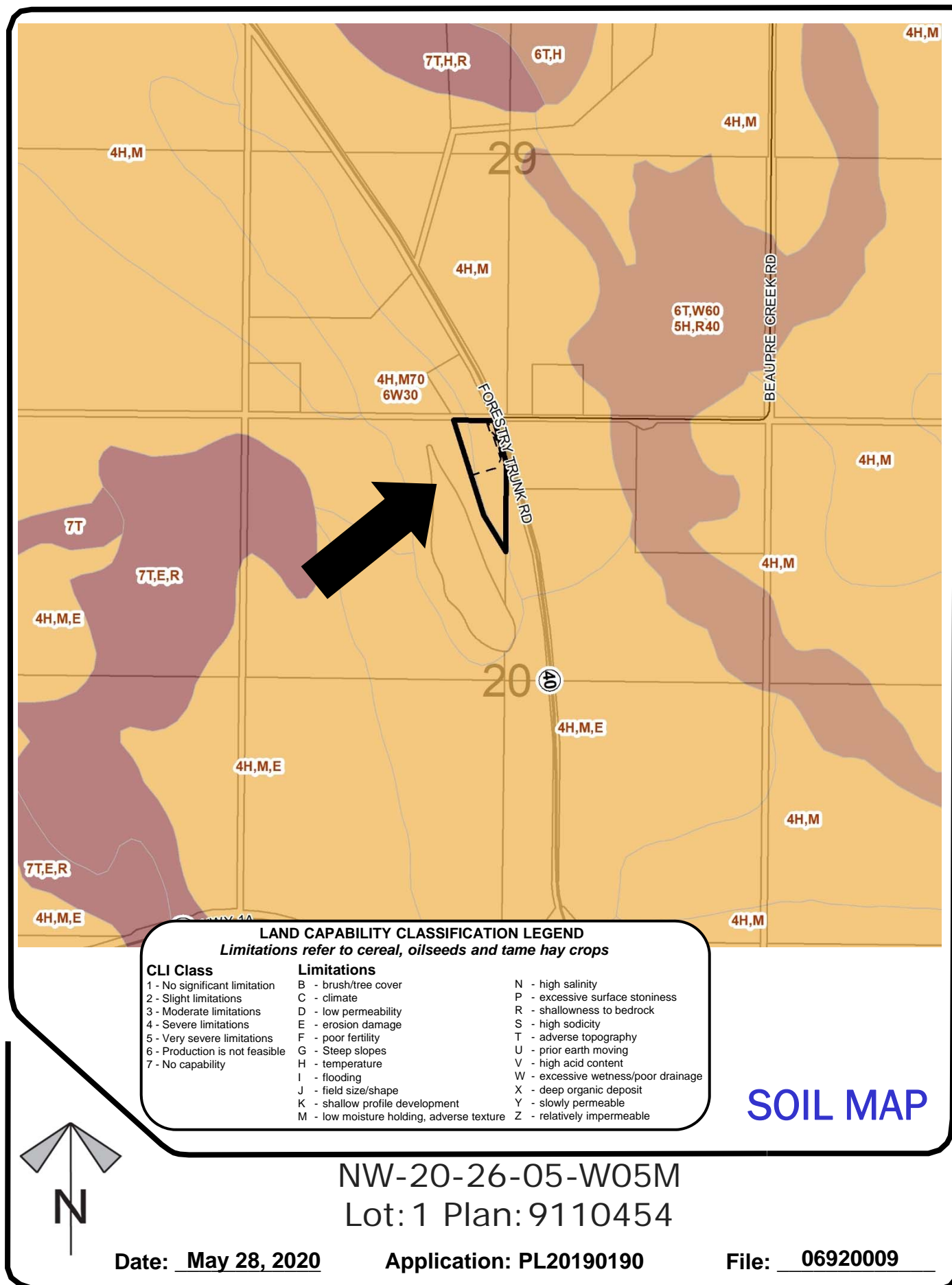
NW-20-26-05-W05M

Lot: 1 Plan: 9110454

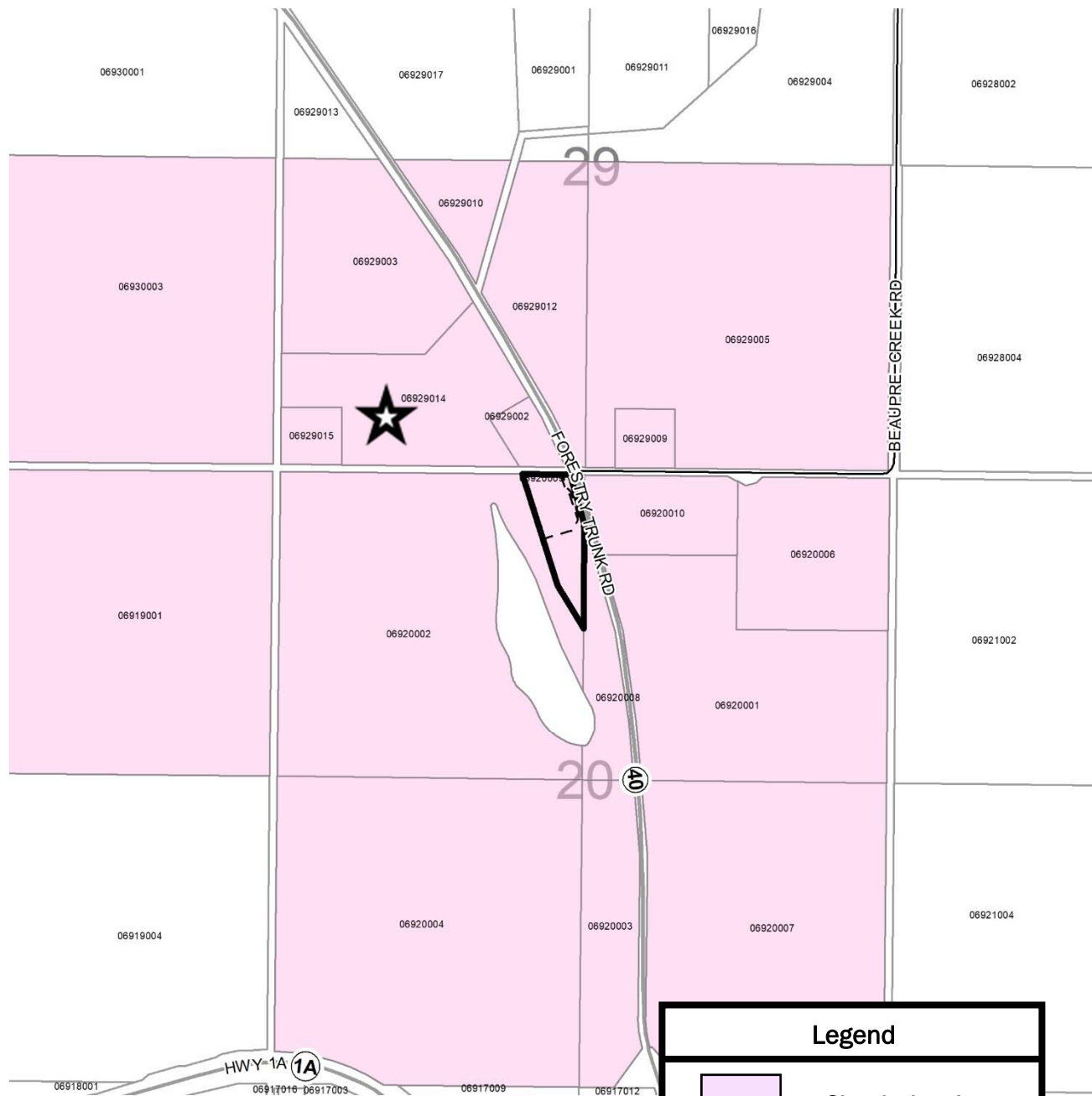
Date: May 28, 2020

Application: PL20190190



File: 06920009



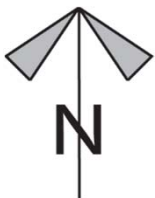
File: 06920009



⊘ Letters in Opposition
 ★ Letters in Support

Legend	
	Circulation Area
	Subject Lands

LANDOWNER CIRCULATION AREA



NW-20-26-05-W05M

Lot: 1 Plan: 9110454

Date: May 28, 2020

Application: PL20190190

File: 06920009



ROCKY VIEW COUNTY

APPENDIX 'B': APPROVAL CONDITIONS AS PER THE APPLICANT'S REQUEST

- A. The application to create two \pm 4 acre parcels (Lot 1 and 2) and a Municipal Reserve Lot (\pm 0.85 acre) at Lot 1, Plan 9110454, within NW-20-26-5-W05M having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 & 14 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is approved as per the Tentative Plan for the reasons listed below:
1. The application is consistent with the Statutory Policy;
 2. The subject lands hold the appropriate land use designation; and
 3. The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Transportation and Access

- 2) The Applicant/Owner shall construct a new mutual gravel approach on the County Road Allowance in order to provide access to Lots 1, 2, and Municipal Reserve Lot. In addition, the Owner shall:
 - i. Provide an access right of way plan; and
 - ii. Prepare and register respective easements on each title, where required.

Site Servicing

- 3) Water is to be supplied by an individual well on Lots 1 and 2. The subdivision shall not be endorsed until:
 - i. The Owner has provided a Well Driller's Report to determine whether an adequate supply of water is available for Lots 1 and 2;
 - ii. Verification is provided that each new well is located within each respective proposed lot boundaries.
 - iii. It has been demonstrated that the new well is capable of supplying a minimum of one (1) IGPM of water for household purposes.
- 4) The Owner shall enter into a Site Improvements/Services Agreement with the County for proposed Lots 1 and 2, and shall include the following:



ROCKY VIEW COUNTY

- i. in accordance with the Level 4 Private Sewage Treatment Systems Assessment conducted by Almor Testing Services Ltd. (March 11, 2020)
- ii. For the construction of packaged sewage treatment system and septic field system.

Developability

- 5) The Applicant/Owner shall submit and implement a Site Specific Stormwater Management Plan, prepared by a qualified professional in accordance with the County Servicing Standards for proposed Lots 1 and 2. Implementation of the Stormwater Management Plan shall include:
 - i. If the recommendations of the Stormwater Management Plan require improvements, then a Site Improvements/Services Agreement shall be entered into;
 - ii. Registration of any required easements and/or utility rights of way;
 - iii. Necessary approvals and compensation provided to Alberta Environment and Parks for wetland loss and mitigation;
 - iv. Necessary Alberta Environment licensing documentation for the stormwater infrastructure system.

Municipal Reserves

- 6) The provision of Reserve is to be provided by the dedication of Lot MR (± 0.85 acres), being full 10% Reserve land dedication owing in respect to Lot 1, Plan 9110454 within NW-20-26-5-W5M as indicated on the Approved Tentative Plan, pursuant to Section 666 of the Municipal Government Act.

Site Construction

- 7) The Owner shall submit a Erosion and Sediment Control Plan in accordance with the County's Servicing Standards.

Payments and Levies

- 8) The Applicant/Owner shall pay the Transportation Off-Site Levy in accordance with the Transportation Off-Site Bylaw C-8007-2020. The County shall calculate the total amount owing:
 - i. From the total gross acreage of Lot 1 and 2 as shown on the Plan of Survey.
- 9) The Owner shall pay the County subdivision endorsement fee, in accordance with the Master Rates Bylaw, for the creation of two new lots.

Taxes

- 10) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw



ROCKY VIEW COUNTY

APPENDIX 'C': APPROVAL CONDITIONS AS PER ADMINISTRATIONS'S RECOMMENDATION

- A. The application to create ± 4.00 ac (Lot 1) and ± 4.85 ac (Lot 2) at Lot 1, Plan 9110454, within NW-20-26-5-W05M having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 & 14 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is approved as per the Tentative Plan for the reasons listed below:
1. The application is consistent with the Statutory Policy;
 2. The subject lands hold the appropriate land use designation; and
 3. The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Development Agreement

- 2) The Owner is to enter into a Development Agreement pursuant to Section 655 of the *Municipal Government Act* in accordance with the approved tentative plan and shall include the following infrastructure and improvements:
 - i. Design and construction of an internal public road from Highway 40 to the subject lands (approximately 35 m in length) to a Regional Low Volume standard in accordance with the approved Tentative Plan and the County Servicing Standards with associated infrastructure, including:
 - (a) Mutual approaches to Lots 1 and 2;
 - (b) Gravel approach to the existing lot to the north;
 - (c) Appropriate tie-in of the new internal road to Highway 40 to Alberta Transportation's satisfaction;
 - (d) Cul-de-sac;
 - (e) Signage;
 - ii. Dedication of necessary easements and right of ways for utility line assignments;



ROCKY VIEW COUNTY

- iii. Registration of any overland drainage easements and/or restrictive covenants to the satisfaction of Alberta Transportation and the County;
- iv. Mailboxes are to be located in consultation with Canada Post;
- v. Installation of power, natural gas and telephone lines;
- vi. Implementation of the recommendations of the Construction Management Plan;
- vii. Implementation of the recommendations of the Erosion & Sedimentation Control Plan;
- viii. Payment of any applicable off-site levies, at the then applicable rates, as of the date of the Development Agreement.

Transportation and Access

- 3) The Applicant/Owner shall obtain approval for road naming by way of application to, and consultation with, the County.

Site Servicing

- 4) Water is to be supplied by an individual well on Lots 1 and 2. The subdivision shall not be endorsed until:
 - i. The Owner has provided a Well Driller's Report to determine whether an adequate supply of water is available for Lots 1 and 2;
 - ii. Verification is provided that each new well is located within each respective proposed lot boundaries.
 - iii. It has been demonstrated that the new well is capable of supplying a minimum of one (1) IGPM of water for household purposes.
- 5) The Owner shall enter into a Site Improvements/Services Agreement with the County for proposed Lots 1 and 2, and shall include the following:
 - i. in accordance with the Level 4 Private Sewage Treatment Systems Assessment conducted by Almor Testing Services Ltd. (March 11, 2020)
 - ii. For the construction of packaged sewage treatment system and septic field system.

Developability

- 6) The Applicant/Owner shall submit and implement a Site Specific Stormwater Management Plan, prepared by a qualified professional in accordance with the County Servicing Standards for proposed Lots 1 and 2. Implementation of the Stormwater Management Plan shall include:
 - i. If the recommendations of the Stormwater Management Plan require improvements, then a Site Improvements/Services Agreement shall be entered into;
 - ii. Registration of any required easements and/or utility rights of way;
 - iii. Necessary approvals and compensation provided to Alberta Environment and Parks for wetland loss and mitigation;
 - iv. Necessary Alberta Environment licensing documentation for the stormwater infrastructure system.

Municipal Reserves

- 7) The Provision of Reserve in the amount of 10 percent of the area of Lots 1 and 2, as determined by the Plan of Survey, is to be provided by payment of cash-in-lieu in accordance with the per acre value as listed in the land appraisal prepared by _____ pursuant to Section 666 (3) of the *Municipal Government Act*.



ROCKY VIEW COUNTY

Site Construction

- 8) The Owner shall submit a Erosion and Sediment Control Plan in accordance with the County's Servicing Standards.

Payments and Levies

- 9) The Applicant/Owner shall pay the Transportation Off-Site Levy in accordance with the Transportation Off-Site Bylaw C-8007-2020. The County shall calculate the total amount owing:
 - ii. From the total gross acreage of Lot 1 and 2 as shown on the Plan of Survey.
- 10) The Owner shall pay the County subdivision endorsement fee, in accordance with the Master Rates Bylaw, for the creation of two new lots.

Taxes

- 11) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw

July 31, 2020

Attention to Rockyview Council:

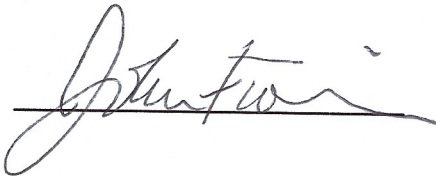
To whom this may concern.

I am the owner of 264075 Forestry Trunk Road approximately 60 metres north of the subject property owned by John & Sharlyn Burns currently under subdivision application PL 201190190.

Please accept this support letter for the subdivision to create 2 +/- 4 acre lots.

Best regards,

Sincerely

A handwritten signature in dark ink, appearing to read "John Fiorino", written over a horizontal line.

John Fiorino



PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision Authority

DATE: September 3, 2020

SUBJECT: Subdivision Item: Agricultural First Parcel
Out Subdivision

APPLICATION: PL20200080

APPLICATION: To create a ± 32.37 hectare (± 80 acre) parcel with a ± 32.37 hectare (± 80 acre) remainder.

GENERAL LOCATION: Located approximately 4 km (2.5 miles) west of Highway 22 and approximately 1.6 km (1 mile) south of Township Road 244.

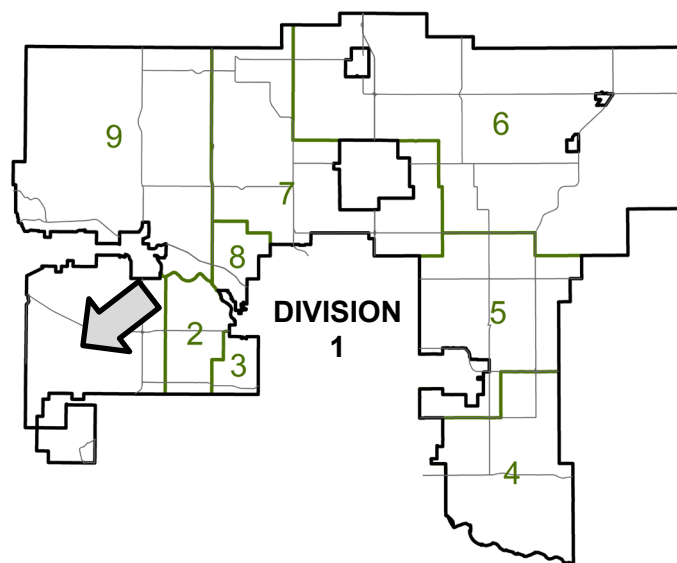
LAND USE DESIGNATION: Ranch and Farm District (RF)

ADMINISTRATION RECOMMENDATION:
Administration recommends approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Subdivision Application PL20200080 be approved with the conditions noted in Appendix 'B'.
- Option #2: THAT Subdivision Application PL20200080 be approved with the conditions noted in Appendix 'C'.
- Option #3: THAT Subdivision Application PL20200080 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Johnson Kwan– Planning and Development Services



ROCKY VIEW COUNTY

APPLICANT: Raymond A & Patricia L Nicoll**OWNER:** Raymond A & Patricia L Nicoll**APPLICATION EVALUATION:**

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS: <ul style="list-style-type: none"> • <i>Municipal Government Act;</i> • Subdivision and Development Regulations; • Municipal Development Plan; • Land Use Bylaw; and • County Servicing Standards. 	TECHNICAL REPORTS SUBMITTED: <ul style="list-style-type: none"> • N/A
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APPLICABLE FEE/LEVY	APPROXIMATE AMOUNT OWING
<i>TRANSPORTATION OFFSITE LEVY</i>	N/A
<i>MUNICIPAL RESERVE</i>	N/A

Accessibility to a road

The Applicant proposed to construct an access road along the Range Road 45 Road Allowance, which connects to Township Road 244 (± 2 km to the north) to provide access to Lot 1 and 2.

Two options for this access road have been provided. Option 1 extends Range Road 45 to provide physical and legal access to both Lots 1 and 2 per the County Servicing Standards. Options 2, as requested by the applicant, extends Range Road 45 to the northwest corner of Lot 1 and provided access to Lot 2 via an access easement.

As a condition of subdivision, the applicant will be required to enter into a Development Agreement with the County to upgrade the undeveloped road allowance (approximately 2 km in total length) to Regional Low Volume Standard as well as construct other required road infrastructure (i.e. road approaches, a cul-de-sac at the termination point of the road, etc.) in accordance with the County's Servicing Standards.

Should the wetland along the road allowance be directly impacted by the proposed development, the applicant/owner will be required to provide a Biophysical Impact Assessment (BIA) conducted by a qualified professional that assesses the existing wetland and the impacts the proposed development will have on the wetland. The BIA shall also provide recommendations on mitigation and compensation measures to address the impacts to the wetland.

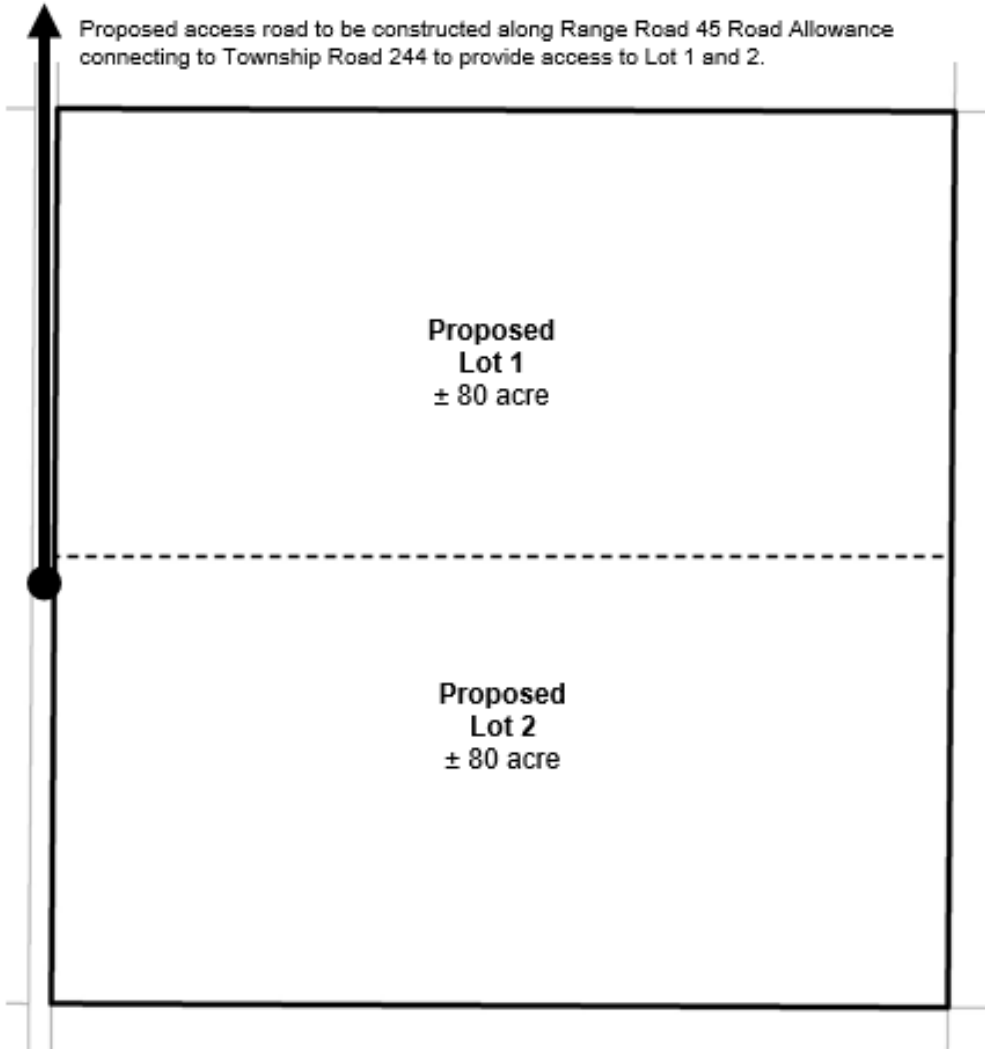
The applicant/owner will also be responsible to obtain all required Alberta Environment and Parks (AEP) approvals, including approvals under the Water Act, should the proposed development impact any wetlands.



ROCKY VIEW COUNTY

Tentative Plan in accordance with the conditions noted in Appendix 'B'.

Subdivision Proposal: To create a ± 32.37 hectare (± 80 acre) parcel with a ± 32.37 hectare (± 80 acre) remainder.



Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

**TENTATIVE PLAN
WITH ROAD CONSTRUCTION**



NW-17-24-04-W05M

Date: June 6, 2020

Application: PL20200080

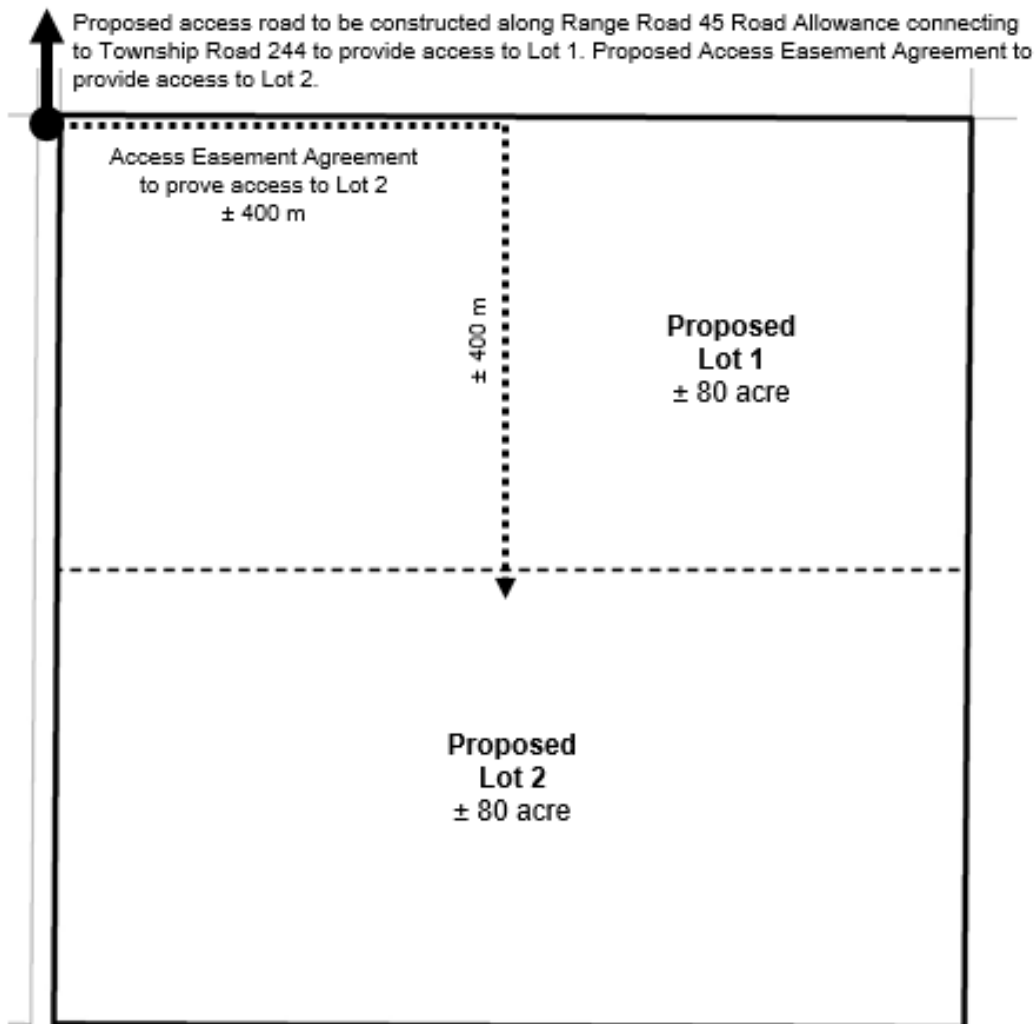
File: 04817002



ROCKY VIEW COUNTY

Tentative Plan in accordance with the conditions noted in Appendix 'C'.

Subdivision Proposal: To create a ± 32.37 hectare (± 80 acre) parcel with a ± 32.37 hectare (± 80 acre) remainder.



Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

TENTATIVE PLAN WITH ACCESS EASEMENT AGREEMENT



NW-17-24-04-W05M

Date: June 6, 2020

Application: PL20200080

File: 04817002



CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended for approval.

Respectfully submitted,

Concurrence,

"Theresa Cochran"

"Al Hoggan"

Executive Director
Community Development Services

Chief Administrative Officer

JKwan/llt

APPENDICES:

APPENDIX 'A': Maps and Other Information

APPENDIX 'B': Approval Conditions with Road Construction

APPENDIX 'C': Approval Conditions with Access Easement Agreement

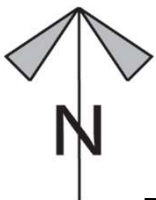
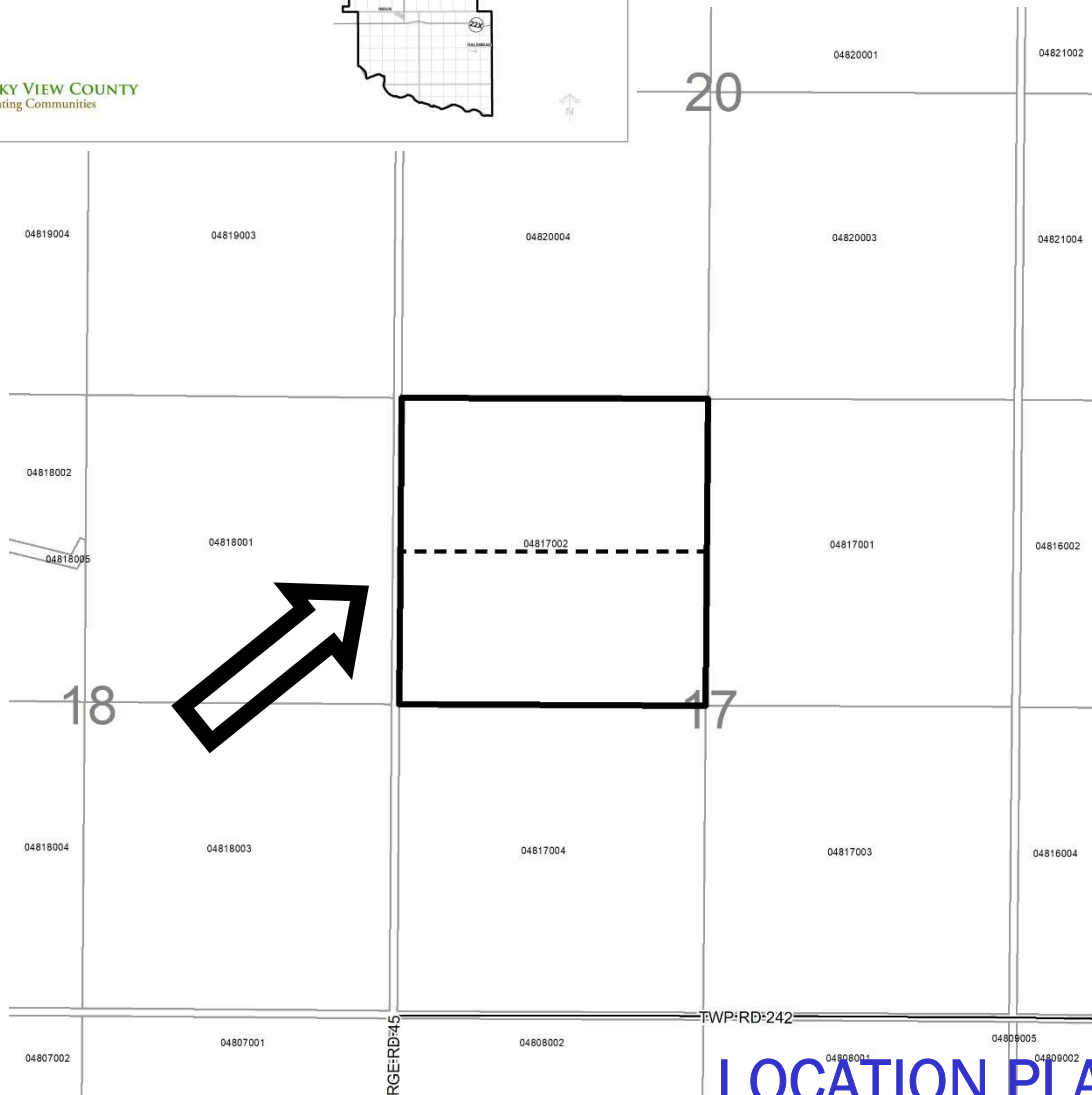
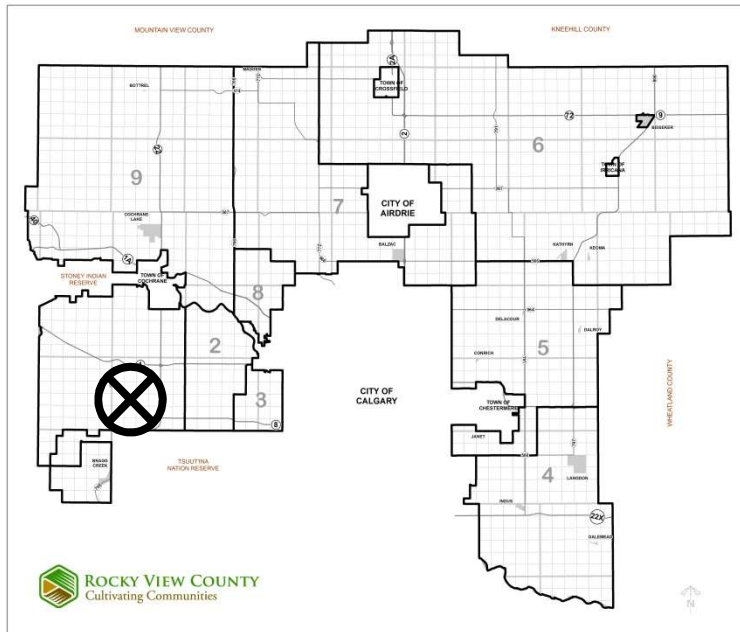
APPENDIX 'D': Letters



ROCKY VIEW COUNTY

APPENDIX 'A': MAPS AND OTHER INFORMATION

DATE APPLICATION RECEIVED: July 2, 2020	DATE DEEMED COMPLETE: July 2, 2020
GROSS AREA: ± 64.7 HECTARES (± 160 ACRES)	LEGAL DESCRIPTION: NW-17-24-4-W05M
APPEAL BOARD: Municipal Government Board	
HISTORY: No relevant development history	
PUBLIC & AGENCY SUBMISSIONS: The application was circulated to five adjacent landowners and no letters were received in response. The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.	

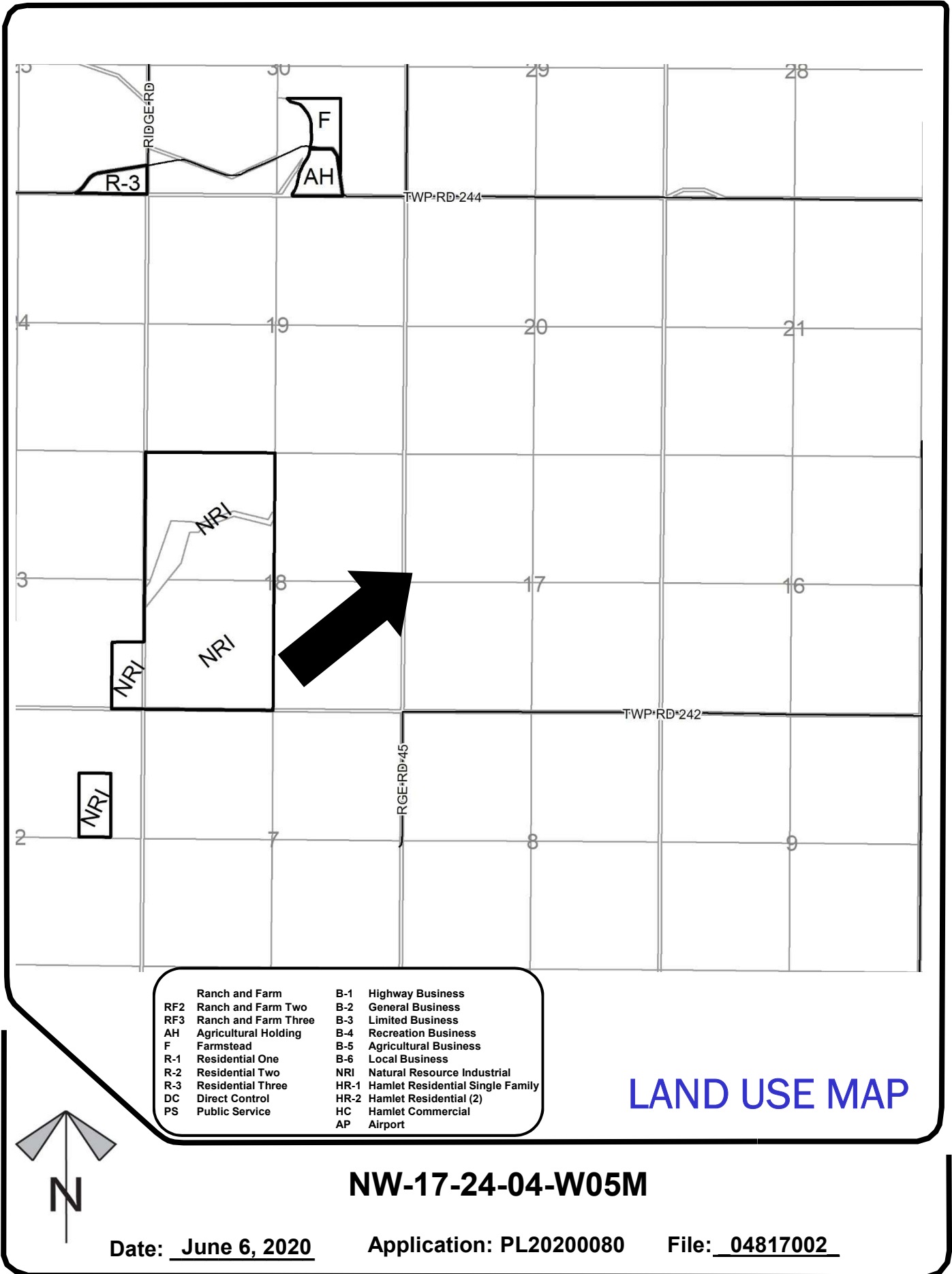


NW-17-24-04-W05M

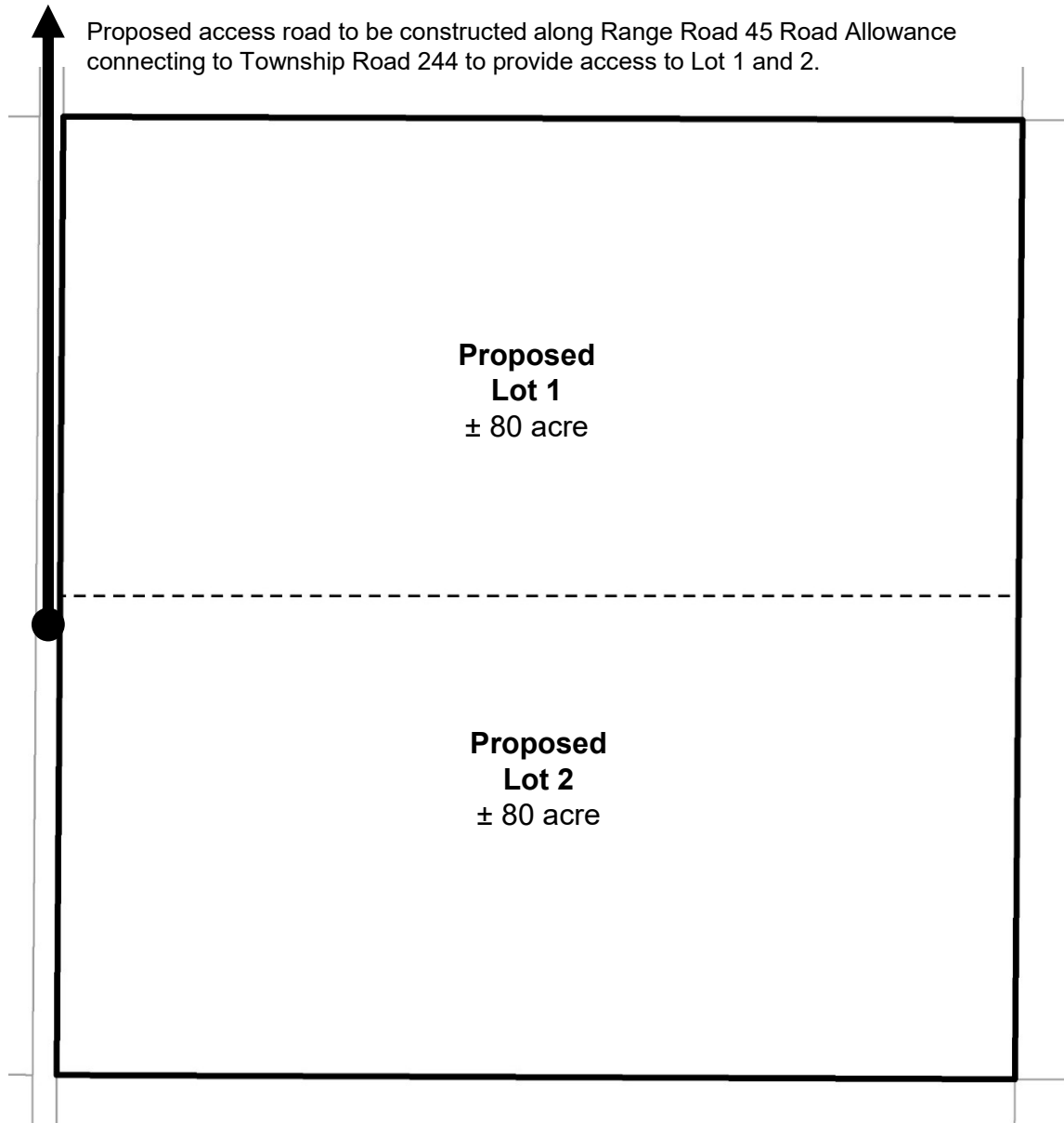
Date: June 6, 2020

Application: PL20200080

File: 04817002



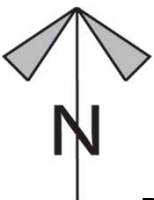
Subdivision Proposal: To create a ± 32.37 hectare (± 80 acre) parcel with a ± 32.37 hectare (± 80 acre) remainder.



Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

**TENTATIVE PLAN
WITH ROAD CONSTRUCTION**



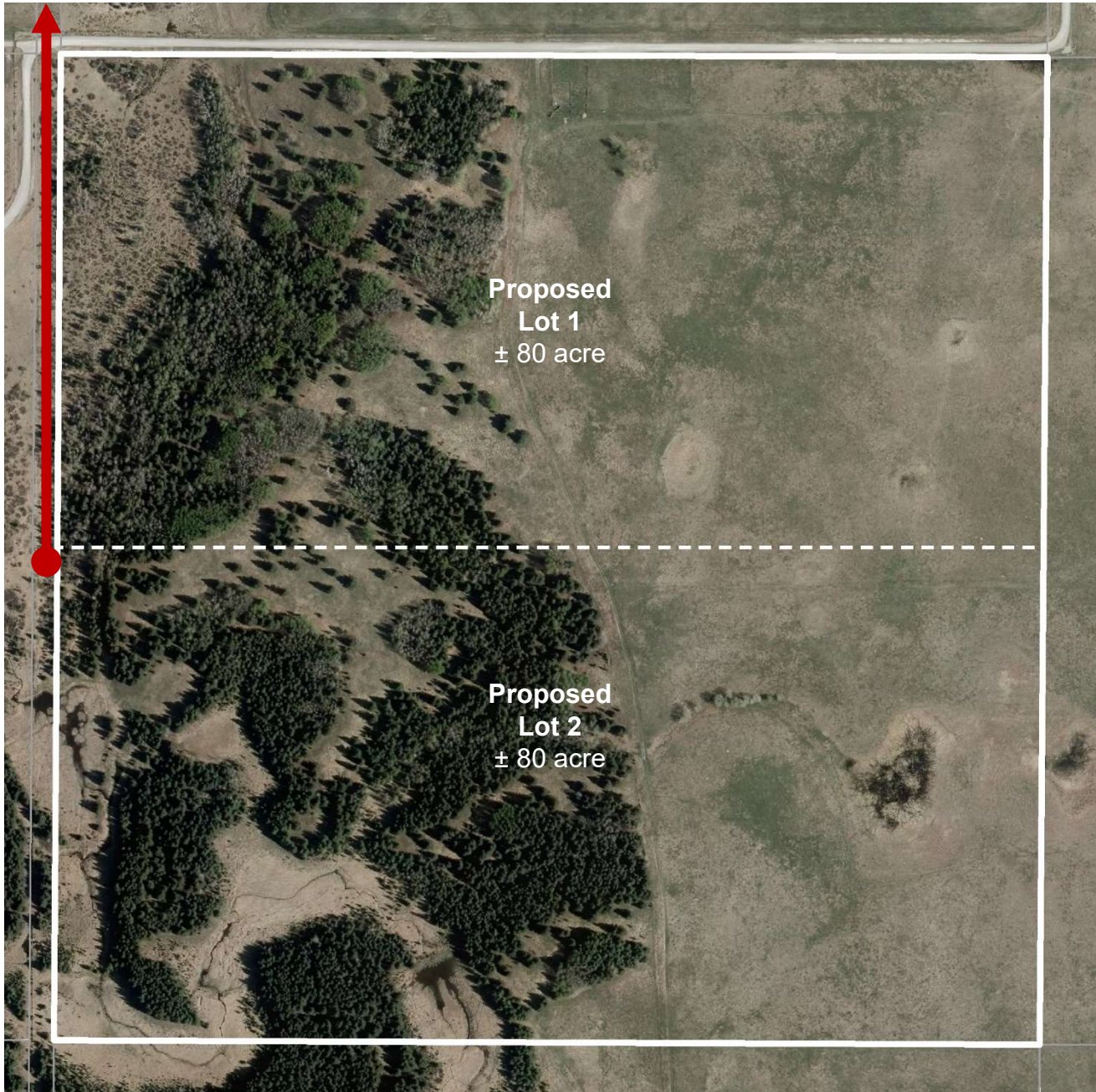
NW-17-24-04-W05M

Date: June 6, 2020

Application: PL20200080

File: 04817002

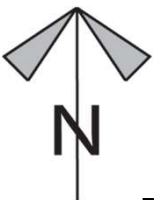
Proposed access road to be constructed along Range Road 45 Road Allowance connecting to Township Road 244 to provide access to Lot 1 and 2.



Note: Post processing of raw aerial photography may cause varying degrees of visual distortion at the local level.

AIR PHOTO

Spring 2018



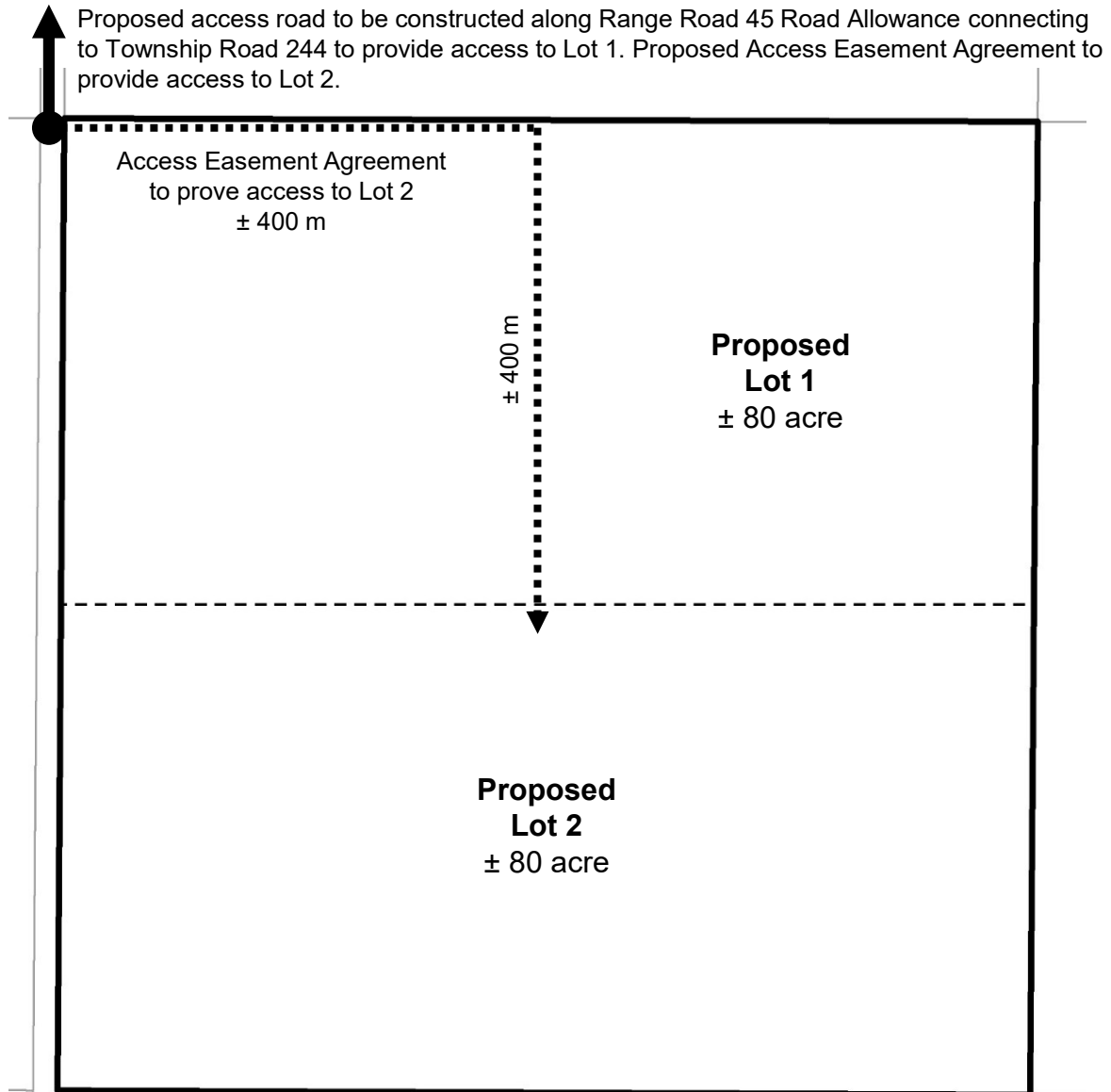
NW-17-24-04-W05M

Date: June 6, 2020

Application: PL20200080

File: 04817002

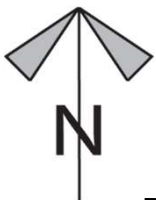
Subdivision Proposal: To create a ± 32.37 hectare (± 80 acre) parcel with a ± 32.37 hectare (± 80 acre) remainder.



Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

**TENTATIVE PLAN
WITH ACCESS EASEMENT AGREEMENT**



NW-17-24-04-W05M

Date: June 6, 2020

Application: PL20200080

File: 04817002

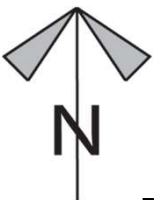
Proposed access road to be constructed along Range Road 45 Road Allowance connecting to Township Road 244 to provide access to Lot 1. Proposed Access Easement Agreement to provide access to Lot 2.



Note: Post processing of raw aerial photography may cause varying degrees of visual distortion at the local level.

AIR PHOTO

Spring 2018

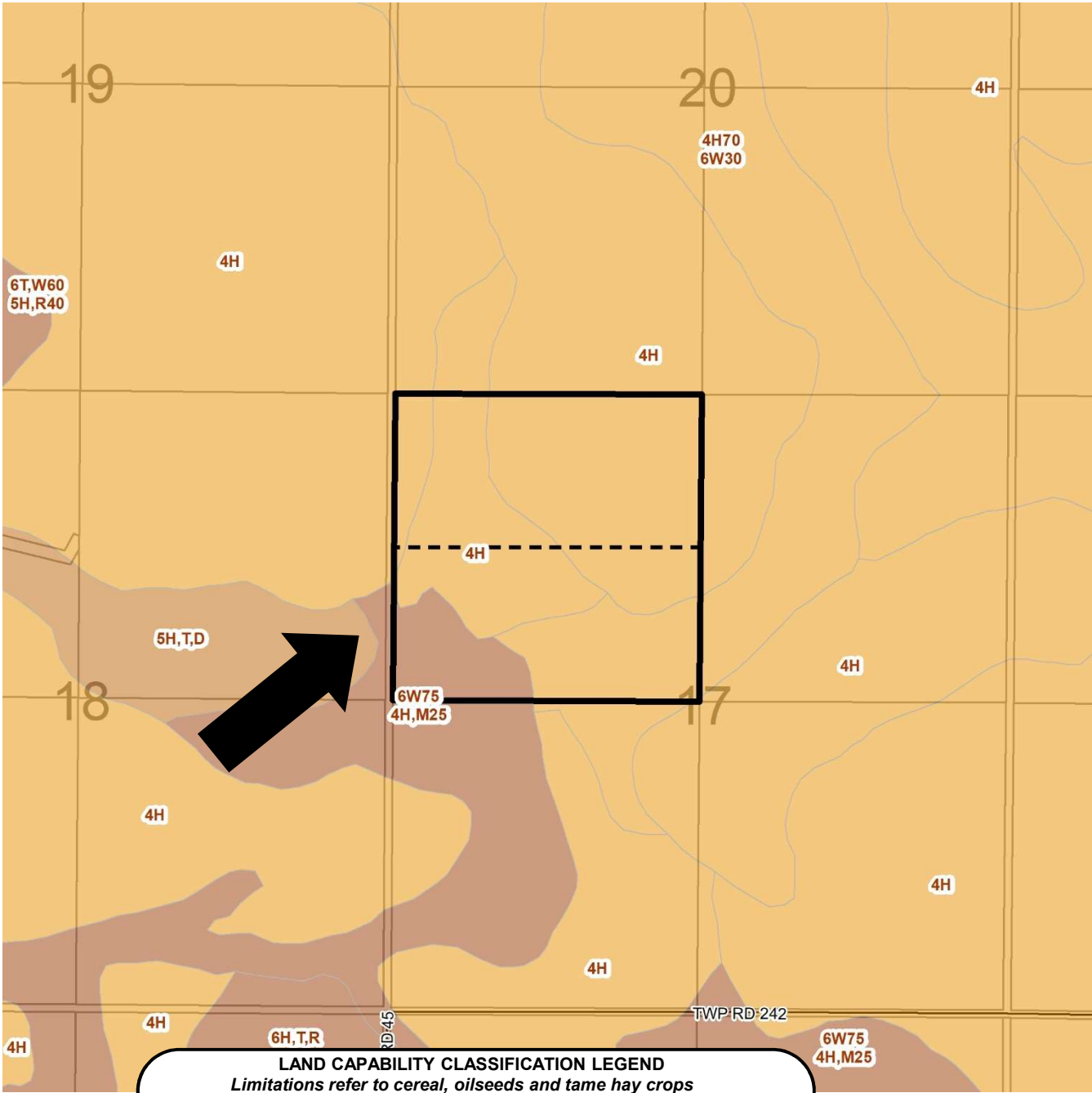


NW-17-24-04-W05M

Date: June 6, 2020

Application: PL20200080

File: 04817002



LAND CAPABILITY CLASSIFICATION LEGEND
Limitations refer to cereal, oilseeds and tame hay crops

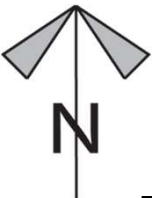
CLI Class

- 1 - No significant limitation
- 2 - Slight limitations
- 3 - Moderate limitations
- 4 - Severe limitations
- 5 - Very severe limitations
- 6 - Production is not feasible
- 7 - No capability

Limitations

- | | |
|---|-------------------------------------|
| B - brush/tree cover | N - high salinity |
| C - climate | P - excessive surface stoniness |
| D - low permeability | R - shallowness to bedrock |
| E - erosion damage | S - high sodicity |
| F - poor fertility | T - adverse topography |
| G - Steep slopes | U - prior earth moving |
| H - temperature | V - high acid content |
| I - flooding | W - excessive wetness/poor drainage |
| J - field size/shape | X - deep organic deposit |
| K - shallow profile development | Y - slowly permeable |
| M - low moisture holding, adverse texture | Z - relatively impermeable |

SOIL MAP

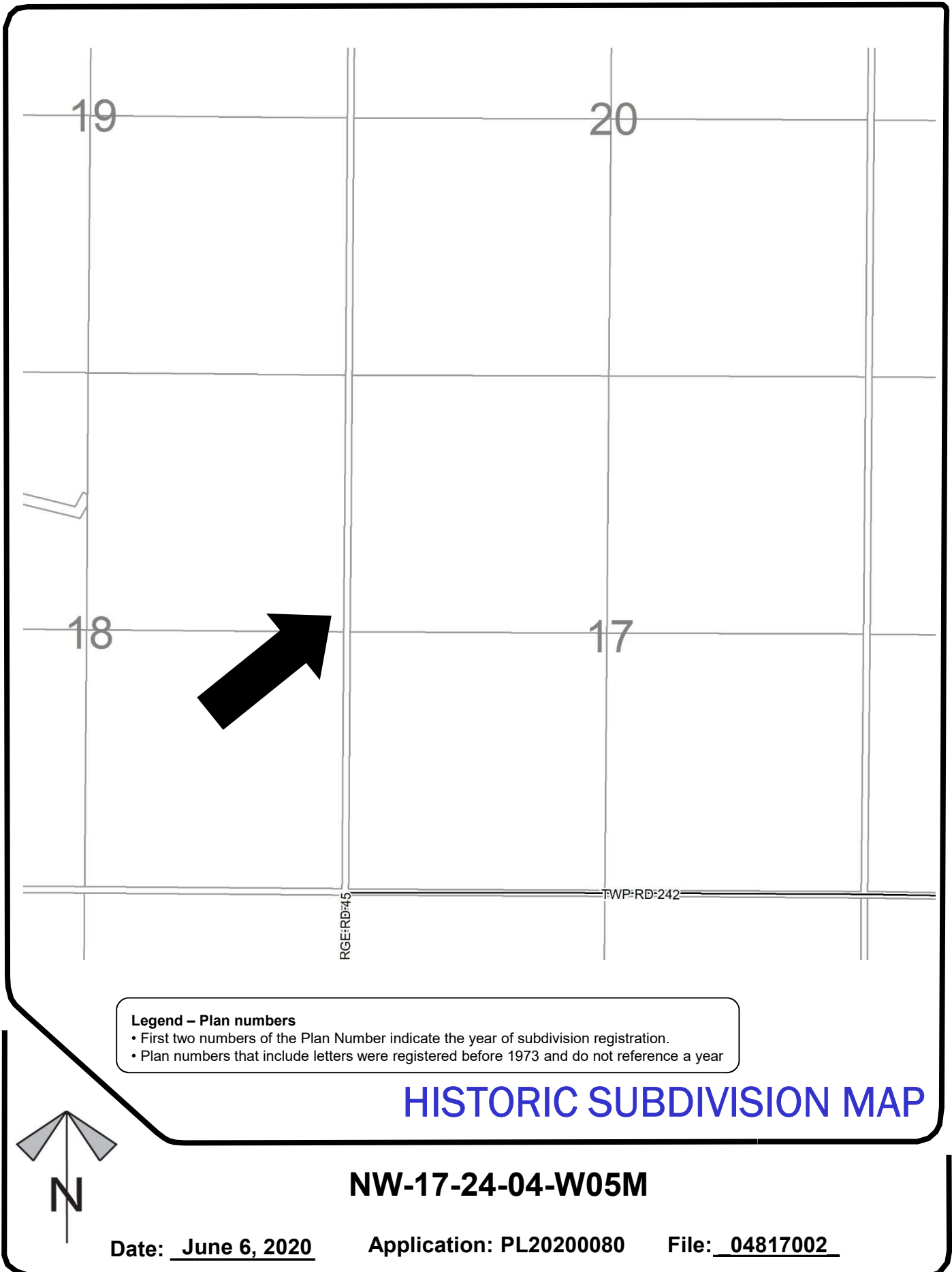


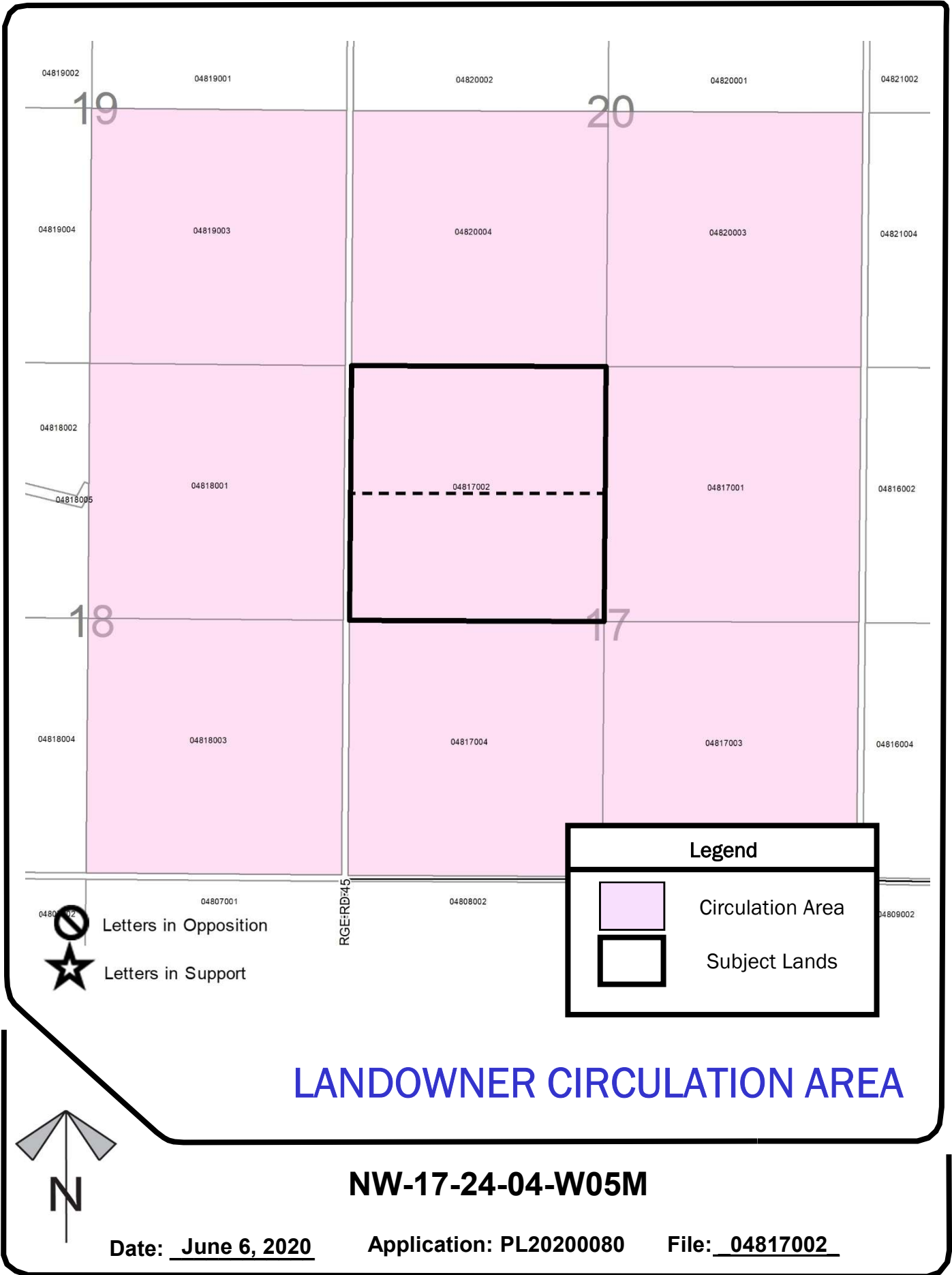
NW-17-24-04-W05M

Date: June 6, 2020

Application: PL20200080

File: 04817002







ROCKY VIEW COUNTY

APPENDIX 'B': APPROVAL CONDITIONS WITH ROAD CONSTRUCTION

- A. The application to create a ± 32.37 hectare (± 80 acre) parcel with a ± 32.37 hectare (± 80 acre) remainder at NW-17-24-4-W05M, having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is approved as per the Tentative Plan for the reasons listed below:
1. The application is consistent with the Statutory Policy;
 2. The subject lands hold the appropriate land use designation;
 3. The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Transportation and Access

- 2) That the Owner shall enter into a Development Agreement pursuant to Section 655 of the *Municipal Government Act* in accordance with the approved Tentative Plan and shall include the following:
 - a) Design and construction of a public road (Regional Low Volume Standard) along the undeveloped Range Road 45 Road Allowance from Township Road 244 to Lots 1 and 2 (approximately 2 km in length), with associated infrastructure which includes the following:
 - I. Road Approaches to Lots 1 and Lot 2;
 - II. A cul-de-sac at the termination point of the road;
 - III. Signage;
 - b) Should the wetland located within the road allowance be impacted by the proposed development, the Owner shall provide a Biophysical Impact Assessment (BIA) and/or Wetland Impact Assessment conducted by a qualified professional to assess the existing wetland and the impacts the proposed development will have on the wetland. The BIA and/or the Wetland Impact Assessment shall provide recommendations on mitigation and compensation measures to address the impacts to the wetland;



ROCKY VIEW COUNTY

- c) Implementation of the recommendations of the Biophysical Impact Assessment and/or Wetland Impact Assessment;
- d) Implementation of the recommendation of the Construction Management Plan;
- e) Implementation of the recommendation of the Erosion and Sediment Control Plan; and
- f) Alberta Environment and Parks approvals are required for disturbance to any wetlands, prior to signing of the Development Agreement.

Construction Management

- 3) The Owner is to provide a Construction Management Plan, which is to include, but not limited to noise, sedimentation and erosion control, construction waste management, firefighting procedures, evacuation plan, construction and management details in accordance with the County's Servicing Standards.
- 4) The Owner shall submit an Erosion and Sediment Control Plan in accordance with the County Servicing Standards.

Payments and Levies

- 5) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one new lot.

Taxes

- 6) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw



ROCKY VIEW COUNTY

APPENDIX 'C': APPROVAL CONDITIONS WITH ACCESS EASEMENT AGREEMENT

- A. The application to create a ± 32.37 hectare (± 80 acre) parcel with a ± 32.37 hectare (± 80 acre) remainder at NW-17-24-4-W05M, having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is approved as per the Tentative Plan for the reasons listed below:
1. The application is consistent with the Statutory Policy;
 2. The subject lands hold the appropriate land use designation;
 3. The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Transportation and Access

- 2) That the Owner shall enter into a Development Agreement pursuant to Section 655 of the *Municipal Government Act* in accordance with the approved Tentative Plan and shall include the following:
 - a) Design and construction of a public road (Regional Low Volume Standard) along the undeveloped Range Road 45 Road Allowance from Township Road 244 to Lot 1, with associated infrastructure which includes the following:
 - I. Road Approaches to Lot 1;
 - II. A cul-de-sac at the termination point of the road;
 - III. Signage;
 - b) Should the wetland located within the road allowance be impacted by the proposed development, the Owner shall provide a Biophysical Impact Assessment (BIA) and/or Wetland Impact Assessment conducted by a qualified professional to assess the existing wetland and the impacts the proposed development will have on the wetland. The BIA and/or the Wetland Impact Assessment shall provide recommendations on mitigation and compensation measures to address the impacts to the wetland;
 - c) Implementation of the recommendations of the Biophysical Impact Assessment and/or



ROCKY VIEW COUNTY

Wetland Impact Assessment;

- d) Implementation of the recommendation of the Construction Management Plan;
 - e) Implementation of the recommendation of the Erosion and Sediment Control Plan; and
 - f) Alberta Environment and Parks approvals are required for disturbance to any wetlands, prior to signing of the Development Agreement.
- 3) That the Owner shall enter into an Access Easement Agreement to provide access to Lot 2 via Lot 1 as per the approved Tentative Plan, and shall include:
- a) Registration of the applicable access right of way plan.

Construction Management

- 4) The Owner is to provide a Construction Management Plan, which is to include, but not limited to noise, sedimentation and erosion control, construction waste management, firefighting procedures, evacuation plan, construction and management details in accordance with the County's Servicing Standards.
- 5) The Owner shall submit an Erosion and Sediment Control Plan in accordance with the County Servicing Standards.

Payments and Levies

- 6) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one new lot.

Taxes

- 7) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw



ROCKY VIEW COUNTY

APPENDIX 'D': LETTERS

NO LETTERS RECEIVED

PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision Authority
SUBJECT: Subdivision Item: Commercial Subdivision

DATE: September 3, 2020
APPLICATION: PL20190089

APPLICATION: To create 6 business lots ranging from ± 4.20 ac to ± 7.44 ac, as well as one 5.07 ha (12.53 ac) Public Utility parcel (PUL); and 9.97 acres of municipal reserve lands (MR).

GENERAL LOCATION: Located approximately 1 km north of the Town of Chestermere; located on the east side of Range Road 285, approximately 0.81 km (1/2 mile) north of Highway 1.

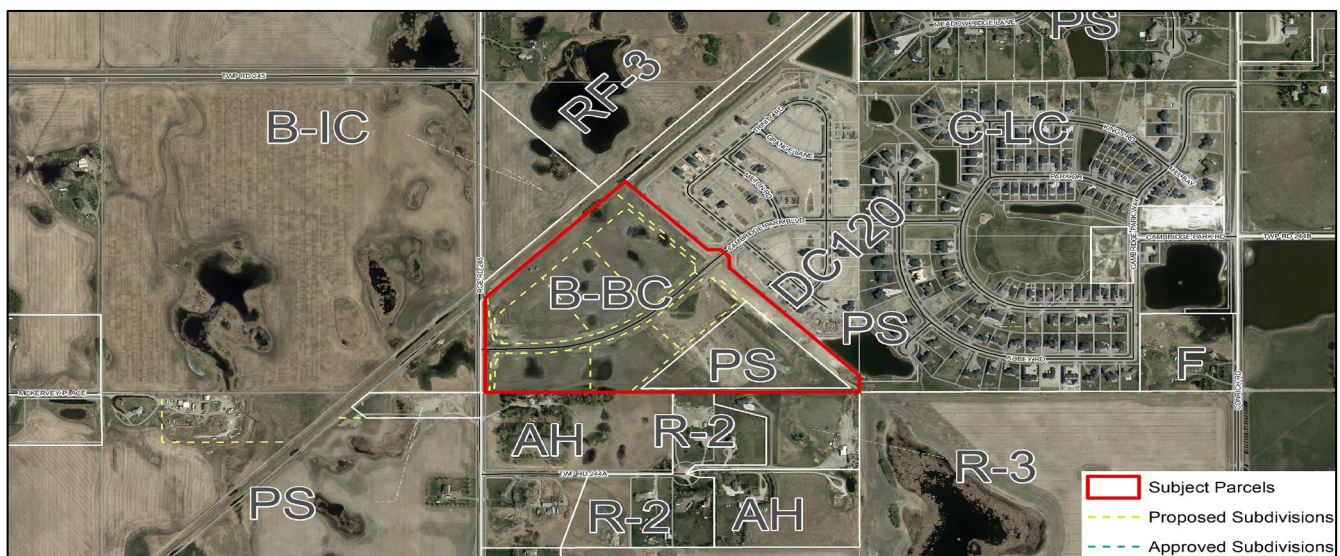
LAND USE DESIGNATION: B-BC and PS

ADMINISTRATION RECOMMENDATION:
Administration recommends approval in accordance with Option #1.

OPTIONS:

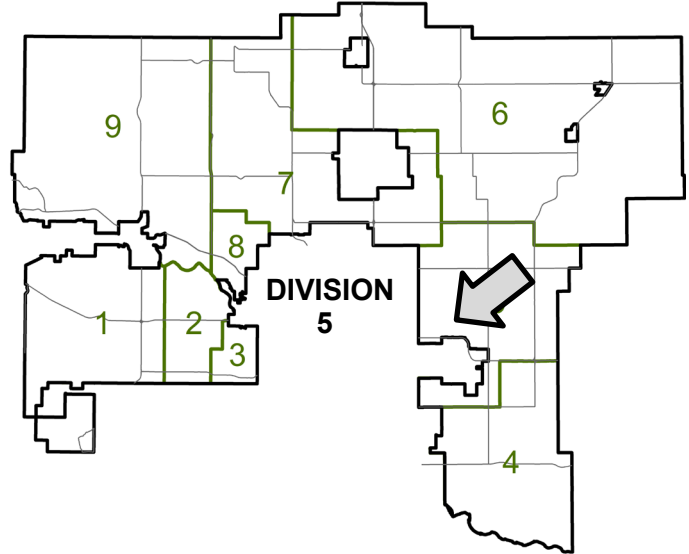
- Option #1: THAT Subdivision Application PL20190089 be approved with the conditions noted in Appendix 'B'.
- Option #2: THAT Subdivision Application PL20190089 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Oksana Newmen – Planning and Development Services





ROCKY VIEW COUNTY

APPLICANT: Amar Development Ltd./Rani Duhra**OWNER:** Duhra Financial Ltd.**APPLICATION EVALUATION:**

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS:	TECHNICAL REPORTS SUBMITTED:
<ul style="list-style-type: none"> • <i>Municipal Government Act;</i> • Subdivision and Development Regulations; • Municipal Development Plan; • Conrich Area Structure Plan • South Conrich Conceptual Scheme • Land Use Bylaw; and • County Servicing Standards. 	<ul style="list-style-type: none"> • Transportation Impact Assessment prepared by Bunt & Associates (June 12, 2019) • Conceptual Storm Water Management Plan prepared by Jubilee Engineering (May 2019) • Wetland Assessment and Impact Report prepared by Ecotone Environmental (September 2019)

Payments and Levies

The subdivision will be subject to transportation, wastewater, and stormwater levies, as detailed in the table below:

APPLICABLE FEE/LEVY	AMOUNT OWING (ESTIMATE)
<i>TRANSPORTATION OFFSITE LEVY (C-8007-2020)</i> <i>Base Offsite Levy: \$4,595.00</i> <i>Special Area 2 Levy: \$5,208.00</i>	\$ 668,564.60
<i>Water/Wastewater Offsite Levy (C-8009-2020) \$33,340.56</i>	\$ 2,270,492.14
<i>Stormwater Offsite Levy (C-8008-2020) \$5,992.00</i>	\$ 408,654.40

Development Agreement

As a result of numerous conditions related to transportation improvements, servicing, mailboxes, lighting, utilities, provincial approvals, and construction management, a Development Agreement will be required.

Transportation and Access

The North Calgary Regional Transportation Study has identified the need for an interchange at the Highway 1 and Range Road 285 Intersection by 2030. The interchange is in the Alberta Transportation long-term plans, and not planned in the near or intermediate future. Transportation Off-site Levy Special Area 2 is currently capturing funding for this interchange.

Based on the prepared Transportation Impact Assessment, the proposed development will result in Highway 1 and Garden Road to operate at capacity, with adjustments to signal timing and turn lane amendments required.

The intersection of Range Road 285/Garden Road will require upgrading to a Modified Type IIIa intersection, and will continue to operate as a two-lane arterial.



ROCKY VIEW COUNTY

As well, the existing Cambridge Park Boulevard extension will need to be improved to an Industrial standard as per County Servicing Standards.

Developability

A geotechnical evaluation will be required to assess the onsite subsurface conditions.

Stormwater

The conceptual scheme calls for a stormwater pond, which will be connected to an existing pond within Cambridge Estates phase 3. Stormwater will then irrigate both phases 3 and 4 of Cambridge Estates.

Site Servicing

The subject lands will be required to connect to both wastewater and potable water services in the area. As these are not yet available in the area, a Development Agreement will be required to extend servicing.

Municipal Reserves

Land for municipal reserves are being provided as per the conceptual scheme, totaling 9.97 acres. A deferred reserve caveat from Cell C was registered against the subject property (the remainder from Cell C), totaling 6.6318 acres. As 4.8546% of the required reserves were provided in Cell C, with the remaining 5.1454 acres (5.1454%) being deferred by caveat must be satisfied by this subdivision. The provided MR exceeds the minimum required amount by 3.338 acres.

Association Information

A lot owner's association will be required to be established, and will manage weeds, municipal reserves and pathways including maintenance and operational obligations, as well as solid waste and recycling.

Landscaping

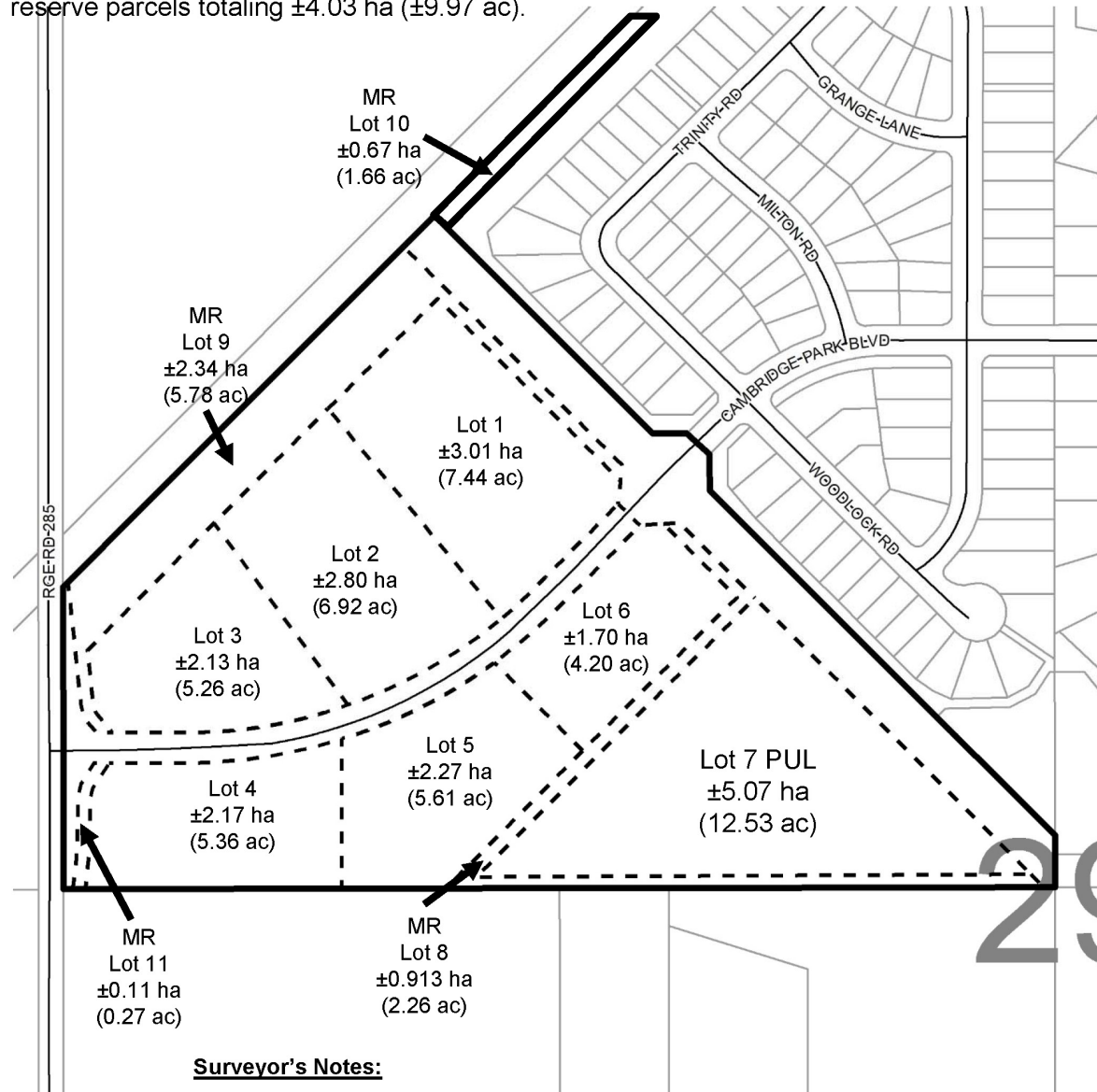
Landscaping will be required as part of the municipal reserve lands, and submission of plans is included as a condition of subdivision.



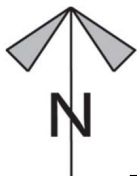
ROCKY VIEW COUNTY

Tentative Plan

Proposal: To subdivide the property into six business lots ranging from ± 1.70 ha (± 4.20 ac) to ± 3.01 ha (± 7.44 ac); one ± 5.07 ha (± 12.53 ac) public utility lot (Lot 7); and four municipal reserve parcels totaling ± 4.03 ha (± 9.97 ac).

**Surveyor's Notes:**

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

TENTATIVE PLAN

NW-29-24-28-W04M

Date: July 22, 2020File: 04329003



CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended for approval.

Respectfully submitted,

Concurrence,

"Theresa Cochran"

"Al Hoggan"

Executive Director
Community Development Services

Chief Administrative Officer

ON/lt

APPENDICES:

APPENDIX 'A': Maps and Other Information

APPENDIX 'B': Approval Conditions

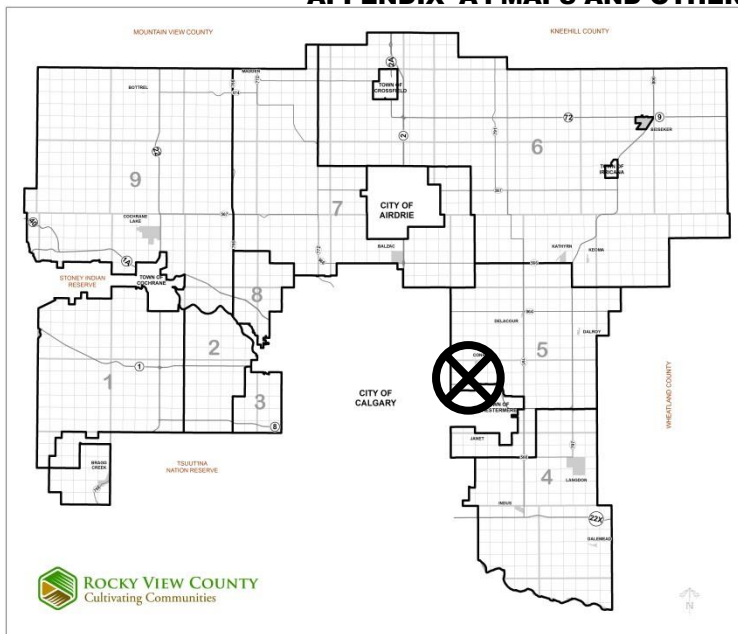
APPENDIX 'C': Letters



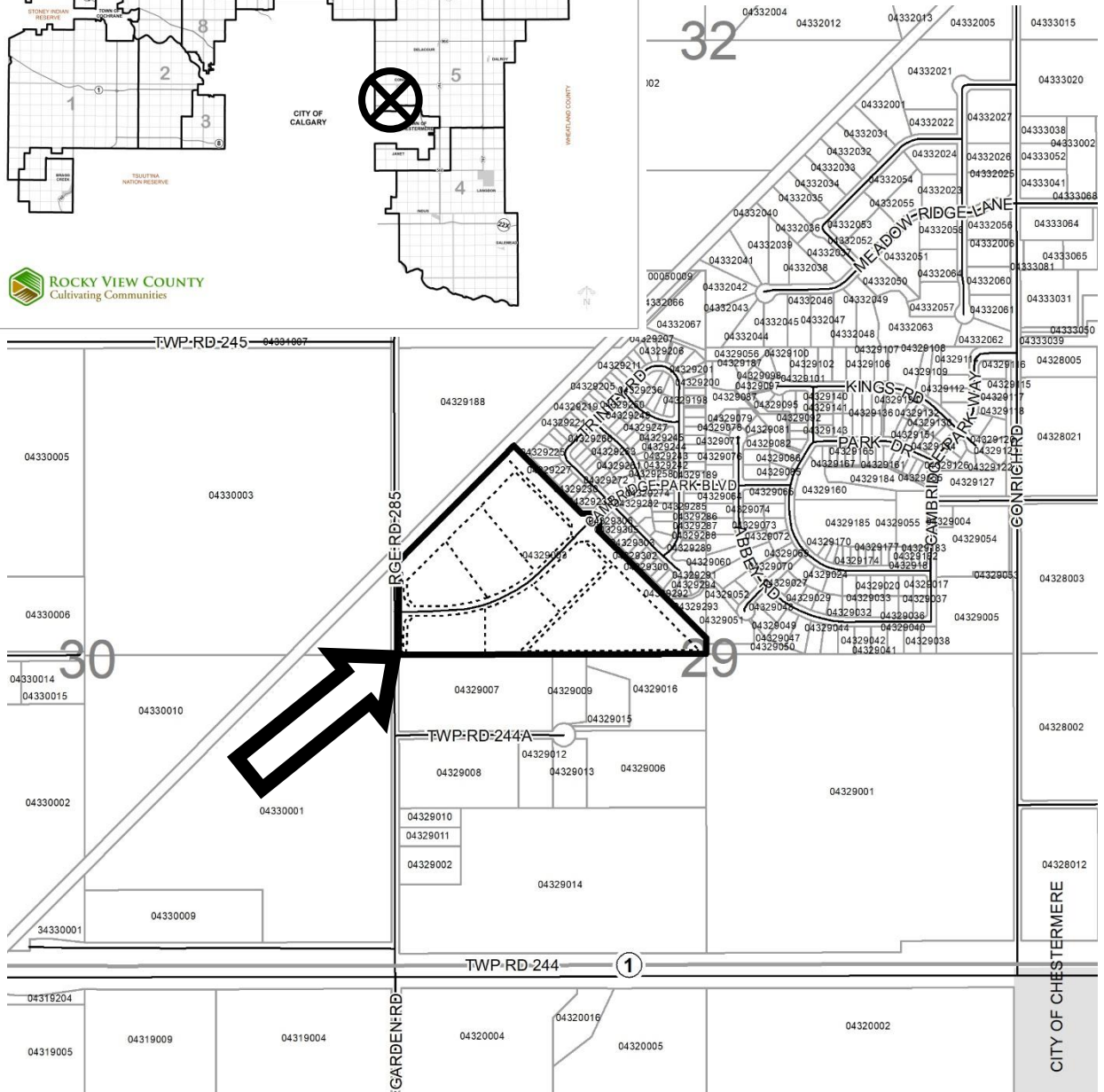
ROCKY VIEW COUNTY

APPENDIX 'A': MAPS AND OTHER INFORMATION

DATE APPLICATION RECEIVED: June 5, 2019	DATE DEEMED COMPLETE: October 17, 2019
GROSS AREA: ± 27.56 HECTARES (± 68.1 ACRES)	LEGAL DESCRIPTION: NW-29-24-28-W4M
APPEAL BOARD: Municipal Government Board	
HISTORY: <p>July 30, 2020 Municipal Planning Commission tabled PL20190089 (this application) to seek legal guidance on a legal letter submitted by a group of concerned residents.</p> <p>July 14, 2020 Council approved Bylaw C-7957-2019 to amend the South Conrich Conceptual Scheme, and to add Appendix D to the conceptual scheme, and Bylaw C-7959-2019 to redesignate the lands from Ranch and Farm Two District (RF-2) to Business- Business Commercial District (B-BC) and Public Services District (PS).</p> <p>July 16, 2013 Council approved Bylaw C-7275-2013 to amend DC120, amending general rules to allow accessory buildings, single detached dwelling and Home Based Business, Type I as deemed approved within the district (2013-RV-024).</p> <p>December 11, 2012 Council approved a subdivision to create 110 residential lots (Cell C), PUL, and MR lots. (2011-RV-113). Plan 171 0761 Registered March 30, 2017.</p> <p>September 28, 2010 Council approved Bylaw C-6965-2010 to redesignate from RF to RF-2, RF-3 and DC120 (2010-RV-032; Cell C Redesignation).</p> <p>September 7, 2010 Council approved amending Bylaw C-6961-2010 to add Cell C Appendix to South Conrich Conceptual Scheme (2010-RV-111; Cell C Appendix).</p> <p>September 7, 2010 Council approved subdivision of lands divided by the railway (2010-RV-016).</p> <p>June 8, 2010 Council approved Bylaw C-6911-2010 to redesignate a portion of the lands from RF to RF-3 to facilitate subdivision of land divided by the railway. (2010-RV-015).</p> <p>March 17, 2009 Council approved application 2008-RV-257 for creation of 118 residential public open space, commercial lot, public utility lots and Municipal Reserve parcels. (Cell A). Plan 101 3145 Registered August 19, 2010.</p> <p>July 31, 2007 Council approved Bylaw 6401-2006 for the South Conrich Conceptual Scheme and DC120 (2004-RV-199), including Cell A.</p>	
PUBLIC & AGENCY SUBMISSIONS: <p>The application was circulated to 304 adjacent landowners. 675 responses were received, to include multiple individual submissions. The responses have been included in Appendix 'C.'</p> <p>The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.</p>	



ROCKY VIEW COUNTY
Cultivating Communities



LOCATION PLAN

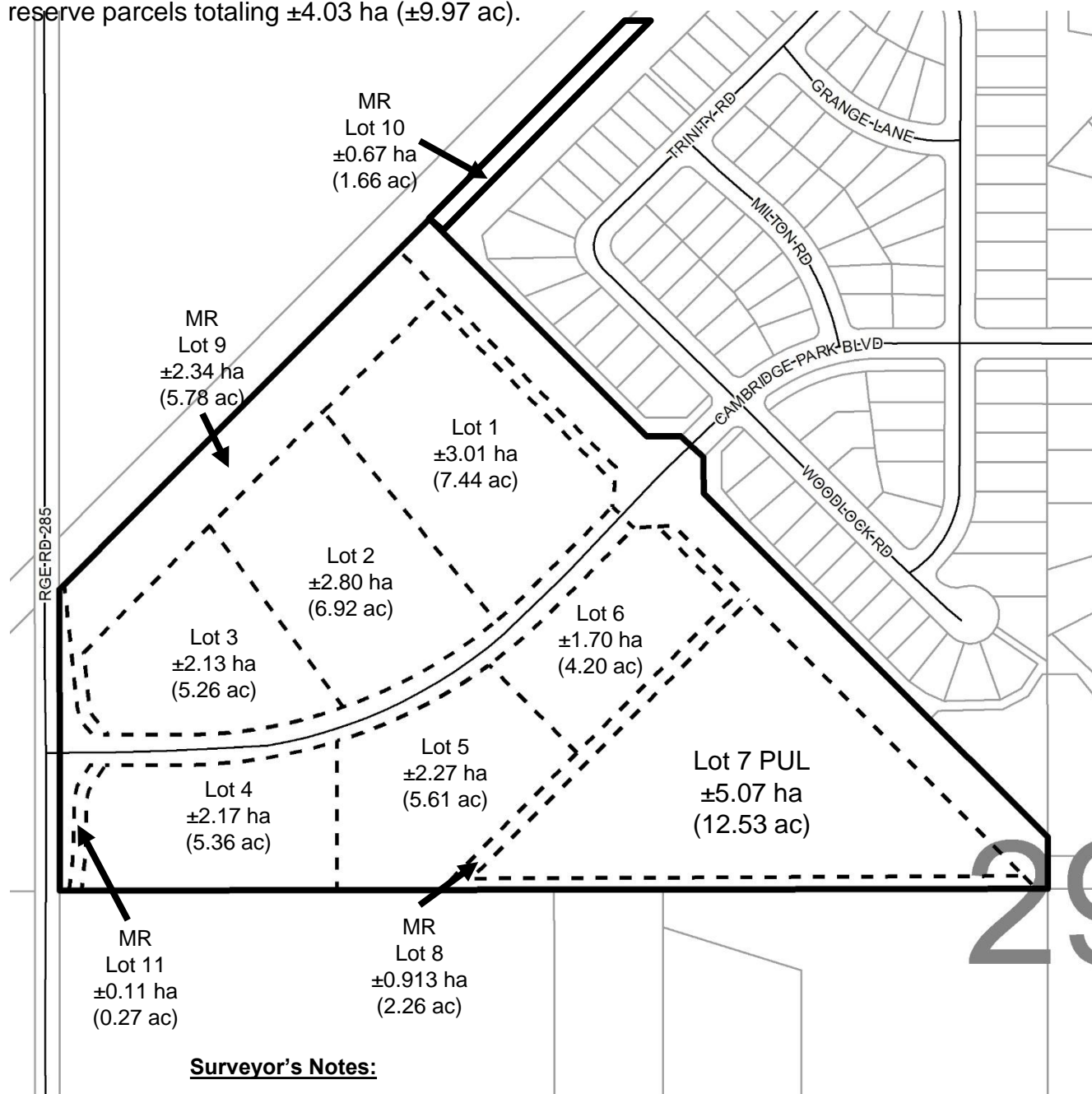
NW-29-24-28-W04M

Date: July 22, 2020

Application PL20190089

File: 04329003

Proposal: To subdivide the property into six business lots ranging from ± 1.70 ha (± 4.20 ac) to ± 3.01 ha (± 7.44 ac); one ± 5.07 ha (± 12.53 ac) public utility lot (Lot 7); and four municipal reserve parcels totaling ± 4.03 ha (± 9.97 ac).



Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

TENTATIVE PLAN

NW-29-24-28-W04M

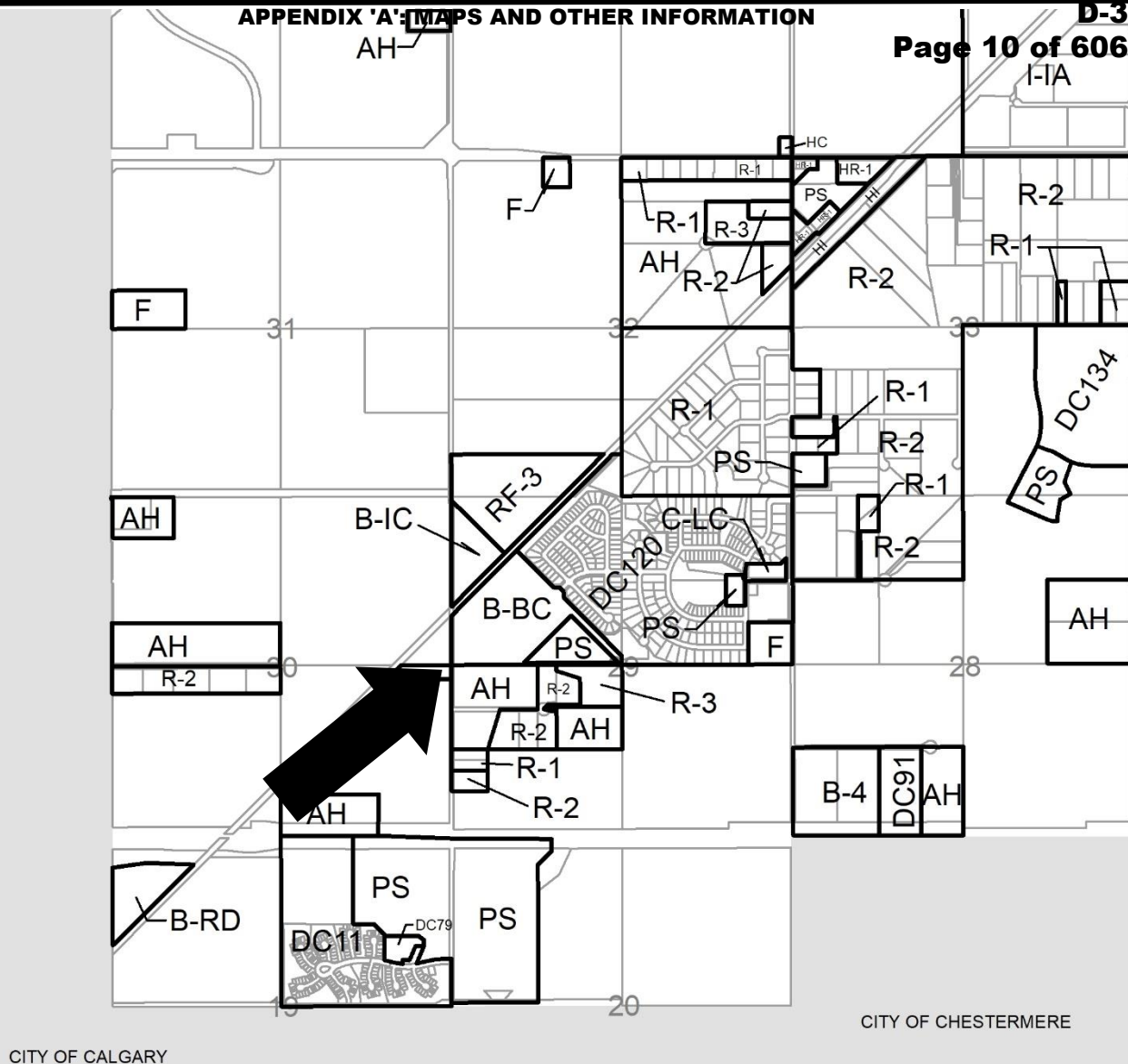
Date: July 22, 2020

Application PL20190089

File: 04329003



NW-29-24-28-W04M



RF2	Ranch and Farm Two	B-1	Highway Business
RF3	Ranch and Farm Three	B-2	General Business
AH	Agricultural Holding	B-3	Limited Business
F	Farmstead	B-4	Recreation Business
R-1	Residential One	B-5	Agricultural Business
R-2	Residential Two	B-6	Local Business
R-3	Residential Three	NRI	Natural Resource Industrial
DC	Direct Control	HR-1	Hamlet Residential Single Family
PS	Public Service	HR-2	Hamlet Residential (2)
		HC	Hamlet Commercial
		AP	Airport

LAND USE MAP

NW-29-24-28-W04M

Date: July 22, 2020

Application PL20190089

File: 04329003



Contours are generated using 10m grid points, and depict general topographic features of the area. Detail accuracy at a local scale cannot be guaranteed. They are included for reference use only.

TOPOGRAPHY

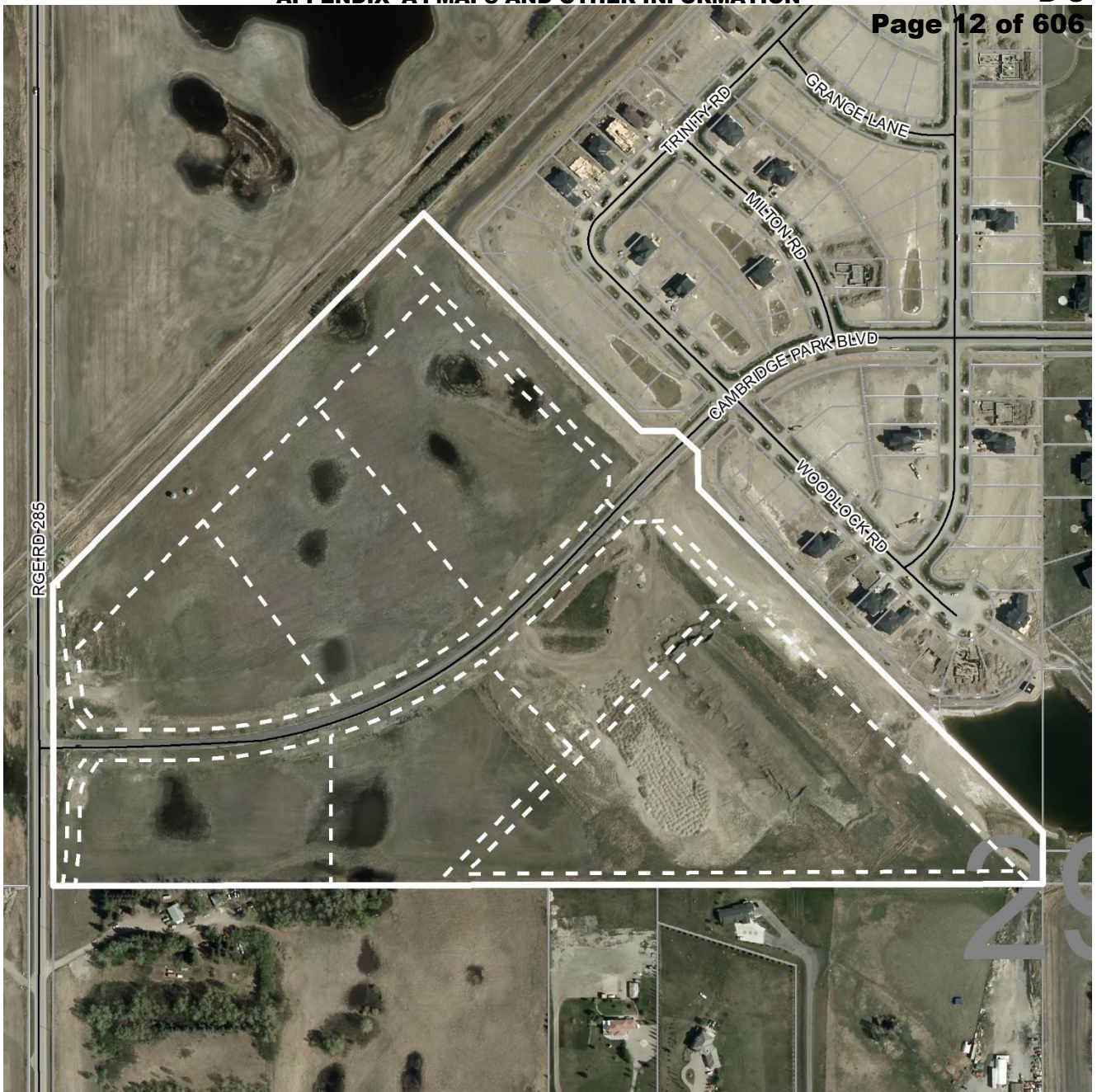
Contour Interval 2 M

NW-29-24-28-W04M

Date: July 22, 2020

Application PL20190089

File: 04329003



Note: Post processing of raw aerial photography may cause varying degrees of visual distortion at the local level.

AIR PHOTO

Spring 2018

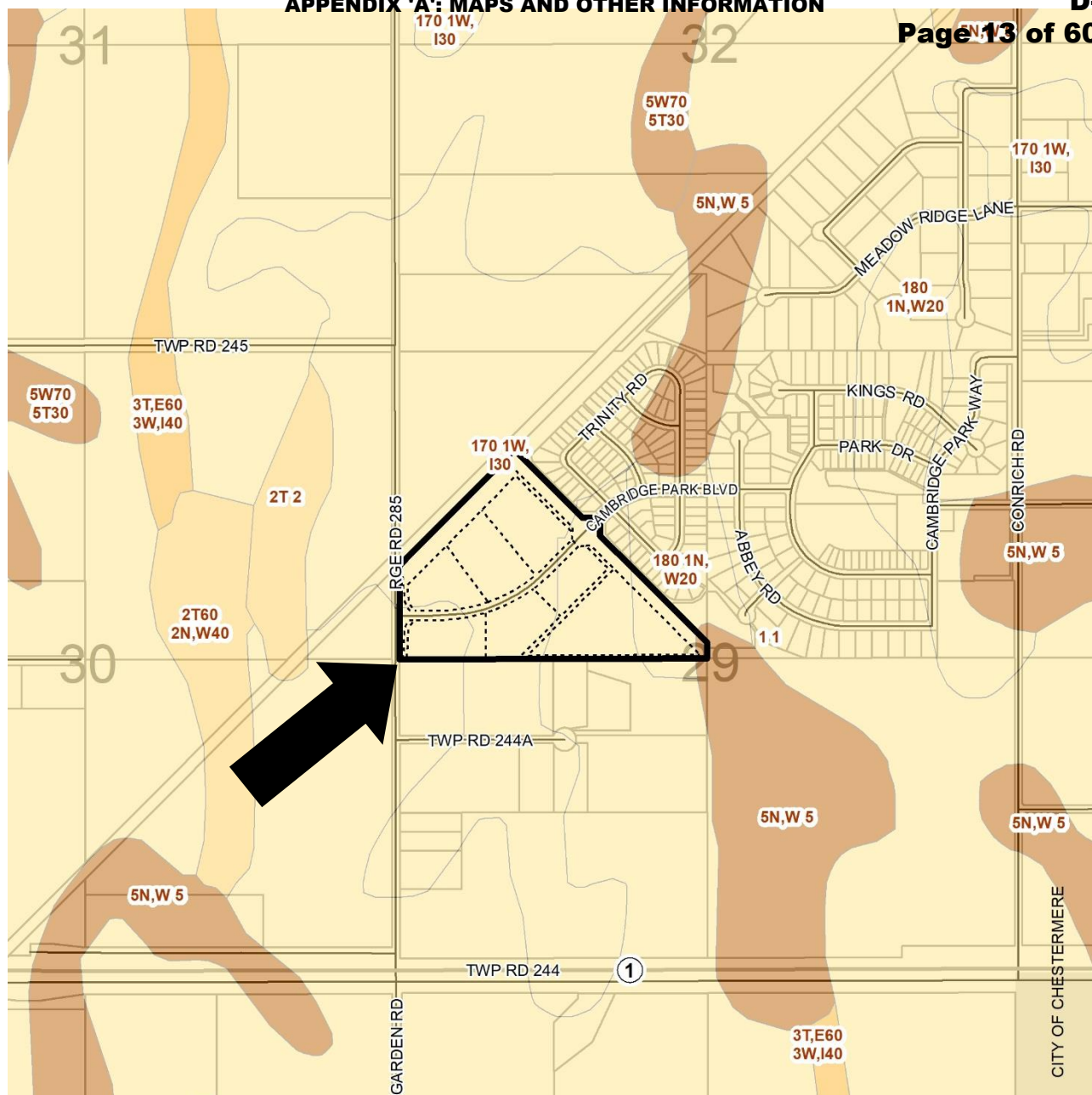


NW-29-24-28-W04M

Date: July 22, 2020

Application PL20190089

File: 04329003



LAND CAPABILITY CLASSIFICATION LEGEND

Limitations refer to cereal, oilseeds and tame hay crops

CLI Class

- 1 - No significant limitation
- 2 - Slight limitations
- 3 - Moderate limitations
- 4 - Severe limitations
- 5 - Very severe limitations
- 6 - Production is not feasible
- 7 - No capability

Limitations

- B - brush/tree cover
- C - climate
- D - low permeability
- E - erosion damage
- F - poor fertility
- G - Steep slopes
- H - temperature
- I - flooding
- J - field size/shape
- K - shallow profile development
- M - low moisture holding, adverse texture
- N - high salinity
- P - excessive surface stoniness
- R - shallowness to bedrock
- S - high sodicity
- T - adverse topography
- U - prior earth moving
- V - high acid content
- W - excessive wetness/poor drainage
- X - deep organic deposit
- Y - slowly permeable
- Z - relatively impermeable

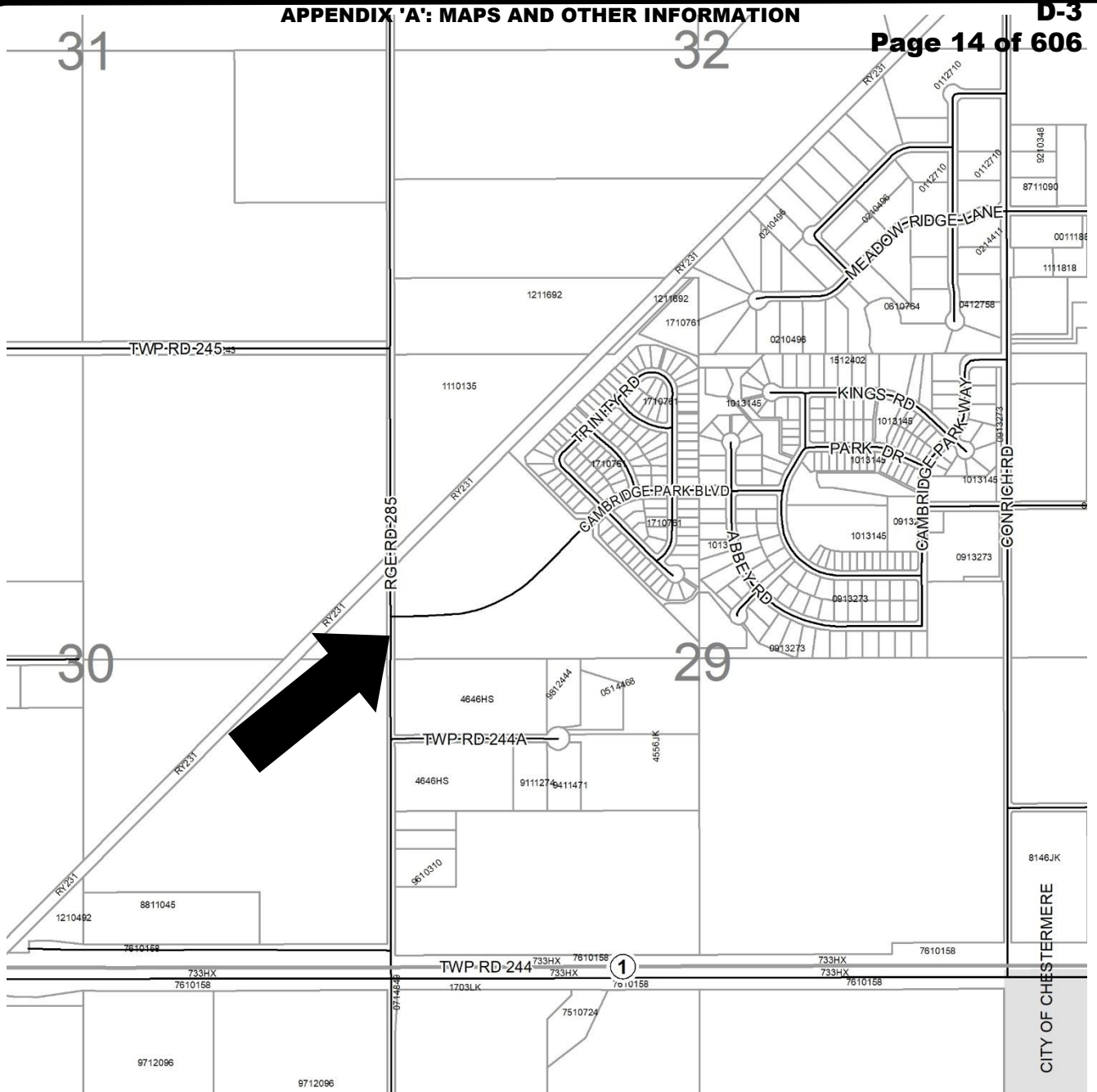
SOIL MAP

NW-29-24-28-W04M

Date: July 22, 2020

Application PL20190089

File: 04329003

**Legend – Plan numbers**

- First two numbers of the Plan Number indicate the year of subdivision registration.
- Plan numbers that include letters were registered before 1973 and do not reference a year

HISTORIC SUBDIVISION MAP

NW-29-24-28-W04M

Date: July 22, 2020

Application PL20190089

File: 04329003



File: 04329003



APPENDIX 'B': APPROVAL CONDITIONS

- A. The application to create 6 business lots ranging from ± 4.20 ac to ± 7.44 ac, as well as one 5.07 ha (12.53 ac) Public Utility parcel (PUL); and ± 9.97 acres of municipal reserve lands (MR) at NW-29-24-28-W4M, having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is approved as per the Tentative Plan for the reasons listed below:
1. The application is consistent with the Statutory Policy;
 2. The subject lands hold the appropriate land use designation;
 3. The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Development Agreement

- 2) The Owner is to enter into a Special Improvement Development Agreement and be responsible for the approvals, design, upgrading, right-of-way acquisition and construction for all off-site infrastructure related to:
 - i. Construction of the necessary off-site improvements as identified in the final approved TIA to the satisfaction of the County and Alberta Transportation, as indicated in the June 2019 Cambridge Park Phase 4 Traffic Impact Assessment prepared by Bunt and Associates;
 - ii. Extending the County's sanitary services to service the proposed development, and each parcel created by the subdivision.
- 3) The Owner is required to enter into a Development Agreement pursuant to Section 655 of the *Municipal Government Act* respecting provision of the following:
 - a) Upgrade of the existing Cambridge Park Boulevard to an Industrial/Commercial Standard – 400.6 and complete any necessary easement agreements, as shown on the Tentative Plan, in accordance with the County Servicing Standards;
 - b) Design and construction of Landscaping features for all Municipal Reserve lands, Public Utility Lots, public pathways, and public roadways, in accordance with the approved Landscaping Plan;



ROCKY VIEW COUNTY

- c) Construction of the pressurized central fire suppression system to the satisfaction of the County;
 - d) Construction and implementation of stormwater management facilities and piped stormwater collection system in accordance with the recommendations of the approved Stormwater Management Plan and the registration of any overland drainage easements and/or restrictive covenants as determined by the Storm Water Management Plan, all to the satisfaction of the County and Alberta Environment and Parks;
 - e) Construction of a piped potable water and raw water distribution system as required (including the registration of necessary easements), connection to the potable water treatment plant, and service connections to each lot;
 - f) Construction of a piped sanitary collection system (including the registrations of necessary easements), connection to the wastewater treatment plant, and service connections to each lot;
 - g) Implementation of the recommendations of the Construction Management Plan and Weed Management Plan;
 - h) Dedication of necessary easements and right of ways for utility line assignments;
 - i) Implementation of the recommendations of the Geotechnical Report;
 - j) Implementation of the recommendations of the Biophysical Impact Assessment and/or Wetland Impact Assessment;
 - k) Mailbox locations are to be located in consultation with Canada Post to the satisfaction of the County;
 - l) Installation of Street Lighting (Dark Sky);
 - m) Installation of power, natural gas, and communication utilities;
 - n) Obtain all necessary approvals from AEP for the loss of wetlands, prior to the signing of the Development Agreement;
 - o) Obtain all necessary approvals from AEP for the use of stormwater for irrigation purposes;
 - p) Obtain all necessary approvals from Alberta Culture & Tourism under the Historical Resources Act;
 - q) Payment of any applicable off-site levies, at the then applicable rates, as of the date of the Development Agreement;
 - r) Implementation of the recommendations of the approved ESC plan.
- 4) The owner shall enter into a Special Improvements Development Agreement for extension of County potable water services from the Conrich Reservoir to the proposed development in accordance with the requirements of the County Servicing Standards.

Or

Should the County proceed to extend potable water infrastructure from the Conrich Reservoir, the Owner shall enter into a cost contribution agreement with the County to provide the applicable cost contribution for the extension of potable water infrastructure that is directly beneficial to the proposed development. The County shall calculate the total amount owing from the gross acreage as shown on the Plan of Survey submitted for endorsement and all other relevant studies prepared to support of the project.



ROCKY VIEW COUNTY

Should the owner not enter into a Special Improvements Development Agreement for the extension of potable water infrastructure, the execution of the cost contribution agreement shall be satisfactory to meet this condition.

Site Servicing

- 5) The Owner is to provide a detailed water servicing analysis for potable water, raw water irrigation, and fire suppression, building off of the Franchise Agreement and the Integrated Water Systems Master Plan, to determine:
 - i. Pipe type and sizes;
 - ii. Water treatment plant capacity and reservoir storage requirements.
- 6) The Owner is to provide confirmation of the tie-in for connections to the potable water system for lots as shown on the approved Tentative Plan. This includes providing the following information:
 - i. Confirmation from the water supplier that an adequate and continuous piped water supply is available for the proposed new lots;
 - ii. Documentation proving that water supply has been purchased for proposed lots;
 - iii. Documentation providing that water supply infrastructure requirements, including servicing to the property, have been installed, or that installation is secured between the developer and water utility, to the satisfaction of the water utility and the County;
 - iv. Documentation proving all necessary paperwork has been completed, to the County's satisfaction;
- 7) The Owner is to provide confirmation of the tie-in for connections to the waste-water system for lots as shown on the approved Tentative Plan. This includes providing the following information:
 - i. Confirmation from the wastewater supplier that an adequate and continuous piped water supply is available for the proposed new lots;
 - ii. Documentation proving that wastewater supply has been purchased for proposed lots;
 - iii. Documentation providing that wastewater supply infrastructure requirements, including servicing to the property, have been installed, or that installation is secured between the developer and wastewater utility, to the satisfaction of the waste-water utility and the County;
 - iv. Documentation proving all necessary paperwork has been completed, to the County's satisfaction;
- 8) The County will enter into an Infrastructure Cost Recovery Agreement with the Owner to provide a cost recovery payment for the use of the Conrich West Lateral Lift Station in accordance with the active Cost Recovery Agreement with Sage Properties Ltd. for the total gross wastewater capacity needed to service the proposed development.
- 9) The County will enter into an Infrastructure Cost Recovery Agreement with the Owner to determine the proportionate recovery of infrastructure money spent by the Owner to construct municipal infrastructure which will also provide benefit to other lands.
 - i. This Agreement shall apply to: offsite transportation infrastructure, offsite water/wastewater infrastructure;



ROCKY VIEW COUNTY

- ii. Cost Recovery Agreement for water servicing infrastructure will be subject to the conditions of the Special Improvement Development Agreement or the Cost Contribution Agreement.
- 10) The Owner is to provide and implement a detailed Stormwater Management Plan. Implementation of the Stormwater Management Plan shall include:
- i. If the recommendations of the Stormwater Management Plan require improvements, then a Development Agreement shall be entered into;
 - ii. Registration of any required easements and / or utility rights of way;
 - iii. Necessary approvals and compensation provided to Alberta Environment for wetland loss and mitigation;
 - iv. Necessary Alberta Environment licensing documentation for the stormwater infrastructure system;
- 11) The Owner shall provide a detailed Erosions and Sediment Control plan, prepared by a qualified professional, in accordance with the County Servicing Standards and best management practices.
- 12) Utility Easements, Agreements and Plans are to be provided and registered to the satisfaction of ATCO Gas.
- 13) The Owner shall comply with ATCO Pipelines requirements, including requiring existing lands rights to be carried forward in kind on all newly created lots and pipeline alteration.
- 14) The Owner shall design a central water fire suppression distribution system including fire hydrants for fire fighting purposes;
- i. Construction of the fire suppression collection system shall be included within the Development Agreement;
- 15) The Owner is to enter in to a Cost Contribution and Capacity Allocation Agreement for the purchase and allocation of water and wastewater capacity (off-site levies) for the parcels created.
- 16) The Owner is to provide detailed construction drawings, based on the potable water servicing study, for a water distribution and fire suppression system (including the registration of necessary easements), connection to the water treatment plant, and service connections to each lot;

Transportation

- 17) The Applicant/Owner shall receive approval for a road naming application from the County.
- 18) The County shall discharge the caveat for the Restrictive Covenant, on roll 04329003 (instrument number 171 069 815), regarding 45m right-of-way setback from future road right-of-way.

Site Construction

- 19) The Owner is to provide a Construction Management Plan which is to include, but not be limited to, noise, sedimentation and erosion control, construction waste management, fire fighting procedures, evacuation plan, hazardous material containment; construction and management details. Specific other requirements include:
- a) Weed management during the construction phases of the project;
 - b) Management and mitigation of environmentally significant features as identified in the approved Biophysical Assessment;



ROCKY VIEW COUNTY

- c) Implementation of the Construction Management Plan recommendations will be ensured through the Development Agreement;

Developability

- 20) The Owner will be required to conduct an onsite geotechnical evaluation, conducted by a qualified geotechnical professional, to assess the onsite subsurface (soil and groundwater) conditions to develop appropriate geotechnical recommendations for the design and construction of the proposed development.
- 21) The Owner shall obtain all Water Act approvals from AEP for the disturbance and loss to the on site wetland areas prior to entering into the Development Agreement with the County.

Municipal Reserves

- 22) The provision of Reserve is to be provided by the dedication of lots 8, 9, 10, and 11, totaling ± 4.03 hectares (± 9.97 acres) of land, to be determined by a Plan of Survey, as indicated on the approved Tentative Plan. Deferred reserve caveat 171 069 816 shall be released, in order to satisfy 6.6318 acres municipal reserves to be provided, pursuant to Section 666 of the Municipal Government Act.

Landscaping

- 23) The Owner is to provide a Landscaping Plan for all Municipal Reserves, and road right of ways in accordance with the South Conrich Conceptual Scheme, Appendix D;
 - i. Development of the approved landscaping plan shall be included within the requirements of the Development Agreement;
- 24) The Owner shall prepare and register a Restrictive Covenant on the title of each new lot created, requiring that each Lot Owner be subject to the development's Architectural Controls, which require exterior building criteria, water conservation strategies, solid waste management, and landscaping maintenance provisions.

Lot Owners Association

- 25) The Owner shall legally establish a Lot Owners Association (LOA), and an encumbrance or instrument shall be concurrently registered against the title of each new lot created, requiring that each individual Lot Owner is a member of the Lot Owner's Association;
 - i. The LOA agreement shall specify the future maintenance obligations of the homeowners association for on-site pathways and community landscaping, solid waste management, stormwater facilities located on private lands, weed control, municipal reserve lands maintenance and operations, and public utility lots;
 - ii. The Owner is to provide and implement a Waste Management Strategy that will outline the responsibility of the Developer and/or Lot Owners Association for management of solid waste.

Architectural Controls

- 26) The Owner shall prepare and register a Restrictive Covenant, to be registered by caveat, on the title of each new lot created, requiring that each lot Owner be subject to the development's Architectural Controls.

Payments and Levies

- 27) The Owner shall pay the Transportation Off-Site Levy in accordance with Bylaw C-8007-2020 prior to entering into the Development Agreement. The County shall calculate the total amount owing;



ROCKY VIEW COUNTY

- i. from the total gross acreage of the Lands to be subdivided as shown on the Plan of Survey
- 28) The Owner shall pay the Wastewater Off-Site Levy in accordance with Bylaw C-8009-2020. The County shall calculate the total amount owing;
 - i. from the total gross acreage of the Lands to be subdivided as shown on the Plan of Survey; minus lands included within Environmental Reserves, Municipal Reserves, and / or road rights of way.
- 29) The Owner shall pay the Stormwater Off-Site Levy in accordance with Bylaw C-8008-2020.
- 30) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of 11 new lots.

Taxes

- 31) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw

File number 04329003,Application Number PL20190021

Sunny Chatha [REDACTED]

Sun 12/29/2019 11:38 AM

To:Oksana Newmen <ONewmen@rockyview.ca>;

To,
The Planning Services Department
Rocky View County

Dear sir/Madam

I have the following concerns regards to this project.

- 1-Water Pressure is very low in this neighbor hood.Additional development will further reduce the pressure
- 2-Cambridge Park BLVD is a very narrow road with no shoulder and vehicles are constantly getting stuck in snow
- 3-concern about 100 street single lane and amount of traffic it has to accommodate with this commercial development.
- 4-Poor signage and lighting at the entrance from 100 street to Cambridge Park BLVD

regards
Daljit Chatha

Planning Services Department. File: 04329003. Application : PL20190021-Redesignation.

Pinka Sandhu [REDACTED]

Tue 1/28/2020 1:56 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Hi , My name is Jatinder Singh Sandhu and live in 28 Abbey Road, Rockyview. AB. I completely Oppose the application for redesignation for above mentioned parcel. Mostly we are concerned about the water requirement of our current Houses. Its pressure is low, Quality is Low and we have complete Ban for outdoor water in Summer Months. When we decided to come to Rockyview, we decided because we were looking for Country living very near to City. but if there is commercial or industrial coming here, it will not be considered Country living. We need our concerns heard first and need their solution.

I completely Oppose the Redesignation .

Regards

Jatinder.
[REDACTED]

Oksana Newmen

From: Michelle Mitton
Sent: Monday, June 08, 2020 7:38 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: gurkaram dhanoa [REDACTED]
Sent: June 5, 2020 10:00 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Dear Sir / Ma'am,

I am a resident of Cambridge Park Estates (144 Park Drive) and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Gurkaramjit Dhanoa
Address:
144 Park Drive
Rockyview

Oksana Newmen

From: Michelle Mitton
Sent: Friday, June 05, 2020 3:15 PM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.SC
 Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
 262075 Rocky View Point | Rocky View County | AB | T4A 0X2
 Phone: 403-520- 1290 |
 MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: [REDACTED]
Sent: June 5, 2020 3:07 PM
To: PAA_LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Jasbir Sohi
 Address: 39 Kings Road, Rockyview County AB, T1Z0A2

Oksana Newmen

From: Michelle Mitton
Sent: Friday, June 05, 2020 12:16 PM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Sikander Dhaliwal [REDACTED]
Sent: June 5, 2020 11:48 AM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hi legislative services,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Regards,

Name: Sikander Dhaliwal

Address: 126 Cambridge Park Way

Oksana Newmen

From: Michelle Mitton
Sent: Friday, June 05, 2020 9:47 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: Parmjit Bains [REDACTED]
Sent: June 4, 2020 9:38 PM
To: PAA_LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Parmjit Bains
2 Woodlock Rd
Rocky View County, AB
T1Z0C1

Sent from my iPhone

Oksana Newmen

From: Michelle Mitton
Sent: Friday, June 05, 2020 9:45 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: jaspal [REDACTED]
Sent: June 4, 2020 8:44 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hello,

I am a resident of Cambridge Park Estates and **OPPOSE** the above-captioned Bylaw's. I **oppose** the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is **INCOMPATIBLE** with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply **INCOMPATIBLE** with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This **INCOMPATIBLE** type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Names:

- Jaspal Singh Toor
- Ravjot Kaur Toor
- Jaskiran Kaur Toor
- Taranveer Singh Toor

Address:155 Cambridge Park Way, Rockyview County, AB T1Z 0A2

Please feel free to contact me if you have any questions in regards to the above.

Thank you!

Jaspal Singh Toor



Oksana Newmen

From: Michelle Mitton
Sent: Friday, June 05, 2020 9:44 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: Sikandar Ali [REDACTED]
Sent: June 4, 2020 7:51 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Hello,

I am a resident of Cambridge Park Estates and **OPPOSE** the C-7959-2019 and C-7957-2019 - File # 04329003 Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Sikandar Ali

Address: 62 Woodlock Road, Rocky View County, T1Z 0C1, Alberta

Oksana Newmen

From: Michelle Mitton
Sent: Friday, June 05, 2020 9:40 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: Gurdip Saini [REDACTED]
Sent: June 4, 2020 6:29 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hi,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Gurdip Singh Saini
6 Mill Bay Conrich, Rocky View County, AB

Oksana Newmen

From: Michelle Mitton
Sent: Friday, June 05, 2020 9:40 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Sam Sidhu [REDACTED]
Sent: June 4, 2020 6:23 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Name: Resham Sidhu

Address: 35 Abbey Road
Rocky View County, AB
T1Z-0A1

I would appreciate it if you could let me know when my email is received.

Thank you

Sam Sidhu,

Cell: [REDACTED]

Oksana Newmen

From: Michelle Mitton
Sent: Wednesday, June 10, 2020 11:11 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - 26 woodlock road

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: . TAHA [REDACTED]
Sent: June 10, 2020 10:18 AM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - 26 woodlock road

Do not open links or attachments unless sender and content are known.

I am the resident of Cambridge Park Estates and **OPPOSE** the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

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[26 Woodlock Rd Rocky View County, AB T1Z 0C1](#)

--

FW: [EXTERNAL] - BYLAW C-7957-2019 and BYLAW C-7959-2019

Michelle Mitton

Wed 6/10/2020 12:16 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

 1 attachment


Rocky View County.pdf;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
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-----Original Message-----

From: Tanis Nicholls-Fleehart 
Sent: Wednesday, June 10, 2020 11:41 AM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7957-2019 and BYLAW C-7959-2019

Do not open links or attachments unless sender and content are known.

Good Morning,

I am emailing in response to a notice of public hearing I received in the mail regarding my neighborhood, Cambridge Park. We strongly oppose both of the proposed bylaws (Bylaw C-7957-2019 - A Bylaw of Rocky View County to Amend Land Use Bylaw C-4841-97 and C-7959-2019 - A Bylaw of Rocky View County to Amend Land Use Bylaw C-4841-97).

Please see the attached letter from myself, Tanis Nicholls and my mother, Vivian Gathercole providing reasons as to why we oppose both of these bylaw amendments.

Tanis Nicholls / Vivian Gathercole
140 Park Drive
Rocky View County, AB
T1Z 0A3

Thank you,
Tanis

Tanis Nicholls


To ,
 Rocky View County,
 262075 Rocky View Point,
 Rocky View County
 Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Dear Sir/Madam,

We are I am a resident of Cambridge Park Estates and *we* **OPPOSE** the above-captioned Bylaw's. I oppose the South Conrich Amendment given that Business – Business Campus Commercial/Industrial designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such Business Commercial development plan to me. We were told that the entire area will be developed as Country Style Residential, Which is why we chose to bring our families to this community.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well as what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Regards,

V. Gathercole

Signatures:

Tanis Nicholls

Name: *Vivian Gathercole*
Tanis Nicholls

Address:
140 Park Drive
Rocky View County, AB
T1Z 0A3

There is presently not enough natural resources (water) for the current neighborhood never mind adding commercial businesses. We also believe commercial businesses will bring crime to our community & transient which will make an unsafe neighborhood.

5/13/2020

File 04329003 Rezoning

Dharminder Premi <dpremi@visionpropos.com>

Tue 2/11/2020 7:49 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

 1 attachment

Screenshot_20200211-194717_WhatsApp.jpg;

Hi Oksana,

Please take a note that I am the resident of Cambridge Park - 67 Abbey Road, Rocky View County.

I am totally against any commercial development next to my property.

The same developer who sold us the lots was promoting country living when we built our house in this community and told us that they will not be bringing any commercial or industrial development.

We are enjoying the country style living close to all amenities and the proposed development will disrupt our lifestyle and we did not sign up for that.

Please see attached what they were promoting on their website.

Please attach this to your file.

Regards,
Dharminder Premi



amarltd.com



DEVELOPER



ABOUT DEVELOPER – AMAR DEVELOPMENTS

Offering the very best
in acreage living.

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Wed 6/10/2020 1:19 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: Kam Sekhon [REDACTED]

Sent: Wednesday, June 10, 2020 12:35 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hello,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaws. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Kamalpreet Sekhon

Address: 160 Cambridge Park Way, Rocky View County, AB T1Z 0A2

Thanks,

Kamalpreet Sekhon

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (Oppose)

Michelle Mitton

Wed 6/10/2020 8:40 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: Kunwer Dhesi [REDACTED]

Sent: June 9, 2020 5:20 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Cc: cambridgeparkrocky@gmail.com

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (Oppose)

Do not open links or attachments unless sender and content are known.

To whom it may concern:

Me and my family are residents of Cambridge Park Estates. We live at 19 Abbey Road. My parents immigrated to this country and have worked very hard for over 40 years to finally be able to build their dream home and live in a country style/estate living. Just like most of our neighbors they came to this country with nothing but the Canadian dream and hope they can build something for their future generations. Like most of our neighbors they have put most of their life savings into purchasing land and building a home in Cambridge Park Estates. They did so because they were sold a dream by Rani Duhra and Amar Developments Ltd. The developer had told us prior to purchasing the land that all phases (including future phase 4) would be residential. They communicated to us that phase 4 would be smaller lots (most likely 0.25acre or smaller lots) and there would be a commercial plaza made at the front of the community (adjacent to Conrich Road) and a future school site. If we were told that phase 4 would be zoned as Business Commercial, we would have never purchased the land here and would have made our home in another community. We would like to oppose the re-zoning of phase 4 to Business Commercial.

Over the years of living in Cambridge Estates, we have gotten to see what Amar Developments are truly about. Shady business practices, ignoring and lying to residents, and putting money over everything else. Looking at the condition they have left previous communities they have developed; one can only hope we don't end up in the same shape. I believe their track record has shown that they will say one thing and execute another, this would be one of the reasons me and my family oppose the rezoning to business commercial. Just as when they had sold

phase 1 and 2 lots, they told all buyers phase 4 would be residential so we would purchase lots. With the re-zoning they very well could say one type of business is coming but once everything is passed, they could turn around and let in a completely different business. Amar Developments has given zero confidence to the residents of Cambridge Estates that their word can be trusted or they are looking out for the resident's best interests. Countless examples can be given if required. They have shown that only one thing matters; money and that is by any means necessary. Even the proposition of re-zoning the land to Business Commercial proves that Amar Developments does not care about their residents, the proposition gives zero benefit to us residents. We are pleading with the officials at Rockyview to not allow this zoning to be changed to business commercial. Save our community from turning into the communities Amar Developments has developed in the past.

We understand that tax revenue is important to Rockyview Municipality and that those tax dollars go a long way to provide Rockyview County to continue to improve the county as a whole. What we don't understand is why a Business Commercial campus would be zoned right behind estate homes? The vision of the entire community should be looked at as a whole, and we believe that the country style residential we now have does not align with the business commercial vision that has been proposed. I can think of no examples of this type of proposed zoning right behind estate style homes. If zoning is going from agriculture to business campus, surely other options that are agriculture right now can be looked at for re-zoning. There must be better options for Rockyview County to place a business campus of this scope. Land that is closer to roads that already have the infrastructure to handle the higher traffic demands, can handle the higher noise pollution, and resulting crime that comes with such a development. Land that can be complimented by the addition of a business campus rather than hindered.

The campus that Amar Developments is proposing does not complement our already existing community and brings no positives to our community, only negatives. Residents that have spent their entire life savings would see property values take a huge hit and homes in the community would not be able to be sold down the road. The residents that live in this community are being punished for believing the vision they were sold by Rani Duhra when they initially bought land here. Is it fair that once we purchased the land, she can completely change the outlook of the community just so she can yield a higher profit on the land? It is a common theme throughout the community that if they had known about the re-zoning prior to purchasing land or a home here, they would not have moved here. Shouldn't a developer be held to some sort of standard that this is how you sold people on initially buying into your community? Now that we are here shouldn't she be upheld to finish that vision that was sold to us? I hold hope that Rockyview Municipality holds her to that standard. Rockyview Municipality has the chance to show this developer that there are standards you must adhere to in Rockyview. Residents of Cambridge Estates should not be penalized for believing the developer when they purchased land/homes from them.

The commercial land in the front of the community has been unable to be developed for years now. Shouldn't the failure of the ability to develop that land be looked at as an example of what could happen with this proposed business campus? What happens to those proposed lots if no one purchases them if approved? What type of businesses would ultimately feel comfortable settling into this proposed business campus? Rani Duhra had said at the open house event that was held in January, that if she would not be able to develop the land into business commercial, she would ultimately sell that land and make it someone else problem. She mentioned that us residents could then go and scuffle with them on the proposed land changes. What type of confidence can we put into the developer to do the right thing if she is so willing to turn her back on the community if she does not get her way? Rani Duhra has proposed a senior living housing as a viable option for one of the lots but the ambulance from Chestermere is only available until 11pm and then comes from Calgary. Family members of those residents would want to be close to amenities such as clothing stores, medical, etc. we have no such things available. They also proposed a party hall, residents would have to put up with loud music, considerable amounts of traffic and alcohol related issues, I again ask how does this complement our community? Any traffic that comes in and out of the community from the back side comes through a road that is already very unsafe, adding more traffic would just make that situation worse.

Having phase 4 as residential would benefit this community and Rockyview County. An increase in population can help support the initial commercial property at the front of the community once developed. Our community can keep the initial vision that we were sold on, and can retain our country style living. A higher population can also help down the road to support commercial real estate that can be opened down the road.

Thank you for your time to hear from the residents of Cambridge Estates.

Regards,

Yadwinder Dhesi

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Mon 6/8/2020 7:44 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Surjit Dhillon [REDACTED]

Sent: June 7, 2020 3:45 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Good afternoon,

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Surjit Dhillon

112 Park Drive

Rocky View County, Alberta T1Z0A4

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Mon 6/8/2020 7:38 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: Manu Sidhu [REDACTED]

Sent: June 6, 2020 4:18 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Sincerely,

Maninder Sidhu

11 Woodlock Rd

Rockyview County AB,

T1Z0C1

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 3:15 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: Iqbal Sidhu [REDACTED]

Sent: June 5, 2020 3:11 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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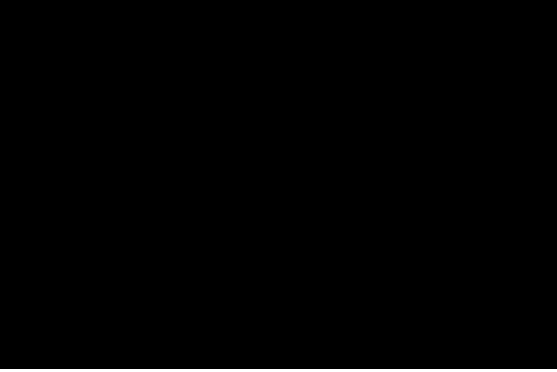
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Iqbal Sidhu

22 Woodlock Rd Rocky View County, AB T1Z 0C1

--

regards,

Iqbal Sidhu

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FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 2:50 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: Darshan Deol [REDACTED]
Sent: June 5, 2020 2:43 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Dear Sir/Madam,

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Commercial development that includes “light industrial” development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well as what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This industrial type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

This will also affect the prices of our homes in which we have built our dream homes. We had always had the intention of living in a country resident community amongst nature. The reason that we moved out of the city is to get away from high traffic and industrial areas. Please understand that we are long time residents who had chosen

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

D-3**Page 48 of 606**

this area to live in based on the friendly quiet country community atmosphere. It is with great regret that we have to send you this email to oppose this development of the industrial neighbouring our homes and community. This will create a long term problem in the communities values, longevity and pollution.

Regards,

Manjit S. Deol
Amarjit K. Deol
18 Mill Bay
Rockyview AB T1Z 0A2

If you have any questions, please call me at [REDACTED]

Thanks!

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 12:16 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

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From: Durlabh Sidhu [REDACTED]

Sent: June 5, 2020 11:41 AM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hello,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Durlabh Sidhu
32 Trinity Rd
Rockyview County, AB

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FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 9:43 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Karmvir Dhaliwa [REDACTED]

Sent: June 4, 2020 7:41 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Dear Sir/Madam,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that Business – Business Campus Commercial/Industrial designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a Business Commercial development plan to me. We were told that the entire area will be developed as Country Style Residential, Which is why we chose to bring our families to this community.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well as what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Regards,

Malkit Singh Dhaliwal

Harvinder Kaur Dhaliwal

Karmvir Singh Dhaliwal

Punamjit Kaur Dhaliwal

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 9:42 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: gurpyar bains [REDACTED]
Sent: June 4, 2020 7:38 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

To whom it may concern,

RE: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (opposes)

We are current residents of Cambridge Park Estates and OPPOSE the above-captioned Bylaws. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to us - as we met on a few occasions to sign and confirm our purchase of our lot and approval of our home design. You would think this plan would be a necessary disclosure at purchase time.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic, and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Thank you for your time and consideration.

Sincerely,

Makhan Singh Bains, Harswinder Kaur Bains, Gurpyar Singh Bains, & Akalsaajan Singh Bains

Address: 30 Woodlock Road, Rocky View County

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Thu 6/4/2020 3:39 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Paramjit Ruprai [REDACTED]

Sent: June 4, 2020 3:33 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hi,

I am a resident of Cambridge Park Estates - **PHASE 3** and **OPPOSE** the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

We were clearly told that there will be more residential coming behind us when the lot was sold to us.

Name: Paramjit Ruprai

Address: 78 Wood Lock Road, Rocky View County

6/10/2020

--

Regards,

Pammi Ruprai



File# 04329003 application # PL20190021 Redesignation PL20190089-SUB

Ms P. Sharma [REDACTED]

Tue 1/28/2020 6:50 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Hello,

I am writing this email on behalf of myself and the rest of my family residing at 92 Park Drive, Rockyview County AB T1Z 0A4.

We are requesting to please take into consideration our request to NOT move ahead with the development of the any potential commercial development in our area. This will affect our daily lifestyle such as causing more traffic volume, pollution and the luxury of living in a small community.

We hope you take our request seriously and really reconsider any commercial development.

Should you have any comments or request further information please do not hesitate to contact us.

Thank you

Mohinder More

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FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Thu 6/4/2020 12:09 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Yogesh Patel [REDACTED]

Sent: June 4, 2020 12:06 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta
Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Hi Legislative Services,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes “light industrial” development is simply
INCOMPATIBLE

with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion.

This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Regards,
Yogesh Patel
57 Park Drive
Rocky View, Alberta
T1Z 0A3

Oksana Newmen

From: Michelle Mitton
Sent: Thursday, June 04, 2020 7:36 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 AND BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Gurpreet Maan [REDACTED]
Sent: June 3, 2020 9:30 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 AND BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, 'Amar Developments' had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE

type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Thank you for your attention on this matter.

Gurpreet Maan

58 Woodlock Rd, Rockyview County , T1Z0C1

Oksana Newmen

From: Michelle Mitton
Sent: Wednesday, June 03, 2020 2:30 PM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Sandeep Sharma [REDACTED]
Sent: June 3, 2020 1:54 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion.

This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Sandeep & Charanjit & Paramjit Sharma
 Address: 222 Milton Road Rocky View County AB
 T1Z 0B8

Phase 4 Opposition - Email Response before June10 -4:30PM

Please note that there are two separate By Laws for the hearing on 23rd June. One is Re-designation of land from Farm to B-BC and second to divide in parcels, so we need to send our opposition for both via E-Mail or Fax or Letter.

If you BCC: Cambridgeparkrocky@gmail.com we will know you have sent the email and update our list as completed.

If you have already sent email please let us know at Cambridgeparkrocky@gmail.com

It is important we keep log of Opposition emails sent because there could be false emails sent by the developer.

Please also make sure you get a response back from Rocky View that they have received your submission. If you do not get a response back you may have to resend the email.

The template below will provide guideline on the opposition email to be sent . You are welcome to write your own specific concerns if you like. If you agree with the template you can just copy paste and send it from your email address.

Send email to legislativeservices@rockyview.ca and reference both by laws in the subject line:

Subject: **BYLAW C-7959-2019 and BYLAW C-7957-2019 - (OPPOSE)**

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (business – business campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that may even include "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of residents and home property values of the existing residents.

Name: Paramjit Doad

Address: 42 Park Drive Rocky View County AB T1Z 0A4

File # 04329003, application # PL20190021-Redesignation,
PL20190089-Subdivision, PL20190153-Conceptual scheme

Surjit Dhillon [REDACTED]

Tue 1/28/2020 7:46 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

We are living at 112 Park Dr, Rocky View No. 44, AB T1Z 0A4. In the new development in the phase IV, we don't want any commercial development. Because this will affect our daily routine in many ways like pollution, noise, traffic etc. We request to not go ahead with any commercial development in phase IV.
hoping for a positive response.

Thanks and regards.

Suriit S Dhillon
[REDACTED]

5/13/2020

PL20190021 Redesignation phase 4

Full Name 

Tue 1/28/2020 10:09 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Hello,

Attention: Planning Service Department

File: 04329003

Application: PL20190021 - Re-designation of phase 4

I am writing this email in concern when we learn that developer has filed application to re-designation of zoning of phase 4 to industrial commercial business development, which bring our property value down and also it will bring high traffic, crime, noise pollution and other unwanted think which you will get in business center.

When we built our home in this community, because it is quite and country style living which was promoted by the Area builder. We are against any industrial and commercial development in phase 4.

thanks you for your time.

Parminder Chera

Planning Services Dept - File 04329003 Application PL 20190021-Re-designation

Kanwal Sangha [REDACTED]

Wed 1/29/2020 10:49 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Hello Rocky View Planning Dept.

Our community focus is to help make the Cambridge Park a great place to live, Part of making Conrich better community is planned growth. The Cambridge Park residents want the community to grow and thrive, we just want it to be done in a way that protects our community, our environment and our quality of life.

We are concerned with the proposed commercial development along 100 Street. The infrastructure of the area does not have the capacity to handle a significant increase in traffic. There is concern with the value of the residential property surrounding the development dropping dramatically. We are asking the Rocky View county council to take into account the concerns of the residents of Cambridge Park.

Thanks,
Kanwal Sangha,
14 Woodlock Road
Rocky View County
[REDACTED]

5/13/2020

file number 04329003

[REDACTED]

Wed 1/29/2020 11:32 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Cc: amandeep arora [REDACTED]

We are against the the commercial development proposed by Amar developments in conrich , close to phase 3

It's too close to residential area.

She sold the country , estate lots at much premium

Please make sure to attach to file number 04329003

Thanks

Aman arora

17 pound place

Rockyview

Sent from my iPhone

Oksana Newmen

From: Michelle Mitton
Sent: Friday, June 05, 2020 12:15 PM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: [REDACTED]
Sent: June 5, 2020 11:39 AM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Cc: Cambridgeparkrocky@gmail.com
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates, 17 Pound place and OPPOSE the above-captioned Bylaw's.

I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area.

In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Aman arora
17 pound place

Sent from my iPhone

5/13/2020

Att'n Planning Services

R Sidhu [REDACTED]

Wed 1/29/2020 6:58 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Dept File: 04329003
Application: PL20190021
Redesignation

To whom it may concern,

We built our home in the community to live in country style environment aside from the city life, which was promoted by the developer. Industrial and commercial building will change that living lifestyle. Bringing in lots of traffic, noise and crime in the area. We are not in favour of this development close to our home.

Thanks
Resham Sidhu
20 Trinity Rd Residences

5/13/2020

File Number- 04329003

baljeet minhas [REDACTED]

Wed 1/29/2020 9:56 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Hello,

I am sending this email in regards to the commercial area being built right behind my house. I currently live in Conrich and previously lived in an urban area and the only reason I moved into Rockyview was because of the appeal of acreage living. I am emailing to oppose the development because this will cause an increase in traffic, crime, and noise. There has been a significant amount of crime in Conrich already due to people coming into the community that do not live here. The sole reason I moved here was to enjoy the country style living and having a commercial setup will depreciate the value of my house. I truly hope my concerns will be taken into consideration and have value.

Thanks,
Baljeet Minhas
86 Woodlock Road, Conrich
[REDACTED]

5/13/2020

File Number- 04329003

jaswinder minhas [REDACTED]

Wed 1/29/2020 9:59 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Hello,

I am sending this email in regards to the commercial area being built right behind my house. I currently live in Conrich and previously lived in an urban area and the only reason I moved into Rockyview was because of the appeal of acreage living. I am emailing to oppose the development because this will cause an increase in traffic, crime, and noise. There has been a significant amount of crime in Conrich already due to people coming into the community that do not live here. The sole reason I moved here was to enjoy the country style living and having a commercial setup will depreciate the value of my house. I truly hope my concerns will be taken into consideration and have value.

Thanks,
Jaswinder Minhas
86 Woodlock Road, Conrich
[REDACTED]

Attention: Planning Services Department, File:04329003. Application: PL20190021-Redesignation

manjit Banwait [REDACTED]

Thu 1/30/2020 5:39 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Good Evening,

This is Manjit Banwait, residing at 63 Abbey Road Conrich Rocky View County. The reason for my email is regarding the concern of land use between 100 St and phase 3. The developers want to use the land for commercial purposes; however, that brings many safety concerns for the residents of Conrich. When selling the property, the developers promised a country style set up not an industrial commercial and business set up. By allowing this action to be performed, there will be a decrease in value of our houses while increase in noise and rush. Along with that, families currently residing in phase 3 were told about the easy access to 100 St, which was a great selling point. If there were plans on using the extra land for commercial use, the developers should have mentioned this prior which they did not. I am opposing this commercial-industrial construction. This area should be strictly residential.

Kind Regards,
Manjit Banwait
[REDACTED]

5/13/2020

Attention: Planning Services Department, File: 04329003, Application: PL20190021- Redesignation

Pravin Nathvani [REDACTED]

Sat 1/4/2020 9:48 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Dear Oksana, Hope all is well.

My name is Pravin Nathvani and living at 13, Park Drive, Rocky View County, Alberta, T1Z 0A3. This email is regarding re-designation application PL20190021- Redesignation has been submitted. I like to submit two concerns as below:

(1) Drinking water issue: For Cambridge Park, water service is managed by community developer through water wells. I am moved here four years ago and every year we get complete restriction during summer on outdoor watering. Few odd years is always expected in outdoor water use even in Calgary city when less snow/rain. However in Cambridge Park, it was continuous fourth year we have total restriction of watering even with hand held hose. Rocky View Utility has sent notice several times with monthly bills but it was not mentioned any reason for restriction and tentative restriction lifting time. Last summer, it was record rain it was water shortage. Adding new user on same water resources will make condition worse.

We have noticed that drinking water provided at Cambridge Park is much more lower standard than expected. Even without laboratory test, it can easily be noticeable by its appearance, test and smell. Of course we can not expect water quality compared to Calgary city that has surface water as source and Cambridge Park has ground water as source. I have talked with many people in Cambridge Park and everyone that I have talked are agree on this subject.

During Conrich development open house held during last summer, I learn from Rocky View County engineer that water well level is extremely low and that is the reason outdoor water restriction is there. If this is the situation every year, then what is plan for future? Developer is still selling the lots in Cambridge Park and building new houses and consumption will increase for sure. Cambridge Park housing owners will be left on mercy of developer? Conrich development plan has option to join Bow river water corridor service pipeline, but current water service provider is thinking for it or not? What is time frame to bring solutions for this shortage and water quality and consider future growth of community. Development of above application must be allowed only after joining Bow river water corridor by developer.

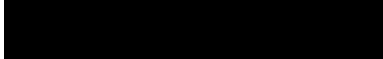
(2) Access Road from Garden Road (REG-RD-285): At present access road for Cambridge Park from Garden Road (REG-RD-285) is already very narrow and winding for two way traffic for current residence. Adding commercial traffic and heavy trucks will make this narrow two way road very unsafe for residence. During night time dark, winter snow blowing condition, current road itself is challenge. Mix of commercial and residential traffic should not be allowed on current road. Commercial development must be allowed if developer is constructing separate roads for it.

If above two concerns are not addressed, then re-designation application must be rejected.

Thanks & regards,

Pravin Nathvani
[REDACTED]

ATT: Oksana Newmen File 04329003

jarnail kalsi 

Thu 2/13/2020 12:02 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

I would like to pass my views about planning PL20190021 -redesignation that I OPPOSE The new commercial development in conrich area.Its not gonna be safe our children , noise pollution , traffic etc are the few factors which will gonna effect country side living ,if commercial development started here . On the countrary there is no park in phase 3 and one (Phase 1-2) we have might be worse park in whole rockyview county , come an visit see .Plesae develop some sport facility or grounds in the area. Thanks for your consideration.

Regards

JARNAIL KALSI

73 Penny Ln Rockyview



SAGE Properties Corp.
Suite 115 1925 – 18 Ave. NE
Calgary, AB T2E 7T8

March 5, 2020

Plan Numbers: PL20190453; PL20190021; PL20190089
File number: 04329003

Legislative Services
Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

**Re: Support for Division 5 – South Conrich Conceptual Scheme ("SCCS") Appendix:
Cell D**

To Whom It May Concern:

On behalf of Sage Properties Corp. ("**Sage**"), please accept this letter **in full support of the Conceptual Land Use Plan proposed in the SCCS Appendix: Cell D ("Cell D land use plan")** submitted by Amar Development Ltd. and approved by Rocky View County ("**RVC**") Council at first reading on November 26, 2019.

Background

Sage is an owner of properties on the Prince of Peace Development Site which is located at the south-east corner at the intersection of Highway 1 and Garden Road NE (approximately 1 km east of Calgary city limits). This development includes the following properties owned by Sage:

- 159 senior care assisted living units (Prince of Peace Manor)
- 32 senior memory care units (Prince of Peace Harbour)
- Prince of Peace School (operated by Rocky View School Division).

Sage represents over 1000 shareholders, many of whom are elderly and many of whom have their life savings tied up in the Sage properties, due to the bankruptcy of the Lutheran Church of Canada ABC District Church Extension Fund in 2015.



SAGE Properties Corp.
Suite 115 1925 – 18 Ave. NE
Calgary, AB T2E 7T8

Support for the Cell D Land Use Plan

The Cell D land use plan contemplates construction of a potable water supply pipeline to connect to regional utility servicing systems within District 5 of RVC as outlined in the proposed Servicing Infrastructure policy 9.0.1 through 9.0.8. **This policy represents an opportunity for Sage to source a permanent, affordable water supply for the residents of the Prince of Peace Development through the participation in the required infrastructure upgrades proposed as part of the land use plan.**

The Prince of Peace Development is currently serviced on a water system that is operated by Sage. At present, Sage has potable water trucked in to refill the on-site water reservoir multiple times per day at a significant cost. Sourcing water to the site by way of connecting to a regional water supply pipeline would provide a cost-effective and secure water source to the residents and staff of the senior living facilities, students and staff of the school and residents of the Village (or approx. 1,000 residents, students and staff).

In conclusion, the Management and the Board of Directors of Sage strongly support the proposed Cell D land use plan. We are excited to see the development proceed and look forward to the mutual benefit the SCCS Appendix: Cell D plan presents to Sage and others in this area of the County.

Sincerely yours,

A handwritten signature in blue ink, appearing to read "Erin Leson".

Erin Leson, CPA CA
CFO, COO
Sage Properties Corp.

A handwritten signature in blue ink, appearing to read "Sandra Jory".

Sandra Jory, CPA CA
Chair of the Board
Sage Properties Corp.

5/28/2020

FW: [EXTERNAL] - C-7957-2019 OPPOSE

Michelle Mitton

Thu 5/28/2020 2:55 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Ninder Toor [REDACTED]**Sent:** May 28, 2020 1:27 PM**To:** PAA_ LegislativeServices <legislativeservices@rockyview.ca>**Subject:** [EXTERNAL] - C-7957-2019 OPPOSE

Do not open links or attachments unless sender and content are known.

To whom it may concern,

I am a residence of Cambridge park and I am writing this letter to strongly OPPOSE application number PL20190153(04329003) under Bylaw C-7957-2019.

I have few concerns as follows with this development.

1. I moved from Calgary dense residence area to live in quite country style Cambridge park area not a commercial / residential settlement
2. I live in phase 3 of Cambridge park and purposed development will be right in my backyard and that will put lot of unwanted problems such as
 - 2.1 noise from commercials operations
 - 2.2 increased traffic from commercial
 - 2.3 risk of increased crime in area due to so close to residence
 - 2.4 roads in the area not supportive to any more increased traffic since we have witness various vehicle accidents at the entrance of proposed application.
3. we were not made aware of any commercial development coming in our backyard at the time we were sold lots by developer
4. shortage of water in PHASE 1,2 AND 3 of Cambridge park is a ongoing issue. we get water ban in place year round.

we are against any new development until our area is hooked with Rockyview water line. water line should be hooked up before any application should be taken for new develoment

5. currently its used as farmland and should be left as it is

6. once again I am strongly against any commercial or industrial development in above noted bylaw C-7957-2019

5/28/2020

APPENDIX 'C': LANDOWNER COMMENTS

FW: [EXTERNAL] - C-7957-2019 OPPOSE - Oksana Newmen

D-3

Page 76 of 606

Narinder Toor / Harjit Toor
138 TRINITY ROAD
ROCKY VIEW COUNTY
AB T1Z0B9

--

Thanks
Narinder Toor

6/1/2020

FW: [EXTERNAL] - Bylaw C-7959-2019 (Oppose)

Michelle Mitton

Fri 5/29/2020 7:44 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: Parm Toor [REDACTED]**Sent:** May 28, 2020 3:26 PM**To:** PAA_ LegislativeServices <legislativeservices@rockyview.ca>**Subject:** [EXTERNAL] - Bylaw C-7959-2019 (Oppose)

Do not open links or attachments unless sender and content are known.

To whom it may concern,

I am writing this email to strongly OPPOSE application number PL20190153(04329003) under Bylaw C-7959-2019.

My concurs as follow:

I moved from Calgary dense residence area to live in quite country style living, which was selling point of developer when we bought the land.

I live in phase three of Cambridge park and purposed development will be right in my backyard. We all know as any commercial development does, that brings whole lot of issues along with it.
such as increased noises form commercial industry and traffic. Increase in crime and unwanted risk to families and walking children.

We are under year around water ban since we have moved here and adding commercial will not help with it at all.

Rocky View is a county that offers county living, we should not be forced to except condense residential/commercial living like city of Calgary.

My house is one of the first coming into Conrich from 100 street. I have witness most of the people using this road to get in and out of Conrich,
due to 100 street having major controlled intersection to major roads Mcknight on north and Trans Canada Hiway on south.

6/1/2020

after talking to most of my neighbours in the area it is clear majority does not want commercial development in phase four.
I am strongly urging council to reject any commercial or industrial development in above noted bylaw C-7959-2019.

Best regards,

Parminder Toor / Ravneet Toor

142 Trinity Road
Rocky View County, AB
T1Z 0B9

6/2/2020

FW: [EXTERNAL] - Bylaw C-7959-2019 and Bylaw C-7957-2019 (O... - Oksana Newmen

FW: [EXTERNAL] - Bylaw C-7959-2019 and Bylaw C-7957-2019 (Oppose)

Michelle Mitton

Tue 6/2/2020 8:32 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Rupinder Chahal [REDACTED]

Sent: June 1, 2020 8:51 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - Bylaw C-7959-2019 and Bylaw C-7957-2019 (Oppose)

Do not open links or attachments unless sender and content are known.

To whom it may concern,

As a resident of Cambridge Park Phase 3, I am writing this email opposing application # PL20190021 (04329003) under Bylaw C-7959-2019 and application number PL20190153(04329003) under Bylaw C-7957-2019. I have outlined some of my concerns below.

- I chose to reside in Cambridge due to it being a quiet and country-style neighborhood, not a commercial settlement.

- During the initial buying process, the developer did not make us aware of any commercial development in the future, even though they were already aware that development was going to occur
- The proposed development is very close to my house thus it will result in increased noise, traffic, and crime.
- The roads in the area are not suitable for increased traffic, as there is already a problem with the current number of residents and is a highly narrow road.
- The land is currently being used as farmland, moving forward that would be the best for the current residents of Cambridge Park to reflect country living.

6/2/2020

FW: [EXTERNAL] - Bylaw C-7959-2019 and Bylaw C-7957-2019 (O... - Oksana Newmen

- Due to the yearly water ban, residents such as myself are against any new development in the area until our area is properly supplied with clean and sustainable water.

- There was \$3000 of sod that my contractor was supposed to lay however the water ban resulted in the sod getting damaged and needed replacement. This is an issue that many other residents faced on my block.

To reiterate, I strongly oppose any commercial or industrial development noted by bylaw C-7959-2019 and Bylaw C-7957-2019.

Regards,

Himmat and Rupinder Chahal

A resident of 134 Trinity Road, Rocky View County

6/3/2020

FW: [EXTERNAL] - OPPOSE , BYLAW C-7959-2019 and BYLAW C-79... - Oksana Newmen

FW: [EXTERNAL] - OPPOSE , BYLAW C-7959-2019 and BYLAW C-7957-2019 , APP # PL 20190021(04329003) & APP # PL20190153(04329003) OPPOSE.

Michelle Mitton

Wed 6/3/2020 7:59 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: Pinka Sandhu [REDACTED]

Sent: June 3, 2020 1:08 AM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Cc: Cambridge Park <cambridgeparkrocky@gmail.com>

Subject: [EXTERNAL] - OPPOSE , BYLAW C-7959-2019 and BYLAW C-7957-2019 , APP # PL 20190021(04329003) & APP # PL20190153(04329003) OPPOSE.

Do not open links or attachments unless sender and content are known.

Hi, My name is Jatinder Singh Sandhu, a resident of 28 Abbey Road, Rockyview, AB. (Cambridge Park). I strongly OPPOSE any commercial and industrial development as per application # PL20190021(04329003) under Bylaw C-7959-2019 and application # PL20190153(04329003) under Bylaw C-7957-2019.

The reasons for the opposition are below.

- I bought my Lot from Amar Developments in 2014, and I decided to spend over 1.5 Million dollars on my house because of the quite lovely acreage type setup of this community. The developer told me that whole community is surrounded by residential including Phase 4. The developer is now changing it to commercial/Industrial without any consent or information to current residents. Business/Industrial is entirely INCOMPATIBLE for the setup of this community. We feel like Cheated by Developer.

- I am in the Trucking Industry and have excellent knowledge of industrial / warehouses. None of this kind of business or industry will come here for the next 10-15 years because it is not close to the Foothills Industrial area nor our Future Balzac Business campus. This land will only be used for Truck yard / Junkyard /Dump Truck parking ETC.

- This Phase 4 is Entrance to our Community, and There is no such community in Rockyview where people cross the Industrial / Business campus or junk / Truck yard to go to their million-dollar houses. No one

will ever like Garbage/ junk at the Entrance of their house or community. It must be a beautiful park/Community Hall or even friendly residential but not Industrial/Commercial.

· After I started living here since Jan 2016, I realized that This developer has always cheated the whole community. If we google the developer's names, we will find even more discomfiting information. Home Owners Association is in developers' home with all the family members on positions, and it was not transferred to the community even when over 95 % of houses were occupied a long time ago. No AGM of HOA since 2009 has ever happened. People are tired of asking about Financials and HOA paperwork but never provided to anyone. Water Ban is continuously ON since I moved here. Water Quality is deficient and was promised by the developer that Rockyview potable water will be connected but still waiting. So, now the Developers plan to bring this new commercial/ Industrial in our Front entrance and backyard of some houses.

Our whole community, with 95% of the public are on one side and STRONGLY OPPOSE this application. We all love Rockyview County for living and paying substantial property Taxes for our big houses. We need your help to save our millions of Dollars spent on houses. If Commercial/ Industrial is coming at the Entrance in Phase 4, it will reduce the beautification of this community and Prices of houses will go down, so the property taxes will go down too. Not sure why there is the urgency of the hearing in this COVID situation. The whole community wants to say something in the hearing. I humbly request to rethink and either cancel the request for rezoning to Commercial/ Industrial or postpone the hearing until COVID is gone so that the whole community can come and put their concerns in front of our respectable council, which will help you to make the right decision.

Regards

Jatinder and Ravinder Sandhu

28, Abbey Road, Rockyview, AB. T1Z-0A1. [REDACTED]

FW: [EXTERNAL] - BYLAW C- 7959-2019 AND BYLAW C-7957-2019 (OPPOSE)

Michelle Mitton

Wed 6/3/2020 8:00 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: [REDACTED]
Sent: June 3, 2020 6:06 AM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C- 7959-2019 AND BYLAW C-7957-2019 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hi there,

I'm a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw. I'm opposing the South Conrich Amendment given that a "B-BC" (business – business campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. When I bought my land here from Amar Development, they said all these phases including phase 4 will be all residential. I build my home thinking there will be no commercial development in the Cambridgepark in all phases. If this goes ahead, I will be faced with increased traffic, my house value will go down, will increase crime in the area, and we are already facing water issues in the other three phases where developer hasn't rectified the problems to date. Developer also using scare tactics to get this approval, for example, shutting down access from 100 St into Cambridgepark and telling residents no RVC Co-op water connection if we don't vote in favor of this amendment.

I totally oppose this amendment. I will be in favor of additional residential development in phase 4.

if any questions, please do contact me at [REDACTED]

Thank you

Baljinder Dhaliwal
37 Pound Place
Rockyview County, AB

6/10/2020

FW: [EXTERNAL] - Bylaw c-7959-2019 and bylaw c-7957-2019 (o... - Oksana Newmen

FW: [EXTERNAL] - Bylaw c-7959-2019 and bylaw c-7957-2019 (oppose)

Michelle Mitton

Tue 6/2/2020 8:32 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: Dilpreet Sidhu [REDACTED]
Sent: June 1, 2020 8:44 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - Bylaw c-7959-2019 and bylaw c-7957-2019 (oppose)

Do not open links or attachments unless sender and content are known.

To whom it may concern,

I am writing this email as a resident of Cambridge park Phase 3 to strongly oppose any commercial and industrial development as outlined in application number PL20190021 (04329003) under Bylaw C-7959-2019 and application number PL20190153 (04329003) under Bylaw C-7957-2019. I have listed some of my concerns regarding this below.

Cambridge Park appealed to me since it was a country-style neighborhood HOWEVER the developer did not make us aware of any commercial development during the buying process. This new development is occurring at the entrance to my neighborhood and will bring in unwarranted noise, crime, and traffic. I moved away from the city and spent a substantial amount of money on a house just so that my child could be raised in a peaceful area, and this proposed development will result in just the opposite. The area in which the development is proposed is not suitable for the increased traffic that it will bring in.

In addition to this, the shortage of water in Cambridge Park raises a lot of concerns. The yearly water ban suggests that any new development in the area should be delayed until Phase 3 is hooked up proper water line. For me, the water ban resulted in \$3000 of sod to dry up and it had to be thrown away as it was no longer recoverable. I sincerely hope that Rocky View County takes my opinion into consideration when making a decision.

Sincerely,

Dilpreet Sidhu and Kuljinder Sidhu
A resident of 130 Trinity Road, Rocky View County

6/10/2020

FW: [EXTERNAL] - Bylaw C-7959-2019 & Bylaw C-7957-2019 (Opp... - Oksana Newmen

Page 86 of 606

FW: [EXTERNAL] - Bylaw C-7959-2019 & Bylaw C-7957-2019 (Oppose)

Michelle Mitton

Wed 6/3/2020 7:59 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: Parminder Sandhu [REDACTED]
Sent: June 2, 2020 11:23 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - Bylaw C-7959-2019 & Bylaw C-7957-2019 (Oppose)

Do not open links or attachments unless sender and content are known.

I, Parminder Sandhu, a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw. I oppose the South Conrich Amendment given that a "B-BC" (business – business campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. Commercial development that may even include potential "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by the developer, Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current home property values of the existing residents.

Also it is not at all needed at this time and not even in the near future as there's already 3 acres of commercial parcel is sitting vacant on the east entrance of the community for the last 10 years due to the lack of demand.

Also our developer promised residential in phase 4 at the time of selling the current houses to us and now she suddenly changed her mind.

Her integrity is already at the stake for so many fraudulent claims and charges against her.

I strongly oppose any commercial development of phase 4 in my neighbourhood.

Thanks

Parminder Sandhu
24 Abbey Rd.
Rockyview County.

Sent from my iPhone

6/10/2020

FW: [EXTERNAL] - Subject: *BYLAW C-7959-2019 and BYLAW C-79... - Oksana Newmen

Page 87 of 606

FW: [EXTERNAL] - Subject: *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Michelle Mitton

Wed 6/3/2020 4:08 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Baljit Minhas [REDACTED]

Sent: June 3, 2020 4:01 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - Subject: *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Do not open links or attachments unless sender and content are known.

To whom it may concern

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Baljit Minhas

Address: 31 St. John's place

Ricky view county

T1z 0A5,

[EXTERNAL] - BYLAW-C7957-2019 Opposition for File: 04329003, Application: PL20190153

Noman Sikandar [REDACTED]

Fri 5/29/2020 4:19 PM

To: Oksana Newmen <ONewmen@rockyview.ca>; Public Hearings <PublicHearings@rockyview.ca>;

Do not open links or attachments unless sender and content are known.

Hello,

I am writing this email to express my concerns regarding the new Redesignation application submitted to Rocky View County for the land just behind my property (62 Woodlock Road, Rocky View / lot 18 block 8, Plan 1710761, NW-29-24-28-04).

We build this house far from the city to live country style living without worrying about the traffic or noise issues we had in the Calgary area, we have kids and we moved here so they can freely enjoy outside time but proposed plan in File: 04329003, Application: PL20190153- Redesignation include road just behind my house which will cause huge safety issue for our kids and other family member,

If Rocky View approved this industrial or business development not only it will be people safety issue but also will impact our lifestyle due to heavy commercial traffic and noise.

I strongly oppose any industrial/business development for this area. I would really appreciate if you can keep all safety of neighbor and community while making any decisions for this area.

Kind Regards
Noman Sikandar
[REDACTED]

5/13/2020

Attention: Planning Services Department, File: 04329003, Ap... - Oksana Newmen

Attention: Planning Services Department, File: 04329003, Application: PL20190021- Redesignation.

Noman Sikandar [REDACTED]

Tue 1/28/2020 9:53 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Hello,

I am writing this email to express my concerns regarding the new Redesignation application submitted to Rocky View County for the land just behind my property (62 Woodlock Road, Rocky View / lot 18 block 8, Plan 1710761, NW-29-24-28-04).

We build this house far from the city to live country style living without worrying about the traffic or noise issues we had in the Calgary area, we have kids and we moved here so they can freely enjoy outside time but proposed plan in File: 04329003, Application: PL20190021- Redesignation include road just behind my house which will cause huge safety issue for our kids and other family member.

If Rocky View approved this industrial or business development not only it will be people safety issue but also will impact our lifestyle due to heavy commercial traffic and noise.

I strongly oppose any industrial/business development for this area. I would really appreciate if you can keep all safety of neighbor and community while making any decisions for this area.

Kind Regards
Noman Sikandar
[REDACTED]

Oksana Newmen

From: Michelle Mitton
Sent: Friday, June 05, 2020 9:44 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Noman Sikandar [REDACTED]
Sent: June 4, 2020 7:45 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>; Oksana Newmen <ONewmen@rockyview.ca>; Public Hearings <PublicHearings@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hello

I am a resident of Cambridge Park Estates and OPPOSE oppose the South Conrich Amendment given that a “B-BC” (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a “B-BC” designation to me.

Commercial development that includes “light industrial” development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion.

We build this house far from the city to live country style living without worrying about the traffic or noise issues we had in the Calgary area, we have kids and we moved here so they can freely enjoy outside time but proposed plan in File: 04329003, Application: PL20190153- Redesignation include road just behind my house which will cause huge safety issue for our kids and other family member,

If Rocky View approved this industrial or business development not only it will be people safety issue but also will impact our lifestyle due to heavy commercial traffic and noise.

I strongly oppose any industrial/business development for this area. I would really appreciate if you can keep all safety of neighbor and community while making any decisions for this area.

This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Noman Sikandar

Address: 62 Woodlock Road, Rocky View No. 44, AB, Canada T1Z 0C1

6/10/2020

FW: [EXTERNAL] - Bylaw C7957-2019 and C 7959-2019

Michelle Mitton

Thu 6/4/2020 7:33 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: Inderjit Bajwa [REDACTED]

Sent: June 3, 2020 6:27 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>; PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - Bylaw C7957-2019 and C 7959-2019

Do not open links or attachments unless sender and content are known.

To whom it may concern,

I hope this email finds you well. I am a current member of the Cambridge Park community, and I am emailing you regarding how I STRONGLY OPPOSE new bylaws that have been put in place for my community. I am referring to bylaws C-7959 2019 and C-7957 2019, which were made with the intention of creating an industrial phase in Cambridge Park. I made the decision to move here because I saw Cambridge Park as a place where I could build my dream house and live in peace, away from Calgary's crowded urban areas. However, the proposed industrial phase would cause new businesses to open in Cambridge Park, which would cause an increase in traffic, pollution, and crime, among other things. Firstly, there would be an increase in consumer traffic, which would slow down the commuting residents that live here, and there would be added noise pollution, both of which would cause much disruption in the community's peace. Then, the increase in businesses could cause an influx of crime in our community revolving around those businesses, something that is also not wanted. When I bought the land, I was made the promise that I would live in a purely residential area, and there was no indication from Amar Developments that said otherwise, something that ended up being a lie. Because of these reasons, I feel that the new industrial phase would harm our residents greatly, and I hope that Rocky View takes action to strike it down.

6/10/2020

Sincerely,
Name Inderjit Singh

Address . 73 woodlock rd

FW: [EXTERNAL] - BYLAW C-7959-2019 AND BYLAW C-7957-2019 - (OPPOSE!)

Michelle Mitton

Thu 6/4/2020 7:33 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: surinderpal kehal [REDACTED]

Sent: June 3, 2020 7:19 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 AND BYLAW C-7957-2019 - (OPPOSE!)

Do not open links or attachments unless sender and content are known.

To whom it may concern,

I am a resident of Cambridge Park Estates and I **STRONGLY OPPOSE** the aforementioned bylaw's. I oppose the South-Conrich Amendment given that a "B-BC" (business - business campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates ALONG WITH the immediate surrounding area. Most of the families in this area and the immediate surrounding area are mature families and the aforementioned bylaw's are **not** in-line with our values or our interests. IN FACT, Amar Developments had never previously communicated their intention to develop such a b-bc designation to me, otherwise I would not have spent \$1,2 million building my home in this community.

Commercial development that may include "light industrial" development is INCOMPATIBLE with the longstanding vision - which has been outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments - of what this community was to be now and upon its completion. this **COMPLETELY INCOMPATIBLE** (I cannot stress this point ENOUGH!) type of development will bring unwanted and unexpected noise, pollution, and traffic. This will not only disturb the current residents, but also potentially have a negative impact on the current lifestyle of residents and home property values of the existing residents.

I am aware of what benefits come from a "B-BC" development for Amar Developments, however, the interests of the residents of Cambridge Park Estates and its neighbouring communities must also be taken into consideration. This is what is fair and just.

Thank you for your time,

Surinderpal Kehal
6 Woodlock Road Rocky View County, T1Z 0C1

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 AND BYLAW C-7957-2019 - ... - Oksana Newmen

Page 96 of 606

FW: [EXTERNAL] - BYLAW C-7959-2019 AND BYLAW C-7957-2019 - (OPPOSE)

Michelle Mitton

Thu 6/4/2020 7:33 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: Amrit Kaur [REDACTED]

Sent: June 3, 2020 7:59 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 AND BYLAW C-7957-2019 - (OPPOSE)

Do not open links or attachments unless sender and content are known.

To Whom it May Concern,

I am a resident of Cambridge Park Estates and I OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (business - business campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that may even include "light industrial" development is simply INCOMPATIBLE with the longstanding vision - as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments - of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of residents and home property values of the existing residents.

Thank you for your attention to this matter,

Balwinder Singh Rajasansi

9 Pound Place

6/10/2020

FW: [EXTERNAL] - Opposition to BYLAW C-7959-2019

Michelle Mitton

Thu 6/4/2020 7:35 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: Amandeep Parmar [REDACTED]
Sent: June 3, 2020 8:09 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - Opposition to BYLAW C-7959-2019

Do not open links or attachments unless sender and content are known.

To whom it may concern,

I am emailing to inform you of my OPPOSITION to the aforementioned Bylaw as an adult resident of Cambridge Park Estates. A reason why my family and myself chose to settle down in this particular area was due to the quiet, rural location and promise of a closely knit residential hamlet away from the city and commercialized areas. Myself, along with many individuals in this community are against the current ideas for Phase 4 development, as the results will surely lead to increased pollution, traffic, noise and a decrease in property values just to name the most important of foreseeable problems. Due to personal concerns regarding COVID-19, I will not be able to attend the upcoming county hall meeting.

The actions of Amar Developments appear to be focussed on the developments which most suit their respective bottom lines and not the community they have already invested so much into. In the past before previous phases of developments, the phases were advertised for their country location and the benefits of not living immediately in the City of Calgary, which was only understandably assumed to be the case for Phase 4 once it came. With the hundreds of Cambridge Park residents who make the daily commute along 100 Street already and with the increased travel time which already exists to areas such as Calgary and Airdrie, these developments will only surely worsen traffic and increase the time we have to spend just commuting for these incredible structures proposed. The decrease in property values is understandable, as individuals do not want to live directly beside business campus district's and the like; which again was one of the main reasons this area was advertised in the past.

Unfulfilled promises and absolute frustration are already an issue with Amar Developments with no connection to a regional waterline as of yet (as initially promised in phase developments), and the recent issue regarding increased water rates. Phase 4 seemed to initially imply to be residential land and Amar Developments' recent proceedings are a serious cause for concern, as their motivations and actions seem to be continuously against the harmony and betterment of the community.

- Amandeep Parmar
12 Trinity Road, Rocky View County - Conrich

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019, BYLAW C-7957-2019 File ... - Oksana Newmen

Page 99 of 606

FW: [EXTERNAL] - BYLAW C-7959-2019, BYLAW C-7957-2019 File #: 04329003 (OPPOSITION)

Michelle Mitton

Thu 6/4/2020 7:35 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
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-----Original Message-----

From: rajinder dhillon [REDACTED]
Sent: June 3, 2020 8:37 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019, BYLAW C-7957-2019 File #: 04329003 (OPPOSITION)

Do not open links or attachments unless sender and content are known.

Hi Legislative Services,

My name is Rajinder Dhillon and I am a resident of Cambridge Park Estates. I'm emailing you today to express my strong opposition to BYLAW C-7959-2019 and BYLAW C-7957-2019 File #: 04329003 (OPPOSITION).

I have a few reasons as to why I'm in such great opposition to the South Conrich Amendment.

Firstly, Amar Developments had never once communicated their intent to develop a "B-BC" designation to any of us who have purchased lots and built our homes in this community. All residents of Cambridge Park can attest to this whether they're in Phase 1, 2 or 3.

Next, given a "B-BC" (Business – Business Campus), it's creation is not aligned with the vast residential-only community of Cambridge Park Estates and the surrounding area. Commercial development that includes "light industry" (which is very vague and interpretive) is not aligned with the longstanding vision that the residents envisioned or were initially promised by Amar Developments. This type of development will bring unwanted and unexpected noise pollution, reduced air quality, and an abrupt and steady increase in traffic. 100 St/Range Rd 285/Garden Rd is packed every am/pm already as it is, imagine what would happen if commercial development was created and what it would do for traffic then. These reasons were once motivating factors in making the decision to move away from urban areas in the city and need to be preserved. These effects will negatively effect the active and social lifestyles of the residents. Financially, it will lead to a lower valuation of the homes which is something we can control at this time. It is also assumed, based on general knowledge, that the development of commercial business will effect crime rates that are next to non-existent at this time. East Hills, a shopping plaza which is

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019, BYLAW C-7957-2019 File ... - Oksana Newmen

roughly a 5 minute drive from Cambridge Park Estates has all the necessary amenities and we've noticed the traffic there comes more from within the city.

Unfortunately, I'm unable to attend the meeting that is coming up but will be designating a spokesperson to speak on my behalf.

Please reach out to me if you have any further questions or concerns. I'd be more than happy to discuss this further because of the severity of the situation.

My residence is: 10 Woodlock Rd

I truly hope you can understand the frustration that we are all experiencing right now and you take into account the past, present, and future of each action.

Thank you,

Rajinder & Sukhmeet Dhillon

6/10/2020

FW: [EXTERNAL] - bylaws C-7959 2019 and C-7957 2019

Michelle Mitton

Thu 6/4/2020 7:36 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: M Faizi [REDACTED]

Sent: June 3, 2020 9:16 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - bylaws C-7959 2019 and C-7957 2019

Do not open links or attachments unless sender and content are known.

To whom it may concern,

I hope this email finds you well. I am a current member of the Cambridge Park community, and I am emailing you regarding how I STRONGLY OPPOSE new bylaws that have been put in place for my community. I am referring to bylaws C-7959 2019 and C-7957 2019, which were made with the intention of creating an industrial phase in Cambridge Park. I made the decision to move here because I saw Cambridge Park as a place where I could build my dream house and live in peace, away from Calgary's crowded urban areas. However, the proposed industrial phase would cause new businesses to open in Cambridge Park, which would cause an increase in traffic, pollution, and crime, among other things. Firstly, there would be an increase in consumer traffic, which would slow down the commuting residents that live here, and there would be added noise pollution, both of which would cause much disruption in the community's peace. Then, the increase in businesses could cause an influx of crime in our community revolving around those businesses, something that is also not wanted. When I bought the land, I was made the promise that I would live in a purely residential area, and there was no indication from Amar Developments that said otherwise, something that ended up being a lie. Because of these reasons, I feel that the new industrial phase would harm our residents greatly, and I hope that Rocky View takes action to strike it down.

Sincerely,

Name

Mateen f

Address

202 milton road rockyview county

FW: [EXTERNAL] - By law

Michelle Mitton

Thu 6/4/2020 10:03 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
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-----Original Message-----

From: Avtar Brar [REDACTED]
Sent: June 3, 2020 4:57 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - By law

Do not open links or attachments unless sender and content are known.

Subject: *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)* I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Avtar Brar
Address: 66 Woodlock road Rockyview
Please let me know when you receive my email send me confirmation please thanks lot

Sent from my iPhone

6/10/2020

FW: [EXTERNAL] - Fw: Bylaw C-7959-2019 and Bylaw C-7957-201... - Oksana Newmen

FW: [EXTERNAL] - Fw: Bylaw C-7959-2019 and Bylaw C-7957-2019- FILE # 04329003(oppose)

Michelle Mitton

Thu 6/4/2020 10:05 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Kuldip Maan [REDACTED]

Sent: June 4, 2020 7:52 AM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - Fw: Bylaw C-7959-2019 and Bylaw C-7957-2019-FILE # 04329003(oppose)

Do not open links or attachments unless sender and content are known.

From: Kuldip Maan

Subject: Bylaw C-7959-2019 and Bylaw C-7957-2019-FILE # 04329003(oppose)

Respected sir/ Madam

i live in Cambridge Park phase 3. i strongly oppose the planing of Business Campus which is being presented by Amar Developments because it is absolutely inhormonius to the existing residential community. This discordant type of development will produce intolerable and unexpected noise, pollution and heavy traffic which will generate a potentially negative impact on my existing lifestyle and home property values. In addition, i was not shown any intent to build Business campus by Amar Developments when i bought this lot. It described me not to build any kind of business campus except residentials community. So, it is my humble request not to allow Amar Developments to establish buissness campus .

With regards

Kuldip Maan

58 Woodlock RD Rocky View County

T1Z0C1

FW: [EXTERNAL] - *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Michelle Mitton

Thu 6/4/2020 10:16 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: Bhawandeep Samra [REDACTED]

Sent: June 4, 2020 10:15 AM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Do not open links or attachments unless sender and content are known.

Hi

I **STRONGLY OPPOSE** any commercial or industrial development as per application and bylaws mentioned above.

We moved in this community in 2012 because of the **quiet and peaceful acreage lifestyle** of Cambridge Park promised to us **where we can raise our kids in an open setting** without having to worry about the nuances of city life. We were told by the developer that this area will **be all residential**. We moved here on a promise by the developer of country lifestyle on serviced lots and this was a perfect setup and yet so close to city limits. The current application by the developer is a **betrayal of what was promised** and intentionally planned after the majority of residential was sold to my fellow residents. If we had an iota of doubt of any commercial setup close to our homes we would not have even considered this area.

This is a **completely INCOMPATIBLE** for the setup of this community. A **feeling of being back stabbing** by Developer comes to mind.

Another thought that comes to mind in regards to this application is the main access to our community. Phase 4 is plotted on both sides of the entrance to our beautiful Community, and I don't recall any residential development in the county of Rocky View **where residential access is through an Industrial/commercial zoned parcel of land**. If approved the **safety of our kids and elderly, driving through commercial/industrial zoned area, is at stake**. The walkways built along the community will lose its purpose as they would be adjoining industrial lands. No one will appreciate the Garbage/ Junk/Debris which would be clearly visible while entering or leaving

6/10/2020

FW: [EXTERNAL] - *BYLAW C-7959-2019 and BYLAW C-7957-2019 -... - Oksana Newmen

our homes. I suggest efforts should be made to make the community even better/greener and something which the county, developer and the residents should be proud of.

I would also like to highlight the **intent of the developer** here. No efforts are made by the HOA which is running in developer's household even after the more than majority of residents have moved in. Minimum thought/effort and time is spent to optimize the HOA funds for the betterment of the community. **NO AGM of HOA since 2009** has ever happened. **NO financials have been ever shared.**

Water is another grave concern here. **Quality is substandard and pressure not enough.** The developer was obligated to hook up to Rocky View's Municipal water as per development agreements for phase 1 ,2 and 3 and have been long avoided due to reasons best known to the developer.

Almost the entire community **STRONGLY OPPOSE** this application. We all love the community where we built are dream homes and probably the ones in which we retire in the County for a reason. I would appreciate you taking a note of the **economic damage** this development will do to our houses as well.

A final thought - **Why the urgency of scheduling the hearing during COVID restrictions.** A lot is at stake of approximately 250 houses and over 1000 residents. The whole community wants to express their concerns and be a part of this public hearing.

Kind regards

Sunny and Navjote Samra
22 Park Drive
[REDACTED]

FW: [EXTERNAL] - *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Michelle Mitton

Thu 6/4/2020 11:08 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
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-----Original Message-----

From: Angrej [REDACTED]
Sent: June 4, 2020 10:51 AM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Angrej Sidhu
Address: 101 Parkdrive Dr Rockyview Alberta T1Z0A3

Planning services department File: 04329003Application: PL 20190021-redesignation

Mohinder Singh [REDACTED]

Tue 1/28/2020 10:12 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Hello there,

I am writing this email regarding the development of commercial properties in phase 4. I do not give permission and are not in favour of building commercial in phase 4 because We built our house here because of the open space and to live like country style life. We don't want too much traffic and noise from the setup of the commercial development which can lead to our property values to go down in future.

Thanks

Mohinder Singh
128 Park Drive. Rocky view county
[REDACTED]

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FW: [EXTERNAL] - *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Michelle Mitton

Thu 6/4/2020 10:06 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: Hardip Singh [REDACTED]

Sent: June 4, 2020 9:12 AM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Do not open links or attachments unless sender and content are known.

Good Morning,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. Amar Developments had never communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Thank you

Hardip Nahal

110 Trinity Road

Rocky View County, AB

T1Z 0B9

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

Page 109 of 606

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 -
File # 04329003 (OPPOSE)*

Michelle Mitton

Thu 6/4/2020 11:08 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: Khawaja Farooq [REDACTED]

Sent: June 4, 2020 11:08 AM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Do not open links or attachments unless sender and content are known.

Hi,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This

INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Khawa Farooq

Amna Mazhar

40 Abbey Road Rockyview county AB

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003

Michelle Mitton

Thu 6/4/2020 11:57 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: Rachhpal Matharoo [REDACTED]
Sent: June 4, 2020 11:56 AM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Rachhpal Matharoo
Address: 46 Woodlock Rd, Rockyview County

6/10/2020

FW: [EXTERNAL] - Bylaw c-7959-2019 and Bylaw c-7957-2019-fi... - Oksana Newmen

FW: [EXTERNAL] - Bylaw c-7959-2019 and Bylaw c-7957-2019-file#04329003 (oppose)

Michelle Mitton

Thu 6/4/2020 12:54 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: Ranvir Mand [REDACTED]

Sent: June 4, 2020 12:33 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - Bylaw c-7959-2019 and Bylaw c-7957-2019-file#04329003 (oppose)

Do not open links or attachments unless sender and content are known.

Hello,

I'm a resident of Cambridge Park Estates and I completely oppose the above-captioned Bylaw. I'm opposing the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is completely incompatible with the large residential community of Cambridge Park Estates along with the closely surrounding area. When I purchased land here from Amar Development, they said all these phases including phase 4 would be residential. I built my home thinking there will be no commercial development in the Cambridgepark in any of the phases. If this development goes ahead, I will be faced with increased traffic, a decreased home value, increased crime in the area. We are already facing water issues in the other three phases where the developer hasn't resolved the problems to date. The developer is also using scare tactics to get this development approved. For example, shutting down access from 100 St into Cambridgepark and telling residents that there will be no RVC Co-op water connection if we don't vote in favor of this amendment.

I completely oppose this amendment. I am however in favor of additional residential development in phase 4.

If you have any questions, please contact me at [403-615-1916](tel:403-615-1916).

Thank you

6/10/2020

Harjit Mand
7 Abbey Road
Rockyview County, AB
T1Z 0A1

6/10/2020

FW: [EXTERNAL] - OPPOSE to # 04329003 C-7959-2019 and BYLA... - Oksana Newmen

FW: [EXTERNAL] - OPPOSE to # 04329003 C-7959-2019 and BYLAW C-7957-2019

Michelle Mitton

Thu 6/4/2020 2:10 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: Jiwan Singh [REDACTED]

Sent: June 4, 2020 1:24 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - OPPOSE to # 04329003 C-7959-2019 and BYLAW C-7957-2019

Do not open links or attachments unless sender and content are known.

Hi,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. Amar Developments had never communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Thank you,

6/10/2020

FW: [EXTERNAL] - OPPOSE to # 04329003 C-7959-2019 and BYLA... - Oksana Newmen

Jagjiwan Singh
307 Grange Lane
Rocky View County, AB
T1Z 0B8

6/10/2020

FW: [EXTERNAL] - Opposing :BYLAW C-7957-2019 and BYLAW C-7... - Oksana Newmen

FW: [EXTERNAL] - Opposing :BYLAW C-7957-2019 and BYLAW C-7959-2019 for notice of Public hearing on June 23, 2020.

Michelle Mitton

Thu 6/4/2020 2:11 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Pravin Nathvani [REDACTED]

Sent: June 4, 2020 1:37 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Cc: Cambridge Park <cambridgeparkrocky@gmail.com>

Subject: [EXTERNAL] - Opposing :BYLAW C-7957-2019 and BYLAW C-7959-2019 for notice of Public hearing on June 23, 2020.

Do not open links or attachments unless sender and content are known.

Subject: Opposing Bylaw C-7957-2019 and BYLAW C-7959-2019

I, Pravin Nathvani, residing at 13 Park Drive Rocky View County, AB (Cambridge Park Estates) and opposing Bylaws C-7957-2019 (for application# PL20190153 (04329003)) and Bylaw C-7959-2019 (for application# PL20190021 (04329003)).

First of all, I like to propose a postponement hearing that is planned on June 23, 2020. During this pandemic period when the public are not allowed to attend the hearing and all may be not encouraged to write the email while they are stressed out on other priorities in life.

I fully oppose the South Conrich Amendment given that a "B-BC" (business – business campus) designation is totally incompatible with Cambridge Park Estates Residential Community, and along with the immediate surrounding area. Amar Developments had never previously communicated their intent in writing to develop such a "B-BC" designation to any of the community members before they purchased the house or lots in this community. Applicants (Amar Developer) and Rocky View County both must not think and plan ONLY about revenue generation from the land or property but need to listen to the community voices. Almost 95% residents are opposing it and have raised their concerns. RVC has approved development permits of current Phases 1, 2 and 3

with well water supply, without long term vision and consideration. It is already concerned and all future mistakes shall be avoided to save this Estate Park value and dignity. Development permits should be only allowed that are compatible with surrounding and welcomed by residents.

Any type of commercial development will bring Estate Park house values down due to nuisance of commercial vehicle traffic, noise, pollution and safety issues. It will badly impact the lifestyle and finance of Estate Park residents. I am Engineer by profession and have never heard of this kind of odd combination of development requests anywhere in Rocky View County or surrounding cities. It shall be avoided by all means.

Thanks and regards,

Pravin Nathvani
13, Park Drive,
Rocky View County, AB, T1Z 0A3.

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

Page 118 of 606

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Thu 6/4/2020 2:29 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: jaswinder minhas [REDACTED]

Sent: June 4, 2020 2:22 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hello,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Jaswinder Minhas

FW: [EXTERNAL] - Development Issues

Michelle Mitton

Thu 6/4/2020 2:39 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
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-----Original Message-----

From: George [REDACTED]
Sent: June 4, 2020 2:27 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Cc: cambridgeparkrocky@gmail.com
Subject: [EXTERNAL] - Development Issues

Do not open links or attachments unless sender and content are known.

Sent from my iPhoneSend email to *legislativeservices@rockyview.ca* and reference *both* by laws in the subject line:
Subject: *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)* I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.
Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: George Sahib
Address: 21 Pound Place, Conrich, Rockyview County.

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-4841-97 File... - Oksana Newmen

Page 120 of 606

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-4841-97 File #04329003 (OPPOSE)

Michelle Mitton

Thu 6/4/2020 3:02 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: sunil chaudhary [REDACTED]

Sent: June 4, 2020 2:57 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-4841-97 File #04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Dear Council,

I am a resident of Cambridge Park Estate, my family and I have been residing at 78 Penny Lane since August 2015. My family and I have worked over 100 years combined and spent our life savings to purchase a home where 4 generations of family members now reside. We have 8 members of my family, including my grandparents, my parents, my wife, and my children who now call Cambridge Park our home now, and hopefully for the next 50 years if not more.

We left the city in 2015 to live in a peaceful, rural neighbourhood, much like you yourselves. You too can relate and have enjoyed the sunrise on a warm summer's day with a coffee in your hand. It's an incredible feeling, the quietness, the openness, the feeling of total relaxation. Or a cold beer at the end of the day on your patio, watching your kids play in the yard. This is why we moved to Cambridge Park, this is the vision we were sold on. This is the perfect way to retire for my parents who have worked their whole lives, this is the perfect place for my kids to grow and not have to worry about crime or traffic, and this is the perfect place for my grandparents who enjoy sitting on the benches, and talking to the other seniors in the area.

This vision, and this dream is now being threatened by the above bylaws which is why I vehemently **OPPOSE** them. This development is incompatible with the style of living I wish to live in. Light industrial, warehouses, commercial development, this is what we were escaping from when we left the city. The threat of crime, and traffic is the exact reason I didn't want to raise my kids in Calgary, my children currently play outside, at the park,

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-4841-97 File... - Oksana Newmen

and ride their bikes all day, and I don't have to worry. This development will change all that, I would have to worry about who is coming to our community and for what purpose, I would have to worry about the trucks hauling their products, and the potential of crime and drugs in the area.

Councillors you enjoy your homes, your families, and your rural peaceful neighbourhoods, we would like to continue to enjoy ours as well. Please join with all the residents of Cambridge Park, and say **NO** to bylaws C-7959-2019 and C-4841-97

Thank you,

Sunil Chaudhary
78 Penny Lane

FW: [EXTERNAL] - Re By Law C-7957-2019 and ByLaw C-7959-2019 File 04329003

Michelle Mitton

Thu 6/4/2020 3:02 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: SANDEEP RIKHI [REDACTED]

Sent: June 4, 2020 3:02 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Cc: Cambridgeparkrocky <Cambridgeparkrocky@gmail.com>

Subject: [EXTERNAL] - Re By Law C-7957-2019 and ByLaw C-7959-2019 File 04329003

Do not open links or attachments unless sender and content are known.

Hi

I am resident of Cambridge park and oppose the above mentioned Bylaws.

Address: Sandeep Rikhi 47 Kings Road Rocky View County, AB T1Z0A2

I oppose the South Conrich Amendment given that a B-BC(Business-Business Campus) designation is incompatible with the large residential community of Cambridge park.

Amar Developments has never communicated their intention to develop such a "B-BC" designation to me.

Such development will create unexpected noise , traffic and pollution.

It will create negative impact on current lifestyle of the residents.

Again I oppose above ByLaw C-7957 2019 and Bylaw C-7959 -2019.

Thanks

6/10/2020

FW: [EXTERNAL] - Re By Law C-7957-2019 and ByLaw C-7959-20... - Oksana Newmen

D-3

Page 123 of 606

Sandeep Rikhi

Application PL 20190021 - File 04329003

Parminder Sandhu [REDACTED]

Tue 1/28/2020 11:26 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Hello Oksanna,

Hopefully I've spelled your name right !

My name is Parm Sandhu, and I live in Cambridge Park .

In regards to the subject application, I want to raise my strong opposition to the above land use change as it will bring more industrial traffic, noise & pollution to our neighborhood, which of course will bring adverse effects to our health, Property values and to the overall community in general.

Thanks

Parm Sandhu

6/3/2020

FW: [EXTERNAL] - Bylaw C-7959-2019 & Bylaw C-7957-2019 (Opp... - Oksana Newmen

Page 125 of 606

FW: [EXTERNAL] - Bylaw C-7959-2019 & Bylaw C-7957-2019 (Oppose)

Michelle Mitton

Wed 6/3/2020 7:59 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: Parminder Sandhu [REDACTED]
Sent: June 2, 2020 11:23 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - Bylaw C-7959-2019 & Bylaw C-7957-2019 (Oppose)

Do not open links or attachments unless sender and content are known.

I, Parminder Sandhu, a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw. I oppose the South Conrich Amendment given that a "B-BC" (business – business campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. Commercial development that may even include potential "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by the developer, Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current home property values of the existing residents.

Also it is not at all needed at this time and not even in the near future as there's already 3 acres of commercial parcel is sitting vacant on the east entrance of the community for the last 10 years due to the lack of demand.

Also our developer promised residential in phase 4 at the time of selling the current houses to us and now she suddenly changed her mind.

Her integrity is already at the stake for so many fraudulent claims and charges against her.

I strongly oppose any commercial development of phase 4 in my neighbourhood.

Thanks

Parminder Sandhu
24 Abbey Rd.
Rockyview County.

Sent from my iPhone

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 -... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Thu 6/4/2020 4:26 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: Harjinder Premi [REDACTED]

Sent: June 4, 2020 4:12 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hello,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Harjinder Premi

42, Kings Road, Rockyview County, AB

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 -... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Thu 6/4/2020 10:10 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: Karim Ahmadi [REDACTED]
Sent: June 4, 2020 8:57 AM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Cc: Karim Ahmadi [REDACTED]
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Dear Sir/Madam,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, **Amar Developments** had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by **Amar Developments** – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: **Karim Ahmadi**

Address: **26 Park Drive Rockyview County, T1Z 0A4, Alberta, Canada**

6/10/2020

Thanks,

Karim

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 -... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Thu 6/4/2020 7:37 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: Rajwinder Gill [REDACTED]

Sent: June 3, 2020 11:55 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

I have a young family and when I purchased this lot I was not aware of this development, I feel commercial development will create an environment which is not suitable for young children. We were hoping for peaceful and quite area and this development will defeat that purpose.

Name: Rajwinder Gill & Sukhdeep Gill

Address: 150 Trinity Road, Rockyview County, AB, T1Z 0B9

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 -... - Oksana Newmen

Page 130 of 606

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Thu 6/4/2020 7:36 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Andy Gill [REDACTED]

Sent: June 3, 2020 9:48 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

To whom it may concern,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. We were sold our property on the basis that this would only be a residential development.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

We hope our concerns do not go overlooked, and trust you will make the best decision to protect the residents of our community.

Best regards,
Amrinder Gill

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 -... - Oksana Newmen

Devinder Gill
Shamsher Gill
Amandeep Gill

71 Abbey Road
Rocky View County, AB
T1Z0A1

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6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 -... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Wed 6/3/2020 3:18 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Kanwal Sangha [REDACTED]

Sent: June 3, 2020 2:44 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Greeting Rocky view Planning and development dept.,

We have received BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 in the mail. We are the resident of Cambridge Park Estates and oppose the BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003.


We have oppose the South Conrich Amendment given that a B-BC designation is not suitable for the large residential community of Cambridge Park Estates.

We were never been communicated by the developer (Amar Developments) that they are planning to develop B-BC development.

The commercial development like this will bring noise, pollution and traffic to the community. We have settled in the Cambridge Park Estates due to avoid the city noise and traffic problems.

My whole family oppose the commercial development.

Jasbir Sangha, Baljit Sangha, Kanwaljit Sangha, Rupinder Sangha and Gurpreet Sangha

Thanks,
Kanwal Sangha M.SC. P.ENG
14 Woodlock Road
Rockyview AB T1Z 0C1


6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 -... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Wed 6/3/2020 2:27 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: Mubashshir Mirza [REDACTED]

Sent: June 3, 2020 1:38 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Cc: Cambridgeparkrocky@gmail.com

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hi,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Mubashshir Mirza

Address: 137 Park Drive, Rocky View County

Sent from [Mail](#) for Windows 10

6/10/2020

FW: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-795... - Oksana Newmen

Page 135 of 606

FW: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 (OPPOSE)

Michelle Mitton

Thu 6/4/2020 5:41 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: Jessie Singh [REDACTED]

Sent: June 4, 2020 5:36 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hi There,

We are residents of Cambridge Park Estates and **OPPOSE** the above-captioned Bylaw. We **OPPOSE** the South Conrich Amendment given that a "B-BC" (business – business campus) designation is **INCOMPATIBLE** with the large residential community of Cambridge Park Estates along with the immediate surrounding area.

We are in opposition of the above bylaw in subject line. This **INCOMPATIBLE** type of development will bring unwanted and unpleasant noise, pollution, crime and traffic and create a potentially negative impact on the current home property values of existing residents.

We came to live here because of a peaceful country living, away from city's urban areas, away from place of work to enjoy a country style atmosphere. But now looks like our own developer of this beautiful community is taking it away from us by bringing in commercial/industrial next to us.

We oppose this phase 4 "B-BC" for the following reasons:

1. **INCOMPATIBILITY:** Developer (Amar Developments) should stick to their original plan to bring more residential in phase 4 as their constant communication communicated to us when we bought our home in April 2015.
2. B-BC zoning will bring unnecessary Crime, noise, traffic and pollution to this area. Which will be concerning for our seniors living in the home and make it hard for them to even go out for a comfortable and relaxing walk. There safety will be jeopardized
3. Idea of industrial/commercial or business park was never shared or communicated to us by the developer prior or at the time when we bought our home from them. Even when we talked about the surrounding areas, we were told that all 4 phases are going to be residential with nice green spaces and parks to enjoy the relaxing walks and nice sitting areas in the parks to sit and chat with neighbors. None of the promises are fulfilled so far.
4. There will a lot of commercial traffic that will share the road from 100 street to the community on a daily basis to go and come back from work. We have to go through the commercial development every day to commute morning and evening.

FALSE AND BROKEN PROMISES FROM DEVELOPER:

- **Private School:** Developer had promised to bring in the private school to the community but never done anything for it.
- **WATER:** We were told that the water is coming from Langdon. We were surprised when we found out after some time that actually It was not coming from the regional utility , only the bill is coming from the Langdon utility Corp. We bought our home from the developer and now after 5 years we found out the realty, that the waterline is not even connected to the Regional Waterline. Due to the bad water quality, most of the people we talked had replaced their water tanks at least once in 5 years and some of them have already changes it twice.
- There is a water ban in the community from last year until further notice. We spent \$25K in putting in sod grass in our yard and it is being killed by the same developer who did not accept us to seed our grass and **FORCED** us to put the sod grass. Other wise we would forfeit our \$7500 deposit.
- **GREED:** Developer is not thinking in the best interests of the beautiful community created by them, instead they are putting their own best interest forefront to make much higher profit by bringing in the commercial/business in phase 4 (as per their own words at open house).
- Developer is telling residents to sign in favor of the phase 4 commercial and they will connect the community with regional water line. We can not trust these kinds of cheap tactics from this developer as they have so many broken promises in the past.
- **UNPROTECTED:** We were under the impression all those years that all the phases are Residential, now she has broken that promise as well. We DO NOT have a Fire Hall and therefore we are considered UNPROTECTED by insurance companies. Our nearest responding Fire hall is Balzac which is more then 18km from this community. For this reason, residents of this community are paying very high Home insurance premiums to insurance companies. If we have more population, then we can qualify to get a fire Station nearby. It will help everyone.
- **EXISTING VACANT LAND:** There is a commercial land sitting for a long time on the community entrance from east side and still nothing wants to come in that location. If the developer is really keen on working on commercial side of the development, they should develop that land first. she has miserably failed to bring in any commercial in that

6/10/2020

FW: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-795... - Oksana Newmen

land since we moved in April 2015. It is sitting vacant and looks ugly (not even landscaped or any grass in it) at the main entrance of this beautiful community.

For all of the above reasons, I am **STRONGLY OPPOSING** the Phase 4 Commercial/ Industrial or B-BC.

Please look into the above points carefully and make your decision accordingly.

Regards

Jaswinder (Jessie) Singh
3 Abbey Road Rocky View AB T1Z0A1

Cell: [REDACTED]

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File #04329003 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 9:40 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Roop Chhina [REDACTED]

Sent: June 4, 2020 6:33 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File #04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hello Legislative Services,

I'm a current resident of Cambridge Park Estates and I **OPPOSE** the above-captioned Bylaw. We **OPPOSE** the South Conrich Amendment given that a "B-BC" (business – business campus) designation is **INCOMPATIBLE** with the large residential community of Cambridge Park Estates along with the immediate surrounding area.

We are in opposition of the above bylaw in subject line. This **INCOMPATIBLE** type of development will bring unwanted and unpleasant noise, pollution, crime and traffic and create a potentially negative impact on the current home property values of existing residents.

We came to live here because of a peaceful country living, away from city's urban areas, away from place of work to enjoy a country style atmosphere. But now looks like our own developer of this beautiful community is taking it away from us by bringing in commercial/industrial next to us.

We oppose this phase 4 "B-BC" for the following reasons:

1. **INCOMPATIBILITY:** Developer (Amar Developments) should stick to their original plan to bring more residential in phase 4 as their constant communication

communicated to us when we bought our home in 2015.

2. B-BC zoning will bring unnecessary Crime, noise, traffic and pollution to this area. Which will be concerning for our seniors living in the home and make it hard for them to even go out for a comfortable and relaxing walk. Their safety will be jeopardized
3. Idea of industrial/commercial or business park was never shared or communicated to us by the developer prior or at the time when we bought our home from them. Even when we talked about the surrounding areas, we were told that all 4 phases are going to be residential with nice green spaces and parks to enjoy the relaxing walks and nice sitting areas in the parks to sit and chat with neighbors. None of the promises are fulfilled so far.
4. There will be a lot of commercial traffic that will share the road from 100 street to the community on a daily basis to go and come back from work. We have to go through the commercial development every day to commute morning and evening.

The developer has broken many promises and has failed in providing transparency on the future of our community. Here are a few broken promises made by our developer:

- **Private School:** Developer had promised to bring in the private school to the community but never done anything for it.
- **WATER:** We were told that the water is coming from Langdon. We were surprised when we found out after some time that actually it was not coming from the regional utility, only the bill is coming from the Langdon utility Corp. We bought our home from the developer and now after 5 years we found out the reality, that the waterline is not even connected to the Regional Waterline. Due to the bad water quality, most of the people we talked had replaced their water tanks at least once in 5 years and some of them have already changed it twice.
- There is a water ban in the community from last year until further notice. We spent \$25K in putting in sod grass in our yard and it is being killed by the same developer who did not accept us to seed our grass and **FORCED** us to put the sod grass. Otherwise we would forfeit our \$7500 deposit. **GREED:** Developer is not thinking in the best interests of the beautiful community created by them, instead they are putting their own best interest forefront to make much higher profit by bringing in the commercial/business in phase 4 (as per their own words at open house).

The developer is telling residents to sign in favor of phase 4 commercial and they will connect the community with the regional water line. We can not trust these kinds of cheap tactics from this developer as they have so many broken promises in the past.

- **UNPROTECTED:** We were under the impression all those years that all the phases are Residential, now she has broken that promise as well. We DO NOT have a Fire Hall and therefore we are considered UNPROTECTED by insurance companies. Our nearest responding Fire hall is Balzac which is more than 18km from this community. For this reason, residents of this community are paying very high Home insurance premiums to insurance companies. If we have more population, then we can qualify to get a fire Station nearby. It will help everyone.
- **EXISTING VACANT LAND:** There is a commercial land sitting for a long time on the community entrance from east side and still nothing wants to come in that location. If the developer is really keen on working on commercial side of the development, they should develop that land first. she has miserably failed to bring in any commercial in that land since we moved in April 2015. It is sitting vacant and looks ugly (not even landscaped or any grass in it) at the main entrance of this beautiful community.

For all of the above reasons, I am **STRONGLY OPPOSING** the Phase 4 Commercial/ Industrial or B-BC.

Regards,

Roop Chhina
130 Cambridge Park Way
Rocky View County, AB
T1Z -0A2



FW: [EXTERNAL] - (OPPOSE) BYLAW C-7959-2019 and BYLAW C-7957-2019 - File #04329003

Michelle Mitton

Fri 6/5/2020 9:41 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Manjit Singh [REDACTED]

Sent: June 4, 2020 6:40 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - (OPPOSE) BYLAW C-7959-2019 and BYLAW C-7957-2019 - File #04329003

Do not open links or attachments unless sender and content are known.

Hello Legislative Services,

I'm a current resident of Cambridge Park Estates and I **OPPOSE** the above-captioned Bylaw. We **OPPOSE** the South Conrich Amendment given that a "B-BC" (business – business campus) designation is **INCOMPATIBLE** with the large residential community of Cambridge Park Estates along with the immediate surrounding area.

We are in opposition of the above bylaw in subject line. This **INCOMPATIBLE** type of development will bring unwanted and unpleasant noise, pollution, crime and traffic and create a potentially negative impact on the current home property values of existing residents.

We came to live here because of a peaceful country living, away from city's urban areas, away from place of work to enjoy a country style atmosphere. But now looks like our own developer of this beautiful community is taking it away from us by bringing in commercial/industrial next to us.

We oppose this phase 4 "B-BC" for the following reasons:

1. **INCOMPATIBILITY:** Developer (Amar Developments) should stick to their original plan to bring more residential in phase 4 as their constant communication communicated to us when we bought our home in 2015.
2. B-BC zoning will bring unnecessary Crime, noise, traffic and pollution to this area. Which will be concerning for our seniors living in the home and make it hard for them to even go out for a comfortable and relaxing walk. Their safety will be jeopardized
3. Idea of industrial/commercial or business park was never shared or communicated to us by the developer prior or at the time when we bought our home from them. Even when we talked about the surrounding areas, we were told that all 4 phases are going to be residential with nice green spaces and parks to enjoy the relaxing walks and nice sitting areas in the parks to sit and chat with neighbors. None of the promises are fulfilled so far.
4. There will be a lot of commercial traffic that will share the road from 100 street to the community on a daily basis to go and come back from work. We have to go through the commercial development every day to commute morning and evening.

The developer has broken many promises and has failed in providing transparency on the future of our community. Here are a few broken promises made by our developer:

- **Private School:** Developer had promised to bring in the private school to the community but never done anything for it.
- **WATER:** We were told that the water is coming from Langdon. We were surprised when we found out after some time that actually it was not coming from the regional utility, only the bill is coming from the Langdon utility Corp. We bought our home from the developer and now after 5 years we found out the reality, that the waterline is not even connected to the Regional Waterline. Due to the bad water quality, most of the people we talked had replaced their water tanks at least once in 5 years and some of them have already changed it twice.
- There is a water ban in the community from last year until further notice. We spent \$25K in putting in sod grass in our yard and it is being killed by the same developer who did not accept us to seed our grass and **FORCED** us to put the sod grass. Otherwise we would forfeit our \$7500 deposit. **GREED:** Developer is not thinking in the best interests of the beautiful community created by them, instead they are putting their own best interest forefront to make much higher profit by bringing in the commercial/business in phase 4 (as per their own words at open house).

The developer is telling residents to sign in favor of phase 4 commercial and they will connect the community with the regional water line. We can not trust these kinds of cheap tactics from this developer as they have so many broken promises in the past.

- **UNPROTECTED:** We were under the impression all those years that all the phases are Residential, now she has broken that promise as well. We DO NOT have a Fire Hall and therefore we are considered UNPROTECTED by insurance companies. Our nearest responding Fire hall is Balzac which is more than 18km from this community. For this reason, residents of this community are paying very high Home insurance premiums to insurance companies. If we have more population, then we can qualify to get a fire Station nearby. It will help everyone.
- **EXISTING VACANT LAND:** There is a commercial land sitting for a long time on the community entrance from east side and still nothing wants to come in that location. If the developer is really keen on working on commercial side of the development, they should develop that land first. she has miserably failed to bring in any commercial in that land since we

6/10/2020

APPENDIX 'C': LANDOWNER COMMENTS

FW: [EXTERNAL] - (OPPOSE) BYLAW C-7959-2019 and BYLAW C-795... - Oksana Newmen

D-3

Page 143 of 606

moved in April 2015. It is sitting vacant and looks ugly (not even landscaped or any grass in it) at the main entrance of this beautiful community.

For all of the above reasons, I am **STRONGLY OPPOSING** the Phase 4 Commercial/ Industrial or B-BC.

Regards,

Manjit Singh

130 Cambridge Park Way

Rocky View County, AB

T1Z 0A2



6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 9:42 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: [REDACTED]

Sent: June 4, 2020 6:50 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Cc: darshankang@shaw.ca

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (OPPOSE)

Do not open links or attachments unless sender and content are known.

BYLAW C-7959-2019 and BYLAW C-7957-2019 (OPPOSE)

I Darshan Singh Kang & my family are currently building our dream home at 21 Trinity Rd are a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw.

We purchased a lot to build our custom dream home in Cambridge Park for our multi-generational family members that consist of elderly to young children. During our purchase we were not aware that phase 4 will be an industrial development. If we had known we would have not planned to build such a large and expensive home in the area. The purpose to purchase a home in Cambridge Park phase 3 was to enjoy peaceful country style atmosphere to raise our young family, and build our forever home. Becoming aware of this industrial development has put us under a tremendous amount of stress and disappointment. We are concerned with how the development will impact the current community & the re-sale value of properties. Any development in phase 4 should be meaningful for the residents, and beneficial to the residential community. Placing an industrial development right next to a residential development is incomprehensible. Please see additional points below for our opposition to the development:

1. INCOMPATIBILITY

- The proposed development of B-BC zoning is not compatible with the residential community of Cambridge Park along with immediate surrounding areas. Industrial development is incompatible with the longstanding vision of Cambridge Park.
- B-BC zoning will transform the country living to more urban living. That is not what we signed up for when we built/bought our houses in this neighborhood.
- B-BC Zoning will bring in unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current home property values of the existing residents.
- The developer sold the lots as acreage country living style where families could raise their children away from crowded commercial neighborhoods
- From the first resident who purchased the lot or the house to the last, were told that the developer is planning more residential in the Phase 4 (Cell D)
- Idea of Industrial and Business Park with B-BC zoning was never shared by Amar Developments as they were selling residential lots in Phase 1, 2 and 3
- Home is the biggest investment one ever makes in lifetime, Had people known this beforehand, people would have made purchase decisions on such huge investments accordingly.
- The proposed zoning will impacts property values within the estate neighborhood.
- As per Conrich Area Structure Plan, Cambridge Park is surrounded by Industrial Commercial on all three sides. Having Industrial at the entrance of the community will ruin the complete outlook of the area.

2. TRAFFIC

- There could be a lot of Commercial traffic that will share the road from 100st with the 1000 plus residents on daily basis.
- Most residents work in the City of Calgary and use 100 St to commute on daily basis. Residents will have to commute through business campus on daily basis.

3. NOISE

- B-BC zoning will allow light industry, warehouses etc. to come to the backyard of estate neighborhood which will increase noise levels for the residents.

4. INDUSTRIAL POTENTIAL

- Due to COVID more and more people are switching over to online shopping. If B-BC zoning is approved chances are more Warehouses and Small Industries will move in the area as lands for similar uses in the City of Calgary are expensive

5. CURRENT DEVELOPMENT ISSUES

- There is already a commercial land at the entrance of Cambridge Park that has been sitting empty for years. Developer should consider developing that land before proposing another commercial development

- Developer had promised to bring School to the community as per the approved plan of Phase 1 and 2 but has not done that.
- With this re designation, developer just wants to increase the land value by changing the zoning and may not develop anything on these lands for years to come.

6. LACKING SERVICES AND FALSE PROMISES FROM DEVELOPER

- Amar Developments should stick to their original plan and vision to bring more residential in Phase 4 as per their constant communication of the same to the residents
- Lots were sold in the community as fully serviced with all amenities. At the time of purchase a lot of residents were told that the water is coming from Rocky View Facility in Langdon. Whereas, Langdon based Rocky View utility Corp is just a billing company and is responsible for managing the well
- There have been constant water Quality and Quantity issues in the existing 3 Phases of the development. Water is Mercy, Hot water tanks breaking down, Homeowners have been suffering for years with Water Bans
- Amar Developments have been making false promises to the community to connect to the regional waterline for years but has not been able to provide any connection so far
- All Phase 3 lots were sold to residents showing there is direct access for them to go to work from 100St but they threatened to close it.
- More residential population in Conrich area will help bring in necessary services like Fire Haul, Police Station, Recreation Center, Community Halls, Schools etc. For Example: Fire Hall in the area will help residents reduce insurance costs. As the houses are expensive in Cambridge Park, average resident is paying between \$5K to \$9K insurance each year.
- Developer is trying to make money at the stake of residents

Sincerely,

Homeowner/Occupant(s) : Darshan Kang, Garm Kang, Parm Kang, Sukhveer Kang, Sharanjit Kang

Home Address: 21 Trinity Rd

FW: [EXTERNAL] - : *BYLAW C-7959-2019 and BYLAW C-7957-2019 -
File # 04329003 (OPPOSE)*

Michelle Mitton

Fri 6/5/2020 9:44 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Mohinder Singh [REDACTED]

Sent: June 4, 2020 7:57 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - : *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Mohinder Singh

Address: 128 park dr, Rocky view county.

6/10/2020

FW: [EXTERNAL] - Fwd: *BYLAW C-7959-2019 and BYLAW C-7957... - Oksana Newmen

Page 148 of 606

FW: [EXTERNAL] - Fwd: *BYLAW C-7959-2019 and BYLAW C-7957-
2019 - File # 04329003 (OPPOSE)*

Michelle Mitton

Fri 6/5/2020 9:44 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: arshdeep R [REDACTED]

Sent: June 4, 2020 7:58 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - Fwd: *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Arshdeep

Address: 128 park dr, Rocky view county.

Attention: planning services department

Zain Abbas [REDACTED]

Tue 1/28/2020 12:03 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

To whom it may concern:

I am a resident of rocky view county cambridge park community address 3 kings road, rocky view alberta T1Z0A2. Phone number: [REDACTED]

I am writing this email in regards to:

File: 04329003

Application: PL20190021-redesignation

I am writing this email to strongly oppose the proposed industrial zoning. This community, not part of a large city was promised to include a peaceful Environment. The industrial area completely changes the promises made when we bought a house in the community. Please take into consideration my request when application is being reviewed.

Thank you,
Zain Abbas

5/13/2020

Attention: planning services department

Azmat Abbas Naseem [REDACTED]

Tue 1/28/2020 12:12 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

To whom it may concern:

I am writing this email in regards to:

File: 04329003

Application: PL20190021-redesignation

I live at 3 kings road, rocky view alberta T1Z0A2. Phone number: [REDACTED]

I am writing this email because strongly oppose the proposed industrial zoning. This community was promised to include a peaceful Environment designed to be different than other communities. The industrial area completely changes the promises made when we bought a house in the community. It will increase trucking activities and noise pollution so close to our houses. Please take into consideration my request when application is being reviewed.

Thank you,
Azmat Abbas Naseem

FW: [EXTERNAL] - *BYLAW C-7959-2019 and BYLAW C-7957-2019 -
File # 04329003 (OPPOSE)*

Michelle Mitton

Wed 6/3/2020 2:28 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: Zain Abbas [REDACTED]
Sent: June 3, 2020 1:41 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Zain Abbas
Address: 3 Kings road, rocky view AB. T1Z-0A2

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Michelle Mitton

Fri 6/5/2020 9:45 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: surjit more [REDACTED]

Sent: June 4, 2020 9:13 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Do not open links or attachments unless sender and content are known.

Send email to [*legislativeservices@rockyview.ca*](mailto:legislativeservices@rockyview.ca) and reference *both* by laws in the subject line:

Subject: *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: mohinder more

Address: 92 park drive

Sent from my Samsung Galaxy smartphone.

6/10/2020

FW: [EXTERNAL] - Fwd: BYLAW C-7959-2019 and BYLAW C-7957-2... - Oksana Newmen

Page 153 of 606

FW: [EXTERNAL] - Fwd: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 9:46 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: AMAN SANDHU [REDACTED]
Sent: June 4, 2020 9:29 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Cc: cambridgeparkrocky@gmail.com
Subject: [EXTERNAL] - Fwd: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Dear Sir/Madam,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that Business – Business Campus Commercial/Industrial designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such Business Commercial development plan to me. We were told that the entire area will be developed as Country Style Residential, Which is why we chose to bring our families to this community.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well as what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Regards,

Aman Sandhu

24 Abbey Rd.

Sent from my iPhone

6/10/2020

FW: [EXTERNAL] -

Michelle Mitton

Fri 6/5/2020 9:49 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: [REDACTED]
Sent: June 4, 2020 10:09 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Cc: cambridgeparkrocry@gmail.com
Subject: [EXTERNAL] -

Do not open links or attachments unless sender and content are known.

To ,
Rocky View County
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959 and BYLAW C-7957-2019- File #04329003 (OPPOSE)

Dear Legislative Services,

I am a resident of Cambridge Park Estate and OPPOSE the above bylaw's. I oppose the South Conrich Amendment given that a "B-BC"(Business- Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Development had not previously communicated their intent to develop such a "B-BC" plan to me or my neighbours. I was informed that this whole area was going to be a country style resident area, which is why we chose to live in this wonderful area.

6/10/2020

FW: [EXTERNAL] -- Oksana Newmen

Commercial development which includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision- as outlined in both the South Conrich Approved Conceptual Scheme as well as what has been the longstanding and consistent communication by Amar Developments-of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution, traffic, and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents. So please take this into consideration!

We Also Have Some Issues With Our Developer Like:

LACKING SERVICES AND FALSE PROMISES FROM THE DEVELOPER

*Amar Development should stick to their original plan and vision to bring more residential in phase 4 as per their constant communication of the same to the residents.

*More residential population in Conrich will help bring necessary services like Fire Hauls, Police Stations, Recreation Centers, Community Halls, Schools, and ect.

Thank You

Signatures:

Name: Charanjeet Singh Warring

Address: 25 Pound Place

Rocky View County
T1Z 0A5

Sent from Windows Mail

6/10/2020

FW: [EXTERNAL] - Re:

Michelle Mitton

Fri 6/5/2020 9:49 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: CHARANJEET WARRING [REDACTED]

Sent: June 4, 2020 11:03 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - Re:

Do not open links or attachments unless sender and content are known.

To ,
Rocky View County
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959 and BYLAW C-7957-2019- File #04329003 (OPPOSE)

Dear Legislative Services,

I am a resident of Cambridge Park Estate and OPPOSE the above bylaw's. I oppose the South Conrich Amendment given that a "B-BC"(Business- Business Campus) designation is INCOMPATIBLE with the

large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Development had not previously communicated their intent to develop such a “B-BC” plan to me or my neighbours. I was informed that this whole area was going to be a country style resident area, which is why we chose to live in this wonderful area.

Commercial development which includes “light industrial” development is simply INCOMPATIBLE with the longstanding vision- as outlined in both the South Conrich Approved Conceptual Scheme as well as what has been the longstanding and consistent communication by Amar Developments-of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution, traffic, and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents. So please take this into consideration!

We Also Have Some Issues With Our Developer Like:

LACKING SERVICES AND FALSE PROMISES FROM THE DEVELOPER

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*More residential population in Conrich will help bring necessary services like Fire Hauls, Police Stations, Recreation Centers, Community Halls, Schools, and ect.

Thank You

Signatures:

Name: Charanjeet Singh Warring

Address: 25 Pound Place

Rocky View County
T1Z 0A5

Sent from Windows Mail

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959 and BYLAW C-7957-2019- File #... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959 and BYLAW C-7957-2019- File #04329003 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 9:50 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: [REDACTED]

Sent: June 5, 2020 9:38 AM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Cc: cambridgeparkrocy@gmail.com

Subject: [EXTERNAL] - BYLAW C-7959 and BYLAW C-7957-2019- File #04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hello,

I am a resident of Cambridge Park Estate and OPPOSE the above bylaw's. I oppose the South Conrich Amendment given that a "B-BC"(Business- Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Development had not previously communicated their intent to develop such a "B-BC" plan to me or my neighbours. I was informed that this whole area was going to be a country style resident area, which is why we chose to live in this wonderful area.

Commercial development which includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision- as outlined in both the South Conrich Approved Conceptual Scheme as well as what has been the longstanding and consistent communication by Amar Developments-of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution, traffic, and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents. So please take this into consideration!

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*More residential population in Conrich will help bring necessary services like Fire Hauls, Police Stations, Recreation Centers, Community Halls, Schools, and ect.

Thank You

Name Pawandeep Warring

Address 25 Pound Place Rocky View County
T1Z 0A5

Sent from Windows Mail

6/10/2020

FW: [EXTERNAL] -

Michelle Mitton

Thu 6/4/2020 12:17 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Kuldeep Sandhu [REDACTED]

Sent: June 4, 2020 12:08 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] -

Do not open links or attachments unless sender and content are known.

Subject: *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Kuldeep sandhu

Address: 7 kings road Rocky view county Alberta T1Z0A2

6/10/2020

FW: [EXTERNAL] -

Michelle Mitton

Thu 6/4/2020 7:37 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: sukh Sran [REDACTED]

Sent: June 4, 2020 5:47 AM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] -

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: sukhjinder sran

Address: 106 TRINITY ROAD Rockyview County

6/10/2020

FW: [EXTERNAL] - Bylaw C-7959-2019 and Bylaw C-7957-2019-(O... - Oksana Newmen

FW: [EXTERNAL] - Bylaw C-7959-2019 and Bylaw C-7957-2019- (Oppose)

Michelle Mitton

Fri 6/5/2020 12:14 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: pritpal sandhu [REDACTED]
Sent: June 5, 2020 10:23 AM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - Bylaw C-7959-2019 and Bylaw C-7957-2019-(Oppose)

Do not open links or attachments unless sender and content are known.

I am resident of Cambridge Park Estates and oppose the above-captioned Bylaw's for many reasons like noise, pollution, traffic etc.

Regards,
Pritpal Sandhu
23 St, Andrew's Place
Rocky view Country
Alberta, T1Z0A5

Sent from my iPhone

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019- (OPPOSE)

Michelle Mitton

Thu 6/4/2020 7:34 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: Tony Johal [REDACTED]
Sent: June 3, 2020 8:07 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019-(OPPOSE)

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (business – business campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that may even include "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of residents and home property values of the existing residents.

Name: Barinderpal Johal, Shinderpal Johal, Avineet Johal, Raveena Johal
Address: 70 Woodlock Road, Rockyview County, Calgary Alberta, T1Z 0B9

Sent from my iPhone

6/10/2020

FW: [EXTERNAL] - BY-LAW C-7959-2019 AND BI-LAWC-7957-19- (O... - Oksana Newmen

Page 164 of 606

FW: [EXTERNAL] - BY-LAW C-7959-2019 AND BI-LAWC-7957-19- (OPPOSE)

Michelle Mitton

Fri 6/5/2020 12:14 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Natasha McDonald [REDACTED]
Sent: June 5, 2020 10:38 AM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Cc: [REDACTED]
Subject: [EXTERNAL] - BY-LAW C-7959-2019 AND BI-LAWC-7957-19- (OPPOSE)

Do not open links or attachments unless sender and content are known.

We are residents of Cambridge Park Estates and **OPPOSE** the above-captioned Bylaws. I **OPPOSE** the South Conrich Amendment given that a "B-BC" (business- business campus) designation is **INCOMPATABLE** with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to us.

Commercial development that may even include "light industrial" development is simply **INCOMPATIBLE** with the longstanding vision-as outlined in both the South Conrich Approved conceptual scheme, as well what has been the longstanding and consistent communication by Amar Developments- of what this community was to be both now upon its completion. This **INCOMPATIBLE** type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of residents and home property of the existing residents.

Murray and Natasha McDonald
44 Abbey Road

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6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019- F... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019- File # 04329003 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 12:20 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: jarnail kalsi [REDACTED]

Sent: June 5, 2020 11:44 AM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019- File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hi Rocky view Team ,

Rocky view Team members who are working on the above mentioned Bylaws .

I am current resident of Cambridge Park Estates and OPPOSE the above captioned Bylaw's.

NO ONE HAVE RIGHT TO DESTROY OR UPSET PEACEFUL LIVING LIFESTYLE OF CAMBRIDGE RESIDENTS AND

PLEASE STOP THE BBC (BUSINESS -BUSINESS CAMPUS) Design and potential development which

will going to effect the residents of this peaceful countryside life ADVERSELY in terms of Noise ,Pollution,crime etc.

Commercial Development that includes Light Industrial development will destroy the whole initial purpose of this

community life style with which we start living here.Think about future generations, ROCKY SHOULD CONSIDER

TO GIVE NEXT GENERATION SOMETHING BETTER THEN INDUSTRY IN CAMBRIDGE PARK.

I STRONGLY OPPOSE INDUSTRIAL DEVELOPMENT IN THE CAMBRIDGE AREA .

Thanking you for your consideration.

Regards,

Jarnail Kalsi

FW: [EXTERNAL] - Bylaw c 7959-2019 and Bylaw c-7957-2019 file
#04329003

Michelle Mitton

Fri 6/5/2020 4:42 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
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-----Original Message-----

From: Lovedeep s Punia [REDACTED]
Sent: June 5, 2020 4:37 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - Bylaw c 7959-2019 and Bylaw c-7957-2019 file #04329003

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Lovedeep Singh Punia
Address: 28 Trinity Rd

5/13/2020

File Number: 04329003

Subhash Chaudhary 

Tue 2/18/2020 5:00 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Hello Oksana,

My name is Subhash Chaudhary and I reside at 78 Penny Lane. I am writing you this email to oppose the proposed phase 4 business campus rezoning in our community. I do not feel that a Business Campus is suited for our community as it will increase traffic and disrupt our quiet country living that we were promised when we purchased our home here

Thank you

Subhash Chaudhary

6/10/2020

FW: [EXTERNAL] - OPPOSITION letter to BYLAW C-7957-2019 and... - Oksana Newmen

FW: [EXTERNAL] - OPPOSITION letter to BYLAW C-7957-2019 and BYLAW C-7959-2019

Michelle Mitton

Mon 6/8/2020 7:36 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

📎 3 attachments

AChathaOppositionLetter.pdf; ExampleA.jpg; ExampleB.jpg;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: Aaron Chatha [REDACTED]

Sent: June 5, 2020 6:26 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - OPPOSITION letter to BYLAW C-7957-2019 and BYLAW C-7959-2019

Do not open links or attachments unless sender and content are known.

Dear Rocky View County Council,

My name is Aaron Chatha and my address is 209 Milton Road, located in the community of Conrich.

I write to you to voice my strong **opposition** of BYLAW C-7957-2019 and BYLAW C-7959-2019.

The Rocky View County Land Use Bylaw (C-7841-97, May 27, 2020) states that a B-BC land designation development should have no off-site impacts, and must be compatible with adjacent land use – particularly those residential in nature, as is the case here.

It is clear to the residents of this community, who live on the land directly adjacent to this proposed development, that this bylaw is not compatible with the longstanding vision for this community, as outlined in the South Conrich Approved Conceptual Scheme.

My opposition to this bylaw stems from these three main reasons:

1. This development will lower property values

In a 2015 study of 4, 272 existing homes, researchers found that property values dropped by 4.4% when an commercial or light industrial development was announced within .75 (1.2 km) miles of their home, with an additional 0.7% loss *per year* after development is completed.

Nearly 191 homes fall within this range, 178 of which have signed a letter opposing this development, as their property values will be directly affected. My home is only 400 ft from the development. Within a decade, we could see up to a 10.7% decrease in our property values.

This study is not a one-off either. A second study found a similar negative results up to 1.6km from land development with a similar designation, and third one put the range at 2km, but with a smaller sample size.

You will find a full list of my sources at the end of this letter.

Amar Developments Ltd. did not disclose their plans to us when we bought the land and developed a home through them, despite multiple opportunities to do so. We have lived here since 2018. This development will bring unwanted and unexpected noise, pollution and traffic, which is my next point.

2. Local roads are not equipped to handle the traffic this development would create

The land that Amar Developments Ltd. hopes to re-designate through this bylaw is located on an access road which can barely support current traffic and would not be able sustain the influx on traffic brought in by this development.

It is a long, narrow road that does not safely outline two opposing lanes and has no streetlights or safety barriers. During this past winter I was out there roughly once a week helping cars that careened off the side of the road. From my home, I can see the entire length of the road in the daylight, but it is pitch black at night.

Rani Duhra and Amar Developments Ltd. is aware of how unsafe this road is, and have made no efforts to fix the issues, but have moved ahead with their request to re-designate the land.

When residents signed a petition objecting to Phase 4 in January, Duhra sent a text message to a resident, and asked him to share it with the community, stating that they will close the access road as it was not made for residential use – which means it can't support any commercial use either.

As part of the Phase 4 plans submitted to Rocky View County, she has said she will be widening this road as part of the development.

The developer has threatened access to this community as a way to get what she wants, which should put any claim of community good from this project under high suspicion. In the meantime, she has acknowledged the safety risk of the current road not by fixing it, but by putting up Use At Your Own Risk signs to limit her own liability.

Duhra is head of my homeowners association, a clear conflict of interest, and has decided to use that position to speak for the community, without actually gathering any community input, and has acting with willful malice towards the majority of community members who do not support this development and bylaw change.

A screenshot of the text message and picture of the road sign are attached to this email.

3. Utilities including water

As reported on by CTV News and Livewire Calgary, there are a myriad of water issues in the area. Rani Duhra also controls the water well in the area.

Last summer and this summer, she as enacted outdoor water bans for the community, with no reason or end-date provided. She then increased the water utility rates, again, with no reason given to community members, but to the media, she said it's because she now has to pay for water to be trucked in.

If there isn't enough water to support residents watering their lawns, how can we expect their to be enough water for the community and a business campus? And with limited water resources, our water bills will become unreasonably expensive.

At the end of the day, Duhra and Amar Developments Ltd. sold us on a quiet community just outside of the city. This development is a betrayal of that promise, and was intentionally kept secret from residents and potential customers for as long as possible in order to maximize profits. I do not intend to disparage a business in trying to make money, but when it comes at the cost of nearly 1,000 of her own customers, who made their purchasing decisions on Duhra's purposefully

6/10/2020

FW: [EXTERNAL] - OPPOSITION letter to BYLAW C-7957-2019 and... - Oksana Newmen

obfuscated intentions for the community, it is clear this developer has no regard for her clients. I believe it is the role of elected officials to help protect their constituents in these situations.

I implore you to vote down Bylaw C-7957-2019.

Thank you for your time and consideration,

Aaron Chatha

References:

Section 1

Wiley (2015). The Impact of Commercial Development on Surrounding Residential Property Values. Working.

Matthews (2006). The Effect Of Proximity To Commercial Uses on Residential Prices. Georgia State University.

Aydin, Crawford, Smith (2010). Commercial Development Spillover Effects Upon Residential Values. Southwestern Economic Review.

Section 2

See image Example A attached to email

See image Example B attached to email

Section 3

Khan, A. (2020, May 24). Increased water fees amid coronavirus causes conflict in Conrich. Retrieved from <https://livewirecalgary.com/2020/05/22/increased-water-fees-amid-coronavirus-causes-conflict-in-conrich/>

Villani, M. (2020, May 28). Conrich residents frustrated over water rates increase by area developer. Retrieved from <https://calgary.ctvnews.ca/conrich-residents-frustrated-over-water-rates-increase-by-area-developer-1.4957953>

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This study is not a one-off either. A second study found a similar negative results up to 1.6km from land development with a similar designation, and third one put the range at 2km, but with a smaller sample size.

You will find a full list of my sources at the end of this letter.

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At the end of the day, Duhra and Amar Developments Ltd. sold us on a quiet community just outside of the city. This development is a betrayal of that promise, and was intentionally kept secret from residents and potential customers for as long as possible in order to maximize profits. I do not intend to disparage a business in trying to make money, but when it comes at the cost of nearly 1,000 of her own customers, who made their purchasing decisions on Duhra's purposefully obfuscated intentions for the community, it is clear this developer has no regard for her clients. I believe it is the role of elected officials to help protect their constituents in these situations.

I implore you to vote down Bylaw C-7957-2019.

Thank you for your time and consideration,

Aaron Chatha

References:**Section 1**

Wiley (2015). The Impact of Commercial Development on Surrounding Residential Property Values. Working.

Matthews (2006). The Effect Of Proximity To Commercial Uses on Residential Prices. Georgia State University.

Aydin, Crawford, Smith (2010). Commercial Development Spillover Effects Upon Residential Values. Southwestern Economic Review.

Section 2

See image Example A attached to email

See image Example B attached to email

Section 3

Khan, A. (2020, May 24). Increased water fees amid coronavirus causes conflict in Conrich. Retrieved from <https://livewirecalgary.com/2020/05/22/increased-water-fees-amid-coronavirus-causes-conflict-in-conrich/>

Villani, M. (2020, May 28). Conrich residents frustrated over water rates increase by area developer. Retrieved from <https://calgary.ctvnews.ca/conrich-residents-frustrated-over-water-rates-increase-by-area-developer-1.4957953>



Hi Dharminder

Im sorry im texting you but pls forward the following text to cambridge park homeowners as i cannot do this as i have been removed from chat

13:36

Pls note due to the recent collective complaints to rockview by way of petition by cambridge park residents stating cambridge park blvd leading to 100 st from phase 3 is unsafe. We have no choice but to close this access road and that is exactly what it only was an access road which we allowed residents to use out of courtesy but because of recent complaints, we have no choice but to close it down. Pls schedule your commute accordingly.

Tks

Rani Duhra

Amar Developments. Ltd

13:49

Pls forward to cambridge park group

6/10/2020

FW: [EXTERNAL] - Subject line: BYLAW C-7959-2019 and BYLAW ... - Oksana Newmen

Page 176 of 606

FW: [EXTERNAL] - Subject line: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Mon 6/8/2020 7:45 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: Nerinder Chatha [REDACTED]

Sent: June 7, 2020 7:08 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Cc: CambridgeParkRocky@gmail.com

Subject: [EXTERNAL] - Subject line: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Dear Rocky View County Council:

I am a resident of Cambridge Park Estates and OPPOSE BYLAW C-7959-2019 and BYLAW C-7957-2019. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Amar Developments did not communicate their plan to us when we purchased in the area. We were promised a clean, quiet neighbourhood, and this development flies in the face of the developer's initial promises to residents.

I believe it is the role of elected officials to help protect their constituents in these situations.

I implore you to vote down Bylaw C-7957-2019 and BYLAW C-7959-2019.

Sincerely,

6/10/2020

NERINDER CHATHA

209 Milton Road

Rocky View County, AB

T1Z 0B8

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

Page 178 of 606

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File# 04329003 OPPOSE

Michelle Mitton

Mon 6/8/2020 7:36 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: Devroop Kaur [REDACTED]

Sent: June 5, 2020 6:49 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File# 04329003 OPPOSE

Do not open links or attachments unless sender and content are known.

To whom it may concern,

I'm a resident of Cambridge Park Estates located in Rocky View County and would like to state that I OPPOSE the above-captioned Bylaw. I oppose the South Conrich Amendment given that a "B-BC" (business – business campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area.

I am in **strong opposition** to the proposed amendment to the designation as it is not in line with what I envisioned (and was also promised by the developer) for my community. The proposed changes will lead to an increase in pollution (noise and environmental), traffic and crime in our neighborhood. We also have legitimate concerns that the proposed change(s) will have an adverse effect on our property values.

When I moved into the house, I was told we would have beautiful mountain and city views. This was the main reason I purchased this lot, wanting to get away from the hustle and bustle of the city. Now the developer has stated that they wish to build commercially in that area, completely depleting the reason we moved here in the first place. In fact, Amar Developments had never communicated their intent to develop such a commercial development to me. Being a university student abroad, coming home to a quiet neighbourhood is something I need, especially to spend time with my family. My family has spent a lot of time and money on this dream home of ours knowing that we would have a quiet and peaceful residential area amongst us rather than a business designation that defeats the purpose. As communicated by Amar developments, we were told we would have these promises met, however, they are not meeting our promises with the designation they intend to have.

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

I urge you to reconsider this request by the developer. It's important to speak with the residents in this community, before this developer is allowed to continue their methods of business.

For these reasons, I have stated above, I am **STRONGLY OPPOSED** to the proposed amendment to BYLAW C-7959-2019 and BYLAW C-7957-2019.

Devroop Premi
67 Abbey Road
Rocky View County AB T1Z 0A1

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File# 04329003 OPPOSE

Michelle Mitton

Fri 6/5/2020 4:29 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

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From: Simranjit Premi [REDACTED]

Sent: June 5, 2020 4:23 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File# 04329003 OPPOSE

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To whom it may concern,

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I am in **strong opposition** to the proposed amendment to the designation as it is not in line with what I envisioned (and was also promised by the developer) for my community. The proposed changes will lead to an increase in pollution (noise and environmental), traffic and crime in our neighbourhood. We also have legitimate concerns that the proposed change(s) will have an adverse effect on our property values.

When my family purchased our lot, we were told that we would have beautiful mountain and city views. This was the main reason we purchased this lot, wanting to get away from the hustle and bustle of the city. Now the developer has stated that they wish to build commercially in that area, completely depleting the reason we moved here in the first place. In fact, Amar Developments had never communicated their intent to develop such a commercial development to us. If they had, we would have never have even bought it and would have searched for a location where these promises would be sustained.

We do not want to have to move again and spend all that time, money and hard work creating our dream homes in a new area all because Amar developments could not keep their promises to us. We have made our homes here, and we'd like to

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

keep them here.

I urge you to reconsider this request by the developer. It's important to speak with the residents in this community, before this developer is allowed to continue their methods of business.

For these reasons I have stated above, I am **STRONGLY OPPOSED** to the proposed amendment to BYLAW C-7959-2019 and BYLAW C-7957-2019.

Simranjit Kaur Premi
67 Abbey Road
Rocky View County AB T1Z 0A1

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File# 04329003 OPPOSE

Michelle Mitton

Fri 6/5/2020 2:40 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

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Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Jagdeep Premi [REDACTED]

Sent: June 5, 2020 2:22 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File# 04329003 OPPOSE

Do not open links or attachments unless sender and content are known.

To whom it may concern,

I'm a resident of Cambridge Park Estates located in Rocky View County and would like to state that I OPPOSE the above-captioned Bylaw. I oppose the South Conrich Amendment given that a "B-BC" (business – business campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area.

I am in **strong opposition** to the proposed amendment to the designation as it is not in line with what I envisioned (and was also promised by the developer) for my community. The proposed changes will lead to an increase in pollution (noise and environmental), traffic and crime in our neighborhood. We also have legitimate concerns that the proposed change(s) will have an adverse effect on our property values.

When I purchased my lot, I was told we would have beautiful mountain and city views. This was the main reason I purchased this lot, wanting to get away from the hustle and bustle of the city. Now the developer has stated that they wish to build commercially in that area, completely depleting the reason we moved here in the first place. In fact, Amar Developments had never communicated their intent to develop such a commercial development to me.

I urge you to reconsider this request by the developer. It's important to speak with the residents in this community, before this developer is allowed to continue their methods of business.

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

D-3**Page 183 of 606**

For these reasons I have stated above, I am **STRONGLY OPPOSED** to the proposed amendment to BYLAW C-7959-2019 and BYLAW C-7957-2019.

Jagdeep Premi
67 Abbey Road
Rocky View County AB T1Z 0A1

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

Page 184 of 606

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Thu 6/4/2020 12:54 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Dharminder Premi [REDACTED]

Sent: June 4, 2020 12:25 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Hi

I Very strongly **OPPOSE** the BYLAW C-7959-2019 and BYLAW C-7957-2019.

I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Developer has always kept their interest at the forefront at every step of the way and have made false promises to the community and have not fulfilled their duties or promises.

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ... - Oksana Newmen

- Always communicated that this is country style residential community
- Told us there will be school coming but it is not here yet
- We were sold fully serviced lots that are serviced by city water but we later discovered that is not the case
- Did a very poor job of maintaining common areas of the existing phases

Had we known about this Business Campus we would not have built our house here. We did not sign up for this when we purchased the lot and built our house.

Regards,

Name: Dharminder Premi

Address: 67 Abbey Road, Rocky View County, AB - T1Z 0A1

--

Regards,

Dharminder Premi

6/10/2020

FW: [EXTERNAL] - Subject: *BYLAW C-7959-2019 and BYLAW C-7... - Oksana Newmen

Page 186 of 606

FW: [EXTERNAL] - Subject: *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Michelle Mitton

Mon 6/8/2020 7:37 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: Paramjit Kalsi [REDACTED]
Sent: June 5, 2020 7:05 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - Subject: *BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Do not open links or attachments unless sender and content are known.

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Paramjit Singh Kalsi
Address: 18 Woodlock Road, Conrich, Rockyview County

Sent from my iPhone

6/10/2020

FW: [EXTERNAL] - Opposing BYLAW C-7957-2019 and BYLAW C-795... - Oksana Newmen

FW: [EXTERNAL] - Opposing BYLAW C-7957-2019 and BYLAW C-7959-2019 for notice of Public hearing on June 23, 2020.

Michelle Mitton

Mon 6/8/2020 7:38 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: mani [REDACTED]

Sent: June 6, 2020 1:26 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Cc: cambridgeparkrocky@gmail.com

Subject: [EXTERNAL] - Opposing BYLAW C-7957-2019 and BYLAW C-7959-2019 for notice of Public hearing on June 23, 2020.

Do not open links or attachments unless sender and content are known.

Thank you for taking the time to read my email. I, along Mrs Jessica Dhillon, Mr. Jatinder Kahlon and Mrs Gurjeet Kahlon of 9 Park Drive Rockyview county AB (Cambridge park Estates) entirely and in its totality oppose Bylaws C-7957-2019 (for application# PL20190153 (04329003)) and Bylaw C-7959-2019 (for application# PL20190021 (04329003)).

Amar Developments has never previously communicated their intent in writing to develop such a "B-BC" designation to any of the community members before they purchased the house or lots in this community. In fact, quite the opposite, verbally as witnessed by many Cambridge residents they were told no such developments will occur. No where else in rockyview or in Alberta (for example spring banks or bears paw etc) will ever allow such permits for the betterment of the community. The overwhelming majority of the community is in strict opposition of this development. RVC has approved development permits of current Phases 1, 2 and 3 with well water supply, without long term vision and consideration. It is already concerned and all future mistakes shall be avoided to save this Estate Park value and dignity. Development permits should be only allowed that are compatible with surrounding and welcomed by residents.

Furthermore, unwanted commercial establishment not congruent with the wants and needs of the community will bring unwanted commercial vehicle traffic, noise, safety issues and pollution and it will bring real estate prices

6/10/2020

FW: [EXTERNAL] - Opposing BYLAW C-7957-2019 and BYLAW C-795... - Oksana Newmen

down. Cambridge park needs to also sort out its water supply issues. In China I can see the authority not respecting to the wishes of its citizens but here in Canada please allow democracy to prevail. Minority needs also need to be respected rather than focusing on revenue generation alone. Such a venture would never be considered in other estates (for example: springbank, bears paw etc).

Dr. Maninder Kahlon, BSC,MD,CCFP, EM



6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 & BYLAW C-7957-2019 - FI... - Oksana Newmen

Page 189 of 606

FW: [EXTERNAL] - BYLAW C-7959-2019 & BYLAW C-7957-2019 - FILE #04329003 (OPPOSE)

Michelle Mitton

Mon 6/8/2020 7:39 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: rana kalsi [REDACTED]

Sent: June 6, 2020 6:31 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 & BYLAW C-7957-2019 - FILE #04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Sent from my Samsung Galaxy smartphone.

To whom it may concern,

I'm a resident of Cambridge Park Estates located in Rocky View County and would like to state that I **OPPOSE** the above-captioned Bylaw. I oppose the South Conrich Amendment given that a "B-BC" (business – business campus) designation is **INCOMPATIBLE** with the large residential community of Cambridge Park Estates along with the immediate surrounding area.

I am in strong opposition to the proposed amendment to the designation as it is not in line with what I envisioned (and was also promised by the developer) for my community. The proposed changes will lead to an increase in pollution (noise and environmental), traffic and crime in our neighborhood. We also have legitimate concerns that the proposed change(s) will have an adverse effect on our property values.

When I purchased my lot, I was told we would have beautiful mountain and city views. This was the main reason I purchased this lot, wanting to get away from the hustle and bustle of the city. Now the developer has stated that they wish to build commercially in that area, completely depleting the reason we moved here in the first place. In fact, Amar Developments had never communicated their intent to develop such a commercial development to me.

I urge you to reconsider this request by the developer. It's important to speak with the residents in this community, before this developer is allowed to continue their methods of business.

For these reasons I have stated above, I am STRONGLY OPPOSED to the proposed amendment to BYLAW C-7959-2019 and BYLAW C-7957-2019.

Harjit Kalsi
33 Pound Pl
Rocky View County AB T1Z 0A5

6/10/2020

FW: [EXTERNAL] - oppase (Dura Development phase 4)

Michelle Mitton

Mon 6/8/2020 7:41 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Reena Ruprai [REDACTED]
Sent: June 7, 2020 11:43 AM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - oppase (Dura Development phase 4)

Do not open links or attachments unless sender and content are known.

Dear Sir/Madam,

I strongly OPPOSE the above-captioned Bylaw's.

I purchased a lot in this community to build my dream home. Developer never made me aware of this Business Campus development ever. In fact I was told that the development will be residential upon purchase of the lot. If I knew that there will be more commercial coming I would not have purchased the expensive lot.

Commercial/Industrial type development can bring a lot of issues like unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values. This type of development is INCOMPATIBLE with the area of Cambridge Park.

Name Ranjit kaur Ruprai
156 Cambridge Park Way

6/10/2020

FW: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-79... - Oksana Newmen

FW: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Mon 6/8/2020 7:44 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Sunny Chatha [REDACTED]

Sent: June 7, 2020 6:59 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Cc: CambridgeParkRocky@gmail.com

Subject: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Dear Rocky View County Council:

I am a resident of Cambridge Park Estates and OPPOSE BYLAW C-7959-2019 and BYLAW C-7957-2019. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

I believe it is the role of elected officials to help protect their constituents in these situations.

I implore you to vote down Bylaw C-7957-2019 and BYLAW C-7959-2019.

Sincerely,

DALJIT CHATHA

209 MILTON ROAD

ROCKY VIEW COUNTY

T1Z 0B8

6/10/2020

FW: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-79... - Oksana Newmen

FW: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-7957-
2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Mon 6/8/2020 7:42 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Gurmail Dhanjal [REDACTED]

Sent: June 7, 2020 12:59 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

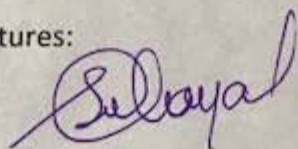
Dear Sir/Madam,

I am a resident of Cambridge Park Estates and **OPPOSE** the above-captioned Bylaw's. I oppose the South Conrich Amendment given that Business – Business Campus Commercial/Industrial designation is **INCOMPATIBLE** with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such Business Commercial development plan to me. We were told that the entire area will be developed as Country Style Residential, Which is why we chose to bring our families to this community.

Commercial development that includes "light industrial" development is simply **INCOMPATIBLE** with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well as what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This **INCOMPATIBLE** type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Regards,

Signatures:



Name:

Gurmail Singh

Address:

7 ST. ANDREWS PL.

6/10/2020

FW: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-79... - Oksana Newmen

Page 195 of 606

FW: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 9:50 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Kamal Bassi [REDACTED]

Sent: June 5, 2020 9:42 AM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Dear Sir/Madam,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that Business – Business Campus Commercial/Industrial designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such Business Commercial development plan to me. We were told that the entire area will be developed as Country Style Residential, Which is why we chose to bring our families to this community.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well as what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Regards,

Kamal Bassi

11 St John's place

Rockyview AB
[REDACTED]

6/10/2020

FW: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-79... - Oksana Newmen

Page 196 of 606

FW: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 9:48 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Neeraj mishra [REDACTED]

Sent: June 4, 2020 10:39 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Cc: cambridgeparkrocky@gmail.com

Subject: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

To , Rocky View County, 262075 Rocky View Point, Rocky View County Alberta

Re: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Hi Legislative Services,

I am the resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Regards,

6/10/2020

FW: [EXTERNAL] - Subject: BYLAW C-7959-2019 and BYLAW C-79... - Oksana Newmen

D-3

Page 197 of 606

Name: Neeraj and Zankhana Mishra

Address: 23 Kings Road Rockyview County AB T1Z 0A2



5/13/2020

file number 04329003 New Development in Cambridge Park - Oksana Newmen

file number 04329003 New Development in Cambridge Park

Jessie Singh 

Tue 1/28/2020 12:16 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

 2 attachments

email_JSingh.jpg; email_JSingh.jpg;

Hey there,

We have the following concerns regarding the above file:

We built houses in this neighborhood to live in country style setup which was promoted by the developer. Industrial commercial and business setup will greatly depreciate value of our houses and will not be compatible with country style living which we are currently enjoying. It will increase, noise, dust, traffic and crime in the area.

Regards

Jessie Singh

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019-Fi... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019- File#04329003 (OPPOSE)

Michelle Mitton

Mon 6/8/2020 7:45 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: sonny s [REDACTED]

Sent: June 7, 2020 7:58 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019-File#04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

I AM RESIDENT OF Cambridge Park Estates and OPPOSE the above-caption Bylaw,s. I OPPOSE the South Conrich Amendment given that a "B-BC" (Business-Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. That said it will bring unwanted noise pollution, traffic and create a negative impact on the community of Cambridge Park Estates. I strongly oppose the development.

Name:Kuldip Sandhu

Address: 129 Park Dr.

Kuldip Sandhu

6/10/2020

FW: [EXTERNAL] - Bylaw c-7959-2019 and Bylaw c-7957-2019-fi... - Oksana Newmen

Page 200 of 606

FW: [EXTERNAL] - Bylaw c-7959-2019 and Bylaw c-7957-2019-file#04329003 (oppose)

Michelle Mitton

Fri 6/5/2020 9:39 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: mand akash [REDACTED]

Sent: June 4, 2020 6:00 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Cc: cambridgeparkrocky@gmail.com

Subject: [EXTERNAL] - Bylaw c-7959-2019 and Bylaw c-7957-2019-file#04329003 (oppose)

Do not open links or attachments unless sender and content are known.

Hello,
I'm a resident of Cambridge Park Estates and I completely oppose the above-captioned Bylaw. I'm opposing the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is completely incompatible with the large residential community of Cambridge Park Estates along with the closely surrounding area. When I purchased land here from Amar Development, they said all these phases including phase 4 would be residential. I built my home thinking there will be no commercial development in the Cambridgepark in any of the phases. If this development goes ahead, I will be faced with increased traffic, a decreased home value, increased crime in the area. We are already facing water issues in the other three phases where the developer hasn't resolved the problems to date. The developer is also using scare tactics to get this development approved. For example, shutting down access from 100 St into Cambridgepark and telling residents that there will be no RVC Co-op water connection if we don't vote in favor of this amendment.

I completely oppose this amendment. I am however in favor of additional residential development in phase 4.

If you have any questions, please contact me at 587-969-7678.

6/10/2020

Thank you

Akashdeep Mand
7 Abbey Road
Rockyview County, AB
T1Z 0A1

6/10/2020

FW: [EXTERNAL] - Phase 4 Oppose Template

Michelle Mitton

Mon 6/8/2020 7:46 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Priya Chatha [REDACTED]**Sent:** June 7, 2020 8:09 PM**To:** PAA_ LegislativeServices <legislativeservices@rockyview.ca>**Subject:** [EXTERNAL] - Phase 4 Oppose Template

Do not open links or attachments unless sender and content are known.

Dear Rocky View County Council:

I am a resident of Cambridge Park Estates and OPPOSE BYLAW C-7959-2019 and BYLAW C-7957-2019. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Amar Developments did not communicate their plan to us when we purchased in the area. We were promised a clean, quiet neighbourhood, and this development flies in the face of the developer's initial promises to residents.

I believe it is the role of elected officials to help protect their constituents in these situations.

I implore you to vote down Bylaw C-7957-2019 and BYLAW C-7959-2019.

6/10/2020

Sincerely,

Name: Prianka Chatha

Address: 230 Milton Road Rockyview County, AB T1Z 0B8

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (O... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (OPPOSE)

Michelle Mitton

Mon 6/8/2020 7:46 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: San Ran [REDACTED]

Sent: June 7, 2020 8:35 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (OPPOSE)

Do not open links or attachments unless sender and content are known.

Dear Sir/Madam,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw for following reasons

1. INCOMPATIBILITY

- The proposed development of B-BC zoning is not compatible with the residential community of Cambridge Park along with immediate surrounding areas. Industrial development is incompatible with the longstanding vision of Cambridge Park.
- B-BC zoning will transform the country living to more urban living. That is not what we signed up for when we built/bought our houses in this neighborhood.
- B-BC Zoning will bring in unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current home property values of the existing residents.
- The developer sold the lots as acreage country living style where families could raise their children away from crowded commercial neighborhoods

- From the first resident who purchased the lot or the house to the last, were told that the developer is planning more residential in the Phase 4 (Cell D)
- Idea of Industrial and Business Park with B-BC zoning was never shared by Amar Developments as they were selling residential lots in Phase 1, 2 and 3
- Home is the biggest investment one ever makes in lifetime, Had people known this beforehand, people would have made purchase decisions on such huge investments accordingly.
- The proposed zoning will impact property values within the estate neighborhood.
- As per Conrich Area Structure Plan, Cambridge Park is already surrounded by Industrial Commercial on all three sides. Having Industrial at the entrance of the community will ruin the complete outlook of the area.

2. TRAFFIC

- **There will be a lot of Commercial traffic that will share the road from 100st with the 1000 plus residents on a daily basis.**
- Most residents work in the City of Calgary and use 100 St to commute on a daily basis. Residents will have to commute through business campus on a daily basis. Kids going to school at Prince of Peace and Chestermere High will also encounter more traffic in morning and evenings.

3. NOISE

- **B-BC zoning will allow light industry, warehouses etc. to come to the backyard of the estate neighborhood which will increase noise levels for the residents.**

4. WATER SUPPLY ISSUE

There have been constant water Quality and Quantity issues in the existing 3 Phases of the development. Amar development has not connected the Cambridge community to the regional Rockyview Potable water system(which is available in close proximity) even after promising it to do so in development applications of phase 1,2 and 3. No new development should be allowed until Amar development full fill this condition.

- image.png

5. FALSE PROMISES FROM DEVELOPER

- Amar Developments should stick to their original plan and vision to bring more residential in Phase 4 as per their constant communication of the same to the residents
- All Phase 3 lots were sold to residents showing there is direct access for them to go to work from 100St but they threatened to even close it. if Phase 4 application is opposed by residents. This is contrary to conditions under which Phase 3 was approved.

I request Rockyview Council members to please decline the Bylaw amendments requested in the Application # PL20190021 and PL20190153. These amendments will affect the life of area residents in a negative way due to more traffic, noise, water supply issues and decrease in property values.

Sandeep Randhawa

5, Pound Place

Cambridge Park, Rockyview County.

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (O... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 9:50 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

Importance: High

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Ann Pilon [REDACTED]

Sent: June 5, 2020 9:34 AM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Cc: Cambridgeparkrocky@gmail.com

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (OPPOSE)

Importance: High

Do not open links or attachments unless sender and content are known.

I am writing in today to state that I STRONGLY OPPOSE the BYLAW C-7959-2019 and BYLAW C-7957-2019.

When I bought my house in 2012, I was told by AMAR DEVELOPMENT that it would ONLY be a 3 phase community of Houses and NO industrial would be build in this community other than a Strip Mall up front for us to access, it would be country living close to the city.

The crime it would bring into our community , the DRUGS , the traffic, The GARABGE being dumped in our area : This would ALL increase due to the development Amar is trying to get approved.

So a Very NEGATIVE impact on this community.

The community has asked her to build a church , or houses , or a community hall or even to sell the property to the home owners but she has stated it will not give her enough money , so it's all about the money to her and not about the community that they have built.

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (O... - Oksana Newmen

D-3

Page 208 of 606

So again I STRONGLY OPPOSE the BYLAW C-7959-2019 and BYLAW C-7957-2019.

Ann Pilon

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (O... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 9:41 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Nav Dhundal [REDACTED]

Sent: June 4, 2020 6:34 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (OPPOSE)

Do not open links or attachments unless sender and content are known.

To whom it may concern,

I'm a resident of Cambridge Park Estates located in Rocky View County and would like to state that I OPPOSE the above-captioned Bylaw. I oppose the South Conrich Amendment given that a "B-BC" (business – business campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area.

I am in **strong opposition** to the proposed amendment to the designation as it is not in line with what I envisioned (and was also promised by the developer) for my community. The proposed changes will lead to an increase in pollution (noise and environmental), traffic and crime in our neighborhood. We also have legitimate concerns that the proposed change(s) will have an adverse effect on our property values.

My family purchased our lot from Amar Developments in October of 2014 and we spent over 6 months building our dream. We were very happy to finally live in a home located in a small and quite community, which was away from the traffic and noise of Calgary. For the last 5 years we have enjoyed the peaceful country style living that we invested in.

This community is full of very hard-working and honest people, all of whom I am proud to call a neighbour. As you are aware, our community has been the victim of multiple issues from our developer (which is also the builder for most homes here Amar Developments). In the 5 years I have lived in this community I have seen first-hand all the broken promises, lies, deceit and also intimidation by Amar Developments.

Before I purchased my lot, I was told, (By Amar Developments), that it would be fully serviced and I would be attached to a waterline coming from Langdon. Until the last 6 months I had no idea that my water was coming from a well located in the community and owned the developer/builder (although under a different legal entity). As a result, I have spent about 10K in 5 years on replacing hot water tanks, installing a softener system, installing a water filter ect. The quality of water in this community is clearly an issue. The company that replaced my last hot water tank advised me that most the tanks in the community are being changed within 5 years. This installer was of the opinion that this community had "horrible" water conditions.

The developer has also made clear to us that the supply of water in the community is inadequate. We have had a water ban in this community from when I moved in May 2015. I do not understand how this developer is planning to provide enough adequate water to another phase in this development, when the residents of the first 3 phases have a shortage. With the inadequate volume of water supply to the existing homes in phase 1, 2 and 3, It is not feasible to have any commercial development in phase 4. The developer has been making promises to the community to connect to the regional water line for years prior to developing phase 3 but so far has not been able to provide any connection or been able to substantiate in any way that they are currently working towards connecting to said water line.

When I purchased my lot, I was also told by the developer that the parcel of land behind my house would developed in to a community center or a school. This was the main reason I purchased this lot, having a school in our backyard was very attractive. Now the developer has stated that they have no further plans to build anything at all on this land. The land looks like a dump; there is no grass, puddles of water with mosquitos everywhere. It is such an eyesore and I have to watch my young children when they play in my backyard as coyotes and foxes have been seen on that parcel of land the developer owns.

There are many other concerns with this developer. They have a reputation of tax evasion and within our community they have collected large sums of money for which we have been provided no records. The stories about this developer and all the money they have ripped people out of, are never ending.

I urge you to reconsider this request by the developer. Its important to speak with the residents in this community, before this developer is allowed to continue their methods of business.

For these reasons I have stated above, I am **STRONGLY OPPOSED** to the proposed amendment to BYLAW C-7959-2019 and BYLAW C-7957-2019.

Navdip Dhundal
14 Park Drive
Rocky View County AB T1Z 0A1

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (OPPOSE)

Michelle Mitton

Fri 6/5/2020 9:39 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Taran Mehdwan [REDACTED]

Sent: June 4, 2020 5:46 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (OPPOSE)

Do not open links or attachments unless sender and content are known.

To whom it may concern,

I'm a resident of Cambridge Park Estates located in Rocky View County and would like to state that I OPPOSE the above-captioned Bylaw. I oppose the South Conrich Amendment given that a "B-BC" (business – business campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area.

I am in **strong opposition** to the proposed amendment to the designation because it is not in line with what I envisioned for my community. The proposed changes will lead to more pollution (noise and environmental) as well as increase traffic in and around our very quiet community. The proposed change also brings with it a potential of increased crime in to our neighborhood. Furthermore, the proposed change will have an adverse affect on our current home property values.

My family and I moved here to get away from the congestion, noise and hustle of large city living. We purchased our dream home in April 2015 and have enjoyed the peaceful country living in the perfect quiet country style atmosphere since then.

The proposed development of B-BC zoning is not compatible **in any way** with the large residential estate style community surrounding it. In addition to increased traffic, noise and pollution the proposed amendment will take away from the quiet country style atmosphere in which our dream home is located in.

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 (O... - Oksana Newmen

The community is currently facing substantial issues with the developer (Amar Developments). There have been years and years of false and broken promises for which the developer seems to have no answers or accountability for. When I acquired my property in April 2015, I was told by the developer that the water source is a Rocky View County water line coming from Langdon. I was shocked to discover at a much later time, that the water supply to my home is indeed a water well located within the community and Langdon Utility Corp is just the billing company. The quality of the water is extremely poor, it is murky, tastes terrible and destroys hot water tanks after 4-5 years of normal usage. The supply of water is inadequate as we have been suffering from a continuous water ban in place for the last few years. With the inadequate volume of water supply to the existing homes in phase 1, 2 and 3, It is not feasible to have any commercial development in phase 4. The developer has been making promises to the community to connect to the regional water line for years prior to developing phase 3 but so far has not been able to provide any connection or been able to substantiate in any way that they are currently working towards connecting to said water line.

I was also told by the developer that the parcel of land on Cambridge Park Way would be developed in to a community center or a school. In recent interactions, the developer has stated that they have no further plans to build anything at all on this land. To this day that parcel of land sits vacant and barren not even landscaped or seeded with grass. There is a large section of commercial land which already exists in the community on Cambridge Park Way west of Conrich Road. The developer should consider developing that land first, before asking for this amendment as it has also been sitting vacant, barren and is a total eyesore since at least July of 2014 when I first visited this area.

For these reasons I have stated above, I am **STRONGLY OPPOSED** to the proposed amendment to BYLAW C-7959-2019 and BYLAW C-7957-2019.

Taranpreet Mehdwan
3 Abbey Road
Rocky View County AB T1Z 0A1

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019- F... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019- File #04329003(OPPOSE)

Michelle Mitton

Mon 6/8/2020 1:29 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Amarjit Dhaliwal [REDACTED]

Sent: Monday, June 08, 2020 11:55 AM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Cc: cambridgeparkrocky@gmail.com

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019- File #04329003(OPPOSE)

Do not open links or attachments unless sender and content are known.

Dear Sir/ Madam,

I am a resident of Cambridge Park Estates and oppose the above-captioned Bylaws. I oppose the South Conrich Amendment given the Business-Business Campus Commercial/ Industrial designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area, In fact, Amar Developments had never previously communicated their intent to develop such Business Commerical development plan to me. We were told the entire area will be developed as Country Style Residential. Which is why we chose to bring our families to this community.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision- as outlined in both the South Conrich Approved Conceptual Scheme as well as what has been the longstanding and consistent communication by Amar Developments- of what this community was to be both and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexcepted noise, pollution, and traffic and create a potentially negative impact on the current lifestyle of the residents and home priority values of the existing residents.

Regards,

Jagmohan Dhaliwal and Amarjit Dhaliwal

Signatures:

Jagmohan Singh Dhaliwal

Amarjit Kaur Dhaliwal

Jagmohan Dhaliwal and Amarjit Dhaliwal
49 park drive, Rocky View County, T1Z 0A3 AB Canada

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 -... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - **

OPPOSE **

Michelle Mitton

Tue 6/9/2020 11:02 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: J Smith [REDACTED]**Sent:** June 9, 2020 10:53 AM**To:** PAA_ LegislativeServices <legislativeservices@rockyview.ca>**Cc:** cambridgeparkrocky@gmail.com <cambridgeparkrocky@gmail.com>**Subject:** [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - ** OPPOSE **

Do not open links or attachments unless sender and content are known.

Dear Rocky View,

We are residents of Cambridge Park Estates and we OPPOSE the above-captioned Bylaw's. We oppose the South Conrich Amendment given that a "B-BC" (business – business campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. Please note that we are raising the opposition at this time as the developer, Amar Developments, had not previously communicated their intent to develop such a "B-BC" designation to us or the community.

Commercial development that may even include "light industrial" development is simply INCOMPATIBLE with the longstanding vision for the area – as outlined in both the South Conrich Approved Conceptual Scheme as well as to that which had been longstanding and consistently communicated by Amar Developments. This INCOMPATIBLE type of development will bring about many nuisances such as unwanted and unexpected noise, odor, pollution and extra traffic, creating a potentially negative impact on the current lifestyle of residents and home property values of the existing residents.

Sincerely,

Name: John & Dionne Smith

Address: 18 Park Dr

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 -... - Oksana Newmen

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 -
File # 04329003 (OPPOSE)*

Michelle Mitton

Tue 6/9/2020 3:15 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

MMitton@rockyview.ca | www.rockyview.ca

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From: Rick B [REDACTED]

Sent: June 9, 2020 2:08 PM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Do not open links or attachments unless sender and content are known.

Good Morning,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. Amar Developments had never communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 -... - Oksana Newmen

INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Thank you

Rick Brar

86 Trinity Road

Rocky View County, AB

T1Z 0B9

Attention: Planning Services Department File: 04329003 Application: PL20190021 - Redesignation

rajinder dhillon [REDACTED]

Tue 1/28/2020 1:33 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

To Whom It May Concern,

My name is Rajinder Dhillon and I'm writing this email today in regards to the potential commercial phase in my community and my opposition to it. It's been a dream to build my own custom home in an area away from the city. The long-standing luxury of living in this area was to be close enough to the city all while enjoying the quiet, scenic, and close-knit community. This area is known in the city for exactly this. Exclusive industrial, commercial, and/or business sectors will have a negative effect on this community through the depreciation of our homes, an increase in noise pollution, environmental damage, traffic, crime, and does not follow the values of this community as a whole. The newly opened truck yard that just opened off of Range Road 285 has already spurred negative feelings in the community and has potentially already added to the depreciation of our unique homes, noise pollution, environmental damage, and traffic. I reside in the newest phase of Cambridge Park, Phase 3, and since I've moved, there's been many changes to the community such as the second entrance that's more convenient for all residents to use to go to McKnight Blvd or 16th Ave / Trans Canada Highway and there is no sign to distinguish this community for visitors and not a single light at the narrow turn to make the entrance safer for driving in the dark or bad weather conditions.

I truly hope you take this into consideration, me and the rest of the residents of Cambridge Park are greatly opposed to this and it is not what was expected or promised and should it have been stated explicitly before, I'm sure a vast majority of us would've sought out our dreams of building our dream homes elsewhere.

My place of residence is: 10 Woodlock Road. Should you have any questions or concerns, feel free to reach me at [REDACTED]

Sincerely,

Rajinder Dhillon

5/13/2020

Attention: Planning Services Department File: 04329003 Application: PL20190021 - Redesignation

Sukhmeet Dhillon [REDACTED]

Tue 1/28/2020 2:02 PM

To: Oksana Newmen <ONewmen@rockyview.ca>;

To Whom It May Concern,

My name is Sukhmeet Dhillon and I'm writing this email today in regards to the opposition of a commercial phase in Cambridge Park's final phase, Phase 4.

Since my move to Cambridge Park almost two years ago this summer, me and my family have finally settled into our home and love living here. Though we're on the opposite end of the city, waking up to the beautiful Rockies is breath-taking and an added bonus of living in this area. You feel a sense of peace whilst living here. Me and my neighbours have realized that this can be taken away from us through the development of a commercial phase. The depreciation of our homes, an increase in noise pollution, environmental damage, traffic, and crime are just the surface of issues that follow along with a commercial development and it isn't aligned with what the residents of this community value. In fact, the newly opened truck yard that just opened off of Range Road 285 has already spurred negative feelings in the community and has already created noise pollution, environmental damage, and traffic as well as impacted the value of our homes. With the creation of Phase 3, the second entrance to enter Cambridge Park lessens the time to go to McKnight Blvd or 16th Ave / Trans Canada Highway and yet there is no sign to distinguish this community for visitors and there is no light to signal for the narrow turn ahead to make the entrance safer for driving in the night or the bad weather conditions.

I do hope you take this into consideration, as both me and the rest of the residents of Cambridge Park are greatly opposed to this and it is not what Cambridge Park needs, after all, we're the ones that reside here.

My place of residence is: 10 Woodlock Road. Should you have any questions or concerns, feel free to reach me at [REDACTED]

Sincerely,

Sukhmeet Dhillon

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Michelle Mitton

Mon 6/8/2020 7:43 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: Manpreet Brar [REDACTED]
Sent: June 7, 2020 2:21 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Do not open links or attachments unless sender and content are known.

Good afternoon,

I'm a resident of Cambridge Park Estates located in Rocky View County and would like to state that I OPPOSE the above-captioned Bylaw. I oppose the South Conrich Amendment given that a "B-BC" (business – business campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area.

I am in strong opposition to the proposed amendment to the designation as it is not in line with what I envisioned (and was also promised by the developer) for my community. The proposed changes will lead to an increase in pollution (noise and environmental), traffic and crime in our neighborhood. We also have legitimate concerns that the proposed change(s) will have an adverse effect on our property values.

The reason we moved here was to get away from the city and have a peaceful environment without any extra traffic. We wanted nice mountain views and the feel of country living with the comfort of knowing the city was close by but did not impede on our living. Now the developer has stated that they wish to build commercially in that area, completely depleting the reason we moved here in the first place. In fact, Amar Developments had never communicated their intent to develop such a commercial development to me.

I urge you to reconsider this request by the developer. It's important to speak with the residents in this community, before this developer is allowed to continue their methods of business.

For these reasons I have stated above, I am STRONGLY OPPOSED to the proposed amendment to BYLAW C-7959-2019 and

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 -... - Oksana Newmen

BYLAW C-7957-2019.

Regards,

Manpreet Brar
23 St Johns Place, Rocky View County, AB T1Z0A5

6/10/2020

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 -... - Oksana Newmen

Page 222 of 606

FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Michelle Mitton

Fri 6/5/2020 9:51 AM

To: Oksana Newmen <ONewmen@rockyview.ca>;

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

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From: Kris Jaswal [REDACTED]

Sent: June 5, 2020 9:44 AM

To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>

Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

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I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Harkrishan Jaswal

113 Park Drive Rocky View Alberta

Sent from my Samsung Galaxy smartphone.

Oksana Newmen

From: Michelle Mitton
Sent: Wednesday, June 03, 2020 2:29 PM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

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From: Paul Jaswal [REDACTED]
Sent: June 3, 2020 1:46 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

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I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Parminder Jaswal
113 Park Drive Rocky View Alberta

Oksana Newmen

From: Michelle Mitton
Sent: Friday, June 05, 2020 9:48 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
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-----Original Message-----

From: Amna Mazhar [REDACTED]
Sent: June 4, 2020 11:07 AM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

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Hi,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me. Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Khawa Farooq
Amna Mazhar
40 Abbey Road Rockyview county AB

Sent from my iPhone

Oksana Newmen

From: Michelle Mitton
Sent: Friday, June 05, 2020 9:47 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

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From: gurpyar singh bhullar [REDACTED]
Sent: June 4, 2020 9:58 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

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I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Gurpyar Singh Bhullar
Address: 105 Park Dr, Rocky View No. 44, AB, Canada.

Oksana Newmen

From: Michelle Mitton
Sent: Friday, June 05, 2020 9:42 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

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From: Gurbinder Maan [REDACTED]
Sent: June 4, 2020 7:28 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

Do not open links or attachments unless sender and content are known.

Hello Sir/Madam,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Name: Gurbinder Singh Maan
Address: 58 Woodlock Rd Rocky View County

[Sent from Yahoo Mail on Android](#)

Oksana Newmen

From: Michelle Mitton
Sent: Wednesday, June 03, 2020 3:19 PM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

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From: [REDACTED]
Sent: June 3, 2020 2:44 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)*

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Commercial development that includes "light industrial" development is simply INCOMPATIBLE with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by Amar Developments – of what this community was to be both now and upon its completion. This INCOMPATIBLE type of development will bring unwanted and unexpected noise, pollution and traffic and create a potentially negative impact on the current lifestyle of the residents and home property values of the existing residents.

Amarjit Jaswal
61 Park Drive Rocky View Alberta

Sent from my Samsung Galaxy smartphone.

Oksana Newmen

From: Michelle Mitton
Sent: Wednesday, June 10, 2020 8:41 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - Re: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

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-----Original Message-----

From: Dil Sidhu [REDACTED]
Sent: June 9, 2020 10:42 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Cc: cambridgeparkrocky@gmail.com
Subject: [EXTERNAL] - Re: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

My name is Dilmeet Sidhu and I reside at 29 Pound Place Rockyview, AB T1Z0A5

> On Jun 9, 2020, at 10:39 PM, Dil Sidhu [REDACTED] wrote:

>

> I am a resident in phase 2 of Cambridge park, and I am opposed to the proposed development of phase 4. I believe that something that is more community oriented such as community or rec centre to address the needs of the youth in our community as well as the seniors in our community which make a big number of the members of our community

Oksana Newmen

From: Michelle Mitton
Sent: Wednesday, June 10, 2020 8:42 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

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-----Original Message-----

From: Rosy Sidhu [REDACTED]
Sent: June 9, 2020 10:43 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Cc: cambridgeparkrocky@gmail.com
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

My name is Ramandeep Sidhu and I reside at 29 Pound Place Rockyview, AB T1Z0A5 I am a resident in phase 2 of Cambridge park, and I am opposed to the proposed development of phase 4. I believe that something that is more community oriented such as community or rec centre to address the needs of the youth in our community as well as the seniors in our community which make a big number of the members of our community

Rosy Sidhu
Sent from my iPhone

Oksana Newmen

From: Michelle Mitton
Sent: Wednesday, June 10, 2020 8:42 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520- 1290 |

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From: Harman Sidhu [REDACTED]
Sent: June 9, 2020 10:53 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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I am a resident in phase 2 of Cambridge park, and I am opposed to the proposed development of phase 4. I believe that something that is more community oriented such as community or rec centre to address the needs of the youth in our community as well as the seniors in our community which make a big number of the members of our community.

Harman Sidhu
29 Pound Place, Rocky View, AB

Oksana Newmen

From: Michelle Mitton
Sent: Tuesday, June 09, 2020 8:12 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

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-----Original Message-----

From: Avtar Dhadda [REDACTED]
Sent: Monday, June 08, 2020 5:47 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Name: Avtar Dhadda
Address: 51 Kings Road, Rockyview County AB, T1Z0A2

Sent from my iPhone

Oksana Newmen

From: Michelle Mitton
Sent: Monday, June 08, 2020 7:43 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

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Phone: 403-520- 1290 |

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From: Lavpreet Brar [REDACTED]
Sent: June 7, 2020 2:20 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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To whom it may concern,

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When I purchased my lot, I was told we would have beautiful mountain and city views. This was the main reason I purchased this lot, wanting to get away from the hustle and bustle of the city. Now the developer has stated that they wish to build commercially in that area, completely depleting the reason we moved here in the first place. In fact, Amar Developments had never communicated their intent to develop such a commercial development to me.

I urge you to reconsider this request by the developer. It's important to speak with the residents in this community, before this developer is allowed to continue their methods of business.

For these reasons I have stated above, I am STRONGLY OPPOSED to the proposed amendment to BYLAW C-7959-2019 and BYLAW C-7957-2019.

Lavpreet Brar
23 St Johns Place
Rocky View County AB T1Z 0A1

Oksana Newmen

From: Michelle Mitton
Sent: Monday, June 08, 2020 7:43 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

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-----Original Message-----

From: Rohit Brar [REDACTED]
Sent: June 7, 2020 2:18 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Rohitpreet Brar
23 St. John's Pl
Rocky View County AB T1Z 0A5

Oksana Newmen

From: Michelle Mitton
Sent: Monday, June 08, 2020 7:43 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.Sc

Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY

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From: Satbir Brar [REDACTED]
Sent: June 7, 2020 2:16 PM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Good day,

I am a resident of Cambridge Park Estates and OPPOSE the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

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Regards,

Satbir Singh Brar
23 St Johns Place, Rocky View County, AB T1Z 0A5

Oksana Newmen

From: Michelle Mitton
Sent: Monday, June 08, 2020 7:41 AM
To: Oksana Newmen
Subject: FW: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

MICHELLE MITTON, M.SC
Legislative Coordinator | Municipal Clerk's Office

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520- 1290 |
MMitton@rockyview.ca | www.rockyview.ca

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-----Original Message-----

From: Romi Sidhu [REDACTED]
Sent: June 7, 2020 11:38 AM
To: PAA_ LegislativeServices <legislativeservices@rockyview.ca>
Cc: Cambridgeparkrocky@gmail.com
Subject: [EXTERNAL] - BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Do not open links or attachments unless sender and content are known.

To whom it may concern,

I am resident in phase 2 of Cambridge Parks, I am opposing this application for zoning and subdivision, because I have no information nor have I been informed of any proposals being brought forward in our community.

Sent from my Iphone.
Romi Sidhu

To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

HI Legislative Services,

I am the resident of Cambridge Park Estates and **OPPOSE** the above-captioned Bylaw's. I oppose the South Conrich Amendment given that a "B-BC" (Business – Business Campus) designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such a "B-BC" designation to me.

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Regards,



Name: Amrit Phaguda

Address:

15 Kings Road



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Name:

Kuldip Singh

Address:

7 Kings Road Rocky View
County, AB T1Z 0A2



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

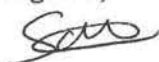
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Regards,



Name: *SUKH HANS*

Address: *11 KING RD #*
Rocky view county



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
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Regards,



Name: JUNAID ABBAS



Address:

3 kings RD
T12 0A2



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Regards,



Name: Sarbjit Bains

Address: 19 Kings Road
Rockyview County



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

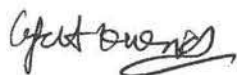
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Regards,



Name: Rajinder Singh Gill

Address: 46 Kings Road
Rockyview County



To ,
Rocky View County,
262075 Rocky View Point,
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Regards,



Signature:

Name: SUKHJINDER TOOR

Address: 38, TRINITY RD
ROCKY VIEW AB.
T1Z 0B9



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262075 Rocky View Point,
Rocky View County
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Regards,

Signature: *Jarup Sidi*

Name: *JARUP SIDDI*

Address: *16 Trinity Rd*



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Rocky View County,
262075 Rocky View Point,
Rocky View County
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Regards,

Jasbir Nisser

Name:

JASBIR NISSER

Address:

*39 Kings Rd.
Rockyview County*



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
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Regards,

Name: *Harinder Kalkat*

Address: *38 Kings Rd*
Rocky View County
T1Z 0A2



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Regards,

Signature:



Name:

Mandeep Kaler

Address:

50 Woodlock Rd



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
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Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Paramjit Sandhu
206 Millon Road, Rocky View County.
PARAMJIT SANDHU
Signatures:

Name:

Address:



To ,
Rocky View County,
262075 Rocky View Point,
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Regards,



Name: Zankhana Mishra
Neenaj Mishra

Address: 23 Kings Road
Rockyview County.



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Regards,



Signatures:

SURJIT SINGH DHILLON

Name:

Address: *126 TRINITY ROAD*



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262075 Rocky View Point,
Rocky View County
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Regards, *Suzanne Sidhu*

Name: *Suzanne Sidhu*

Address: *58 King's Road*



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262075 Rocky View Point,
Rocky View County
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Regards,

Signature:



Name:

RESHAM SINGH SIDHU

Address:

20 TRINITY ROAD



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Regards,

Signature:

Balwinder S

Name:

Balwinder Sidhu

Address: 64 Woodlock Road,
T7E 0C1



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject : By Law C-7957-2019 and C-7959-2019

I, the undersigned, **OPPOSE** the proposed by laws **C-7957-2019 and C-7959-2019**

This opposition is based upon my belief that a business – business campus designation is not consistent with the broader community of Conrich Area. I am also fearful that Business Campus that includes Light Industrial will bring unwanted and unexpected noise, pollution and traffic and may also have a potential negative impact on the current property values of the homes within this broader community.

I am of the opinion that the B-BC zoning will disrupt the quiet country style neighborhood we live in today.

Regards,

Signature

Name:

Mohammad Sabbar

Address:

244084 RG Road 285



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signature

Alamji

Name:

Nizar

Address:

284188 TWP RD 244A.



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262075 Rocky View Point,
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Regards,

Signature

Wm Duncan

Name:

Billy Duncan

Address:

244052 100st ne



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262075 Rocky View Point,
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Regards,

Signatures:



Name:

Paul Pawa

Address:

80 - Park Drive



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262075 Rocky View Point,
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Regards,

Signatures:



Name:

Jasmeet Pureval

Address:

84 Park Drive



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Regards,

Signatures:



Name:

Pardeep Jaswal

Address:

97 Park Drive



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262075 Rocky View Point,
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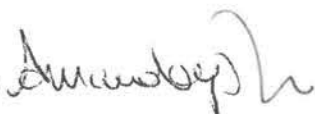
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Regards,

Signatures:



Name:

Amandeep S Sawalha

Address:

33 Park Dr.



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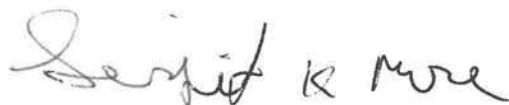
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Regards,

Signatures:



Name: SURESH K MORE

Address: 92 park Dr



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta


Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

Dear Sir/Madam,

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Regards,

Signatures: 

Name: Ravinder Arora

Address: 96 Birch Drive



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Ratinderjeet Samra

Signatures:



Name:

100 Park Drive

Address:

Rocky View AB

T1Z0A4



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,


Signatures:

Name: – SURJIT DHILLON
Address: 112 PARK DRIVE



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,



Signatures:

N. D. NORMAN

Name:

116 Park Drive

Address:



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Signatures:

Name:

Manpreet Nahi

Address:

125 Park Drive, Rockyview, AB



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Signatures:



Name:

Kuldeep Sandhu

Address:

129 Park Dr.



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta


Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

MANDEEP SINGH GROWN
Signatures: 

Name: MANDEEP SINGH GROWN

Address: 132 PARK DR.

Rocky View
T1Z 0A4



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Signatures: 

Name: *Sian SARAVJIT*

Address: *136 - PARK DR*



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

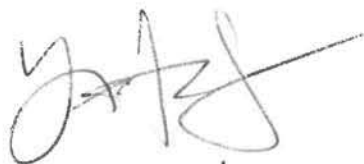
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Regards,

Signatures:



Name:

Nick Flecher

Address:

140 Park Drive



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,


Signatures:

Name: GURVINDER CHahal
Address: 141-PARK DRIVE



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Signatures:



Name: *BALWINDER M. WAHA*

Address: *145 PARK DRIVE
ROCKY VIEW COUNTY, AB
T1T 0A3*



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Signatures:



Name:

SUKHDARSHAN SIDHU

Address:

109 Park drive Rockyview AB, T1Z0A3



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Signatures:

Name: *Bobby Bhamit*

Address:

77 SADDLE

77 PERRY LANE

T12 0A4



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Signatures:

 Nadeen Yawar

Name:

Address:

70- Penny Lane
Rocky view, AB
T1Z 0A5



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Beena Joseph
Signatures:

Name: Beena Joseph
Address: 69, Penny Lane
Rocky view County
T1Z 0A4 AB



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Signatures:



Name:

RAJ SANDAL

Address:

108 PARK DR. CONRICH



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Signatures:

Name: GURINDER SINGH GILL

Address: 151 CAMBRIDGE PARK WAY



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Signature:

Bhinderpal Singh

Name:

BHINDERPAL SINGH GILL

Address:

2 mill Bay



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signature:



Name:

JAGBIR KHOSLA

Address:

10 Mill Bay Rocky view



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,


Signatures:


Name:

Address: 10 PARK DR.



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:



Name:

STANLEY OH

Address:

5 BAR R DRIVE



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

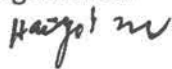
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Regards,

Signatures:



Name:

HARJIT SINGH KANG

Address:

I Park Drive.



To ,
Rocky View County,
262075 Rocky View Point,
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Regards,

Signatures: 

Name: Sheeraz Ali

Address: 30 PARK DR ROCKYVIEW County, AB



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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I am a resident of Cambridge Park Estates and **OPPOSE** the above-captioned Bylaw's. I oppose the South Conrich Amendment given that Business – Business Campus Commercial/Industrial designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such Business Commercial development plan to me. We were told that the entire area will be developed as Country Style Residential, Which is why we chose to bring our families to this community.

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Regards,

Signatures: *Alija Hujic*

Name: *Alija Hujic*

Address: *34 Park Dr Conrich*



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,



Signatures:

Name:

Ch. Qadler AKRAM

Address:

15 HOUSE ABBEY RD 1



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,


Signatures:

HARINDER S. DHESI
Name:

Address:

19- Abbey Road



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures: *Mary J Kri Banat Mary J Banwat*

Name: *Marij*

Address: *63 Abber Road, Conrich*



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Signature:



Name:

MOHAMED BORHOT

Address:

68 Abbey Rd.



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Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signature:



Name:

Syed Mshyuddin

Address:

*39 Abbey Road
Rocky view County
AB.*



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,



Signatures:

Name:

BALDEV SINGH JAMMU

Address:

23 ABBEY ROAD Rockyview County
AB T1Z 0A1



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures: *Parminder Kaur*

Name: *Parminder Kaur*

Address: *60 Abbey Rd.
Rocky view county*



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures: *Mand n*

Name: MANDEEP SINGH

Address: 60 ABBEY RD.
ROCKY VIEW



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:

Name: HOMER G. PAGALING

Address: 21 PARK DRIVE
ROCKY VIEW, AB.
T1Z 0A3



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Signature:

Jagmohan Singh

Name:

JAGMOHAN SINGH DHALIWAL

Address:

49, Park Dr Rocky View County AB
T1Z0A3



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,



Signatures:

Name:

Arathi D Boruah

Address:

45 PARK DR.
CONRICH.
AB T1Z0A3-



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:


Chawage

Farooq ✓

Name:

Address:

40 Abbey Road R.V.C. T1Z 0A2, AB



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:



Name:

S. WAP

Address:

36 ABBEY Rd. Rocky View City, AB



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures: *Randhir Singh Gill*

Name: *RANDHIR Singh Gill*

Address: *15 Woodlock road
Rockyview (Conrich)*



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Name: 

Address: 



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Regards,

Signatures:

Name:

Address:

S. Minha
Surendra Singh Minha
33 Park Drive Rocky View County AB
T12 6A3



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:



Name:

JAGTAR DHILLON

Address:

50 PARK DR



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:



Name:

MARY BRIEGER

Address:

25 Park Drive



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:



Name:

11 ARBURY ROAD SUKHAEEP SARGALIA

Address:

11 ARBURY ROAD



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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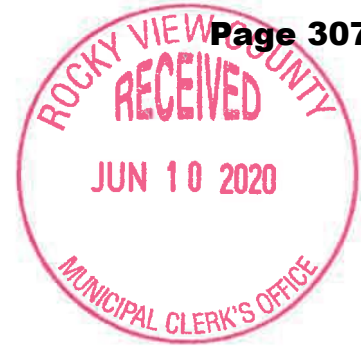
Regards,

Signature: *Nannihal Gill*

Name: *NAUNIHAN GILL*

Address: *17 Park Dr. Rockyview ALTA T1Z 0A3*





To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

S.B. SHERGILL

Signatures:

SUCHA SINHA & SWARN KAUR

SHERGILL

Name:

Address: 159 CAMBRIDGE PARK WAY

To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta



Subject : By Law C-7957-2019 and C-7959-2019

I, the undersigned, **OPPOSE** the proposed by laws **C-7957-2019** and **C-7959-2019**

This opposition is based upon my belief that a "B-BC" (business – business campus) designation is not consistent with the broader community of Conrich Area. I am also fearful that a "B-BC" designation will bring unwanted and unexpected noise, pollution and traffic and may also have a potential negative impact on the current property values of the homes within this broader community.

I am of the opinion that the B-BC zoning will disrupt the quiet country style neighborhood we live in today.

Regards,

Signature

A handwritten signature in blue ink, appearing to read "Ivan Katic", written over a light blue circular stamp.

Name:

IVAN KATIC, ANA KATIC

Address:

284123 MEADOWRIDGE LANE

To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta



Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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Regards,

Signatures: *Ranjit Sekhon*

Name: *RANJIT SEKHON*

Address: *82 Woodlock Road.
Rocky View Alberta.*

To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject: BYLAW C-7959-2019 and BYLAW C-7957-2019 - File # 04329003 (OPPOSE)

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I am a resident of Cambridge Park Estates and **OPPOSE** the above-captioned Bylaw's. I oppose the South Conrich Amendment given that Business – Business Campus Commercial/Industrial designation is INCOMPATIBLE with the large residential community of Cambridge Park Estates along with the immediate surrounding area. In fact, Amar Developments had never previously communicated their intent to develop such Business Commercial development plan to me. We were told that the entire area will be developed as Country Style Residential, Which is why we chose to bring our families to this community.

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Regards,

Signatures: 

Name: Ahsan, Farooq

Address: 6 park 28



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:



Name:

Harvinder Chatha

Address:

230 million Drive
T12 0B8



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:



Name:

ANURAS CHATHA

Address:

230 million Drive
T12 0B8
Rocky View



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Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures: *Prianca*

Name: *Prianca Chatha*

Address: *2080 Milton Rd. Noy Tzi 080*



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Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:



Name:

Charanjit Chatha

Address:

230, Milton Rd.
Rocky view AB
T1Z 0B8



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Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures: *INDERJIT SEKHAR*

Name: *INDERJIT SEKHAR*

Address: *74 WOOD LOCK ROAD*



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:



Name: MOHINDER SEKHON

Address: 74 WOODLOCK RD.



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures: JAGDISH SEKHON *Jagdish Sekhon*

Name: JAGDISH SEKHON 82 - Wood Duck Rd.

Address: Rocky view (AB)



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:



Name:

KAMALJIT BASSI

Address:

11 ST Johns PL Rocky View



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,


Signatures:


Name: JASBIR SANDHU / AMRITPAL SANDHU

Address: 7 ST JOHN'S PL Rockyview AB.




To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:



Name: Parmjit Dhaliwal

Address: 35 ST Johns PL Rockyview



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
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Regards,

Signatures:

CF 27 ST JOHNS PL
CODY

Name:

Address:

27 ST JOHNS PL ROCKY VIEW



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Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:



Name: MAJOR S. BRAR

Address: 3 ST JOHNS PL Rockyview AB

Ph:



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
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Regards,



Signatures:

Name: Nahir Gill

Address: 46 Park Drive, Rocky View



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Jagdeep Brar

Signatures:

JAGDEEP BRAR

Name:

Address: 29 Park Dr.



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signatures:

PINKY

Name:

PINKY

Address:

37 PARK DRIVE



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta


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Regards,


Signatures:

Name: Rakesh Sharma

Address: 133 Park Drive Rocky View AB
T120A3



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

Subject : By Law C-7957-2019 and C-7959-2019

I, the undersigned, **OPPOSE** the proposed by laws **C-7957-2019 and C-7959-2019**

This opposition is based upon my belief that a business – business campus designation is not consistent with the broader community of Conrich Area. I am also fearful that Business Campus that includes Light Industrial will bring unwanted and unexpected noise, pollution and traffic and may also have a potential negative impact on the current property values of the homes within this broader community.

I am of the opinion that the B-BC zoning will disrupt the quiet country style neighborhood we live in today.

Regards,

Signature

Name:

Address:

BAH
Brad Rota
284107 Meadow Ridge Lane



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

Signature

Name:

Address:

Robert Jopp 1 Jay Jopp
Robert
284128 meadowridge lane



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,



Signature

Name:

PAUL L. SIMON

Address:

*284115 MEADOW RIDGE LANE
ROCKY VIEW AB*



To ,
Rocky View County,
262075 Rocky View Point,
Rocky View County
Alberta

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Regards,

SUNDEEP GILL

Signature

Name:

Address:

284131 Meadowridge Lane, Rockyview County

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262075 Rocky View Point,
Rocky View County
Alberta

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I am of the opinion that the B-BC zoning will disrupt the quiet country style neighborhood we live in today.

Regards,



Signature

Name:

MOUNIR ALEIN

Address:



May 18, 2020

Ms. Oksana Newmen
Municipal Planner
Rocky View County

Via E-Mail

Dear Oksana,

Re: Cambridge Park Estates – Currents Issues & Concerns

Pursuant to our ongoing dialogue with respect to the many issues and concerns currently facing the residents of Cambridge Park Estates (CPE), this letter serves to summarize our previous communications with the goal of added clarity as we move forward in our desire to positively resolve these critically important issues and concerns.

Our main concerns and issues are threefold: (i) our opposition to the South Conrich Land Use Amendment; (ii) our concerns regarding water supply (in terms of quality, capacity (i.e. shortage), pressure and cost), and; (iii) our concerns regarding the Homeowners Association.

Similarly, while it is my signature at the end of this letter, please note that the list attached to it serves to confirm the overwhelming support of this letter by the current residents of CPE. This list also serves as a follow up to the list of almost 160 names that we had previously provided to you on January 11, 2020.

South Conrich Land Use Amendment (SCA):

As we have stated in the past, we oppose the SCA given that a “B-BC” (business – business campus) designation is not consistent with the large residential component that is, in essence, CPE today. Commercial development (even including potential “light industrial”) is simply not compatible with the longstanding vision – as outlined in both the South Conrich Approved Conceptual Scheme as well what has been the longstanding and consistent communication by the developer, Amar Developments (Amar) – of what CPE was all about and what it would be comprised of upon its completion.

- 2 -

A “B-BC” designation will bring unwanted and unexpected noise, pollution and traffic for the existing residents of CBE. We are also fearful of the potential negative impact on the current property values of the homes of the numerous families who currently call CPE home. Those who decided to live in CPE certainly did not do so to have to be faced with such problems that will undoubtedly adversely impact their collective way and quality of life.

We also believe that the added commercial supply of land under the “B-BC” designation is not viable today. A commercial site, at the entrance of CPE, has been sitting vacant and there appears to be no demand to support commercial development neither at this present time nor in the foreseeable future. Adding additional commercial lands would undermine the viability of the already existing vacant commercial property and would diminish the ability to make CPE the truly thriving community that achieves the end vision that had always been envisioned – and communicated – to all existing CPE residents.

While we understand that we will have an opportunity to address Rocky View County (RVC) Council on this matter at some as yet to be determined date, the magnitude of our concerns require that we must not only share them with you again now, but also hope that RVC Administration examine them further. We are most certainly open to expanding our dialogue with you and your colleagues in this regard.

Water:

The existing residents of CPE are facing water problems related to water quality, capacity (i.e. shortage), pressure and rising costs. We feel that adding any further development via the SCA will only serve to exacerbate and worsen these existing problems.

Similarly, we had previously informed you of the “outdoor water ban” issued on April 15, 2019 by the Rocky View Utility Corporation that, to our knowledge, is still in effect. We have also recently been faced with a water cost increase by Amar that, as confirmed in writing by Mr. Chris Burt of the Alberta Utilities Commission (AUC), had not been applied for by Amar and, as such, had not received the required prior approval of the AUC.

Given the magnitude of the current water-related problems, we would respectfully request that RVC cease any further issuance of building permits within CPE until these problems can be properly addressed.

- 3 -

Homeowners Association (HOA):

In spite of the many families living in CPE, the HOA has yet to be turned over to its residents. We understand the importance of the HOA given that it deals with the care and maintenance of our community and, hence, it serves to protect not only the very look and feel of our community, but also the value of the homes contained within it.

We have received communications by Amar that Ms. Rani Duhra (of Amar) has resigned as the President of the HOA and have also received confusing communications from Amar wherein we have been asked to provide the names of potential board members which we have already supplied. It has also come to our attention that some community maintenance related trades, trades that we are in essence paying for through the payment of our HOA fees, have not been paid by Amar.

We are looking for greater certainty and transparency with respect to the HOA and while we feel that we have asked for this from Amar, we have yet to receive it. As such, we would request your assistance in this regard.

In closing, the residents of CPE do not believe that the South Conrich Land Use Amendment is viable and it is not supported by the overwhelmingly majority of CPE residents. It will not only serve to create additional concerns and issues, but it will also draw attention and focus away from the very real problems (i.e. water and HOA) that we are currently experiencing.

With this said, and as stated earlier in this letter, we are open to expanding our dialogue with you and your colleagues with respect to these critically important matters.

Thank you, Oksana, for your time, interest and consideration. We look forward to your reply at your earliest convenience.

Sincerely,

CAMBRIDGE PARK RESIDENTS



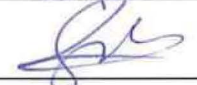




attachment / list of CPE residents in support of this letter

cc: Mr. Matthew Wilson, Manager – Planning & Development ([via e-mail](#))

cc: Ms. Theresa Cochran, Executive Director – Community Development Services ([via e-mail](#))



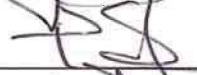








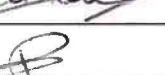
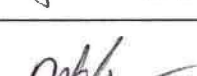


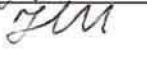

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(i) Our opposition to the South Conrich Land Use Amendment – Cell D – Phase 4; (ii) Our concerns regarding water supply (in terms of quality, capacity (i.e. shortage), pressure and cost), and; (iii) Our concerns regarding the Homeowners Association.

Name	Address	Signature
Sukhpal Parmar	12-TRINITY Rd-Confid	
JAGRUP SIDHU	16 Trinity Rd corridor	Jagp Sidhu
R Sidhu	20 TRINITY Rd -	
D. KAN 6	21-TRINITY RD	Dip
Gurjeet Toor	20 38 Trinity Rd	Gurjeet Toor
SUKJINDER	106 TRINITY Rd	
SUKH DEEP	102 TRINITY Rd	SS
Hardip Nahal	110 Trinity Rd	
SURJIT DHILLON	126-TRINITY Rd.	Surjit Dhillion
DILPREET SIDHU	130 - TRINITY Road	Dilpreet Sidhu
HIMMAT CHAHAL	134 - Trinity Road	Himmat Singh Chahal
NARINDER TUN	138 TRINITY ROAD	
PARMINDETOOR	142 Trinity Road	
MILIND - RAN	86-TRINITY Rd.	Phul
DALJIT CHATHA	209- MILTON ROAD	Daljit Chatha
Mateen Faizi	202 Milton Rd	
RABIR SANDHU	206- MILTON RD	Rabir Sandhu

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Name	Address	Signature
Krushni Patel	57 Park Drive	
Amarjit Jaswal	61 Park Drive	
Pardlip Jaswal	97 Park Drive	
Parminder Jaswal	113 Park Drive	
JARNAIL KAISI	73 Penny Lane	
PARMINDER CHERRA	54 Park Dr.	
Amrit Chera	54 park DR	
Rinku Chera	54 park DR	
JAGTAR DHILLON	50 PARK DRIVE	
JASKIRAN DHILLON	50 PARK DR.	
Nahk Gill	46 Park Drive	
Anmol Gill	46 Park Drive.	
Steekamol Jit	112 Park Drive	
Aliza Huzic	34 PARK DR conrich	
Amir Huzic	34 park dr conrich	
Mehmet C. Huzic	34 PARK DR	
Mehmet Mehmed	34 PARK DR	

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Name	Address	Signature
Daljit Banwait	63 Abbey Road	Daljit Banwait
Nissandeep Banwait	63 Abbey Road	Nissandeep Banwait
Chander Cheema	15 Abbey Road.	Chander Cheema
TOGINDER BRAR	41 PARK DR	TOGINDER BRAR
JAGMOHAN SINGH	49 Park Dr	Jagmohan Singh
MAYA BORUAH	45 PARK DRIVE	Maya Boruah
PARTHA BORUAH	45 PARK DRIVE	Partha Boruah
ABHAT BORUAH	45 PARK DRIVE	Abhat Boruah
Kalwant Sibal	37 PARK DRIVE	Kalwant Sibal
Jatinder & Neha	37 PARK DRIVE	Jatinder & Neha
Ramon Sibal	37 Park Dr.	Ramon Sibal
Tejvir Minhas	33 Park Dr	Tejvir Minhas
Fahim Minhas	33 Park Dr.	Fahim Minhas
Surender Minhas	33 Park DR.	Surender Minhas
Sandeep Minhas	33 Park DR.	Sandeep Minhas
Balwinder	29 Park Dr	Balwinder
Lakshmi	29 Park Dr	Lakshmi

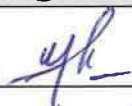




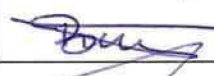

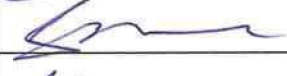




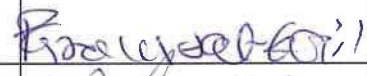

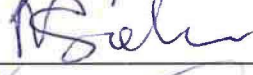


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Name	Address	Signature
Tabal Sidhu	22 Woodlock Rd	Jashdeep
Narinder Sidhu	22 Woodlock Rd	Narinder
Pushpinder Pannu	26 Woodlock Road	Pushpinder
HARSWINDER K BAINS	30 WOODLOCK ROAD	Narinder
MAKHAN. S. BAINS	30 WOODLOCK ROAD	Makhan Singh
JASANDEEP S. RAE	38 Woodlock Rd.	Jasandeep Singh
SUKHDEEP RAE	38 Woodlock Rd	Sukhdeep
JOGINDER S LADHA	42 Woodlock Rd	Joginder
Baljinder Kale	50 - Woodlock Rd	Baljinder Kale
KULDIP MATH	55 Woodlock Rd	Kuldip Math
KULWINDER MATH	— 50 —	Kulwinder Math
Nonan Sikandar	62 Woodlock Rd	Nonan
Baljeet Math	86 Woodlock Rd	Baljeet Math
JASWINDER Math	86 Woodlock Rd	Jaswinder Math
MAKHAN S	66 Woodlock Rd.	Makhan
Balinder Jha	70 - Woodlock Rd	Balinder
Shinder Jha	70 - Woodlock Rd	Shinder

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Name	Address	Signature
Jasbir Sangha	14 woodlock road	
Baljit Sangha	14 woodlock road	
Surinder Pal Kelal	6 woodlock Road	
Parvinder Kaur Kelal	6 woodlock Road	
PARMUT BAIRNS	2 Woodlock Road	
JASVIR S. BAIRNS	2 Woodlock Road	
Mandeep Sran	7 woodlock Road	
Sandeep Sran	7 woodlock Road	
Rachpal Singh	46 woodlock Road	
Bhupinder Kaur	46 woodlock Road	
Sukhmeet Dhillon	10 woodlock Road,	
Rajinder Dhillon	10 woodlock ROAD	
RANDHIR GILL	15 WOODLOCK RD	
PARAMJEET GILL	15 WOODLOCK RD	
Mandeep/Selva	11 woodlock Rd	
Surendrapal Selva	11 woodlock Road	
BALWIR TASI	18 Woodlock ROAD	
PARAMJIT	18 WOODLOCK ROAD	

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Name	Address	Signature
CHARANJEET	25 POUND PLACE	Charanjeet
PAWANDEEP	25 POUND PLACE	Pawandeep
HARJIT SINGH	33 POUND PLACE	Harjit Singh
KANWALJIT KAUR	33 POUND PLACE	Kanwaljit Kaur
M.F. SAHIB	21 POUND PL.	M.F. Sahib
Premia Sahib	21 POUND PL.	Premia Sahib
LAKHVI RUMUND	13 POUND PLACE	Lakhi R. M.
GILL PAVITAR	1 Pound Place.	Gill Pavitar
MANDEEP SINGH	60 ABBEY RD.	MandeeP Singh
Murray McDonald	44 Abby Rd	Murray McDonald
Natasha McDonald	44 Abbey Road	Natasha McDonald
Ann Pilon	32 Abbey Rd	Ann Pilon
Armand Pilon	32 Abbey Rd	Armand Pilon
WILNER PAGLING	12 ABBEY ROAD	Wilner Pagling
BALDEV S JAMMU	23 Abbey Road	Baldev S Jammu
Samanpreet Jammu	23 Abbey Road	Samanpreet Jammu
Satinder Jammu	23 Abbey Road	Satinder Jammu

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Name	Address	Signature
JATINDER SANDHU	28 Abbey Road, Rockyview.	Jatinder
Ravinder K Sandhu	28 Abbey Road, Rockyview, AB	Ravinder Sandhu
Parminder S Sandhu	24 Abbey Road, Rockyview.	Parminder
Amardeep K Sandhu	24 Abbey Road Rockyview	Amardeep Sandhu
SHAZ W	36 " " "	Shaz
T SHAHZAID	36 " " "	T Shahzaid
Syed Ahsan	39 Abbey Road	Syed
Robina Yasmin	39 Abbey Road-	Robina
Sukhdeep Singh	11 ABBEY ROAD	Sukhdeep
CHANKAR SANGHA	11 ABBEY ROAD	Chankar
Chandhary Akram	15 Abbey Road	Chandhary
RESTHAN Sidhu	35 ABBEY Rd	Resthan
Michael Sidhu	37 Abbey Road	Michael
Moe Atwal	35 Abbey Road	Moe Atwal
Gurmail Dhanjal	7 St andrews PL	Gurmail
YOGESH PATEL	57 Park Dr	Yogesh
Jaya Sibal	57 Park Dr	Jaya
Patel Urvashi	57 Park Dr	Urvashi


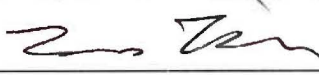




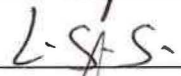
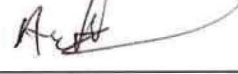


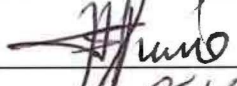
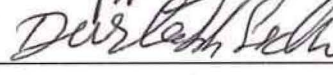



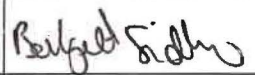
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Name	Address	Signature
Ramandeep Gill	46 Kings Rd	R Gill
Chamkarr Gill	Rocky View County	CGill
Sanjit Gill	AB T120 A2	S Gill
Jasbir Sohi	39 KINGS RD	J Sohi
Kulwinder Sohi	" "	KULWINDER SOHI
Navjit Sohi	" "	Navjit Sohi
Abhijeet Sohi	" "	Abhijeet Sohi
Neeraj Mishra	23 Kings Rd	Neeraj Mishra
Zankhara Mishra	23 Kings Rd	Zankhara Mishra
Santpreet Kaur	19 Kings Rd	Santpreet Kaur
Jasbir Singh	19 Kings Rd	Jasbir Singh
GURNEK PHAGUDA	15 KINGS RD	Gurpreet
RESHAM PHAGUDA	15 KINGS RD	R.P
TANVIR PHAGUDA	15 Kings Road	Tanvir Phaguda
JARINDER PHAGUDA	15 Kings Road	Navneet Phaguda
Kiranvir Phaguda	15 Kings Road	Kiranvir Phaguda
Amrit Phaguda	" "	Amrit Phaguda

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Name	Address	Signature
JASPAL TOOR	155 CAMBRIDGE PARKWAY	
Taranveer Toor	155 Cambridge Park Way	
Ranjot Toor	155 Cambridge Park Way	
Saskiran Toor	155 Cambridge Park Way	
Paramjit Sekha	160 Cambridge Park Way	
Kamalpreet Sekha	" " "	
Lawpreet Sekha	" " "	
Avtar Sekha	" " "	
Harinder Singh	1 Park Dr	
Harjit Singh	1 Park Dr	
Loudup Punia	28 Trinity Rd	
Darleen Sidhu	32 Trinity Rd	
Kuljeet Sidhu	32 Trinity Rd	
Ranjit Sidhu	32 Trinity Rd	
Simran Sidhu	32 Trinity Rd	
Baljeet Sidhu	32 Trinity Rd	














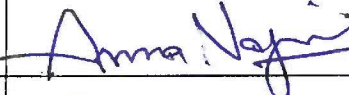

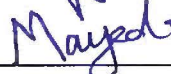
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Name	Address	Signature
IVAN NIHAL	17 Park DR.	Nahal
JASVIR GILL	17 Park DR.	Jasvir Gill
TANJOT GILL	17 Park DR.	Tanjot Gill
Kiranjit Gill	17 Park DR.	Kiranjit Gill
Karim Ahmad	26-Park Drive	Karim Ahmad
Shahnam Afzal	26-Park Drive	Shahnam Afzal
PRAVIN NATHVANI	13 - PARK DRIVE	Pravin Nathvani
Riddhi Nathvani	13 PARK DR.	R Nathvani
Jayshri Nathvani	13, Park DR	J Nathvani
MANINDER KATHER	9 PARK Dr.	Maninder Kather
JESSICA DILLON	9 PARK Dr.	Jessica
Conita Silveira	5 PARK Dr.	Conita Silveira
Stan Oh	5 Park Dr.	Stan Oh
Mohamed Elghemali	6 Park Dr.	Mohamed Elghemali
Fawaz Ahadi	6 Park Dr.	Fawaz Ahadi
Edis Ahadi	6 Park Dr.	Edis Ahadi
Maria Ahadi	6 Park Dr.	Maria Ahadi


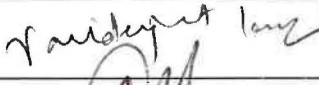
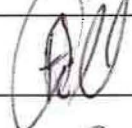
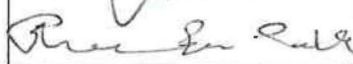
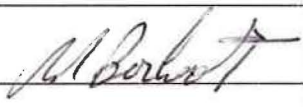
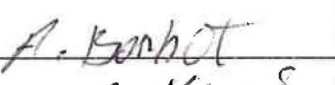
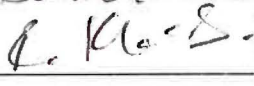
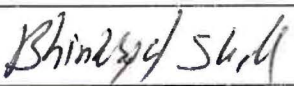
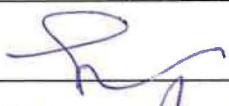
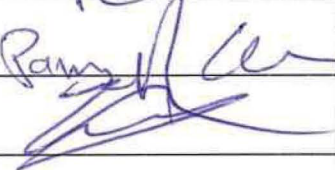

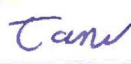
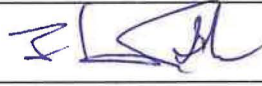



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Name	Address	Signature
Romi SIDHU	29 POUND PLACE	
RAMANDEEP SIDHU	"	
DILMEET SIDHU	"	
HARMANDEEP SIDHU	"	
DALJIT K. SIDHU	"	
BALWINDER RAJASANSI	9 POUND PLACE	
BHUPINDER RAJASANSI	"	
Anmit RAJASANSI	"	
RAJMEET RAJASANSI	"	
HARJOT RAJASANSI	"	
NOUSOT RAJASANSI	"	
AVTAR RAJASANSI	"	
Kishwaga Farooq	40 Abbey Road	
Amna Mayhesh	"	
AFFAN GHANI	"	
Mayedla shafique	"	








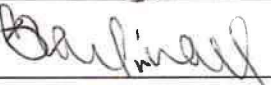






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Name	Address	Signature
DEVINDER GILL	71 ABBEY RD.	
YARINDERDEET KAUR	71 ABBEY RD	
HMANDEEP GILL	71 ABBEY ROAD	
SIRAMSIKA GILL	71 ABBEY ROAD	
Mohamed. Borhot	68. Abbey Rd.	
AMCHE BORHOT	68 Abbey Rd.	
RASDEEP KHOSLA	[REDACTED]	
	10 mill bay Rocky view County	
BHINDERPAL SINGH	2 MILL Bay	
Gurdeep Dhundal	14 Park Drive	
Pornjit Dhundal	14 Park Drive	
Navedip Dhundal	14 Park Drive	
Tanu Dhundal	14 Park Drive	
John B. Smith	18 PARK DR	
Bman	25 PARK DR	
Shamir	25 PARK DR	
HOMER PAGALING	21 PARK DRIVE	

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Name	Address	Signature
Jayson Dhalwal	37 Pound place	
Balinder Dhalwal	37 Pound place	
Ravinder Dhalwal	37 Pound place	
Jessica Dhalwal	37 Pound place	
GIAN K. Dhalwal	37 Pound place	G.K. Dhalwal
BALWINDER MAHA	64 ABBEY RD	
Sheer Mahal	64 ABBEY RD	
Tauken Kaur	3 ABBEY RD	Tauken
Param Dhalwal	4 Abbey Rd.	
Karnvir Singh Dhalwal	4 abbey Road	
Nalsett Singh	4 ABBEY ROAD	
PARAMJIT DHES	19 Abbey Rd.	Paramjit Dhesi
PREET DHESI	19 Abbey Rd	
Doug Maynard	 27 Abbey Rd.	
D. Maynard	27 Abbey Rd.	D. Maynard
Kuldeep Sandhu	7 Kings Road	
Horton Sculth	1 Kings Rd	

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Name	Address	Signature
Jessie Singh	3 Abbey Rd	Jessie Singh
TARANPREET MEHDWAN	3 ABBEY RD	Taranpreet Mehdwan
HARJIT MAND	7 ABBEY RD	Harjit Mand
RANJIR MAND	7 ABBEY RD	Ranjir Mand
Akashdeep Mand	7 Abbey Rd	Akashdeep Mand
PARMINDER DILLON	112 Park DR	Parminder Dillon
SURJIT DILLON	112 PARK DR	SS Dillon
SIKANDER DHALIWAL	126 Cambridge Park Way	Sikander Dhaliwal
Jagjit Dhaliwal	126 Cambridge Park Way	Jagjit Dhaliwal
Sukhjinder Dhaliwal	126 Cambridge Park Way	S. Dhaliwal
Mansit S. Chhina	130 Cambridge park	Mansit S. Chhina
Jagdeep Chhina	130 Cambridge Park Way	Jagdeep Chhina
Jaswinder Chhina	130 Cambridge Park Way	Jaswinder Chhina
Pinki Manhas	122 Cambridge Park Way	Pinki Manhas
Swarn Manhas	122 Cambridge Park Way	SKM
Jaswant Manhas	122 Cambridge Park Way	Jaswant Manhas
Hardeep Singh	122 Cambridge Park Way	Hardeep Singh




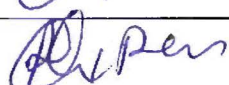







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Name	Address	Signature
Amorjit Deol	18 mill Bay	A. Deol
Gurpreet Saini	6 MILL BAY	
Harinder Saini	6 mill Bay	H. Saini
Bikram Saini	6 Mill Bay	B. Saini
m.s. Deol	18 mill Bay	m.s. Deol
Manjit Gill	151 Cambridge Park Way	M. Gill
BURGINDER GILL	151 Cambridge Park Way	B. Gill
AZMAT A NASAM	3 Kings Road	A. Nasam
FARHAN ABBAS	3 Kings Road	F. Abbas
JUNAD ABBAS	3 Kings Road	J. Abbas
ZAIN ABBAS	3 Kings Road	Z. Abbas
SALMA FARHAN	3 Kness Road	Salma
SOFIA JUNAD	3 Kings Rd	S. Junad
ALEENA ZAIN	3 Kings Rd	A. Zain
FATIMA ABBAS	3 Kings Rd	F. Abbas
SAJIDA ABBAS	3 Kings Rd.	S. Abbas
Salma	3 Kings Rd	Salma

I the under signed, fully support the May 18, 2020 letter from Cambridge Park Residents to Ms.Oksana Newmen of Rocky View County Administration regarding the following concerns:

(i) Our opposition to the South Conrich Land Use Amendment – Cell D – Phase 4; (ii) Our concerns regarding water supply (in terms of quality, capacity (i.e. shortage), pressure and cost), and; (iii) Our concerns regarding the Homeowners Association.

Name	Address	Signature
HARJINDER SINGH	3, ABBEY ROAD;	
HARMINDER KALKA	38 Kings Rd	
GURDEEP KALKAT	"	
Ripendeeep Kalkat	"	
Banveet Kalkat	"	
Gaganjot Kalkat	"	
Asit Singh Kalkat	"	Asit
Harbhazem Kalkat	"	Harbhan
RAM DHADDA	51 Kings Road	Ram Dhadde
Jas Dhadde	51 Kings Road	
AVTAR DHADDA	"	
JAS KARAN	"	
SANDEEP RIKHI	47 KINGS RD ROCKY	Sandeep Rikhi
SARIKA RIKHI	"	Sau'ken Rikhi
GAYATRI RIKHI	"	
Parven Sohi	39 KINGS RD	
Jasbir Nijjer	"	Jasbir Nijjer

I the under signed, fully support the May 18, 2020 letter from Cambridge Park Residents to Ms.Oksana Newmen of Rocky View County Administration regarding the following concerns:

(i) Our opposition to the South Conrich Land Use Amendment – Cell D – Phase 4; (ii) Our concerns regarding water supply (in terms of quality, capacity (i.e. shortage), pressure and cost), and; (iii) Our concerns regarding the Homeowners Association.

Name	Address	Signature
Taspochan Singh	159 Cambridge Park Way	T.S
Jasbir Kaur	159 Cambridge Park Way	J.S
Sudha Singh	159 Cambridge Park Way	S.S
Sawaran Kaur	159 Cambridge Park Way	S.K
Najit Shergill	159 Cambridge Park Way	NK
Amanpreet Shergill	159 Cambridge Park Way	AS
Namneet Shergill	159 Cambridge Park Way	NS
Jacob Varughese	69 Penny Lane	JV
Beena Joseph	69 Penny Lane	Beenjoseph
Joel Varughese	69 Penny Lane	JV
Jerry Varughese	69 Penny Lane	JV
Jens Varughese	69 Penny Lane	JV
NAUSHA AK	30 PARK Drive	NA
ROZINA BEGUMI	30 PARK DRIVE	RZ

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- (i) Our opposition to the South Conrich Land Use Amendment – Cell D – Phase 4; (ii) Our concerns regarding water supply (in terms of quality, capacity (i.e. shortage), pressure and cost), and; (iii) Our concerns regarding the Homeowners Association.

Name	Address	Signature
MOHINDER SINGH	128 PARK DR	M Singh
SARAVJIT SINGH	136 - PARK DR	S Singh
Raksh Shahi	133 PARK DR.	R Singh
MOHINDER SINGH	132 PARK DR.	M Singh
Paramjit	125 PARK DR.	P Singh
Paramjit Sandhu	129 Park Dr.	P Singh
Shabnam	137 PARK DR	S Singh
Mubashshir	137 PARK DR	M Singh
Raminder Singh	141 PARK DR	R Singh
B. Newmen	145 PARK DRIVE	B Newmen
GURKARAN DHANWA	144 PARK DR	G Singh
Satwinder Chahal	10 PARK DR.	S Chahal

(i) Our opposition to the South Conrich Land Use Amendment – Cell D – Phase 4; (ii) Our concerns regarding water supply (in terms of quality, capacity (i.e. shortage), pressure and cost), and; (iii) Our concerns regarding the Homeowners Association.

[illegible]

D-3

D-3

D-3

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(i) Our opposition to the South Conrich Land Use Amendment – Cell D – Phase 4; (ii) Our concerns regarding water supply (in terms of quality, capacity (i.e. shortage), pressure and cost), and; (iii) Our concerns regarding the Homeowners Association.


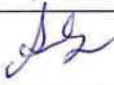
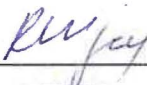





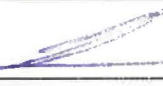



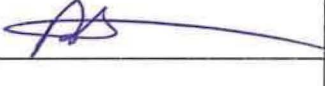
Name	Address	Signature
INDERJIT SINGH	73 Woodlock Rd	Indrajit Singh
SUKHDEEP Gill	158 Trinity Rd	SSGul
BHAGWAN GILL	150 Trinity Rd	BSG
MOHINDER SEKHAN	305 SADDLE 74 WOOD LOCK RD.	Moheer
Balwinder sidhu	54 wood LOCK RD	B.S
GURPREET Sidhu	54 WOOD LOCK RD	GS
JAGJIVAN SINGH	307 Grange Lane	J
MUNVEER CHOHAN	307 Grange Lane	Munveer Chohan
SATWINDER CHOHAN	307 Grange Lane	Satinder chohan
Kanwaljit Singh	14 wood lock Road	Kanwaljit Singh
Gurpreet Singh	—/—	Gsingha

(i) Our opposition to the South Conrich Land Use Amendment – Cell D – Phase 4; (ii) Our concerns regarding water supply (in terms of quality, capacity (i.e. shortage), pressure and cost), and; (iii) Our concerns regarding the Homeowners Association.

[illegible]

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(i) Our opposition to the South Conrich Land Use Amendment – Cell D – Phase 4; (ii) Our concerns regarding water supply (in terms of quality, capacity (i.e. shortage), pressure and cost), and; (iii) Our concerns regarding the Homeowners Association.

Name	Address	Signature
Jasprender Sandhu	7 St Johns PL	
AMRITPAL SANDHU	7 ST JOHN'S PL.	
Rohin Vijay	19 St Johns	
SATBIR BIR	23 St. Johns	
NARINDERPAL BIR	23 St. John	
Rajit Mittal	31 St Johns	
Harmeet Dhillon	35 St Johns	
Mujar Bir	3 St Johns PL	
SUDAN SINGH	58-King's Road	
Harbans Khaira	15 St John's Place	
Pelindaba Khaira	15 St Johns PL.	
APPX BIR	75 Abbey Road	
B S BHALLA	75 Abbey Rd	

(i) Our opposition to the South Conrich Land Use Amendment – Cell D – Phase 4; (ii) Our concerns regarding water supply (in terms of quality, capacity (i.e. shortage), pressure and cost), and; (iii) Our concerns regarding the Homeowners Association.

[illegible]

(i) Our opposition to the South Conrich Land Use Amendment – Cell D – Phase 4; (ii) Our concerns regarding water supply (in terms of quality, capacity (i.e. shortage), pressure and cost), and; (iii) Our concerns regarding the Homeowners Association.

[illegible]

I the under signed, fully support the May 18, 2020 letter from Cambridge Park Residents to Ms.Oksana Newmen of Rocky View County Administration regarding the following concerns:

(i) Our opposition to the South Conrich Land Use Amendment – Cell D – Phase 4; (ii) Our concerns regarding water supply (in terms of quality, capacity (i.e. shortage), pressure and cost), and; (iii) Our concerns regarding the Homeowners Association.

[illegible]

May 18th Letter to Rocky View has been signed by the following residents

ABBEY ROAD	House		
Name	Number	Street	Status
Jessi Singh	3	Abbey Road	Signed
Malkit Singh Dhaliwal	4	Abbey Road	Signed
Harjit Singh Mand	7	Abbey Road	Signed
Ali	8	Abbey Road	Neutral
Chamkur Sangha	11	Abbey Road	Signed
Wilnar Pagaling	12	Abbey Road	Signed
Chaudhery Akram Cheema	15	Abbey Road	Signed
Rammi Dhaliwal	16	Abbey Road	Signed
Harinder S Dhesi	19	Abbey Road	Signed
Jagdeep Sidhu	20	Abbey Road	Signed
Baldev Jammu	23	Abbey Road	Signed
Parm Sandhu	24	Abbey Road	Signed
Doug Maynard	27	Abbey Road	Signed
Pinka Sandhu	28	Abbey Road	Signed
Sukhpreet Gill			
	31	Abbey Road	Developers Contractor
Armand/Ann	32	Abbey Road	Signed
Sam Sidhu	35	Abbey Road	Signed
Shahzad Warraich	36	Abbey Road	Signed
Syed Mohyuddin	39	Abbey Road	Signed
Khawaja Farook	40	Abbey Road	Signed
Natasha and Murray McDonald	44	Abbey Road	Signed
Mandeep S Dhaliwal	60	Abbey Road	Signed
Amrinder Gill	71	Abbey Road	Signed
Balwinder Marok	64	Abbey Road	Signed
Dharminder Premi	67	Abbey Road	Signed
Mohamad	68	Abbey Road	Signed
Manjit Banwait / Deep Banwait	63	Abbey Road	Signed
Baljinder Bhullar / Appy Bhullar	75	Abbey Road	Signed
KINGS ROAD	House		
Name	Number	Street	Status
Azmath Naseem Abbas	3	Kings Road	Signed
Kuldeep Sandhu	7	Kings Road	Signed
Jasbir Hans	11	Kings Road	Signed
Gurnek Singh	15	Kings Road	Signed
Jasbir Singh	19	Kings Road	Signed
Neeraj Mishra	23	Kings Road	Signed
Gurdeep Kalkat	38	Kings Road	Signed
Jasbir Sohi	39	Kings Road	Signed
Harjinder Singh	42	Kings Road	Signed
Kulwant Nijjar	43	Kings Road	Developer Relative
Gurlal Manuke	46	Kings Road	Signed

Sandeep Rikhi	47	Kings Road	Signed
Kartar Kaur	51	Kings Road	Signed
Amrik Singh Kalkat	54	Kings Road	Signed
Gulu	55	Kings Road	Not Reachable
Sawaran Sidhu	58	Kings Road	Signed
MILL BAY	House		
Name	Number	Street	Status
Bhinder Gill	2	Mill Bay	Signed
Gurdeep Saini	6	Mill Bay	Signed
Rajdeep Khosa	10	Mill Bay	Signed
Manjit Deol	18	Mill Bay	Signed
MILTON ROAD	House		
Name	Number	Street	Status
Mateen Faizi	202	Milton Road	Signed
Paramjit Sandhu	206	Milton Road	Signed
Daljit Chatha	209	Milton Road	Signed
Ranjit Singh Bedi	218	Milton Road	Signed
Paramjit	222	Milton Road	Signed
Charanjit Chatha	230	Milton Road	Signed
CAMBRIDGE PARK WAY	House		
Name	Number	Street	Status
Haroyr Singh / Hardial Manhas	122	Cambridge Park Way	Signed
Sikander Singh	126	Cambridge Park Way	Signed
Manjit Singh	130	Cambridge Park Way	Signed
Gurinder Singh	151	Cambridge Park Way	Signed
Jarnail Singh	152	Cambridge Park Way	Developer Relative
Jaspal Toor	155	Cambridge Park Way	Signed
Tarlochan Singh Shergill	159	Cambridge Park Way	Signed
Avtar Singh	160	Cambridge Park Way	Signed
Paramjit Ruprai	156	Cambridge Park Way	Signed
PARK DRIVE	House		
Name	Number	Street	Status
Harry	1	Park Drive	Signed
Connie	5	Park Drive	Signed
Edris Ahadi	6	Park Drive	Signed
Jatinder Kahlon	9	Park Drive	Signed
Satwinder Chahal	10	Park Drive	Signed
Pravin Nathvani	13	Park Drive	Signed
Gurdip Singh Navdip Dhundal	14	Park Drive	Signed
Tanjot & Naunihal S Gill	17	Park Drive	Signed
John Smith	18	Park Drive	Signed
Homer Pagaling	21	Park Drive	Signed
Sunny Samra	22	Park Drive	Signed
Shannon Brieyer	25	Park Drive	Signed
Shabnam / Karim Ahmadi	26	Park Drive	Signed
Lakhbir Brar	29	Park Drive	Signed
Sheeraz	30	Park Drive	Signed

Tejvir & Sandesh Minhas	33	Park Drive	Signed
Asmira Hujic / Mehmed Hujic	34	Park Drive	Signed
Roman Johal	37	Park Drive	Signed
EMPTY - HOUSE ON SALE	38	Park Drive	Not Reachable
Joe Brar	41	Park Drive	Signed
Paramjit Singh Doad	42	Park Drive	Signed
Abhi Bozuah / Abhishruti Datta	45	Park Drive	Signed
Nahr Gill	46	Park Drive	Signed
Jagmohan Dhaliwal	49	Park Drive	Signed
Mr. Dhillon	50	Park Drive	Signed
Parminder Chera	54	Park Drive	Signed
Yogesh Patel	57	Park Drive	Signed
Amarjit Singh Jaswal	61	Park Drive	Signed
Paul Pawa	80	Park Drive	Signed
Jasmeet Singh Purewal	84	Park Drive	Signed
Amandeep Sandhu	88	Park Drive	Signed
Mohinder More	92	Park Drive	Signed
Happy Aulkh	96	Park Drive	Signed
Partip Jaswal	97	Park Drive	Signed
Surinder Singh Sandhu / Ratinderjeet Sandhu	100	Park Drive	Signed
Angrej Jazzy	101	Park Drive	Signed
Gurpyar Singh Bhullar	105	Park Drive	Signed
Raj Sandal	108	Park Drive	Signed
Darshan Sidhu	109	Park Drive	Signed
Surjit Dhillon	112	Park drive	Signed
Harkrishan Jaswal	113	Park Drive	Signed
Norm Monkman	116	Park Drive	Signed
Ajaib Singh Nahal	125	Park Drive	Signed
Mohinder Singh	128	Park Drive	Signed
Kuldeep Sandhu	129	Park Drive	Signed
Ruban	132	Park Drive	Signed
Rakesh Sharma	133	Park Drive	Signed
Saravjit Singh	136	Park Drive	Signed
Mubashshir Mirza	137	Park Drive	Signed
Raminderpal Singh Chahal	141	Park Drive	Signed
Vivian Gathercole	140	Park Drive	Neutral
Gurkaramjit Dhanoya	144	Park Drive	Signed
Balwinder	145	Park Drive	Signed
PENNY LANE	House		
Name	Number	Street	Status
Jacob Varughese	69	Penny Lane	Signed
Nadeem Yousaf	70	Penny Lane	Signed
Lakhvir Kaur / Jarnail Kalsi	73	Penny Lane	Signed
Muhhamad	74	Penny Lane	Signed
Jaya Gupta	77	Penny Lane	Signed
Subhas Chaudhary	78	Penny Lane	Signed

Kanwaldeep Bains	82	Penny Lane	Developer Relative
POUND PLACE	House		
Name	Number	Street	Status
Pavitar Singh	1	Pound Place	Signed
Sandeep Randhawa	5	Pound Place	Signed
Balwinder Rajasansi	9	Pound Place	Signed
Lakhvir Mund	13	Pound Place	Signed
George	21	Pound Place	Signed
Charanjeet Warring	25	Pound Place	Signed
Harjit Kalsi	33	Pound Place	Signed
Baljinder Dhaliwal	37	Pound Place	Signed
Aman Arora	17	Pound place	Signed
Romi Sidhu	29	Pound place	Signed
ST ANDREWS PLACE	House		
Name	Number	Street	Status
	3	St Andrews Place	Not Reachable
Gurmail Dhanjal	7	St Andrews Place	Signed
Charanjit Dura	19	St Andrews Place	Developer Relative
Pritpal Sandhu	23	St Andrews Place	Signed
ST JOHNS PLACE	House		
Name	Number	Street	Status
Major Singh Brar	3	St Johns Place	Signed
Jasbir Sandhu	7	St Johns Place	Signed
Kamalpreet Bassi	11	St Johns Place	Signed
Tajinder Khaira	15	St Johns Place	Signed
Sheldon Vijay	19	St Johns Place	Signed
Satbir & Lally Brar	23	St Johns Place	Signed
Copey Ross	27	St Johns Place	Neutral
Kamaljit Minhas	31	St Johns Place	Signed
Paramjit Dhaliwal	35	St Johns Place	Signed
TRINITY ROAD	House		
Name	Number	Street	Status
Kuljit & Sukhpal Parmar	12	Trinity Road	Signed
Jagrup Sidhu	16	Trinity Road	Signed
Resham Sidhu	20	Trinity Road	Signed
Darshan Kang	21	Trinity Road	Signed
Lovedeep Punia	28	Trinity Road	Signed
Durlabh Sidhu	32	Trinity Road	Signed
Sukhjinder Toor	38	Trinity Road	Signed
Tajinder & Malkit S Brar	86	Trinity Road	Signed
Sukhdee Sran	102	Trinity Road	Signed
Sukhjinder Sran	106	Trinity Road	Signed
Hardip Nahal	110	Trinity Road	Signed
Surjit & Surinder Singh Dhillon	126	Trinity Road	Signed
Kuljinder & Dilpreet Sidhu	130	Trinity Road	Signed
Himmat Chahal	134	Trinity Road	Signed

Narinder Toor	138	Trinity Road	Signed
Parminder Toor	142	Trinity Road	Signed
Sukhdeep Gill / Bhagwant Gill	150	Trinity Road	Signed
Baljit Gill	163	Trinity Road	Neutral
WOODLOCK ROAD	House		
Name	Number	Street	Status
Paramjit Bains	2	Woodlock Road	Signed
Gurpreet Thind - SOLD HOUSE	3	Woodlock Road	HOUSE SOLD
Mandeep Saran	7	Woodlock Road	Signed
Surinder Pal Kehal	6	Woodlock Road	Signed
Rajinder Dhillon	10	Woodlock Road	Signed
Surinderpal Sidhu	11	Woodlock Road	Signed
Kanwal Sangha / Jasbir Sangha	14	Woodlock Road	Signed
Randhir Gill/ Paramjit Gill	15	Woodlock Road	Signed
Paramjit Kalsi	18	Woodlock Road	Signed
Iqubal Sidhu	22	Woodlock Road	Signed
Pannu	26	Woodlock Road	Signed
Gurpyar / Makhan Bains	30	Woodlock Road	Signed
Simranpreet Sandhu	38	Woodlock Road	Signed
Joginder Singh Dhadda / Raj Dhadda	42	Woodlock Road	Signed
Rashpal Singh Matharoo	46	Woodlock Road	Signed
Baljinder Kaler	50	Woodlock Road	Signed
Balwinder Sidhu / Gurpreet Sidhu	54	Woodlock Road	Signed
Kuldip Maan	58	Woodlock Road	Signed
Noman Sikandar / Sikander Ali	62	Woodlock Road	Signed
Avtar Brar	66	Woodlock Road	Signed
Barinder Johal	70	Woodlock Road	Signed
Inderjit Bajwa	73	Woodlock Road	Signed
Mohinder Sekhon	74	Woodlock Road	Signed
Paramjit Ruprai	78	Woodlock Road	Signed
Jagdish Sekhon	82	Woodlock Road	Signed
Jaswinder Minhas	86	Woodlock Road	Signed
GRANGE LN	House		
Name	Number	Street	Status
Jagjiwan Singh	307	Grange Lane	Signed

Analysis

Total Houses	191
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Total Signed	178
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Neutral	4
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Not Reachable	4
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Not in Favor	5
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% Supporting Letter	95%
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% Against Letter	2%
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% Neutral / Not Reachable	3%
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Date: 11 Jan 2020

Attn: Oksana Newmen
Planning Service Department
Rocky View County
262075 Rocky View Point
Rocky View County, AB – T4A 0X2

Re: File Number – 04329003 For Applications : PL20190021 - Redesignation ; PL20190089 – Subdivision;
PL20190153 – Conceptual Scheme

Dear Sir / Madam,

We are the residents impacted by the proposed redesignation and subdivision as our properties are adjacent to, or in the immediate vicinity of the land subject to application file number 04329003. This redesignation and new proposed subdivision is of great concern and will negatively impact the residents in the vicinity. We would like to bring forward the following concerns:

1. Most residents use the connecting road from Cambridge Park Estates to 100 St on the West side to commute from our community to Calgary. This new proposed development will increase traffic and excessive noise levels for the residents of Cambridge Park, who are currently enjoying the quiet country style living.
2. Applicant is seeking the redesignation of the lands to Business Campus District which permits General Industry Type I, Business Park, Restaurants etc. as such as defined in the Rocky View Land Use Bylaw C-4841-97 (pg 193-197). This is of great concern to the community. The new proposed development will completely alter the dynamics of the area from Rural residential to more urban and industrial type setting which impacts properties values within the estate neighborhood. Most of the estate houses in the Cambridge Park are over ~\$1M and the new proposed development may greatly devalue property values. Residents are currently enjoying the country living lifestyle far enough from businesses to enjoy the open setting, yet close enough to businesses in Calgary or Chestermere when the need arises.
3. With the redesignation there will be a lot of commercial establishments which will come close to our beautiful and quiet residential development which can lead to excessive noise, traffic and crime.
4. The proposed development is not compatible with the overall outlook and expectation of the area and will transform the country living to more urban living. That is not what we signed up for when we built/bought our houses in this neighborhood. The developer sold the lots as acreage country living style where families could raise their children away from crowded commercial neighborhoods.
5. If Rocky View Country determines there is a need to have business representation in the community, we propose that Rocky View County consider on-going residential development and parks within the designated area, along with a much more limited retail component instead of designating the entire area as Business Campus District.

Page 1 of 13

This is a collective response from all the undersigned property owners of the lands in the vicinity of the proposed redesignation and subdivision application.

Regards,

Residents of Cambridge Park and Surrounding Area

Name	Address	Signature
Jessie Singh	3 Abbey Rd.	Jessie Singh
EZAZ ALI	8 Abbey Rd	Ezaz Ali
Chanjit Chatha	230 Milton Rd.	Chatha
Neal Chatha	209 Milton Rd	Neal Chatha
Paramjit Sharma	222 Milton Rd	P. Sharma
Mateen Faizi	202 Milton Rd	Mateen Faizi
Paramjit Sandhu	206 Milton Rd.	P. Sandhu
Harjit Toor	138 Trinity Rd	Harjit Toor
Himmat Chahal	134 Trinity Rd	Himmat Chahal
Rajinder Sidhu	130 Trinity Rd	Rajinder Sidhu
Sam Sidhu	35- ABBEY Rd	Sam Sidhu
Bulland Cheema	15- Abbey Rd	Bulland Cheema
Suknoor Singh	11- ABBEY Rd	Suknoor Singh
Harvinder Dhalwala	4 Abbey Rd	H.K. Dhalwala
RANVIR K. MAND	7 ABBEY ROAD	Ranvir K. Mand
KULJIT PARMAR	12 TRINITY ROAD	Kuljit Parmar

This is a collective response from all the undersigned property owners of the lands in the vicinity of the proposed redesignation and subdivision application.

Regards,




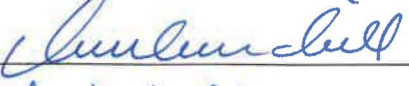
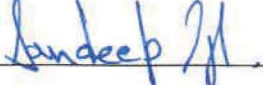
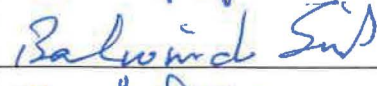
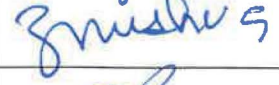








Residents of Cambridge Park and Surrounding Area

Name	Address	Signature
Paranjit Ruprai	156 Cambridge Park way, R. View	Paranjit Ruprai
HARJINDER PREMI	42 KINGS ROAD	Harjinder
Sukhdeep Gill	46 Kings Road	Steele
Gurleen Gill	46 Kings Road	R. Gill
Gurdeep Kalkat	38 Kings road	Gurdeep Singh
Jasbir Sohi	39 Kings Road	Jasbir Sohi
Jasbir Singh	19 Kings Rd.	Jasbir
Santjeet Kaur	19 Kings Rd.	Santjeet
AZMATA HASEEM	3 KINGS ROAD	Azmat
Gurpreet Sami	6 MILL BAY	Gurpreet
Sikander Singh Sholima	126-Cambridge Park way	Sikander
HARKRISHAN JASOOL	113 PARK DR.	Harkrishan
RAJ SANDH	108 PARK DR	Raj
Sunny Samra	22 Park Dr.	Sunny

This is a collective response from all the undersigned property owners of the lands in the vicinity of the proposed redesignation and subdivision application.

Regards,

Residents of Cambridge Park and Surrounding Area

Name	Address	Signature
Aman Arora	17 POUND PLACE	
M.F. SAHIB	21 POUND PLACE	
Romi Sidhu	29 POUND PLACE	
GURKEEN GILL	1-POUND PLACE	
Sandeep Randhawa	5 Pound Place	
BALWINDER RAJSEKHSI	9 POUND PLACE	
Neeraj Mishra	23 Kings Road	
KULDEEP SANDHU	7 Kings Road	
Manjit Deol	18 Mill Bay	
RAJDEEP KHOSA	10 Mill Bay	
GURKARAMSIT DHANOT	144 PARK DR	
Vivian Gathercole	140 Park Dr.	
MOHINDER SINGH	128 PARK DR	
MOHINDER S MORE	92 PARK DR	
Amandeep S. Sandhu	88 Park Dr.	

This is a collective response from all the undersigned property owners of the lands in the vicinity of the proposed redesign and subdivision application.

Re: d.






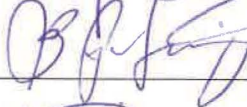

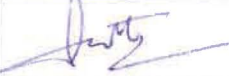



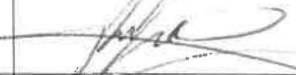



Residents of Cambridge Park and Surrounding Area

Name	Address	Signature
Shamoon Maza	137 Park Dr	Shamoon Maza
Squinn, Rachel	25 Park Drive	Squinn, Rachel
Nancy Sawyer		
GARY P	14 Park Dr	GARY P
Joe Dhallon	50 Park Dr	Joe Dhallon
ARMINDER	54 JUNE DR	ARMINDER
HAKAMEL JALIL	42 Park Dr	HAKAMEL JALIL
Asmira Hujic	34 park dr	Asmira Hujic
MEHMET HUCIC	34 PARK DR	MEHMET HUCIC
Ajisa Aisa	34 PARK DR	Ajisa Aisa
Sheeraz	30 Park Dr	Sheeraz
Monnie	5 Park Dr.	Monnie
Edris Aham	6 Park Dr	Edris Aham
KILWANT NIAJAR	43 Kings Rd	KILWANT NIAJAR
P Kijjar	11	P K NIAJAR
Chantel Nyjar	11	Chantel Nyjar

This is a collective response from all the undersigned property owners of the lands in the vicinity of the proposed redesignation and subdivision application.

Regards,

Residents of Cambridge Park and Surrounding Area

Name	Address	Signature
Nandip Dhundol	14 Park Drive Rocky View County, AB	
PRAVIN NATHVANI	13, PARK DRIVE, ROCKY VIEW COUNTY, AB	
JAYSHRI NATHVANI	13, PARK DRIVE ROCKY VIEW COUNTY, AB	J. Nathvani
John Smith	18 PARK DR ROCKYVIEW, AB	
TANJOT GILL	17 PARK DR ROCKYVIEW, AB	
HOMER PAGALING	21 PARK DRIVE ROCKY, VIEW, AB. T1Z0A3	
BEATRIZ PAGALING	21 PARK DRIVE ROCKYVIEW, AB. T1Z0A3	
HANNAH PAGALING	21 PARK DRIVE ROCKY VIEW, AB. T1Z 0A3	
ABHI BORUWA	45 PARK DR.	
YOGESH PATEL	57 PARK DRIVE	
Jay PATEL	57 PARK DRIVE	
J BRAR	41 PARK DRIVE	
Ramon Johal	37 Park Drive	
Jugveer Jhal	45 Park Drive	
Tejvir Minha	33 Park Drive	
LAKHVI S. BRAR	29 - Park drive	

Name	Address	Signature
J.S. DHADDA	42 WOOD LOCK Rd	
Parm Sandhu	24 Abbey Rd	
Pirka Sandhu	28 Abbey Rd	
Khawaja Farooq	40 Abbey Rd Rvc.	
Mummy McDonald	44 Abbey Rd	
Mubashir McDonald	44 Abbey Rd.	
Parmjit Bains	2 Woodlock Rd	
Surinder PAL-Kehal	6 Woodlock Rd	
Parvinder	8 Woodlock	
Sukhu Sandhu	11 Wood Lock Rd	
Iqbal Sidhu	22 Woodlock Rd	
Narinder Sidhu		
Kuldip MAHAN	58 Woodlock Rd	
Balwinder Sidhu	54 Woodlock Rd	
Gurpyar Bains	30 Woodlock Rd	
Noman Sikandar	62 Woodlock Rd	
Sikandar Ali	62 Woodlock Rd	
Tojinder Brar	86 TRINITY Rd	

This is a collective response from all the undersigned property owners of the lands in the vicinity of the proposed redesignation and subdivision application.

Regards,












Residents of Cambridge Park and Surrounding Area


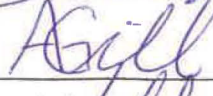


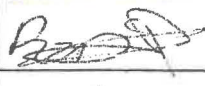







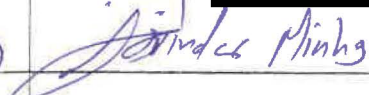
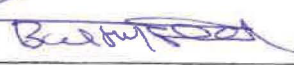
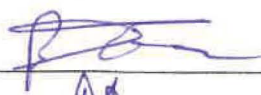


Name	Address	Signature
MOHAMED BORHOT AMELIE BORHOT	68 Abbey Rd. Rockview	M. Borhot A. Borhot
BILL BHULLAR	75 Abbey Rd. R. View	B. Bhullar
DHARMINDER PREMI	67 Abbey Rd Rview	D. Premi
JAGDEEP PREMI	67 Abbey Road R. View	J. Premi
Mangit Banot	63 ABBEY ROAD	Mangit
GURDI PRANWAN	63 Abbey Road	Gurdi
SANDEEP RIKHI	47 KING'S ROAD	Sandeep Rikhi
GURJINDER GILL	151 CAMBRIDGE PARK	G. Gill
HARINDER S. DHESE	19 Abbey Road	H. Dhesi
SUKHJINDER TAR	38, Trinity Road	S. Tar
SUKHJINDER SRAN	106 TRINITY ROAD	S. Sran
SUKHDEE SRAN	102 TRINITY ROAD	S. Sran
Sunil Chaudhary	78 Penny Lane	S. Chaudhary

This is a collective response from all the undersigned property owners of the lands in the vicinity of the proposed redesignation and subdivision application.

Regards,

Residents of Cambridge Park and Surrounding Area



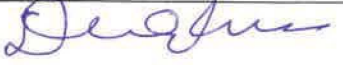


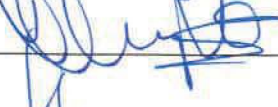



Name	Address	Signature
Sheldon Vijay	14 St Johns PL	
SATBIR BRAR	23 St John's Pl	
NARINDER PAL BRAR	23 St John's Pl	
KAMALJIT BASSI	11 ST Johns PL	
Sharanjit BASSI	11 ST Johns PL	
TESINDER KHAIRA	15 ST JOHNS PL	
COPEL ROSS	27 ST JOHNS PL	
Kamaljit Minhas	31 St John's PL	
Harmeet Phainwal	35 St Johns Pl	
1/12/2020	357 Johns Pl	
Jasbir Singh	7 ST Johns PL	

Name	Address	Signature
Shamsher Gill	71 ABBEY ROAD	
AMARJEET Gill	71 ABBEY ROAD	
AMRINDER Gill	71 ABBEY ROAD	
DEVINDER Gill	71 ABBEY ROAD	
Balroop Hans	11 Kings Road	
CHARANJEET	25 POUND PLACE	
RAJINDER DHILLON	10 WOODLOCK RD	
Jasbir Sangha	14 Woodlock Rd	
Simranpreet Sandhu	38 Woodlock Rd	
RAT DHANDA	42 WOODLOCK RD	
Artur Brar	66 WOODLOCK RD	
Bunndey Johal	70-woodlock RD	
JASWINDER MINHAS	86 Woodlock RD	
BALJIT GILL	163 TRINITY Road	
PARMINDER TOL	142 TRINITY ROAD	
AMRITPAL PADDA	73 WOODLOCK ROAD	
PARAJIT KALSI	18 Woodlock Road	

This is a collective response from all the undersigned property owners of the lands in the vicinity of the proposed redesignation and subdivision application.

Regards,

Residents of Cambridge Park and Surrounding Area

Name	Address	Signature
1338602 AB LTD BALWINDER MAREK	64 ABBEY RD	
Paramjit Ruprai	78 Woodlock Road Rocky View	Paramjit Ruprai
Gurpyar Singh Bhullar	105 Park Dr	
Darshan Sidhu	109 Park Dr	
Happy DIALWALL		
Partip Jaswal	97 Park Drive	
Paul Paula	80 Park Drive	
Jaya Gupta	77 Penny Lane	
Sande Varraghese	69 Penny Lane	
HARIT KALSI	33 Pound Pl.	
LAKHVI R MUND	13 Pound Pl.	

Regards,

Residents of Cambridge Park and Surrounding Area

[illegible]

[illegible]

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name TARLOCHAN DUHRA
Address 245080 MEADOWRIDGE ROAD
CONRICH

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number for extending water line to the Conrich Area and would like to engage discussion with the county to extend water and sewer to Conrich Estates.

Signed 

Date: April 26 / 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Bhupinder & Ravinder Basati
Address 245011 Mer
Conrich
T814-425

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number for extending water line to the Conrich Area and would like to engage discussion with the county to extend water and sewer to Conrich Estates.

Signed Ravinder Basati

Date: April 23/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name KARTAR SINGH BHATIA
Address 245030 MEADOW RIDGE.
CONRICH AB
T2M-4L5

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number for extending water line to the Conrich Area and would like to engage discussion with the county to extend water and sewer to Conrich Estates.

Signed Mandeep Bhatia

Date: April 23rd/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name BALJEET KAINTH
Address 245020 meadow Ridge Rd
Conrich, AB
T2M 4L5

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number for extending water line to the Conrich Area and would like to engage discussion with the county to extend water and sewer to Conrich Estates.

Signed 

Date: Apr 22/20

RE: Letter of Support

To Whom it May Concern:

It is my understanding that:

- Amar Developments Ltd. is proposing the redesignation and subdivision of Cambridge Park Phase 4.
- Cambridge Park Phase 4 (described as the remainder of the NW 1/4 Sec. 29-24-28-W4M and comprises 68.1 Acres (27.505 Hectares) is proposed for redesignation from Ranch and Farm District (RF-2) to Business - Business Campus (B-BC) in order to accommodate a mix of business activity within a comprehensively-planned campus-like setting.
- Business use may provide personal services primarily to the on-site employees and secondarily to the surrounding local clientele, but does not include regional commercial uses serving a regional clientele.
- The Conceptual Land Use Plan for Cambridge Park Phase 4 provides for the creation of six (6) business lots with proposed lots ranging in size from 4.21 Acres (1.70 Hectares) to 7.46 Acres (3.02 Hectares), municipal reserve lots and a public utility lot.

Having regard to the above, I am in support of the proposed redesignation and subdivision.

Name: CHARANJIT SINGH.

Address: 19 St Andrews PL
ROCKYVIEW AB T12 0A5

Date: Feb 10th 2020

Signature: C. D. Whisa

RE: Letter of Support

To Whom it May Concern:

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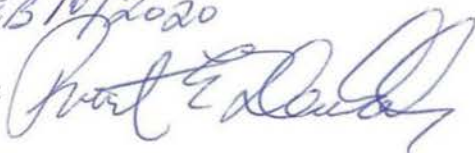
Name: ROBERT & THERESA DERKACH

Address: 19 ST ANDREWS PLACE ROCKYVIEW ALBERTA.

Date: FEB 10/2020

T12 0A5

Signature:



RE: Letter of Support

To Whom it May Concern:

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Having regard to the above, I am in support of the proposed redesignation and subdivision.

Name: Kulwinder Duhra.

Address: 19 St Andrews PL
ROCKYVIEW AB T120A5

Date: Feb 07/2020

Signature: 

RE: Letter of Support

To Whom it May Concern:

It is my understanding that:

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- Cambridge Park Phase 4 (described as the remainder of the NW 1/4 Sec. 29-24-28-W4M and comprises 68.1 Acres (27.505 Hectares) is proposed for redesignation from Ranch and Farm District (RF-2) to Business - Business Campus (B-BC) in order to accommodate a mix of business activity within a comprehensively-planned campus-like setting.
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Having regard to the above, I am in support of the proposed redesignation and subdivision.

Name: HAKPREET GASSAL.

Address: 40 82 - Penny Lane Rockyview Alberta

Date: February-7th 2020

Signature:



RE: Letter of Support

To Whom it May Concern:

It is my understanding that:

- Amar Developments Ltd. is proposing the redesignation and subdivision of Cambridge Park Phase 4.
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Having regard to the above, I am in support of the proposed redesignation and subdivision.

Name: KANWALD P BAIRNS

Address: 82 PENNY LANE, ROCKYVIEW, AB T1Z 0A4

Date: FEB/02/2020

Signature: 

RE: Letter of Support

To Whom it May Concern:

It is my understanding that:

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Having regard to the above, I am in support of the proposed redesignation and subdivision.

Name: GOODWILL ENTERPRISES LTD.

Address:

Date: FEB. 6th 2020

Signature:

S. Gomer

RE: Letter of Support

To Whom it May Concern:

It is my understanding that:

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- The Conceptual Land Use Plan for Cambridge Park Phase 4 provides for the creation of six (6) business lots with proposed lots ranging in size from 4.21 Acres (1.70 Hectares) to 7.46 Acres (3.02 Hectares), municipal reserve lots and a public utility lot.

Having regard to the above, I am in support of the proposed redesignation and subdivision.

Name: SURJIT SINGH PARMAR

Address: 154 TRINITY ROAD

Date: FEB. 6th 2020

Signature: [Signature]

RE: Letter of Support

To Whom it May Concern:

It is my understanding that:

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Having regard to the above, I am in support of the proposed redesignation and subdivision.

Name:

Indeepal Singh .

Address:

Date:

Feb - 6th - 2020'

Signature:

Indeepal Singh .

RE: Letter of Support

To Whom it May Concern:

It is my understanding that:

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Having regard to the above, I am in support of the proposed redesignation and subdivision.

Name: Mandeep S sumal

Address: 284127 Meadow Ridge lane NE

Date: Feb 12 2020

Signature:



June 10, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB T4A 0X2

Attention: Ms. Oksana Newman

Dear Ms. Newman:

**Re: Cambridge Phase 4
South Conrich Conceptual Scheme Appendix D BYLAW C-7957-2019
Land Use Redesignation BYLAW C7959-2019**

This letter is submitted in support of the above captioned Bylaws on behalf of Amar Developments, owners and developers of the project. Planning+ is the authorized planning consultant representing Amar Developments. The purpose of this letter is to respond to the concerns and indicate what Amar Developments is doing to address these issues.

It is our understanding that the concerns may be broken down into four main categories:

1. Compatibility of Land Uses between Cambridge Park Phase 4 and Phases 1, 2, and 3
2. Transportation Issues
3. Impact of the Expansion of the Cambridge Park Water System
4. Impact on the Home Owners Association in Cambridge Park

1. COMPATIBILITY OF LAND USES

Concern

Residents have expressed concern that the proposed Business Park uses are incompatible with the existing residential in Phases 1, 2 and 3 due to noise and pollution and will negatively impact property values

Response

- The proposed B-BC Business Campus uses are consistent with the Conrich Area Structure Plan (Conrich ASP), 2015 which identifies the Phase 4 lands as Highway Business Uses. **See Figure 1.** The Conrich ASP was prepared following multiple open houses and involved discussions with neighboring municipalities of both Calgary and Chestermere. It was approved in 2015 without any opposition from Cambridge residents. Amending the Conrich ASP to residential uses will require opening discussions with both municipalities and potentially an approval from the Calgary Metropolitan Region Board (CMRB).
- Of all the Industrial districts available in the Rocky View County Land Use Bylaw, B-BC is considered most compatible with residential uses. It requires 25% minimum landscaping. The Purpose and Intent of the B-BC district states, *'Development should have no off-site impacts,*

and must be compatible with adjacent land use. Development will be of a high quality standard of visual design, and address compatibility and transitional issues with adjacent land uses, particularly those residential in nature'.

- Business Uses in Phase 4 are deemed appropriate, as ultimately Phase 4 will be severed and physically separated from Cambridge Park Phase 1, 2 and 3 by the future realignment of Garden Road, a 46 metre wide Major Road. **See Figure 2.**
- The residential interface is further addressed through the location of the proposed landscaped stormwater pond. **See Figure 3.** Approximately 45% of the west property line of residential interfaces with open space. Additional buffering will be supplied by a Municipal Reserve strip that runs parallel to the future Garden Road Right of Way. Fencing will be constructed on the properties that are adjacent to the Municipal Reserve.
- In response to residents' concern, policies in Section 7.7 of the proposed South Conrich Conceptual Scheme Appendix 4 ensure an appropriate transition by:
 - mandating Institutional uses only on Lots 1 & 6 in proximity to existing residential; and
 - restricting General Industrial and high traffic uses to Lots 3 and 4, away from the existing residential.

2. TRANSPORTATION ISSUES

Concern

Residents have expressed the following concerns with respect to the existing Cambridge Park Boulevard:

- The proposed development will increase traffic
- *'There is no sign for Cambridge Park Blvd off Garden Road to distinguish the community for visitors and there is no light to signal for the narrow turn ahead to make the entrance safer for driving in the night or the bad weather conditions'*

Response

- With Phase 4 development, Cambridge Park Blvd, currently a private road, will be upgraded to an Industrial Standard public road designed to accommodate the projected traffic volumes as per the Traffic Impact Assessment (TIA) prepared by Bunt and Associates, a qualified transportation engineering consultant. **See Figure 4.**
- The intersection of Garden Road and Cambridge Park Blvd will be upgraded to a modified Type 3 with appropriate turn lanes, lighting and signage.
- In addition, as per Alberta Transportation (AT) requirements, the intersection of Garden Road and Highway 1 will be upgraded to extend the existing left turn bay for east bound traffic turning north into Garden Road.
- With the future realignment of Garden Road, Cambridge Park Phases 1, 2 and 3 residents will be able to access Highway 1 without travelling through the proposed business uses.

3. IMPACT OF THE EXPANSION OF THE CAMBRIDGE PARK WATER SYSTEM

Concern

- Residents are concerned about the lack of capacity in the current water system. Amar is currently trucking in water to supplement the water supply to Cambridge 1, 2, and 3 which has resulted in an increase in the water rate this year.
- Residents have indicated that the quality of water is also a concern as there is a high iron content in the well water

Response

The development of Phase 4 will facilitate in addressing not only Cambridge residents' concerns stated above but water issues faced in the region, as explained below.

- Current Cambridge Park water system is supplied by well water with a water treatment system and distribution network that solely serves this community. The water license is regulated by Alberta Environment and Parks who have limited the amount of water that can be utilized by the wells serving Cambridge Park.
- Prince of Peace and Sage Properties urgently require an upgrade to their water system due to lack of capacity within their existing facility and the high costs associated with trucking in water.
- A new water system is being proposed by the County which will serve Cambridge Park Phases 1-4, Prince of Peace and Sage Properties as well as other existing developments. The new water system will tie into the Rocky View County Conrich water system which relies on water from the currently underutilized Balzac Water Treatment Plant, and will provide increased capacity. **See Figure 5.**
- The new system requires approval of Rocky View County if any County investment is required. The most cost-effective method of upgrading the Prince of Peace and Sage water system is through Cambridge Phase 4. There is support for financial contributions by Amar Developments, Prince of Peace and Sage Properties to facilitate the construction. Over the long term the system is projected to be financially sustainable.
- As a condition of Subdivision Approval for Phase 4, Amar will be required to tie into the County's potable water services to service the proposed development.
- Once the new system is in place, the rate is controlled by the County and there is no additional cost required to tie into the system for Phase 1, 2 and 3 residents, provided Rocky View County invests in the system.
- Both Prince of Peace, which has approximately 300 senior residents on fixed incomes and Sage Properties who are proposing an additional residential development, have indicated a strong support for Phase 4 development as it will facilitate in addressing their water issues.
- The waterline extension will facilitate development of future lands within the Conrich ASP, thereby utilizing the infrastructure investments made to date by the County and add to its tax base for return on investment.

4. IMPACT ON THE HOME OWNERS ASSOCIATION

Current

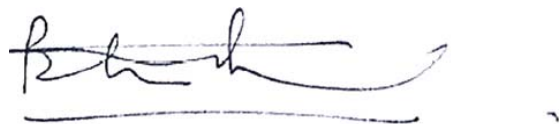
- The Home Owners Association (HOA) for Phase 1 and 2 is currently controlled by Amar Developments. Residents have requested that the Home Owners Association in Phase 1 and 2 be turned over to them.

Response

- Amar has called an Annual General Meeting (AGM) of the HOA for phases 1 and 2. Nominations for Board members from the HOA membership have been called for.
- The current Board will resign at the AGM and a new Board will be elected by the membership of the HOA. The new Board will meet once the AGM is concluded and elect a new executive.
- Amar will turn over the HOA for phases 1 and 2 to the new Board

We trust the above address the residents' concerns.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Bela Syal', with a horizontal line underneath it.

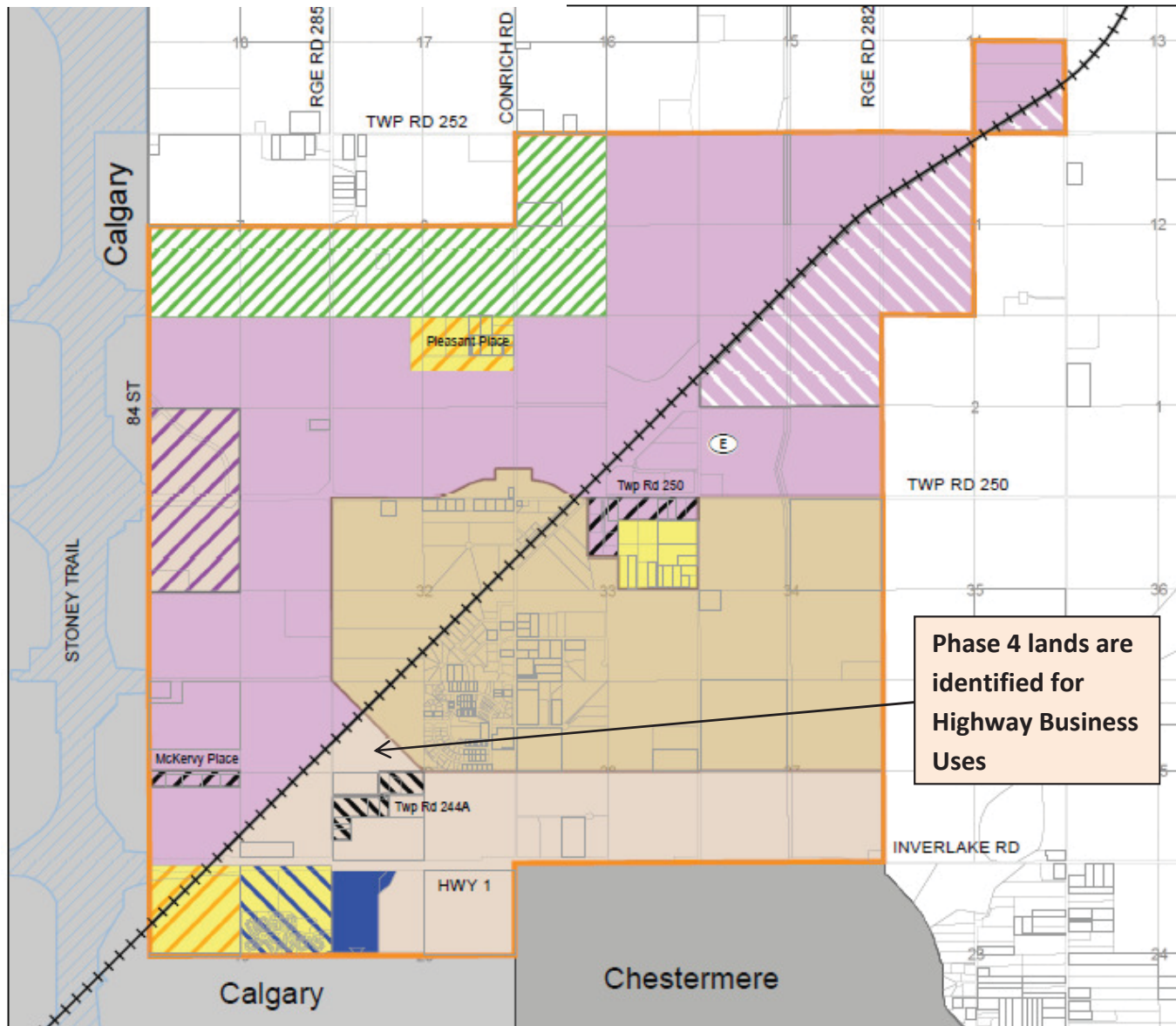
Bela Syal, MBA, MCIP
Principal, Planning+

Submitted on behalf of Rani Duhra, President
Amar Developments
RR 6 LCD 9, Calgary, AB T2M 4L5

Figure 1: CASP Land Use Direction

South Conrich CS Appendix D

Cambridge Phase 4

Map 5:
Land Use Strategy

- ASP Boundary
- Future Policy Area
- Residential-Form to be determined
- Country Residential
- Institutional/Residential
- Institutional
- Industrial
- Heavy Industrial
- Industrial Transition
- Highway Business Transition
- Highway Business
- Highway Business/Industrial
- Long Term Development Area
- Emergency Services
- Transportation and Utility Corridor
- CN Railway

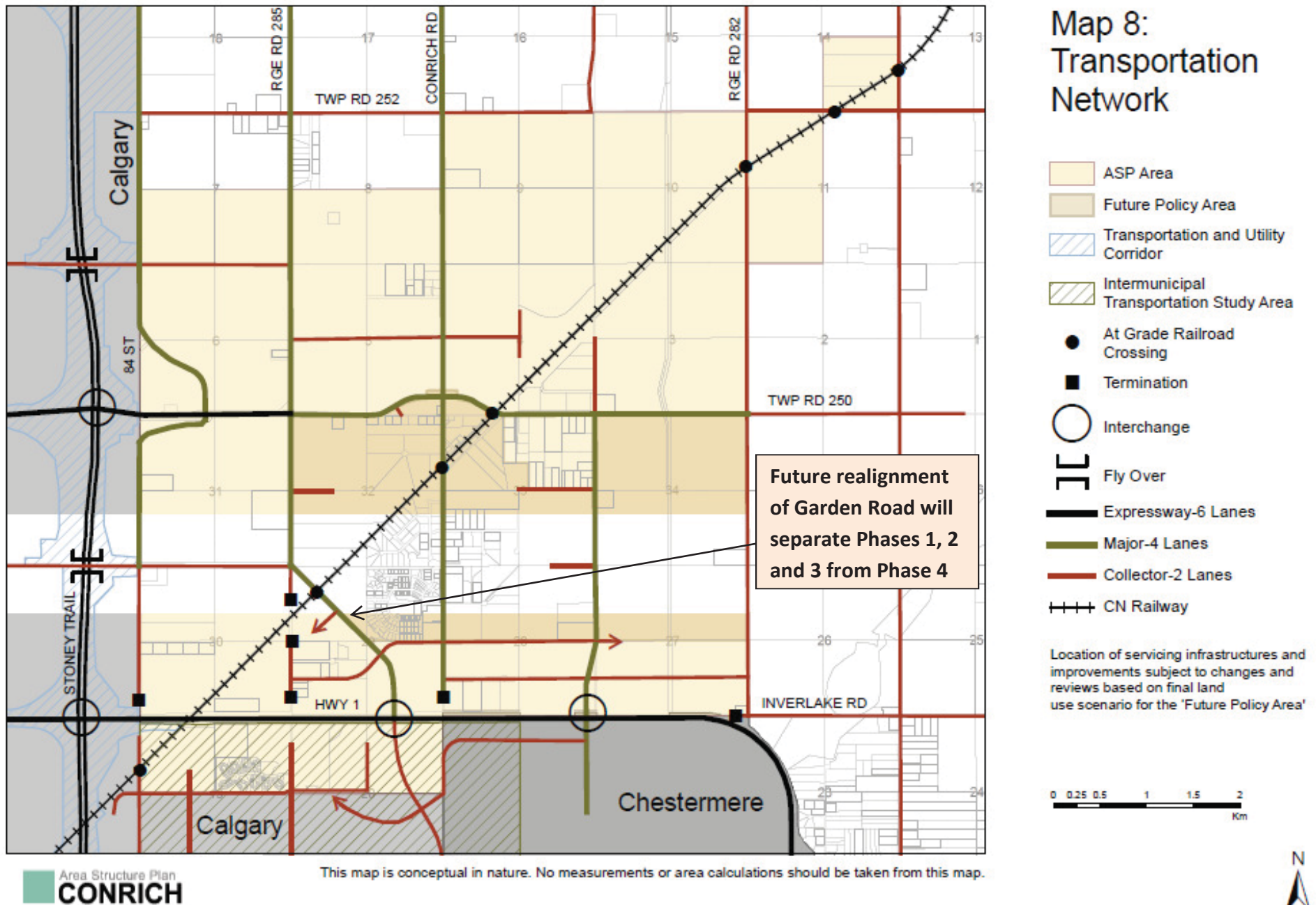
0 0.25 0.5 1 1.5 2
Km



Figure 2: CASP Transportation Network

South Conrich CS Appendix D

Cambridge Phase 4



Cambridge Phase 4

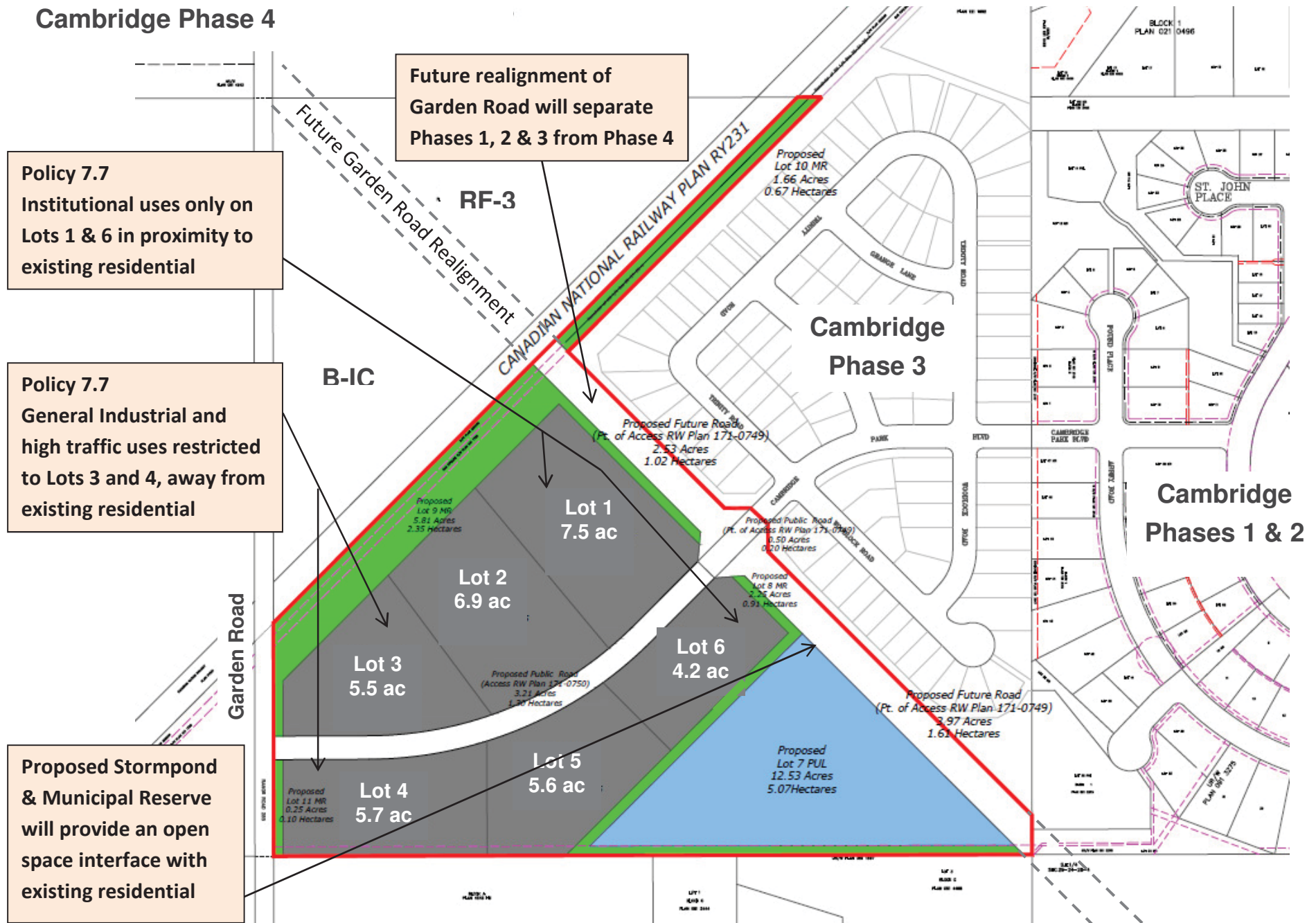


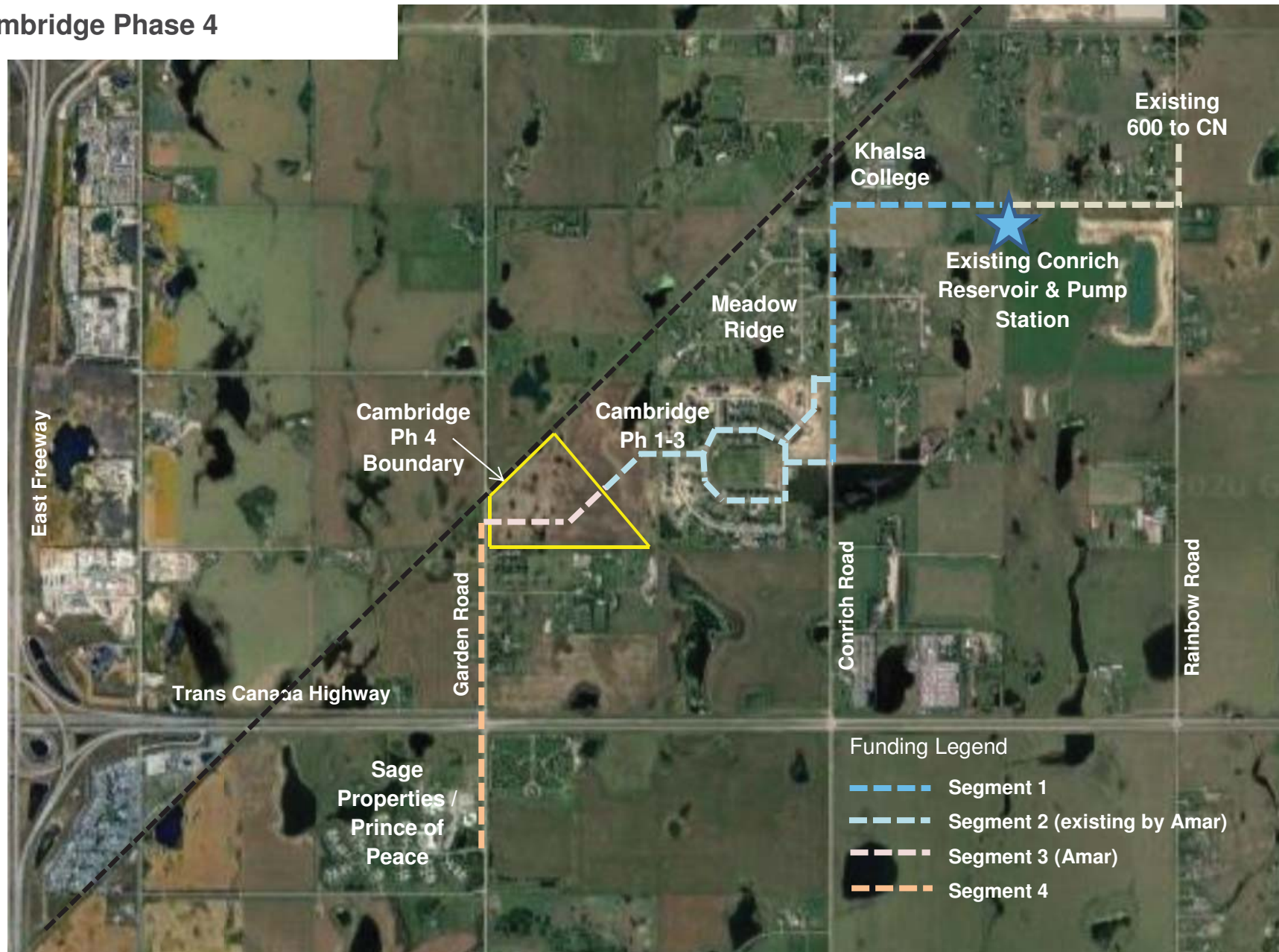
Figure 4: Transportation Upgrades

South Conrich CS Appendix D

Cambridge Phase 4



Figure 5: Water Servicing
South Conrich CS Appendix D
Cambridge Phase 4



Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name RANDY CARRUTHERS
Address 329 - TRINITE BAY
CALGARY ALTA.
T1X 1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

Amar Development's planned development of this property will blend into the overall area structure plan. The proposed water infrastructure for this development will be an important link to establishing the area potable water infrastructure needed to connect to a stable Rocky View County potable water supply. The present supply of potable water to our Village is not sustainable and a stable water supply is badly needed for the sustainability of our Village.

Please accept this letter as our support for the Amar Developments land use plan.

Signed: Randy Carruthers

Date: April 15, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Diane DeSchover
Address 211 Dayspring Bay
M.D. ROCKYVIEW #44
Calgary AB T1X 1G3

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Diane DeSchover

Date: April 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Rudolf & Hildegard Dold
Address 209 Dayspring Bay
Calgary AB
T1x 1G3

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Hildegard Dold

Date: April 13, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Allan Brausse
Address 229 Dayspring Bay
Calgary, AB
T1X 1G3

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Allan Brausse

Date: April 14, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name DOUG + RHONDA SWITZER
Address 131 COVENANT BAY
ROCKY VIEW COUNTY, AB
T1X 1G2

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: APRIL 14, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Mrs Lele C Zippich
Address 105 Cavenish Bay
Rocky View County, AB.
T1X 1G2

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Mrs Lele C. Zippich
Date: April 16th / 20

Thank you.

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name BRODEUR GINETTE + JEAN-LOUIS
Address 285011 Luther Rose Blvd.
Rocky View County
T1X-1G2

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: GINETTE BRODEUR

Date: April 17th 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Arlene & Rosemary Koch
Address 135 Covenant Bay
Calgary, Ab
T1X 1G2

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 14, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Marianne Agren
Address 133 Covenant Bay
Calgary AB
T1X 1G2

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Marianne Agren

Date: Apr. 15/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name MENNO & NAOMI FRIESEN
Address 109 COVENANT BAY
ROCKY VIEW COUNTY

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: M. Friesen

Date: April 14 / 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name James Schuelke
Address 111 Covenant Bay
Calgary, Alberta T1X1G2
Prince of Peace Village

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: James Schuelke

Date: April 14, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Gary Peterson
Address 101 Covenant Bay
Rocky View County
T1X1H2

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 14th 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name DAVID & AUDREY BURROWS
Address ~~103~~ 103 COVENANT BAY
ROCKY VIEW COUNTY, AB
T1X 1G1 2

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: David Burrows

Date: April 16/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name W. L. THISTLETHWAITE
Address 107 COVENANT BAY
ROCKY VIEW COUNTY
T1X 1G2.

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: W L Thistlethwaite

Date: APRIL 15 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Thomas Beach
Address 113 Covenant Bay
Rocky View County AB
T1X 1G2

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Thomas Beach

Date: April 17 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Don & Carol Shaben
Address 115 - Covenant Bay
Rocky View County, AB
T1X-1G2

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: D. Shaben

Date: April 14/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name HARVEY PAGES
Address 117 COVENANT BAY NE
ROCKY VIEW COUNTY
ALBERTA T1X 1G2

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: APRIL 14th / 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name GARY PATZER
Address 119-COVENANT
BAY
ROCKY VIEW COUNTY. T1X 1G2

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Gary Pitzer

Date: APR 17/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name MERLE BUMSTEAD
Address 121 COVENANT BAY
ROCKY VIEW COUNTY AB
T1X 1G2

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Merle Bumstead

Date: April 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Cory & Ronald Pieters,

Address 123 Covenant Bay,
Prince of Peace Village.

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: 15 April 2020.

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name RIK & MARGO JOHNSON
Address 125 COVENANT BAY.
ROCKY VIEW COUNTY. AB
T1X 1G2

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Dirk Johnson

Date: APRIL 17 / 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name EDWIN & PRYNA KOBERSTEIN
Address 127 COVENANT BAY - PRINCE OF PEACE
ROCKY VIEW COUNTY
T1X 1G2

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation


To Whom It May Concern


I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: _____


ED KOBERSTEIN


PRYNA KOBERSTEIN

Date: ARR 15, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name John Judson
Address 907 Baypring BH
Rock View County.
T1X 1G3

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: John Judson

Date: Apr 17/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Al & Rosemarie Baum
Address 213 Dayspring Bay
Calgary T1X 1G3

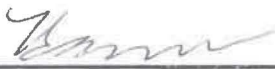
Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: Apr. 14/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Marion Jones
Address 203 Dayspring Bay
Prince of Peace Villas
Calgary T2X 1G3

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Marion Jones
Date: April 14 - 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name CARLA BONSEL
Address 233 DAYSPRING Bay NE.
CALGARY AB
T1X 1G3

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

Amar Development's planned development of this property will blend into the overall area structure plan. The proposed water infrastructure for this development will be an important link to establishing the area potable water infrastructure needed to connect to a stable Rocky View County potable water supply. The present supply of potable water to our Village is not sustainable and a stable water supply is badly needed for the sustainability of our Village.

Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 15/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Lorna McKenzie
Address 235 - Dayspring Bay
Calgary
T1X 1G3

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 15/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name JAMES THOMAS McNEIL
Address 205 DAYSPRING BAY
CALGARY AB
T1X 1C3

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: APRIL 17, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name__ Helmuth Schroeder
Address 215 Dayspring Bay
Calgary, AB
T1X 1G3

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Helmuth Schroeder

Date: April 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name TINA SIEMENS
Address 217 Dayspring Bay
Prince of Peace Village
Calgary, Alberta T1X 1G3

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Tina Siemens

Date: April 17, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Elsie Lunk
Address 219 Waplespring Bay
Calgary AB.
T1X 1G3

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Elsie Lunk

Date: April 17 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name BRENDA GRAYSON
Address 221, DAYSPRING BAY
PRINCE OF PEACE VILLAGE
CANARY T1X 1E3.

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: B. Grayson

Date: 16th April 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Ed & Suzanne Scott
Address 223 Dayspring Bay
Calgary, T1K 1G3

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Ed Scott

Date: April 13, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name PIETER HENDRIKS
Address 225 DAYSPRING BAY
CALGARY, ALBERTA
T1X 1G3

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: APRIL 13, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name SHARON & WILL SCHULTZ
Address 227 DAYSPRING BAY.
CALGARY AB
T1X 1G3.

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Sharon Schuly

Date: April 17, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name ANN KRUSE
Address 231 Dayspring Bay
Calgary, AB.
T1X-1G3


Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 14 - 20 20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name LARRY FINNIE
Address 301 DAYSPRING BAY
CALGARY T1X 1G3

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: APRIL 14/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name J J FALK
Address 339 Triune Bay
Calgary AB
T1X 1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 14, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name TOM REID
Address 937 - TRILLIUM BAY
CALGARY, ALBERTA
T1X 1G4

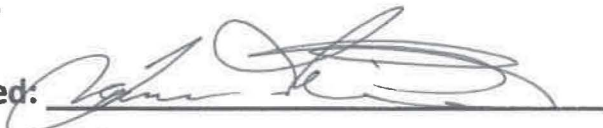
Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 16/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Arlene Yakimenko
Address 333 Griener Bay
Calgary, AB
T1X 1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Breene M. Yakimenko

Date: Feb 15/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Deborah Switzer-Cook
Address 331 Triune Bay
Calgary, AB
T1X 1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Deborah Switzer-Cook

Date: April 14, 2020.

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name: Bert Horvath
Address: 325 Triune Bay
Calgary, AB
T1X 1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Bert Horvath

Date: April 18, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Geoff Carr
Address 323 TRIUNE BAY
CALGARY AB
T1X 1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Geoff Carr
Date: April 13 / 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name NANCY GORDING

Address 319 TRUINE BAY
Calgary (Rockyview County)
AB T1X 1G41

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Nancy Gording

Date: 14 April 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name JOAN & DON FRASER
Address 317 TRIUNE BAY PRINCE OF PEACE VILLAGE
CALGARY AB
T1X1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Joan Fraser

Date: April 17 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Ken & Vivian Drysdale
Address 515 TRiune Bay
Calgary, AB.
T1X 1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Vivian Drysdale

Date: April 17, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name ELSIE GENDERT
Address 313
TRIVNE BAY
CALGARY, AB, T1X 1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: E. Gendert

Date: Apr. 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name ELFRIEDA PLETT
Address 311 TRIUNE BAY
CALGARY, AB.
T1X 1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Elfrieda Plett

Date: April 14, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Jim & Judy Snyder

Address 305 Triune Bay
Calgary, AB T1X 1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: 14 April 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name RUTH BITTLE
Address 303 TRIUNE BAY
CALGARY AB
T1X 1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Ruth Bittle

Date: 17 April 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name ANDREW NEUFELD
Address 301 TRIUNE BAY
CALGARY, AB
T1X 1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Andrew Neufeld
Date: April 16/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Don & Judy Shappak
Address 307 Trilene Bay
Calgary,
T1X 1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Don Shappak

Date: 17 Apr. 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Henry Bost
Address 335 Trine Bay
CALGARY AB
T1X 1G4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: [Signature]

Date: April 14 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name REINHOLD SCHOCK
Address 415 - HOPE AVE
CALGARY, ALBERTA.
T1X 1G5

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Reinhold Schock

Date: APRIL 13/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name HERTHA JANZ
Address 407 HOPE BAY N.E.
CALGARY, AB
T1X 1G5

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Hertha Janz

Date: April 17, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name H & L ELDER
Address 405 Hope Bay
CALGARY AB
T1X 1G5

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Lisa Elder

Date: April 17, 2020.

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name CYRIL SPURRELL
Address 403 HOPE BAY
ROCKY VIEW COUNTY
T1X 1G5

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Cyril Spurrell

Date: April 17, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name GEORGE P. MERIK
Address 401 HOPE BAY
CALGARY, AB
T1X 1G5

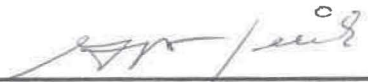
Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 15, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name DONALD N. REED.
Address 409 NOPE BAY
CALGARY AB.
T1X1G5

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Donald N. Reed

Date: April 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Elsie Kerber
Address 413 Hope Bay
Calgary, AB
T1X 1G5

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Elsie Kerber

Date: April 14/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name _____
Address _____



Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Caroline Chaudhuri

Date: April 13, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name EDITH WHITAKER.
Address 419 HOPE BAY
CALGARY A.B.
T1X 1G5

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 16 - 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Robert Bruce Peters
Address 421 Hope Bay
Calgary, AB.
T1X 1G5

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Robert B. Peters

Date: April 13/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name DOLORES KENT
Address PRINCE OF PEACE
423 HOPE BAY
CALGARY, AB T1X 1G5

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 15, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Bill DARES
Address 425 - HOPE BAY
CALGARY, AB
T1X 1G5

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 14/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Judy Sloan
Address 427 Hope Bay
Calgary T1X 1G5

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Judy Marie Sloan

Date: April 14, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name RUBY HIDES
Address 431-HOPE BAY
CALGARY AB
T1X 1G5

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Ruby Hides

Date: April 17, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name M. HEZMALHALCH
Address 433 HOPC BAY
CALGARY AB
T1X 1G7 T1X 1G5

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: M. Hezmalhalch

Date: April 13 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Richard + Ruth Anderson
Address 435 Hope Bay
Calgary
T1X 1G5

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Ruth Anderson

Date: April 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Aida Oostenbrug
Address 501 Epiphany Bay
Calgary AB T1X 1G6

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Jean Isley
Address 505 - Epiphany Bay (Rocky View)
Calgary AB
T1X 1G8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Jean Isley

Date: 04/14/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name _____

Address _____



Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: _____

Date: _____

Lorna Ruf
April 15 - 2020.

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name JACOB JANZEN & LEONA JANZEN
Address 507 EPIPHANY BAY
CALGARY, AB
T1X 1G6

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

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Please accept this letter as our support for the Amar Developments land use plan.

Signed:

 Leona Janzen

Date:

APRIL 13, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name KEN GROVE
Address 509 EPIPHANY BAY
CALGARY

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: K. Grove

Date: APRIL 16/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name

Pat Niederlag

Address

511 - Spappanay Bay
Calgary AB T4X 1G6.

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed:

Patricia L. Niederlag

Date:

April 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Owners-Name Kand D Wallace, J and G Olyslager, Cand K van Ellenberg
Address 513 Epiphany Bay
Calgary, AB
T1X 1G6

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

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Please accept this letter as our support for the Amar Developments land use plan.

on behalf of all owners

Signed: K Wallace

Date: April 15, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Brian Kehler
Address 515 EPIPHANY Bay
CALGARY, AB
T1X 1G6

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 14, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name GAYLE PEARSON
Address 517 Epiphany Bay
Calgary AB
T1X 1G6

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 13, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Dona Wheaton
Address 519 Epiphany Bay
Calgary, AB T1X 1G6

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Dona Wheaton

Date: April 17, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name

Address

Robert Stewart
521 Epc. Parkway Bldg
Calgary, AB
T1X 1G1

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed:

Robert Stewart

Date:

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Jean Kemp
Address 523 Epiphany Bay
Rocky View County AB.
T1X 1G6

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Jean Kemp

Date: April 16 - 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Klaus Schroll
Address 525 Epiphany Bay
Calgary AB
T1X-1G6

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: Apr. 15, 20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name JUNE KNUTTILA
Address 527- EPIMANY AVE
CALGARY AB
T1X 1B6

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: M. June Knuttila

Date: Apr 16/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name ROBERT & JOYCE FARTHING
Address 529 EPIPHANY BAY
CALGARY ALBERTA
T1X-1G6

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: R.J. Farming
J.B. Farming

Date: APRIL 16 - 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name ROY BIENSCH
Address 531
— EPIPHANY BAY
— CALGARY AB.

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Roy A. Biensch

Date: April 17/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Edie Beaudry Hanger,
Address 533 Epiphany
Bay N.E.
Calgary Alberta

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Edie Beaudry Hanger

Date: Apr 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name CAMPITELLI, NINO & MARIANNE
Address 535 EPIPHANY BAY
CALGARY AB
T1X-1G6

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Nino Campitelli

Date: April 17-2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name W. Kachmarzki
Address 537 Epiphany Bldg.
Calgary AB.
T2C 1A6

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: W. Kachmarzki

Date: April 15, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name EVELYN GOOD
Address 539 EPIPHANY BAY
PRINCE OF PEACE VILLAGE
CALGARY AB T1X 1G6

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: E. Good

Date: APR 14/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Diana Kerv
Address 541 EPIPHANY BAY
Rocky View County
T1X 1G6

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: D Kerv

Date: April 16 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name KENNETH BRAUSSE
Address 617 ADVENT BAY
CALGARY, AB
T1X 1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: 2020/04/15

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Greg Ellenor Binnion
Address 635 Advent Bay
Calgary, AB
T2X 1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Greg B. Binnion

Date: April 13 / 2020

Ellenor G. Binnion
April 13, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Don + Ruth Knox
Address 601 Advent Bay
Calgary AB
T4X 1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 16/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name ARLENE YOUNG
Address 611 ADVENT BAY
ROCKY VIEW COUNTY
T1X 1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Arlene Young

Date: April 14/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Victor Wilhelm
Address 613- Advent Bay
Calgary T1X 1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Victor Wilhelm

Date: April 15 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Robert L. Mazurek
Address 615 - Advent Bay N.E.
11ALGAR AB
T1X 1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Robert L. Mazurek

Date: Apr. 15/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Shirley Robinson
Address 619 Advent Bay
Calgary, AB
T1X 1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Shirley Robinson

Date: April 14, 2019

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Katheryn Schneider

Address 621-Advent Bay
Calgary T1X1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Kathryn Schneider

Date: April 17/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Brenda Neufeld
Address 627 Advent Boy
T2X 1W8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: 13 APR 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name

Gilles R Isagre

Address

629 Advent Bay
T1X 1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Signed:

Gilles R Isagre

Date:

April 14/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Brenda Gunn
Address 631 Advent Bay (PRINCE OF PEACE)
Calg AB
T1X 1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Brenda Gunn

Date: April 12, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name BETH HOLOBOFF
Address 637 ADVENT DAY
CALGARY AB
T1X 1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Beth Holoboff

Date: APRIL 17, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name MARGARET A. STAMLER
Address 639 ADVENT BAY
CALGARY A.B.
T1X 1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Margaret A. Stamler

Date: April 17/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name EMMERICH PLESZING
Address 643 ADVENT BAY
CALGARY, ALBERTA
T1X 1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: E. Pleszing

Date: 15 APRIL 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name DETELAR
Address 623 ADVENT BAY
TUXING CALGARY
[REDACTED]

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: 17-4-2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name L. WALDER-MACKENZIE
Address 607 ADVENT BAY
CALGARY
T1X 1W8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: L. Walder-Mackenzie

Date: 13/4/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Joan GASKELL
Address 603 Advent Bay
Calgary, AB
T1X 1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Joan Gaskell

Date: April 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name LYNNE DENDY
Address 1005 ADVENT BAY
CALGARY AB
T1X1N8

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Lynne Dendy

Date: April 13 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name W. T. MORGAN
Address 609 ADVENT BAY
CALGARY, AB
T1X1N8

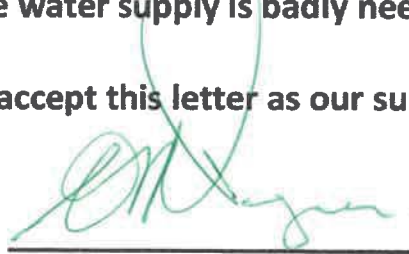
Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: 15 Apr 20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name WEYMAN SMITH
Address 701 PENTECOST BAYNE
CALGARY, AB
T1X 1L4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

Amar Development's planned development of this property will blend into the overall area structure plan. The proposed water infrastructure for this development will be an important link to establishing the area potable water infrastructure needed to connect to a stable Rocky View County potable water supply. The present supply of potable water to our Village is not sustainable and a stable water supply is badly needed for the sustainability of our Village.

Please accept this letter as our support for the Amar Developments land use plan.

Signed: Weyman Smith

Date: APRIL 14, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name

Address

R Rosine
703 Pentecost Bay
Calgary, AB T1X 1L4



Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed:

R. R. Rosine

Date:

April 17/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name LEONARD GIRONX
Address 705 PEUTE COST BAY
ROCKY VIEW COUNTY
AB. T1X 1C4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 16 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name RONALD ORR
Address 707 PENTECOST BAY
CALGARY, AB
T1X 1L4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Ronald W. Orr

Date: APRIL 15, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name NORMAN JACOBSEN
Address 709 PENTECOST BAY
CALGARY AB
T1X 1L4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 15 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name W.K. McLEISH
Address 711 PENTECOST BAY
CALGARY AB
T1X 1L4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: OK [Signature]

Date: APRIL 13, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Larry Androsch
Address 713 Pentecost Bay
Calgary
T1X1L4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Larry Androsch

Date: April 16 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name BILL & SHARON WITHELL

Address 715 PENTECOST BAY

~~AT~~ ROCKY VIEW

PRINCE OF PEACE VILLAGE

T1X 1L4

Attn: Rocky View County Planning Department

RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: A. Witheell

Date: 04/13/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name BARBARA WILCOX
Address 717 PENTECOST BAY
CALGARY AB
T1X 1L4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Barbara Wilcox

Date: April 14, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name DIRK VISEE
Address 719 PENTECOST BAY
PRINCE OF PEACE VILLAGE
ROCKY VIEW COUNTY T1X 1L4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: APRIL 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name James + Dianne BECK
Address 721 Montecost Bay
Calgary AB
T2X 1L4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: [Signature]

Date: April 15/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name PHYLLIS TESKE
Address 723 PENTECOST BAY
CALGARY, AB T1X 1L4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Phyllis Teske

Date: April 14th 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Harm + Joyce Boskers
Address 725 Pentecost
Bay Calgary AB
T1X 1L4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: HJBoskers

Date: April 14 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Raymond Leischner
Address 729 Pentecost Bay
Calgary Alberta
T1X1L4

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Raymond Leischner

Date: April 16th 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Harley / Sharon Sanders
Address 843 Ascension Bay NE
Calgary, AB T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: Apr 14, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name JEANNE SCHWARTZENBERGER
Address 841 ASPENSION DR
CALGARY AB T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: Apr 16/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name PHIL & TINA DAVIS
Address 839 ASCENSION BAY
CALGARY AB T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: 2020-04-13

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Janet King
Address 837 Ascension Bay
Calgary AB
T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Janet R. King

Date: April 13, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Faye Frank
Address 833 Ascension Bay
Calgary, AB
T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: F. A. Frank

Date: April 17, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name CHRISTA HLETHER
Address 831 ASCENSION
BAY, Calgary AB
T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Christa Hlether

Date: April 15, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Antje Alberda
Address 829 Ascension
Bay, Calgary AB
T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: A. Alberda

Date: 04/13/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Loretta Mellon
Address 827 Ascension Bay
Calgary AB
T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Loretta Mellon

Date: April 15/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Linda M. Tynan
Address 875 Ascension Bay
Calgary Alberta
T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Linda M. Tynan

Date: April 17, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name DORIS COUCHMAN
Address 821-ASCENSION BAY N.E.
ROCKY VIEW COUNTY.
T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Doris Couchman

Date: April 14/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name JOAN BLAKE
Address 835 ASCENSION Bay
Calgary
T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Joan Blake

Date: April 13, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name KEVIN WEGLEITNER
Address 807 ASCENSION BOY
CALGARY, ALTA.
T1X-1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Kevin Wegleitner

Date: April 17th, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Lillian Brautigam
Address 801 Ascension Bay
Calgary, AB
T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: L Brautigam

Date: April 17, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name JEAN WAGNER
Address 803 ASCENSION BAY
CALGARY, AB
T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Jean Wagner

Date: APR. 17 / 20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Eileen Dagenais
Address 805. Ascension Bay
Calgary T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

Amar Development's planned development of this property will blend into the overall area structure plan. The proposed water infrastructure for this development will be an important link to establishing the area potable water infrastructure needed to connect to a stable Rocky View County potable water supply. The present supply of potable water to our Village is not sustainable and a stable water supply is badly needed for the sustainability of our Village.

Please accept this letter as our support for the Amar Developments land use plan.

Signed: Eileen Dagenais
Date: April 17/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name DON CATELLIER
Address 809 ASCENSION BAY
CALC. AB
T1X1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.


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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Don. Catellier

Date: April 14, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name RICHARD & SHIRLEY HIGDON
Address 811 ASCENSION BAY
PRINCE OF PEACE VILLAGE
CALGARY AB


Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: A Higdon

Date: April 15/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Robert Cave
Address 813 Ascension Bay
Calgary, Alberta
T1X1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: R. Cave

Date: April 14/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name M. VELTMAN
Address 815 ASCENSION. Bay
CALCARY AB
T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: M. Veltman

Date: 4-16-2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name DONALD + BARBARA DATWAY
Address 819 ASCENSION BAY
CALGARY, AB
T1X 1P7

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: 

Date: April 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name: HELEN NELSON
Address: 905 NATIVITY BAY
CALGARY, ALTA.
T1X 1R1

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Helen Nelson

Date: April 17 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name DARLENE BEAMISH
Address 907 NATIVITY BAY
CALGARY
T1X 1R1

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Darlene Beamish

Date: April 17 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name DELORES LUMBACH
Address 913 NATIVITY Bay NE
Calgary T1X 1R1
AB

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Delores Lumbach

Date: April 13 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Ray & Lynn Cornell
Address 915 - Nativity Bay
Calgary, AB
T1X 1R1

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: L. Cornell

Date: Apr 16/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Wayne Elford
Address 921 Nativity Bay
Prince of Peace Village
Calgary, T1X 1R1

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Wayne Elford

Date: April 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name DANIEL RICHARD
Address 917 NATIVITY BAY
~~411~~ CALGARY AB
T1X 1R1

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Daniel Richard

Date: APR/13/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Mrs. Elsie Alberda
Address 919 Nativity Bay
Calgary, AB
T1X 1R1

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Mrs Elsie Alberda

Date: April 17, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name B. L. Hunt
Address 9203 Nativity Bay
T1X 1R1
Rocky View County

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: B. L. Hunt
Date: 10/03/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name HELEN G. HOLDER
Address 925 NATIVITY BAY
CALGARY AB
T1X 1R1

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Helen G. Holder

Date: Apr. 13, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name VICKY LEE

Address 927
NATIVITY BAY
CALGARY AB T1X 1R1

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: [Signature]

Date: April 16, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Carolyn J Siddons
Address 903 Nativity Bay
Calgary AB
T1X1R1

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Carolyn J Siddons
Date: Apr 17/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name PAULINE TRACHUK
Address 901 NATIVITY WAY
CALGARY, AB.
T1X 1R1

Attn: Rocky View County Planning Department
RE: Amar Developments Conceptual Scheme and Re-designation

To Whom It May Concern

I am an owner/resident in the Prince of Peace Village on Garden Road south of the Trans Canada Hwy. I am aware of the application brought before Rocky View County Council November 26, 2019 by Amar Developments for approval of a Conceptual Scheme and Commercial Re-designation in a portion of the NW29 TWP24 RG28 W4.

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Please accept this letter as our support for the Amar Developments land use plan.

Signed: Pauline Trachuk

Date: April 17 / 2020



SAGE Properties Corp.
Suite 115 1925 – 18 Ave. NE
Calgary, AB T2E 7T8

March 5, 2020

Plan Numbers: PL20190453; PL20190021; PL20190089
File number: 04329003

Legislative Services
Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

**Re: Support for Division 5 – South Conrich Conceptual Scheme ("SCCS") Appendix:
Cell D**

To Whom It May Concern:

On behalf of Sage Properties Corp. ("**Sage**"), please accept this letter **in full support of the Conceptual Land Use Plan proposed in the SCCS Appendix: Cell D ("Cell D land use plan")** submitted by Amar Development Ltd. and approved by Rocky View County ("**RVC**") Council at first reading on November 26, 2019.

Background

Sage is an owner of properties on the Prince of Peace Development Site which is located at the south-east corner at the intersection of Highway 1 and Garden Road NE (approximately 1 km east of Calgary city limits). This development includes the following properties owned by Sage:

- 159 senior care assisted living units (Prince of Peace Manor)
- 32 senior memory care units (Prince of Peace Harbour)
- Prince of Peace School (operated by Rocky View School Division).

Sage represents over 1000 shareholders, many of whom are elderly and many of whom have their life savings tied up in the Sage properties, due to the bankruptcy of the Lutheran Church of Canada ABC District Church Extension Fund in 2015.



SAGE Properties Corp.
Suite 115 1925 – 18 Ave. NE
Calgary, AB T2E 7T8

Support for the Cell D Land Use Plan

The Cell D land use plan contemplates construction of a potable water supply pipeline to connect to regional utility servicing systems within District 5 of RVC as outlined in the proposed Servicing Infrastructure policy 9.0.1 through 9.0.8. **This policy represents an opportunity for Sage to source a permanent, affordable water supply for the residents of the Prince of Peace Development through the participation in the required infrastructure upgrades proposed as part of the land use plan.**

The Prince of Peace Development is currently serviced on a water system that is operated by Sage. At present, Sage has potable water trucked in to refill the on-site water reservoir multiple times per day at a significant cost. Sourcing water to the site by way of connecting to a regional water supply pipeline would provide a cost-effective and secure water source to the residents and staff of the senior living facilities, students and staff of the school and residents of the Village (or approx. 1,000 residents, students and staff).

In conclusion, the Management and the Board of Directors of Sage strongly support the proposed Cell D land use plan. We are excited to see the development proceed and look forward to the mutual benefit the SCCS Appendix: Cell D plan presents to Sage and others in this area of the County.

Sincerely yours,

A handwritten signature in blue ink, appearing to read "Erin Leson".

Erin Leson, CPA CA
CFO, COO
Sage Properties Corp.

A handwritten signature in blue ink, appearing to read "Sandra Jory".

Sandra Jory, CPA CA
Chair of the Board
Sage Properties Corp.

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name KULWANT SINGH BAINS
Address 244077 RANGE ROAD 285
Rockyview County
[REDACTED]

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending the Rockyview County water line from existing CN location to the Cambridge Park in Conrich Area.

Signed KS Bains

Date: June 10th / 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name MANJIT SAHOTA
Address 245085 Meadowridge Rd
Rockyview County Alberta
T2M 4L5.

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number for extending water line to the Conrich Area and would like to engage discussion with the county to extend water and sewer to Conrich Estates.

Signed M. Sahota


Date: June 09/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Richard, Praveena Francis
Address 283210 Meadowridge Dr NE
Calgary
T2M-4L5

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number for extending water line to the Conrich Area and would like to engage discussion with the county to extend water and sewer to Conrich Estates.

Signed 

Date: June/09/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Harjan Gosal
Address 283220 Meadow ridge drive

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number for extending water line to the Conrich Area and would like to engage discussion with the county to extend water and sewer to Conrich Estates.

Signed Harjan S Gosal

Date: June 9/2020

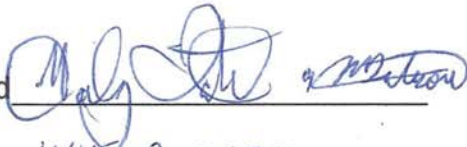
Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name HARLEY TATESON & MARIBEL TATESON
Address 283225 MEADOW RIDGE DRIVE
ROCKY VIEW COUNTY
T2M 4L5

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number for extending water line to the Conrich Area and would like to engage discussion with the county to extend water and sewer to Conrich Estates.

Signed



Date:

JUNE 9, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Eric Quach
Address 6 Meadow Ridge

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number for extending water line to the Conrich Area and would like to engage discussion with the county to extend water and sewer to Conrich Estates.

Signed  _____

Date: June 9th, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name THAI VAN VO
Address 283200 MEADOWS Ridge Drive
Conrich AB
T2M 4K5

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number for extending water line to the Conrich Area and would like to engage discussion with the county to extend water and sewer to Conrich Estates.

Signed 

Date: June 9/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Maisaa Shama
Address 283230 Meadow Ridge Dr

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number for extending water line to the Conrich Area and would like to engage discussion with the county to extend water and sewer to Conrich Estates.

Signed 

Date: jun 9 - 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name RESHAM GOSAL.
Address 283220 meadow Ridge Dr.
Rocky View
T2M-4L5

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number for extending water line to the Conrich Area and would like to engage discussion with the county to extend water and sewer to Conrich Estates.

Signed Resham L. Gosal

Date: 8th June 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name JASWANT SINGH HIEER
Address 244041 20'S N.E.
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending the Rockyview County water line from existing CN location to the Cambridge Park in Conrich Area.

Signed Jaswant Singh Hieer
Date: JUNE 8TH/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name HARJINDERPAL PANNU
Address 24 Trinity Road
Rockyview County
[REDACTED]

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending the Rockyview County water line from existing CN location to the Cambridge Park in Conrich Area.

Signed Harjinderpal Pannu
Date: 06/06/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name MARKIT ISRAEL
Address 86-Trinity Rd.
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending the Rockyview County water line from existing CN location to the Cambridge Park in Conrich Area.

Signed Markit Israel

Date: 8 JUNE 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name INDERJIT SINGH
Address 73 WOODLOCK ROAD
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending the Rockyview County water line from existing CN location to the Cambridge Park in Conrich Area.

Signed Inderjit Singh

Date: 5 JUNE 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name CONNIE SILVEIRA
Address 5 PARK DRIVE
CAMBRIDGE PARK Phase One

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed  _____

Date: June 3/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name MR HARVIR S. RANDEV
Address 245070 Meadowridge Road
Rec

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed H. Randev
Date: June 31 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name SUKHMINDER / HARMAN SANDHU.
Address 54 TRINITY ROAD.
CAMBRIDGE PARK P.3.
[REDACTED]

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed Sukhminder Sandhu


Date: 19 May 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Amar Duhra
Address 167 Trinity Rd
Rockyview, AB

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed 
Date: May 18/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Paul Coen
Address 284199 RAUL RD 244A



Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed Leopoldo Coen

Date: MAY-17-2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Shen Fa Ha
Address 67 Trinity Rd
Rockyview County

Attn: Rocky View County Planning
Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this
letter of support for Duhra Financial Ltd for
above application number and for extending
water line to the Cambridge Park in Conrich
Area.

Signed  _____

Date: _____

May 20/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Mohammed Sabbah
Address 244084 Rge Road 285



Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed  J. Sabbah

Date: May 17 / 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Mike Seha
Address 184172 TWP 24U A

 _____

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed 

Date: May 17/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Sunny Johal
Address 74 Trinity Rd
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed 

Date: 5/20/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Mandap Sereon
Address 7 Woodlock Road
Cambridge Park P.3.

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed 

Date: May 19/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Mantej Sangha
Address 303 Grange Ln
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed  _____

Date: May 20, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name HARMAN PANDHER
Address 78 Abbey Rd
Rockyview County.

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed Hoggar Pandher Singh

Date: 18 May - 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Wayne Lawrence
Address 316 Trinity Rd
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed W. Lawrence

Date: May 20, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Gurpreet Thind
Address 3 Woodstock Road
Cambridge Park P.S.

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed 


Date: May 19/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Pardeep Saini
Address 50 Trinity Rd
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed 


Date: 13 May 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Ravinder Shergill
Address 3 St Andrews Place

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number for extending water line to the Conrich Area and would like to engage discussion with the county to extend water and sewer to Conrich Estates.

Signed 
Date: May 14/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Kuldeep + Joginder DHADDA
Address 42-woodlock Road
Rocky View county

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed Kuldeep Dhadda
Date: May 19th 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Ranjeet Virk
Address 218 Melton Road

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

Please accept this letter as support for Duhra Financial for above application number as I want to purchase a Bay and open a bottle depot.

Signed 

Date: 20/5-2020

RE: Letter of Support

To Whom it May Concern:

Cambridge Park Phase 4 Business - Business Campus (B-BC):

In regards to the above, I am in support of rezoning Cambridge Park 4 to Business - Business Campus (B-BC) . As a result of this the developer, Duhra Financial Ltd will hook Phase 1 , 2 and 3 to Rockyview water system and will also improve the Cambridge Park Blvd from Phase 3 to Garden Rd.

Name: *Ranvir Singh Gill*

Address: *15 Wood Lake Road*

Date: *12/ March/2021*

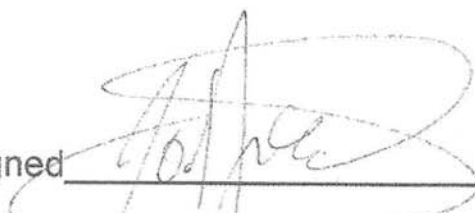
Signature: *Ranvir Singh Gill*

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Harjot Toor
Address 179 Trinity Rd
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed 
Date: MAY 20, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Sukhdev Dhaliwal
Address 214 Milton Rd, Conrich, Rockyview AB

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed 

Date: May 25, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Baldev Singh Gill
Address 31 Abbey Road
Rockyview County
T1Z 0A1

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending the Rockyview County water line from existing CN location to the Cambridge Park in Conrich Area.

Signed B. Singh

Date: May 29, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name IQBAL SOOCH
Address 94 TRINITY ROAD
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending the Rockyview County water line from existing CN location to the Cambridge Park in Conrich Area.

Signed 

Date: 28 MAY/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Amrinder Toor
Address 55 Kings Road
Rockyview County
T12 0A2

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed 

Date: May 25, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Harinder Singh Kang
Address 1 Park Dr
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed 

Date: 25 May 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name X BAZIBIR SIDHUA
Address 311 GRANGER LANE
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed Bazibir Sidhua
Date: 25 May 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name ~~6 Park Dr~~ Fawad Ahmad
Address 6 Park Dr
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed 

Date: 27/05/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Gill PAUITAR
Address 1 Pound Place
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending the Rockyview County water line from existing CN location to the Cambridge Park in Conrich Area.

Signed B. G. G.

Date: May 27/2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name MOHINDER SEKHON
Address 74 Woodlock Rd
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending the Rockyview County water line from existing CN location to the Cambridge Park in Conrich Area.

Signed [Signature]

Date: May 28th, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name EH TISHAM ILYAS BUTT
Address 81 Woodlock Rd.
Rockyview County.

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed 

Date: June 01, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Gurpiar S. Gill
Address 70 TRINITY RD
ROCKYVIEW COUNTY

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed Gurpiar Gill


Date: JUNE 01, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Gary Lawrence
Address 170 Trinity Rd
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

Please accept this letter as support for Duhra Financial for above application number as I am purchasing LOT 5 in proposed Phase 4 so I can open gas station, convenience store and car wash.

Signed 

Date: May 21/20

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Bernard Bigornia
Address 175 Trinity Rd
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed  _____

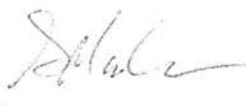
Date: MAY 20, 2020.

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name Gaurav Malik
Address 300 Trinity Rd
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed 

Date: May 21, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name JAGRUP SIDHU
Address 16 TRINITY ROAD
ROCKY VIEW COUNTY.
AB T1Z0B9

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending water line to the Cambridge Park in Conrich Area.

Signed Jesab Sidhu

Date: May. 21, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Name AMARJOT NIJJAR
Address 152 Cambridge Park Way
Rockyview County

Attn: Rocky View County Planning Department
RE: Application # PL20190153/0021/0089

We would like the County to accept this letter of support for Duhra Financial Ltd for above application number and for extending the Rockyview County water line from existing CN location to the Cambridge Park in Conrich Area.

Signed 

Date: JUNE 10 2020

PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision Authority
SUBJECT: Subdivision Item: Residential Two District

DATE: September 3, 2020
APPLICATION: PL20190112

APPLICATION: To create a ≥ 1.60 hectare (≥ 3.95 acre) parcel with a ± 6.69 hectare (± 16.53 acre) remainder.

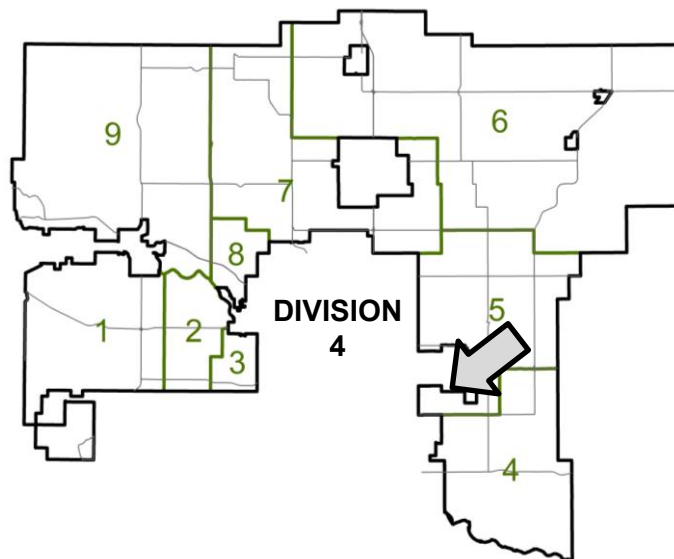
GENERAL LOCATION: Located approximately 0.41 kilometres (0.25 miles) north of Township Road 230 and on the west side of Range Road 284.

LAND USE DESIGNATION: Residential Two District (R-2)

ADMINISTRATION RECOMMENDATION: Administration recommends tabling in accordance with Option #2.

OPTIONS:

- Option #1: THAT Subdivision Application PL20190112 be approved with the conditions noted in Appendix 'B'.
- Option #2: THAT Subdivision Application PL20190112 be tabled pending submission of a Level 4 Private Sewage Treatment System Assessment.
- Option #3: THAT Subdivision Application PL20190112 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:





APPLICANT: Paul Schneider

OWNER: Paul Schneider

APPLICATION EVALUATION:

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS: <ul style="list-style-type: none"> • <i>Municipal Government Act;</i> • Subdivision and Development Regulations; • Municipal Development Plan; • City of Calgary/Rocky View County Intermunicipal Development Plan • Land Use Bylaw; and • County Servicing Standards. 	TECHNICAL REPORTS SUBMITTED: <ul style="list-style-type: none"> • Phase 1 Groundwater Assessment (Groundwater Information Technologies Ltd., June, 2018)
--	--

APPLICABLE FEE/LEVY	APPROXIMATE AMOUNT OWING
TRANSPORTATION OFFSITE LEVY	NA (Deferred as per bylaw)
MUNICIPAL RESERVE (\$/ACRE)	NA (Previously provided)

Wastewater

A Level 4 Private Sewage Treatment System (PSTS) Assessment was required in order to confirm wastewater treatment capacity, however one has not been provided. The subject quarter section contains over 30 lots, and there are significant wetlands/waterbodies adjacent to the subject parcel. The Level 4 PSTS is critical to ensure that further development of the lands is possible without causing undue negative impact on adjacent lots and the local environment.

Despite this, the Applicant did not provide a Level 4 PSTS. As such Administration recommends tabling the application pending submission of the Level 4 PSTS in accordance with Option #2.

Should Municipal Planning Commission decide to approve the application in accordance with Option #1, the requirement for a Level 4 PSTS Assessment is included as a condition of subdivision. However, it should be noted that Option #1 presents the risk of creating an undevelopable parcel on the lands.

Transportation

The lands are fully designated Residential Two District, this application is only proposing creation of one 3.95 acre parcel. The remainder lands have further subdivision potential, and as such consideration of the remainder lands must be applied at this time in accordance with the Applicant's January 2018 redesignation proposal. Further subdivision will require construction of a new internal subdivision road. Registration of a road acquisition agreement is required as a condition in order to ensure that area for the road is preserved.

There is an existing gravel approach accessing Lot 1. There is an additional farm approach, however it is also located within the boundaries of Lot 1. As such, a new gravel approach is required to provide access to Lot 2.



Additionally, Range Road 284 is a Network B Road in the County's Long Range Transportation Plan, ultimately requiring a 30m right of way. The current right of way width is 21 m. As a condition of subdivision, the applicant by Plan of Survey will dedicate 5 m along the entire east boundary of the subject lands in order to accommodate future road upgrades.

Policy Analysis

The previous redesignation application was considered in accordance with the County Plan. As the lands are located within a fragmented quarter section, further subdivision is supported provided that the Applicant provides a Lot and Road Plan. At the January 23, 2018 Council Meeting, Council approved the application without requiring submission of a Lot and Road Plan.

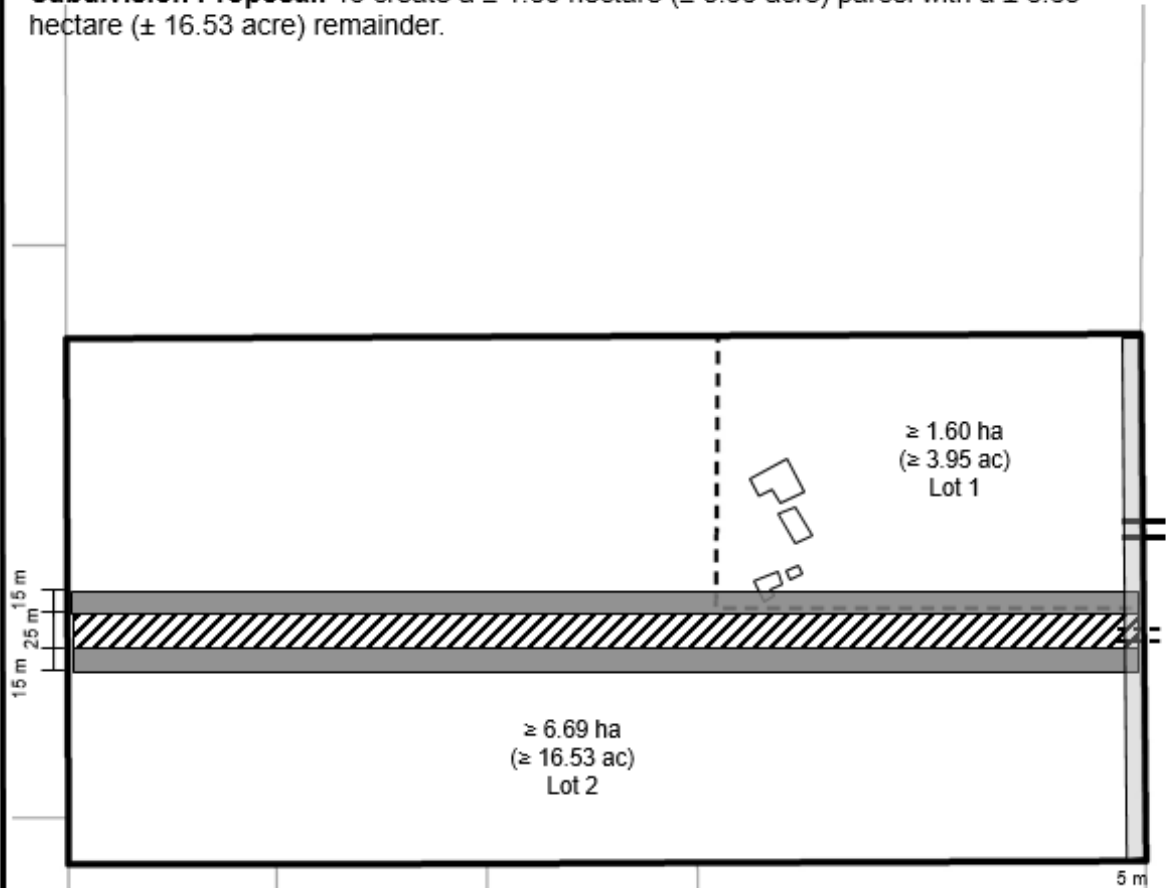
The lands are located within a residential growth corridor of the City of Calgary/Rocky View County Intermunicipal Development Plan. The City of Calgary opposed the application at the time of redesignation, citing non-compliance with the County Plan and the challenges associated with future development within fragmented lands.



ROCKY VIEW COUNTY

Tentative Plan

Subdivision Proposal: To create a ≥ 1.60 hectare (≥ 3.95 acre) parcel with a ± 6.69 hectare (± 16.53 acre) remainder.

**Surveyor's Notes:**

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

Legend	
Road Acquisition Agreement	
Restrictive Covenant	
Road Widening	
Existing Approach	
Required Approach	

TENTATIVE PLAN

**Block 2, Plan 628 LK,
SE-5-23-28-W4M**

Date: June 26, 2020File: 03305007/PL20190112



CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended to be tabled pending submission of a Level 4 Private Sewage Treatment System Assessment.

Respectfully submitted,

Concurrence,

“Theresa Cochran”

“Al Hoggan”

Executive Director
Community Development Services

Chief Administrative Officer

SK/NM/LLT

APPENDICES:

APPENDIX ‘A’: Maps and Other Information

APPENDIX ‘B’: Approval Conditions

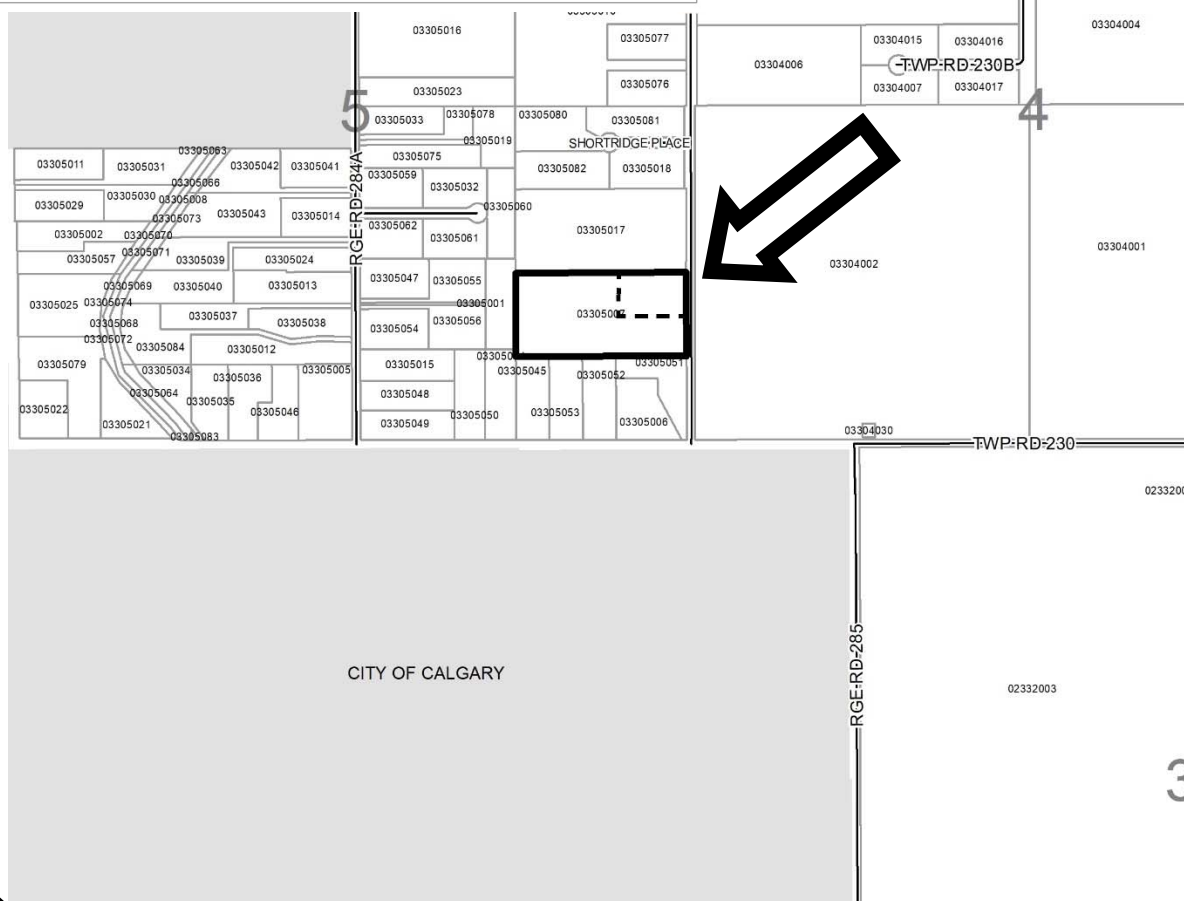
APPENDIX ‘C’: Letters



ROCKY VIEW COUNTY

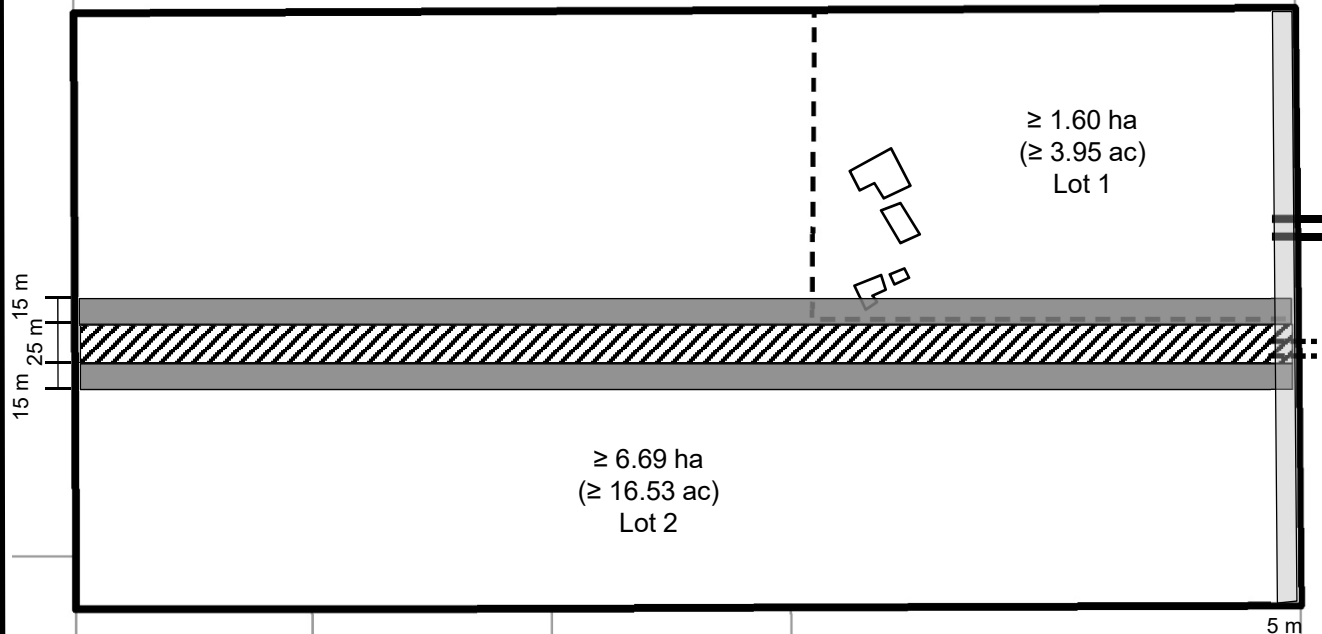
APPENDIX 'A': MAPS AND OTHER INFORMATION

DATE APPLICATION RECEIVED: August 16, 2019	DATE DEEMED COMPLETE: Application is not complete
GROSS AREA: ± 8.28 hectares (± 20.47 acres)	LEGAL DESCRIPTION: Block 2, Plan 628 LK within SE-5-23-28-W4M
APPEAL BOARD: Municipal Government Board	
HISTORY: <i>January 23, 2018:</i> Subject lands are redesignated from Agricultural Holdings District to Residential Two District.	
PUBLIC & AGENCY SUBMISSIONS: The application was circulated to 22 adjacent landowners and no letters were received in response. The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.	



File: 03305007

Subdivision Proposal: To create a ≥ 1.60 hectare (≥ 3.95 acre) parcel with a ± 6.69 hectare (± 16.53 acre) remainder.



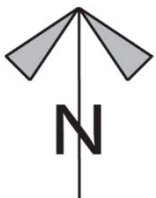
Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

Legend

Road Acquisition Agreement	
Restrictive Covenant	
Road Widening	
Existing Approach	
Required Approach	

TENTATIVE PLAN

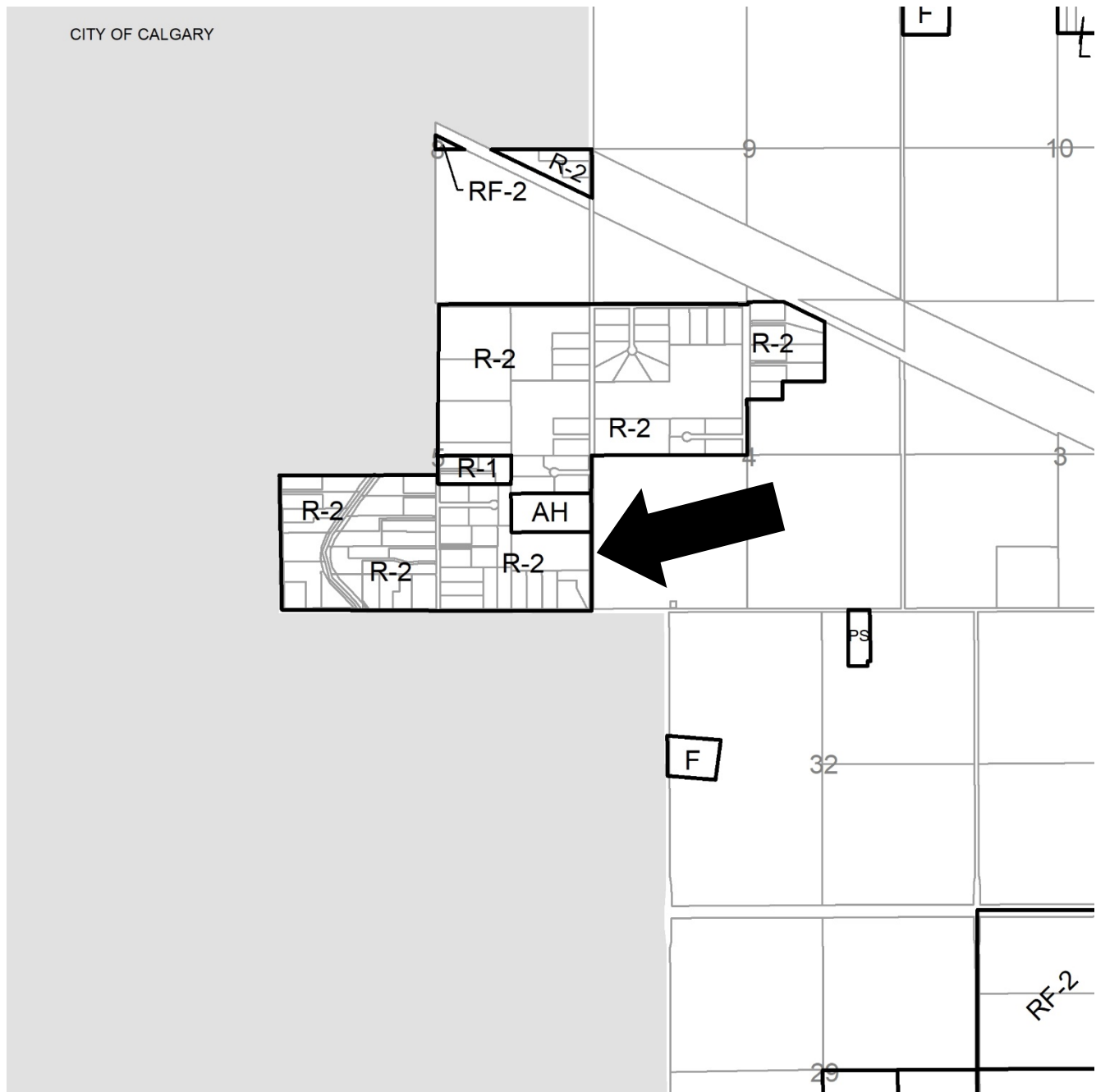


**Block 2, Plan 628 LK,
SE-5-23-28-W4M**

Date: June 26, 2020

Application: PL20190112

File: 03305007



Ranch and Farm	B-1 Highway Business
RF2 Ranch and Farm Two	B-2 General Business
RF3 Ranch and Farm Three	B-3 Limited Business
AH Agricultural Holding	B-4 Recreation Business
F Farmstead	B-5 Agricultural Business
R-1 Residential One	B-6 Local Business
R-2 Residential Two	NRI Natural Resource Industrial
R-3 Residential Three	HR-1 Hamlet Residential Single Family
DC Direct Control	HR-2 Hamlet Residential (2)
PS Public Service	HC Hamlet Commercial
	AP Airport

LAND USE MAP

**Block 2, Plan 628 LK,
SE-5-23-28-W4M**

Date: June 26, 2020

Application: PL20190112

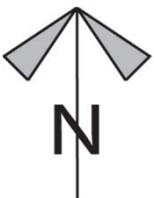
File: 03305007



Contours are generated using 10m grid points, and depict general topographic features of the area. Detail accuracy at a local scale cannot be guaranteed. They are included for reference use only.

TOPOGRAPHY

Contour Interval 2 M



**Block 2, Plan 628 LK,
SE-5-23-28-W4M**

Date: June 26, 2020

Application: PL20190112

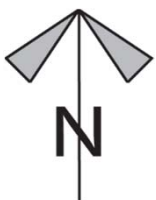
File: 03305007



Note: Post processing of raw aerial photography may cause varying degrees of visual distortion at the local level.

AIR PHOTO

Spring 2018

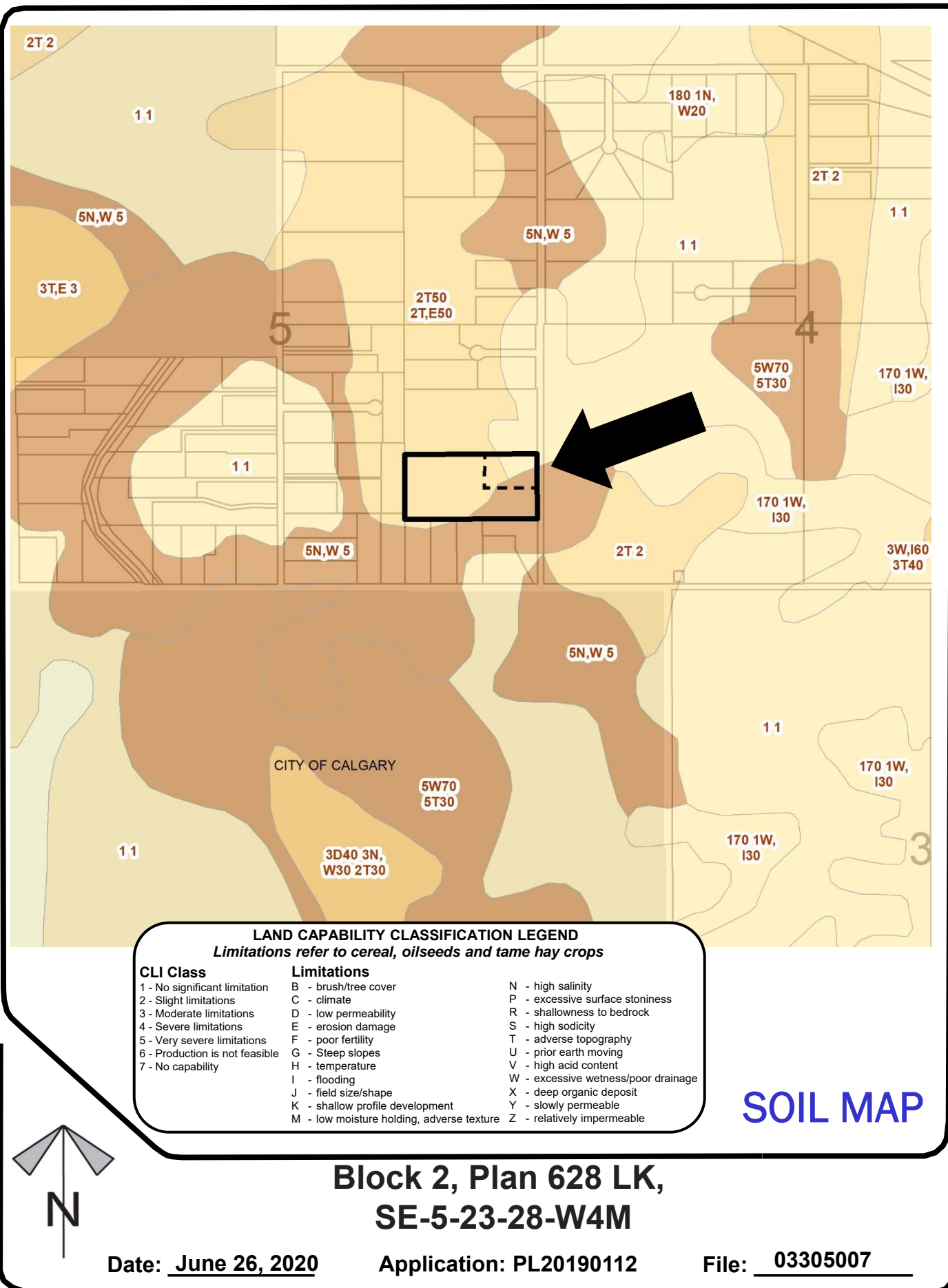


**Block 2, Plan 628 LK,
SE-5-23-28-W4M**

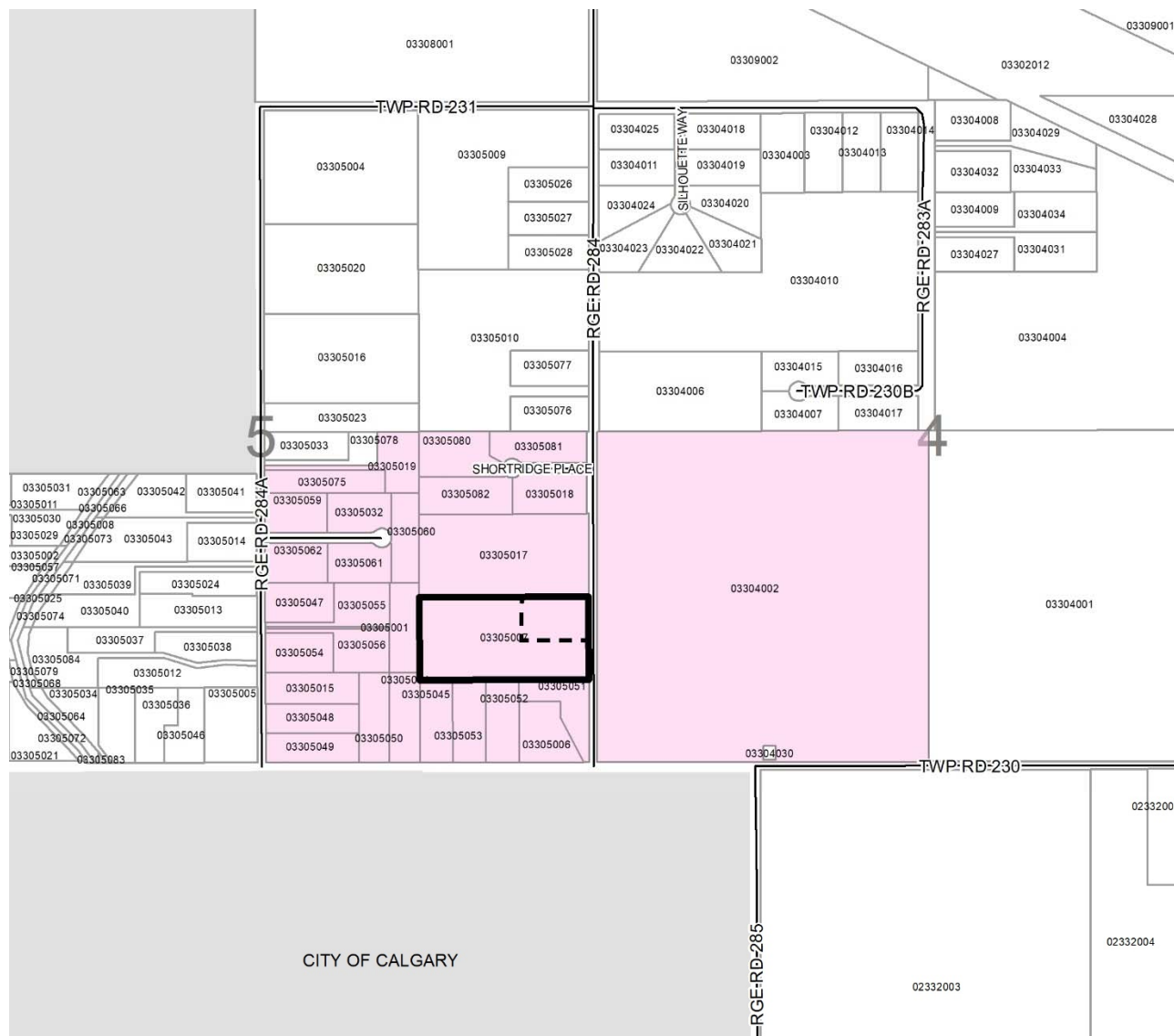
Date: June 26, 2020

Application: PL20190112

File: 03305007



File: 03305007



Letters in Opposition



Letters in Support

Legend



Circulation Area



Subject Lands

LANDOWNER CIRCULATION AREA

Block 2, Plan 628 LK,
SE-5-23-28-W4M

Date: June 26, 2020Application: PL20190112File: 03305007

**APPENDIX 'B': APPROVAL CONDITIONS**

- A. The application to create a ≥ 1.60 hectare (≥ 3.95 acre) parcel with a ± 6.69 hectare (± 16.52 acre) remainder, within Block 2, Plan 628 LK, SE-5-23-28-W4M, having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 and 14 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is recommended to be tabled for the reasons listed below:
1. The technical items required to make an accurate assessment of the subdivision application have not been provided.
 2. Approval of the proposed subdivision may result in negative impact to adjacent landowners.
 3. Approval of the proposed subdivision may result in negative impact to adjacent waterbodies.
- B. However, should the Subdivision Authority wish to approve the application, the written decision of the Subdivision Authority must include the reasons for the decision, including an indication of how the Subdivision Authority has considered submissions made by adjacent landowners and the matters listed in Sections 7 and 14 of the Subdivision and Development Regulation. The following reasons are to be provided:
- 1.
 - 2.
- C. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- D. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:



ROCKY VIEW COUNTY

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.
- 2) The Owner is to dedicate, by Plan of Survey, a 5.00 metre wide portion of land for road widening along the eastern boundary of Lots 1 & 2, as shown on the approved Tentative Plan.

Transportation and Access

- 3) The Owner shall construct a new gravel approach accessing Lot 2, as shown on the approved Tentative Plan.
- 4) The Owner is to enter into a Road Acquisition Agreement with the County, to be registered by Caveat on the title of Lot 2, to serve as notice that those lands are intended for future development as a County road, as per the approved Tentative Plan. The Agreement shall include:
 - a) The provision of road acquisition, 25.00 metres by \pm 412.00 metres, in accordance with the approved Tentative Plan; and
 - b) The purchase of land by the County for \$1.
- 5) The Owner is to enter into a Restrictive Covenant, to be registered by Caveat prepared by the County, on the title of Lots 1 & 2 that restricts the erection of any structure on or within 15.00 metres of a future road right-of-way, as shown on the approved Tentative Plan.

Site Servicing

- 6) The Owner shall submit a Level 4 Private Sewage Treatment System Assessment, prepared by a qualified professional as indicated in the Model process Reference Document, to the satisfaction of the County:
 - a) If the recommendations of the Model Process Assessment indicate improvements are required, the Owner shall enter into a Site Improvements/Services Agreement with the County.
- 7) Water is to be supplied by an individual well on Lot 2. The subdivision shall not be endorsed until:
 - a) An Aquifer Testing (Phase II) Report is provided demonstrating a minimum flow rate of 1.0 IGPM, and including aquifer testing and the locations of the well Lot 2, and;
 - b) The results of the aquifer testing meet the requirements of the Water Act.
- 8) The Owner is to enter into a Deferred Services Agreement with the County, to be registered on title for each of the proposed Lots 1-2, indicating the following:
 - a) Requirements for each future Lot Owner to connect to County piped wastewater, potable water, and stormwater systems at their cost when such services become available;
 - b) Requirements for decommissioning and reclamation once County servicing becomes available;



ROCKY VIEW COUNTY

Developability

- 9) The Owner is to provide and implement a Site-Specific Storm Water Plan that meets the requirements of all regional plans for the area and the County Servicing Standards. Implementation of the Site-Specific Storm Water Plan shall include:
 - a) Registration of any required easements, utility rights-of-way, and utility right-of-way agreements;
 - b) Provision of necessary approvals and compensation to Alberta Environment and Parks for wetland loss and mitigation;
 - c) Provision of necessary Alberta Environment and Parks registration documentation and approvals for the storm water infrastructure system; and
 - d) Should the Storm Water Management Plan indicate that improvements are required, the Applicant/Owner shall enter into a Development Agreement (Site Improvements/Services Agreement) with the County.

Payments and Levies

- 10) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one (1) new lot.

Taxes

- 11) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the Municipal Government Act.

E. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw



ROCKY VIEW COUNTY

APPENDIX 'C': LETTERS

NO LETTERS RECEIVED

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
SUBJECT: Development Item: Accessory Building
USE: Discretionary use, with Variances

DATE: September 3, 2020
APPLICATION: PRDP20201813

APPLICATION: construction of an accessory building (existing oversized garage), relaxation to the maximum building area, relaxation to the maximum height requirement, and relaxation to the total building area for all accessory buildings.

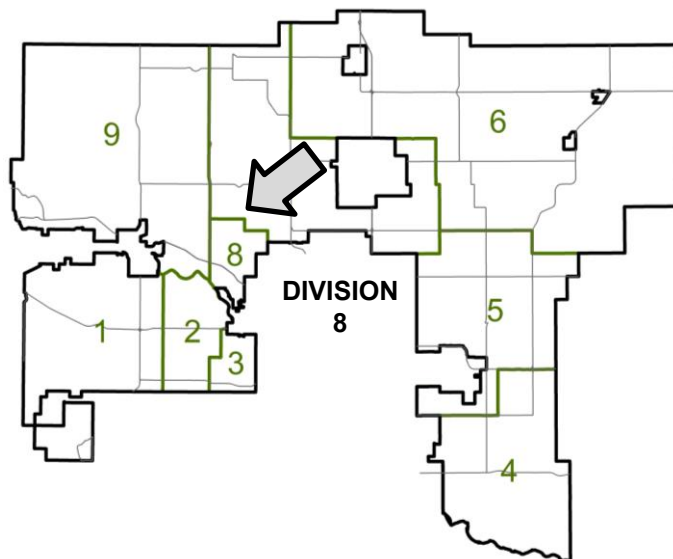
GENERAL LOCATION: located approximately 0.41 km (1/4 mile) south of Burma Road and 0.81 km (1/2 mile) east of Woodland Road.

LAND USE DESIGNATION: Residential One District (R-1)

ADMINISTRATION RECOMMENDATION:
Administration recommends approval in accordance with Option #1.

VARIANCE SUMMARY:

Variance	Requirement	Proposed	Percentage (%)
Maximum Building Area	80.27 sq. m (864.01 sq. ft.)	275.90 sq. m (2,969.76 sq. ft.)	243.71%
Total Building Area for All Accessory Buildings	120.00 sq. m (1,291.67 sq. ft.)	347.05 sq. m (3,735.61 sq. ft.)	189.20%
Maximum Building Height	7.00 m (22.96 ft.)	9.40 m (30.83 ft.)	34.28%



OPTIONS:

- Option #1: THAT Development Permit Application PRDP20201813 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20201813 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Stefan Kunz - Planning and Development Services



DEVELOPMENT PERMIT REPORT

Application Date: July 3, 2020	File: 05736023
Application: PRDP20201813	Applicant/Owner: Nigel Francis/Daniel & Jonne Charlebois
Legal Description: Lot 6, Block 4, Plan 0413845, NE-36-25-3-W5M	General Location: located approximately 0.41 km (1/4 mile) south of Burma Road and 0.81 km (1/2 mile) east of Woodland Road
Land Use Designation: Residential One District (R1)	Gross Area: 1.27 hectares (3.14 acres)
File Manager: Stefan Kunz	Division: 8

PROPOSAL:

The proposal is for construction of an accessory building (existing oversized garage), relaxation to the maximum building area, relaxation to the maximum height requirement, and relaxation to the total building area for all accessory buildings.

The structure is a wood frame structure with a white and brown exterior, and is intended to be used for the storage of recreational vehicles. The proposed garage will be located the current location of an existing barn, which is proposed to be removed.

Residential One District Requirements, Section 48:

- Accessory Building Areas
 - Permitted Use: 80.27 sq. m (864.01 sq. m)
 - Discretionary Use: 120.00 sq. m (1,291.67 sq. ft.)
- Number of Accessory Buildings
 - 2
- Setbacks (m)
 - Front (west) – 15.00 m (49.21 ft.)
 - North Side – 3.00 m (9.84 ft.)
 - West (neighbour) & South Side – 3.00 (9.84 ft.)
 - Rear – 7.00 m (22.96 ft.)
- Accessory Building Height
 - 7.00 m (22.96 ft.)
- Total area for all accessory buildings
 - 120.00 sq. m (1,291.67 sq. ft.)



Existing Accessory Buildings:

- Existing Garage
 - 71.10 sq. m. (765.31 sq. ft.)
- Existing Barn (to be removed)
 - 147.50 sq. m. (1,587.68 sq. ft.)

Proposed Accessory Building:

- Proposed RV Building
 - 275.90 sq. m (2,969.76 sq. ft.)
- Setbacks (m)
 - Front – Lots
 - North Side – Lots
 - West Side – 4.96 m (16.27 ft.) & South Side – Lots
 - Rear – Lots
- Accessory Building Height
 - 9.40 m (30.83 ft.) to top of roof
 - 1.52 m (5.00 ft.) cupola not indicated in height calculation
 - The cupola is not considered structurally essential to the building, as such it is not being included within the overall height calculation.
 - **9.40 m (30.83 ft.) total height**
- Total area for all accessory buildings
 - 347.00 sq. m. (3,735.08 sq. ft.)

Relaxation Information:

	Requirement	Proposed	Relaxation Percentage (%)
Maximum Building Area	80.27 sq. m (864.01 sq. ft.)	275.90 sq. m (2,969.76 sq. ft.)	243.71%
Total Building Area for All Accessory Buildings	120.00 sq. m (1,291.67 sq. ft.)	347.05 sq. m. (3,735.61 sq. ft.)	189.20%
Maximum Building Height	7.00 m (22.96 ft.)	9.40 m (30.83 ft.)	34.28%

STATUTORY PLANS:

- Municipal Development Plan;
- Bearspaw Area Structure Plan;
- Calgary/Rocky View Intermunicipal Development Plan; and
- Land Use Bylaw.

**INSPECTOR'S COMMENTS:**

- None received at the time of report preparation

CIRCULATION COMMENTS: Circulated July 6, 2020, due July 27, 2020Building Services Review (NA)

- No comment received.

City of Calgary (NA)

- No comment

Development Compliance Review (July 6, 2020)

- No comments or concerns.

Planning and Development Services – Engineering Review (July 22, 2020)**Geotechnical**

- Engineering has no requirement at this time as no significant slopes exceeding 15% have been identified for the site.

Transportation

- Access to subject land is provided by a shared driveway from Woodland Lane. Instrument # 951088562.
- Payment of the Transportation Offsite Levy has previously been taken.
- Engineering has no requirements at this time.

Sanitary/Waste Water

- As per the application, the accessory building will be for residential RV storage and will be un-serviced.
- Engineering has no requirement at this time.

Water Supply And Waterworks

- As per the application, the accessory building will be for residential RV storage and will be un-serviced.
- Engineering has no requirement at this time.

Storm Water Management

- No significant increase in site runoff is expected as a result of proposed development.
- Engineering has no requirement at this time.

Environmental

- As per the County GIS, a wetland and overland drainage right-of-way is present.
- As a permanent condition, any AE approval for the wetland disturbance will be the sole responsibility of the applicant.
- Engineering has no requirements at this time.

Utility Services Review (NA)

- No comment received.



Transportation Services Review (July 9, 2020)

- Applicant to contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
- Site Grading, fill placement, temporary stockpile placement and berm construction are not to negatively impact existing surface drainage or direct additional surface drainage into adjacent County road allowance.

OPTIONS:

Option #1 (this would grant the requested proposal)

Description:

1. That construction of an accessory building (oversized garage) may commence on the subject site in accordance with the Site Plan and Elevation Drawings prepared by RWA Architecture (dated June 22, 2020), as submitted with the application.
 - i. That the maximum size of the accessory building is relaxed from **80.27 sq. m (864.01 sq. ft.) to 275.90 sq. m (2,969.76 sq. ft.)**.
 - ii. That the total building area for the all accessory buildings is relaxed from **120.00 sq. m (1,291.67 sq. ft.) to 347.05 sq. m. (3,735.61 sq. ft.)**.
 - iii. That the maximum height of the accessory building is relaxed from **7.00 m (22.96 ft.) to 9.40 m (30.83 ft.)**.

Permanent:

2. That the accessory building (oversized garage) shall not be used for commercial purposes at any time, except for a Home-Based Business Type I.
3. That the accessory building (oversized garage) shall not be used for residential occupancy at any time.
4. That there shall be no more than 1.00 m (3.28 ft.) of fill/topsoil placed adjacent to or within 15.00 m (49.21 ft.) of the proposed accessory building under construction in order to establish approved final grades unless a Development Permit has been issued for additional fill.
5. That any plan, technical submission, agreement, or other matter submitted and approved as part of the Development Permit application, or submitted in response to a Prior to Issuance or Occupancy condition, shall be implemented and adhered to in perpetuity.

Advisory:

6. That a Building Permit shall be obtained through Building Services, for the accessory building (oversized garage, prior to construction commencement.
7. That the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions, in accordance with the Road Use Agreement Bylaw C-8065-2020.
8. That during construction, all construction and building materials shall be maintained on-site in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.



ROCKY VIEW COUNTY

9. That during construction of the accessory building, the Applicant/Owner shall adhere to the County's Noise Bylaw (C-5772-2003) at all times.
10. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
11. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

Option #2 (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.



SUTHERLAND MEWS

WOODLANDS ESTATES CRESCENT

WOODLANDS ESTATES DR

BURMA RD

BIGGAR HEIGHTS CLOSE

BEARSPAW CLOSE

WOODLAND LANE

WOODLAND PLACE

BEARSPAW SUMMIT PLACE

BEARSPAW SUMMIT PLACE

BEARSPAW HILLS RD

WILLOW CREEK SUMMIT

WILLOW CREEK CREST

WILLOW CREEK CROSSING

ROCKY BEAR PLACE

36





ROCKY VIEW COUNTY
Cultivating Communities

20 20 1 8 1 3

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted \$265.00	File Number 057-36023
Date of Receipt July 3, 2020	Receipt # 2020024612

Name of Applicant Nigel Francis Email [REDACTED]

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

For Agents please supply Business/Agency/ Organization Name [REDACTED]

Registered Owner (if not applicant) Daniel Charlebois

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

1. LEGAL DESCRIPTION OF LAND

a) All / part of the NW $\frac{1}{4}$ Section 36 Township 25 Range 03 West of 05 Meridian

b) Being all / parts of Lot 6 Block 4 Registered Plan Number 0413845

c) Municipal Address 107 Woodland Lane, Calgary, AB.

d) Existing Land Use Designation R-1 Parcel Size 3.14 ac. Division 08

2. APPLICATION FOR

Residential RV Storage Building

3. ADDITIONAL INFORMATION

a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes No x

b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes No x
(Sour Gas facility means well, pipeline or plant)

c) Is there an abandoned oil or gas well or pipeline on the property? Yes No x

d) Does the site have direct access to a developed Municipal Road? Yes x No

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I NIGEL FRANCIS hereby certify that I am the registered owner
(Full Name in Block Capitals)

x I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

Affix Corporate Seal
here if owner is listed
as a named or
numbered company

Applicant's Signature [Signature]


Date 30/06/2020

Owner's Signature

Date

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Nigel Francis, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


Signature

30/06/2020

Date



ROCKY VIEW COUNTY
Cultivating Communities

APPLICATION FOR AN ACCESSORY BUILDING

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date Received	Receipt #

Name of Applicant Nigel Francis Email [REDACTED]
 Mailing Address [REDACTED]
 Postal Code [REDACTED]
 Telephone (B) _____ (H) _____ Fax _____

1. DETAILS OF ACCESSORY BUILDING

	<i>Bylaw</i>	<i>Proposed</i>
<i>Accessory building size maximum</i>	120 sm	275.9 sm
<i>Accessory building height</i>	7.0 m	9.4 m
<i>Number of existing accessory buildings on site</i>	2	2
<i>Total size of all accessory buildings</i>	120 sm	347.05 sm

Description of Accessory Buildings:

- a) Building materials Hardiplank Siding, Cedar Shingle Siding, Asphalt Roofing Shingles
- b) Exterior colour Timber Bark (siding), Artic White (trim, fascia), White (eavestroughs, doors), Brown (roofing shingles).
- c) Please include why relaxations for buildings are needed (location, storage needs, tidy property, etc.)
Building size and height is required due to size of the rv's that the family own. It will enable them to be stored together rather than in separate locations on the site, making the site tidier and negate having to remove tree on the site.
- d) Date when building permits were issued for existing buildings Early 1970's
- e) If no permits were issued - list age of buildings _____

2. DESCRIBE THE USE OF THE ACCESSORY BUILDING

The family living on site have four large rv's. The building is to enable them to store all the vehicles together rather than having them parking the open on site, or having to store them off-site. By removing the existing barn and replacing it with the larger proposed building it will enable them to store all the vehicles in on location rather than having to remove trees to create four separate parking stalls

3. ADDITIONAL REQUIREMENTS

The following items must be provided in addition to your application:

- ☒ Elevation drawing(s) / floor plan(s)
☒ Site plan(s) showing all dimensions and setbacks

Signature of Applicant _____

Date: 30/06/2020

June 30, 2020

Rocky View County
Planning Services,
262075 Rocky View Point,
Rocky View County, AB.
T4A 0X2

Re: RV Storage Building, 107 Woodland Lane, Calgary, AB.

This Development Permit application is for a residential rv storage building to be constructed at this site where there is currently a smaller storage/garage building. The Owners have four large rv's that they wish to store on-site, and to create separate parking pads for them on-site would entail removal of some of the trees as the plot is heavily wooded. By replacing the existing storage building it would negate the need to remove trees from around the lot.

The gambrel roof is intended to maximize the amount of second floor storage, whilst minimizing the overall height. The building in this location will not be visible from the main road, and the tree cover will screen it from the adjacent properties. The design and materials are intended to create a building that will blend in with the rural setting.

Should you require any more information please do not hesitate to contact me.

Your truly,
RWArchitecture



Nigel Francis, BSc. CCCA MASI
Partner/Senior Project Manager



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0030 769 806 0413845;4;6 191 207 339

LEGAL DESCRIPTION
PLAN 0413845
BLOCK 4
LOT 6
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 1.27 HECTARES (3.14 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5;3;25;36;NW

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 041 411 759 +1

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
191 207 339	09/10/2019	TRANSFER OF LAND	\$955,000	\$955,000

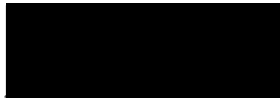
OWNERS

DANIEL M CHARLEBOIS

AND

JOANNE P CHARLEBOIS

BOTH OF:



AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
8191LL	08/11/1972	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED.

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
191 207 339

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
921 120 201	25/05/1992	EASEMENT OVER LOT 1 BLOCK 4 PLAN 9210952 FOR THE BENEFIT OF BLOCK 4 PLAN 7510334 (PLAN 9210953)
951 112 271	18/05/1995	UTILITY RIGHT OF WAY GRANTEE - THE CITY OF CALGARY. PORTION AS DESCRIBED
961 142 363	27/06/1996	EASEMENT SUBJECT TO AND EXTENDED BY AN EASEMENT (PLAN 9510967)
041 411 761	28/10/2004	EASEMENT OVER AND FOR BENEFIT OF: SEE INSTRUMENT AS TO PLAN 0413846

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 2 DAY OF JULY,
2020 AT 10:33 A.M.

ORDER NUMBER: 39623332

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

GENERAL NOTES AND CONDITIONS

GENERAL CONDITIONS AND NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS SET FORTH BY THE OWNER.
1. PROTECT YOUR WORK, THE WORK OF OTHER SUB TRADES, EXISTING PROPERTY, ADJACENT PUBLIC AND PRIVATE PROPERTY FROM ANY DAMAGE WHILE DOING WORK.
2. MAKE GOOD REPAIR TO THE OWNER'S APPROVAL TO ALL SURFACES AND ANY ITEMS DISTURBED BY CONSTRUCTION OPERATIONS.
2. ALL CONSTRUCTION SHALL MEET OR EXCEED THE 2019 ALBERTA BUILDING CODE STANDARDS. IN CASES WHERE SPECIFICATIONS DO NOT COMPLY WITH APPLICABLE CODE REQUIREMENTS, THE BUILDING CODE SHALL PREVAIL. THE CONTRACTOR SHALL PROVIDE WARRANTIES FOR ALL WORK PERFORMED FOR A MINIMUM OF 1 YEAR OR AS OTHERWISE SPECIFIED OR REQUIRED BY THE OWNER, WHICHEVER IS GREATER.
3. THE CONTRACTOR SHALL ENSURE THAT ALL WORK PERFORMED IS AS PER THE 2019 ALBERTA BUILDING CODE, AND IS TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. CONSTRUCTION SHALL NOT COMMENCE UNTIL A BUILDING PERMIT HAS BEEN OBTAINED. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE ALL INCOMING AND OUTGOING MECHANICAL AND ELECTRICAL SERVICES FOR THIS PROJECT.
4. CONTRACTORS FINDING DISCREPANCIES AND/OR OMISSIONS FROM DRAWINGS OR SPECIFICATIONS OR HAVING DOUBT AS TO THE MEANING OR INTENT OF ANY PART THEREOF SHOULD AT ONCE INFORM THE ARCHITECT WHO WILL SEND WRITTEN INSTRUCTIONS OR EXPLANATIONS TO THE CONTRACTOR. NEITHER THE OWNER NOR THE ARCHITECT SHALL BE HELD RESPONSIBLE FOR ORAL INSTRUCTIONS.
1. FAILURE OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY SUCH ITEMS AS APPEAR OBVIOUS SHALL BE ASSUMED TO INDICATE WILLINGNESS TO ACCEPT THE ORIGINAL INTENT AND MEANING AS MAY BE INTERPRETED BY THE ARCHITECT.
2. ALL WORK THE ARCHITECT DEEMS TO BE DEFECTIVE SHALL BE REMOVED AND REPLACED WITH FIRST CLASS MATERIAL AND WORKMANSHIP AT THE RESPECTIVE CONTRACTOR'S EXPENSE.
5. THE GENERAL CONTRACTOR SHALL COORDINATE ALL ACTIVITIES AS REQUIRED TO ENSURE EFFICIENT, CORRECT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK TO AVOID CONFLICT IN THE TRADE WORK AND SCHEDULE.
6. THE GENERAL CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND DIMENSIONS ON SITE AND COORDINATE THE WORK OF ALL SUBCONTRACTORS PRIOR TO COMMENCEMENT OF WORK.
1. DISCREPANCIES IN DIMENSIONS SHALL BE COMMUNICATED TO THE ARCHITECT SO THAT ANY ADJUSTMENTS MAY BE MADE PRIOR TO INSTALLATION.
2. ENSURE THAT ALL BLOCKING, WALERS, ANCHORS, SLEEVES, INSERTS, AND ACCESSORIES SUPPLIED OR REQUIRED BY SUBSEQUENT WORK AND SUBCONTRACTORS ARE COORDINATED AND INSTALLED WITHIN THE WORK.
7. ALL MATERIALS CALLED UP ON DRAWINGS SHALL BE INSTALLED IN A WORKMANLIKE MANNER AND APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS. ALL WORKMANSHIP SHIP SHALL BE TO THE APPROVAL OF THE OWNER AND ARCHITECT.
8. MANUFACTURED ARTICLES SHALL BE USED OR APPLIED IN ACCORDANCE WITH MANUFACTURER'S DIRECTIONS AND SHALL BE HANDLED AS DIRECTED. LABELS SHALL NOT BE REMOVED FROM CANS, BOXES, AND CARTONS ETC. WHEN ITEMS ARE DELIVERED TO SITE. ALL MATERIALS SHALL BE NEW AND OF GOOD QUALITY. REFER TO ADDITIONAL NOTES OR REQUEST CLARIFICATION FROM THE ARCHITECT FOR MORE SPECIFIC DIRECTIONS.
9. THE DRAWINGS ARE NOT TO BE SCALED FOR SIZES OR DIMENSIONS.
10. SHOP DRAWINGS: PROVIDE FOUR (4) HARD COPIES OR A DIGITAL COPY OF SHOP DRAWINGS OF ANY SHOP FABRICATED ITEMS FOR THE ARCHITECT'S APPROVAL PRIOR TO FABRICATION OR INSTALLATION.
1. SHOP DRAWINGS WHOSE COMPONENTS REQUIRE ENGINEERED DESIGN MUST CONTAIN THE SEAL AND SIGNATURE OF A ENGINEER REGISTERED IN THE PROVINCE OF ALBERTA.
2. SHOP DRAWINGS SHALL INDICATE THE FOLLOWING MINIMUM INFORMATION:
1. DIMENSIONS AND WEIGHT IF APPLICABLE
2. MATERIALS USED (STRESS DESIGNATION, GRADE, ETC.)
3. SHOP APPLIED FINISHES
4. FABRICATION DETAILS
5. CONNECTION DETAILS, MATERIALS
6. SIZES AND FINISHES

11. THE CONTRACTOR SHALL SUBMIT A FULL AND COMPLETE SET OF "AS-BUILT" DRAWINGS TO THE OWNER PRIOR TO SUBSTANTIAL COMPLETION. ALL APPROPRIATE DOCUMENTS, EQUIPMENT AND MAINTENANCE INSTRUCTIONS SHALL BE PROVIDED TO THE OWNERS PRIOR TO DECLARATION OF SUBSTANTIAL COMPLETION BY THE CONTRACTOR(S).
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PLUMBING, ELECTRICAL, MECHANICAL, AND DEMOLITION PERMITS AS NECESSARY.
13. THE ARCHITECTURAL DRAWINGS ARE INTENDED TO PROVIDE ENOUGH INFORMATION TO OBTAIN A BUILDING PERMIT AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION ONLY. ALL INSTALLATION METHODS, TECHNIQUES, AND MATERIALS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS. IN THE CASE THAT A CERTAIN ITEM IS NOT SPECIFIED THE CONTRACTOR OR SUBCONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR CUT SHEETS OF SPECIFIC ITEMS OR MATERIALS FOR APPROVAL BY THE OWNER AND ARCHITECT. ALL FLOOR JOISTS, BEAMS, AND ROOF TRUSSES SHALL BE PROVIDED BY A SUPPLIER WHO WILL SUBMIT LAYOUT DRAWINGS FOR REVIEW. SUCH LAYOUT DRAWINGS SHALL BE STAMPED BY A STRUCTURAL ENGINEER. ALL TALL WOOD WALLS AND ANY SITE RETAINING WALLS SHALL ALSO BE DESIGNED BY A STRUCTURAL ENGINEER. REFER TO STRUCTURAL DRAWINGS FOR COLUMN SHAPES, SIZES, LOCATIONS AND REINFORCEMENT. ALL CONSTRUCTION TO COMPLY WITH INDUSTRY STANDARDS, AS WELL AS MANUFACTURER'S RECOMMENDATIONS, TO THE EXTENT THAT THOSE INSTRUCTIONS AND RECOMMENDATIONS ARE MORE EXPLICIT OR STRINGENT THAN THE REQUIREMENTS CONTAINED IN THESE DOCUMENTS.
14. ONE SET OF THE CITY'S APPROVED DRAWINGS AND DOCUMENTS ARE TO BE KEPT ON SITE AND AVAILABLE FOR CHECKING AT ALL TIMES DURING CONSTRUCTION. THE BUILDING PERMIT SHALL BE POSTED ON SITE AT ALL TIMES AND BEFORE CONSTRUCTION COMMENCES.
15. PROVIDE ANY BRACING AND SHORING THAT MAY BE REQUIRED TO FACILITATE THE INSTALLATION OF ANY COMPONENT THAT MAY REQUIRE SUCH BRACING OR SHORING.
1. SHORING SHALL BE DESIGNED BY AN ENGINEER REGISTERED IN THE PROVINCE OF ALBERTA.
2. WHERE REQUIRED, THE CONTRACTOR SHALL ENGAGE AN ENGINEER TO DESIGN AND SUPERVISE ANY REBAR FOR TALL CONCRETE WALLS, FORM WORK, WIDE WINDOW OPENINGS IN CONCRETE, AND FALSEWORK FOR CONCRETE.
16. PROVIDE ANY HOARDING THAT MAY BE REQUIRED FOR PUBLIC SAFETY AND AS REQUIRED TO CONFORM TO ANY LOCAL OR PROVINCIAL SAFETY BY-LAWS OR HEALTH REGULATIONS.
17. FURNISH ALL LABOUR, MATERIALS, TOOLS AND SERVICES REQUIRED OR INCIDENTAL TO THE COMPLETION OF THE FULL INTENT OF THESE DOCUMENTS.
18. THE FINAL CLEANING SHALL BE TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
1. DURING THE PROCESS OF CONSTRUCTION, THE CONTRACTOR SHALL DIRECT THEIR FORCES AND SUB-CONTRACTORS TO REMOVE DEBRIS DAILY, OR FROM TIME TO TIME, FROM THE SITE AS DEEMED NECESSARY BY THE ARCHITECT AND OWNER.
2. THE CONTRACTOR SHALL PROVIDE FOR THEIR OWN CONTAINERS AND WASTE COLLECTION, REMOVAL AND DISPOSAL.
3. WHERE APPLICABLE, IF ANY ASBESTOS CONTENT OR HAZARDOUS MATERIALS OR CONTAMINATION ARE ENCOUNTERED DURING CONSTRUCTION, CEASE WORK IMMEDIATELY AND NOTIFY THE OWNER AND ARCHITECT. AWAIT INSTRUCTIONS AND DIRECTIVES FROM THE OWNER AND ARCHITECT REGARDING HANDLING OF ASBESTOS AND HAZARDOUS MATERIALS. ALL REMOVAL AND DISPOSAL PROCEDURES SHALL BE IN ACCORDANCE WITH CODE, BY-LAW AND CITY/PROVINCIAL REQUIREMENTS FOR HAZARDOUS MATERIALS.
19. THE CONTRACTOR AND SUB-CONTRACTORS SHALL LOCATE ANY AND ALL UNDERGROUND OR HIDDEN SERVICES WITHIN THIS CONTRACT AREA PRIOR TO ANY EXCAVATION OR CUTTING AND SHALL PROTECT SUCH SERVICES FROM DAMAGE.
1. THE OWNER OR CONSULTANTS SHALL NOT BE HELD LIABLE FOR ANY LOSS OR DAMAGE CAUSED BY CONTRACTORS.
20. ALL CONTRACTORS SHALL VISIT THE SITE AND CAREFULLY EXAMINE ALL SITE CONDITIONS AND ANY FEATURES THAT MAY AFFECT THEIR WORK PRIOR TO SUBMITTING BIDS SO AS TO PROVIDE A TOTAL AND COMPLETE COST FOR THE WORK INVOLVED.

21. THE GENERAL CONTRACTOR SHALL NOTIFY ALL CITY DEPARTMENTS REGARDING SITE INSPECTIONS AND ENSURE THAT ALL NECESSARY INSPECTIONS ARE DONE BY THE CITY PRIOR TO PROCEEDING WITH SUBSEQUENT WORK.
22. ADEQUATELY PROTECT ALL FINISHED FLOOR AND OTHER FINISHED SURFACES FROM DAMAGE.
1. TAKE SPECIAL MEASURES FOR PROTECTION WHEN HEAVY LOADS OR EQUIPMENT IS MOVED OR PLACED ON THEM.
2. KEEP SURFACES FREE OF OILS, GREASE OR OTHER MATERIALS LIKELY TO DAMAGE OR DISCOLOUR THEM OR AFFECT THE BOND OF APPLIED FINISHES.
23. ALL MATERIALS SHALL HAVE A FLAMES SPREAD RATING OF LESS THAN 100 OR MEET THE FLAME SPREAD RATING REQUIREMENTS OF THE ALBERTA BUILDING CODE AND THE AUTHORITY HAVING JURISDICTION.
24. DEMISING WALLS ARE NOT DESIGNED TO ACCOMMODATE LOADING. ALL FIXTURES MUST BE FLOOR SUPPORTED.
25. ALL ALTERNATIVES WILL BE CONSIDERED. PROVIDE WRITTEN PROPOSAL FOR ALL ALTERNATIVES FOR APPROVAL BY THE OWNER AND ARCHITECT.
26. THE OWNER/CONTRACTOR SHALL ENGAGE THE SERVICES OF A SEPARATE ENVELOPE CONSULTANT FOR DRAWING AND SITE REVIEW OF ALL BUILDING ENVELOPE RELATED ITEMS.
27. PROVIDE AND MAINTAIN CONTINUOUS AIR/VAPOUR BARRIER SYSTEMS CALK AROUND OPENINGS, GAPS, AND STARTLES WITH SEALANT TO ACHIEVE A CONTINUOUS BARRIER. AIR VAPOUR BARRIER SHALL BE CONTINUOUS AT ALL CEILING AND WALL PENETRATIONS INCLUDING ALL WALL TOP PLATES AND THE INTERSECTION OF INTERIOR WALLS AT EXTERIOR WALLS. FORESIGHT DURING FRAMING OF THESE ELEMENTS SHOULD BE USED TO PROPERLY INSTALL THESE SYSTEMS SO THAT THEY ARE CONTINUOUS WHEN THE REMANDER OF THE AIR/VAPOUR BARRIER IS INSTALLED. SPECIAL CARE SHOULD BE TAKEN TO SEAL AROUND ALL WALL CEILING OUTLETS, FIXTURES, AND PENETRATIONS.
28. MECHANICAL LINES ARE NOT TO BE IN CONTACT WITH THE STUD WALLS OR CONCRETE WALL OR FLOOR ASSEMBLIES. ISOLATE ALL PIPES TO AVOID SOUND TRANSMISSION. INSTALL NE OPENE RUBBER PADS ON TOP OF SUBSTRATE SURFACE (BOTTOM PLATE, CONCRETE ECT.) BEFORE ALL MECHANICAL CLAMPS ARE TIGHTENED INTO PLACE.
29. DIMENSIONS ARE TO THE FACE OF SHEATHING, TO THE FACE OF STUD, TO THE FACE OF CONCRETE, OR TO GRID LINES IF APPLICABLE UNLESS OTHERWISE NOTED.
30. ALL DOORS AND WINDOWS REFERENCED ON THE PLANS AND SCHEDULES ARE SHOWN AS NOMINAL SIZES. CONFIRM AND VERIFY ALL ROUGH OPENING SIZE REQUIREMENTS WITH THE SELECTED PRODUCT MANUFACTURER AND SITE CONDITIONS PRIOR TO FABRICATION. REFER TO MANUFACTURERS INSTALLATION MANUAL. PROVIDE THE ARCHITECT WITH ALL WINDOW AND DOOR SELECTIONS FOR REVIEW.
31. A MOCK-UP OF ONE MUTUALLY AGREED UPON WINDOW OPENING IS TO BE PREPARED ON SITE FOR REVIEW OF THE OWNER, ARCHITECT, AND ENVELOPE CONSULTANT FOR APPROVAL BEFORE THE PREPARATION AND INSTALLATION OF ALL OTHER WINDOW OPENINGS.
32. ALL INTERIOR DOOR OPENINGS IN STUD FRAMED WALLS TO BE SPACED A MINIMUM OF 4" FROM THE ADJACENT WALL UNLESS NOTED OR DIRECTED OTHERWISE.
33. PROVIDE AND INSTALL SOLID BLOCKING AND BACKING WITHIN WALLS FOR ALL WASHROOM AND BATHROOM ACCESSORIES, HANDRAILS, GUARDS, LADDERS, MECHANICAL AND ELECTRICAL EQUIPMENT/FIXTURES, ETC. AS REQUIRED FOR PROPER ANCHORING.
34. CONFIRM ALL ROUGH OPENING SIZES AND CONNECTIONS FOR MECHANICAL, ELECTRICAL AND OWNER SUPPLIED EQUIPMENT. ADJUST ROUGH OPENING SIZES TO SUITE. VERIFY ALL ALLOWABLE PENETRATIONS THROUGH STRUCTURAL ELEMENTS WITH STRUCTURAL ENGINEER/JOIST SUPPLIER.
35. INSTALL AND CONNECT OWNER SUPPLIED EQUIPMENT OR APPLIANCES AS DIRECTED, CENTERED, LEVEL AND TRUE.
36. PROVIDE ALL WARRANTIES, BONDS AND MANUFACTURER OPERATING INSTRUCTIONS AND SERVICE MANUALS AS WELL AS PARTS LISTS AT THE COMPLETION OF THE PROJECT.
37. IN CASE OF CONFLICT, LARGER SCALE DRAWINGS ARE TO TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. SPECIFICATIONS WHEN PRESENT WILL TAKE PRECEDENCE OVER GENERAL CONSTRUCTION NOTES.



INDEX OF DRAWINGS

- ARCHITECTURAL DRAWINGS
- A0.0 DATA SHEET
- A0.1 SITE PLAN
- A1.1 MAIN FLOOR PLAN
- A1.2 SECOND FLOOR PLAN
- A1.3 ROOF PLAN
- A2.0 ELEVATIONS
- A2.1 ELEVATIONS
- MECHANICAL DRAWINGS
- ELECTRICAL DRAWINGS

Do Not Scale The Drawings
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LOCATION:

107 WOODLAND LANE
PLAN 0413845; BLOCK 4; LOT 6
Rocky View County • AB • CANADA

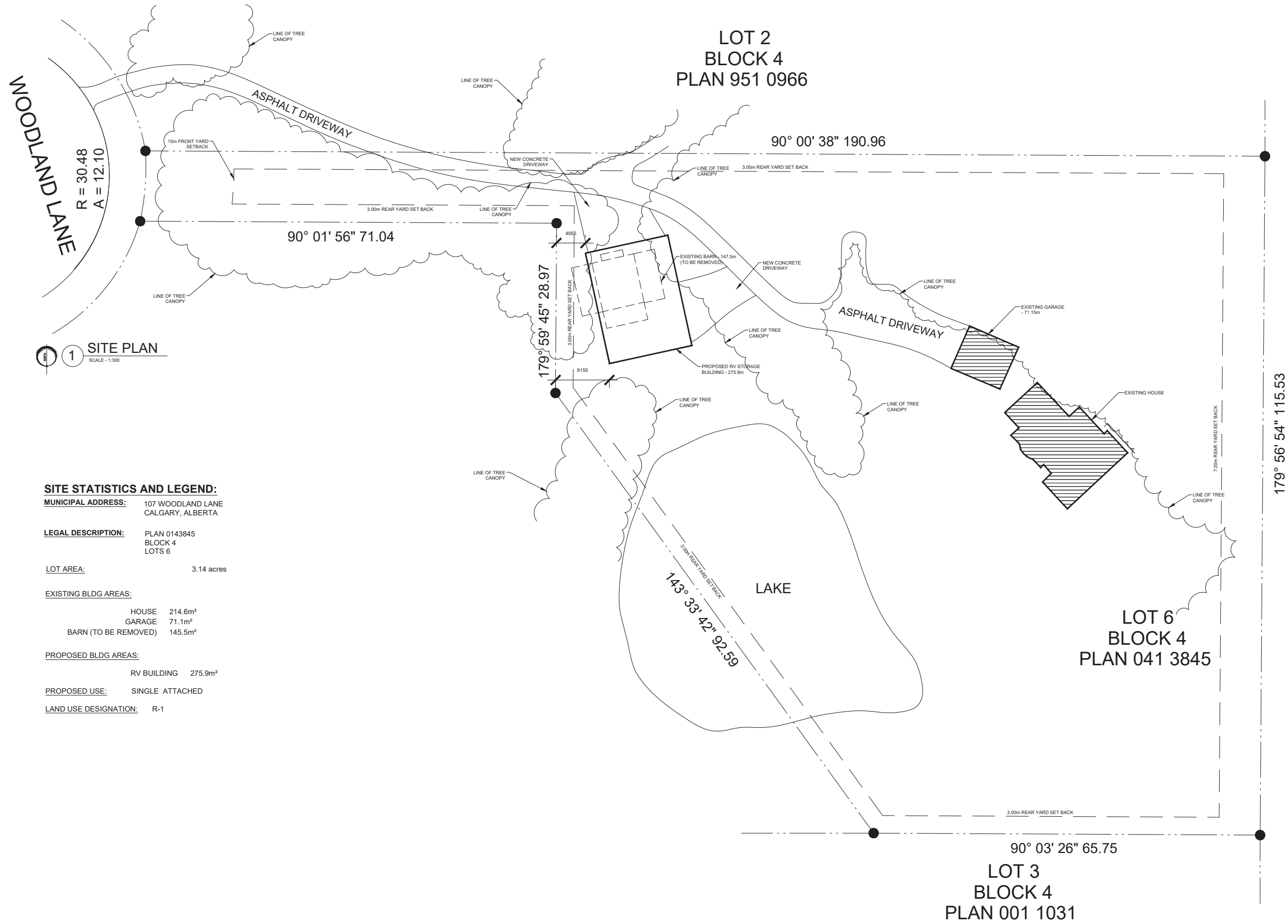
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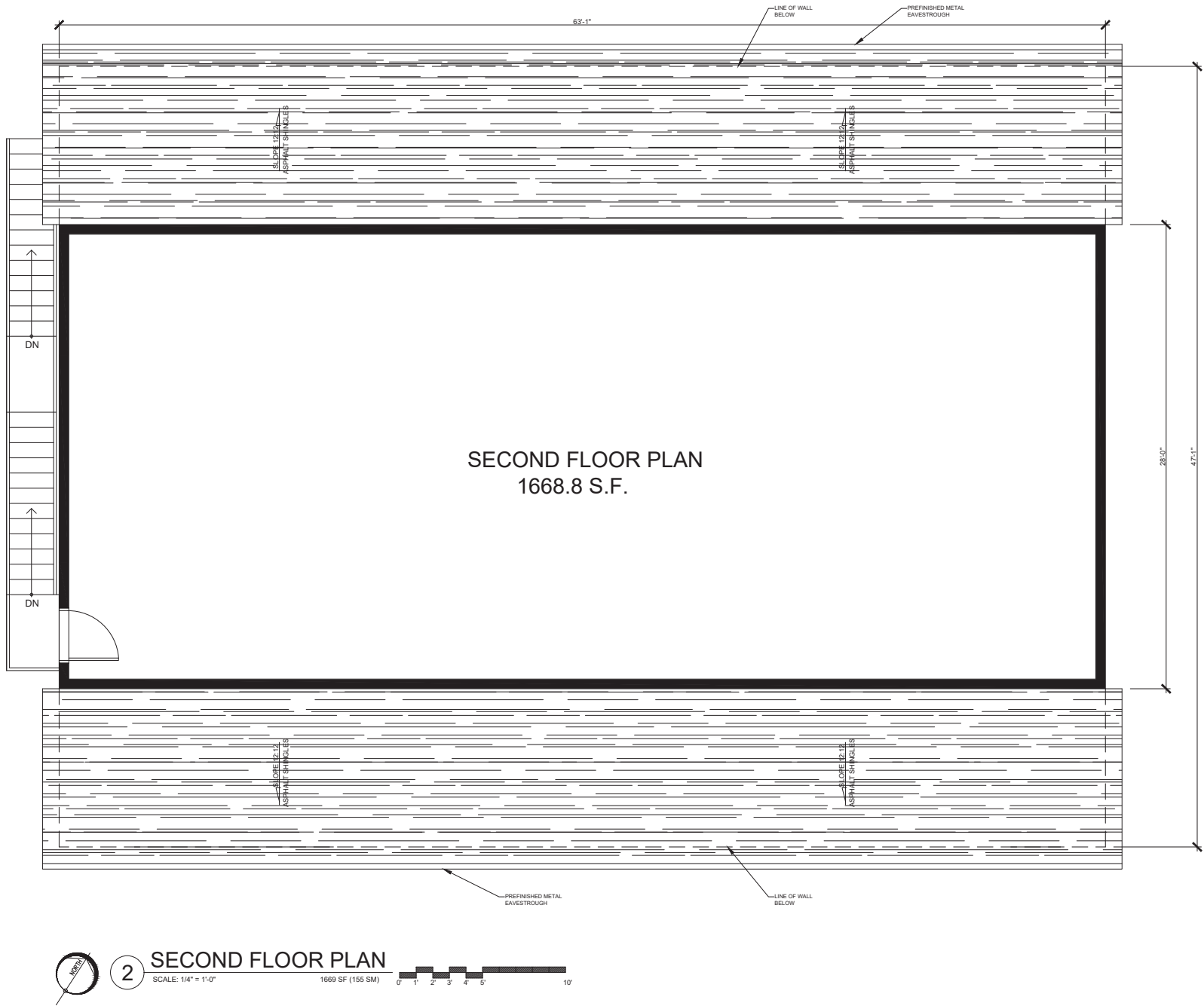
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1	PRELIMINARY LAYOUT	05/06/2020	
No.	ISSUED FOR		MMDDYY

JUNE 22, 2020

DATA SHEET

A0.0







2 SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

1669 SF (155 SM)



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BUILDER:

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Rocky View County • AB • CANADA

2	DP SUBMISSION	29/06/2020	No. ISSUED FOR
1	PRELIMINARY LAYOUT	05/06/2020	
			MIMDDYY

JUNE 22, 2020

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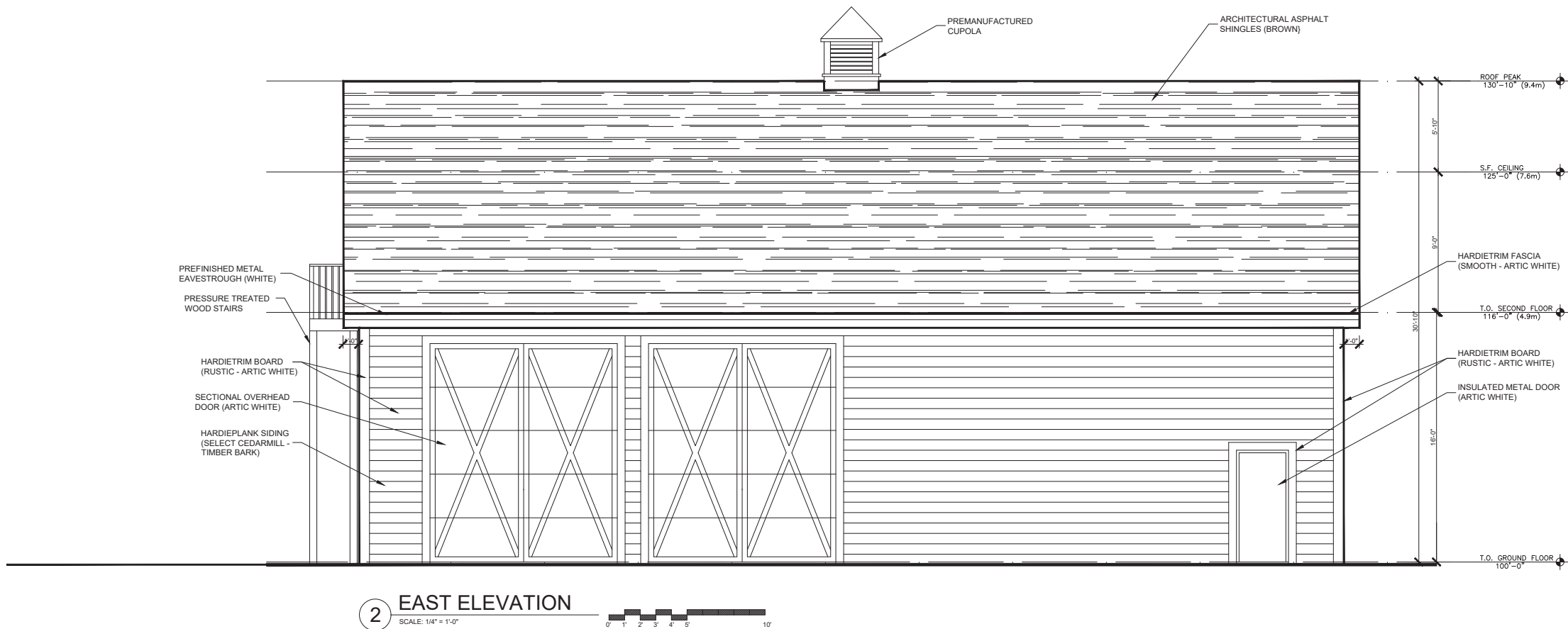
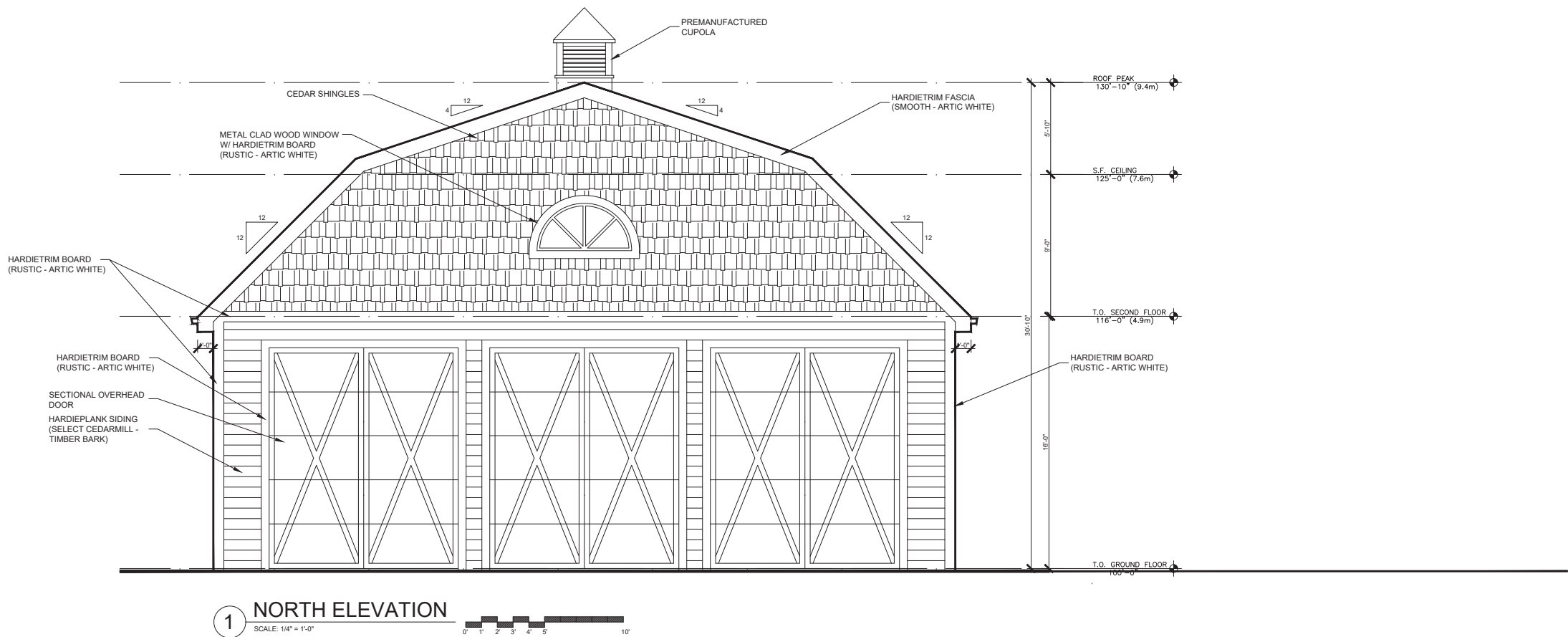
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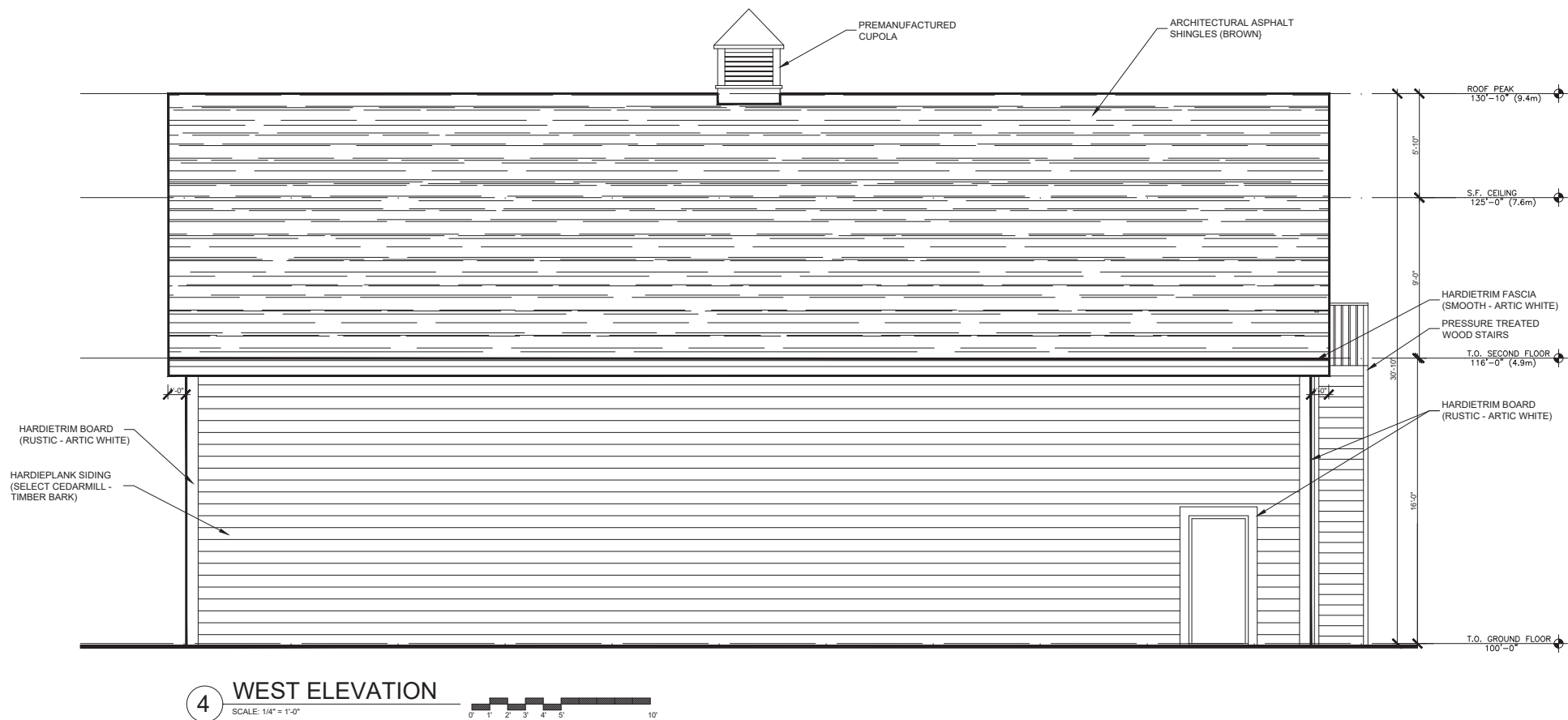
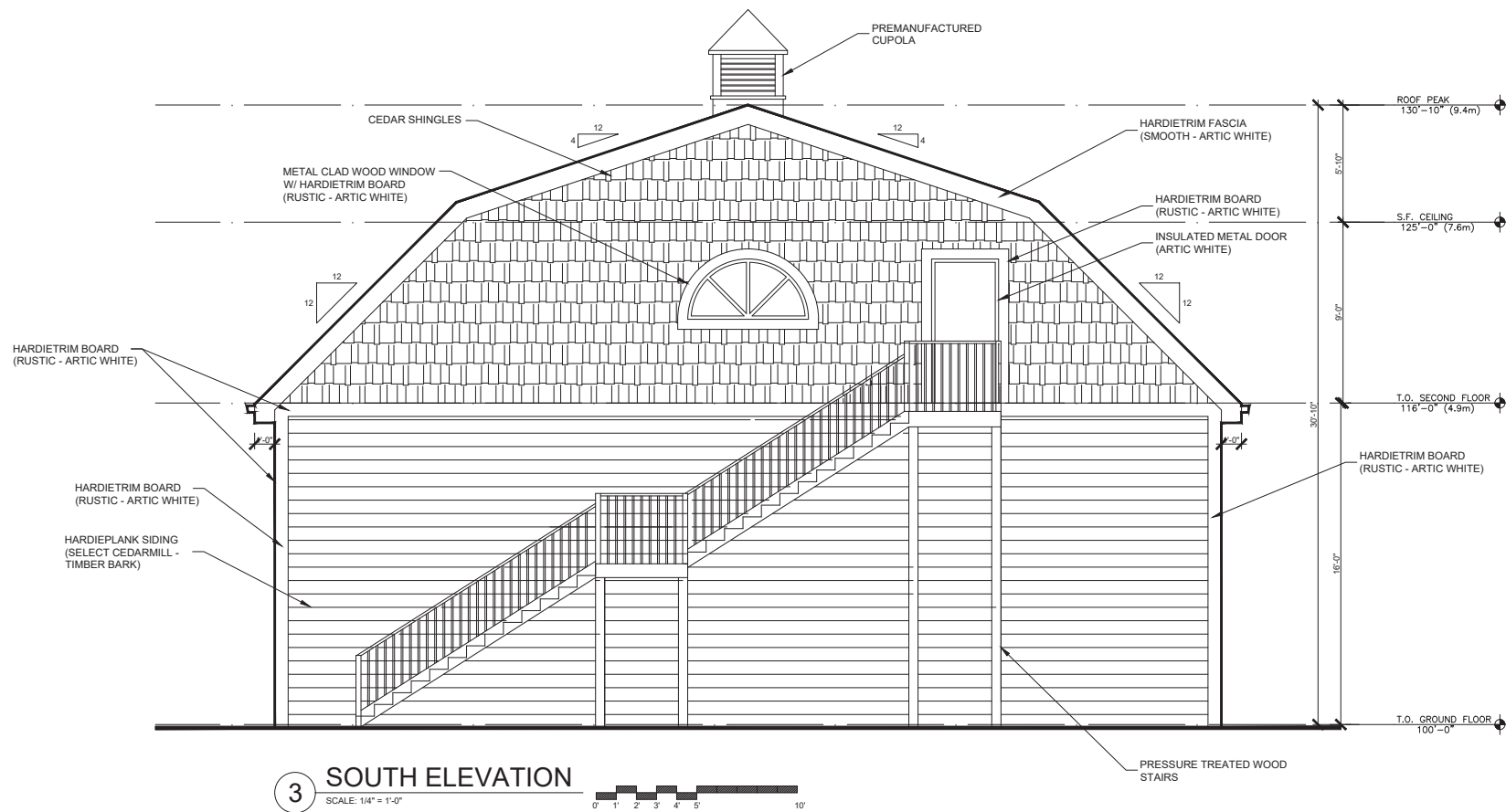
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2. DP SUBMISSION
1. PRELIMINARY LAYOUT
No. ISSUED FOR
29/06/2020
05/06/2020
MIMDDYY

JUNE 22, 2020

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

SUBJECT: Development Item: Cannabis Cultivation and Cannabis Facility

USE: Discretionary use, with no Variances

DATE: September 3, 2020

APPLICATION: PRDP20201670

APPLICATION: Cannabis Cultivation and Cannabis Facility (existing building), tenancy

GENERAL LOCATION: Located approximately 0.81 km (1/2 mile) west of Rge. Rd. 33 and on the north side of Twp. Rd. 250.

LAND USE DESIGNATION: General Business District (B-2)

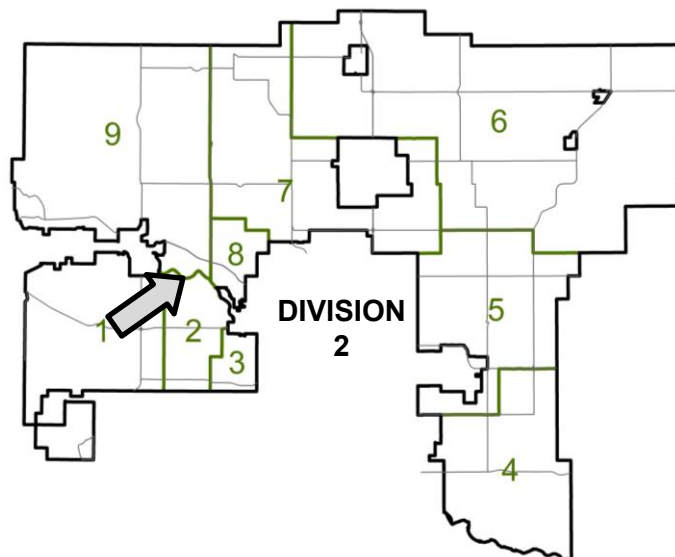
ADMINISTRATION RECOMMENDATION: Administration recommends approval in accordance with Option #1.

VARIANCE SUMMARY:

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20201670 be approved with the development conditions noted in the report, attached.
- Option #2: THAT Development Permit Application PRDP20201670 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources
Sangeeta Vishwakarma - Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: June 24, 2020	File: 05704069
Application: PRDP20201670	Applicant: Chris Mayerson Owner: Berking Industries Ltd.
Legal Description: Lot 12 Block R Plan 0310163; SE-04-25-03-05; (H, Building 6, 250021 Mountain View Trail)	General Location: Located approximately 0.81 km (1/2 mile) west of Rge. Rd. 33 and on the north side of Twp. Rd. 250.
Land Use Designation: General Business District (B-2)	Gross Area: ± 0.81 hectare (±2.00 acres)
File Manager: Sangeeta Vishwakarma	Division: 2

PROPOSAL:

Change of Use from existing Automotive, Equipment and Vehicle Service *to Cannabis Cultivation and Cannabis Facility* at Unit H (vacant):

- Cannabis Cultivation and Cannabis Facility are listed discretionary uses within the B-2 district
- No relaxations requested as unit is existing
- Building 6 is newly constructed and is the north half of the east building on site.

Business Details:

Business name	1661132 Alberta Limited
Business description (Cover letter July 8, 2020)	<ul style="list-style-type: none"> • Applying for "Nursery" license under Cannabis Act with the province that allows for 50 square meters (~500 sq.ft.) of flowering canopy for seed production. • Cultivation/growing within self-contained units (shipping containers) instead of modifying interior walls. Used this approach on Oahu, Hawaii for a state-licensed medical cannabis production facility. • Producing live plants (clones) and seeds, not finished flower (bud). Use of high intensity lighting will not be required, so the electrical loads and HVAC requirements seen with large scale indoor cultivation will not be an issue per applicant. • Includes interior work for walls and electrical
Business area (Bay H)	147.31 sq. m. (1,585.59 sq.ft.) - Shop/warehouse area 42.82 sq. m (460.92 sq.ft.) – Mezzanine area (existing) open office 190.13 sq. m. (2,046.51 sq. ft.) – TOTAL AREA
Parking spaces	2 assigned, no customer visits or overflow parking anticipated
Employees	2 full-time/0 part-time
Hours of operation	8:00 am – 4:30 pm
Days of operation	Sunday - Saturday
Outdoor storage	Not requested/proposed
Signage	None proposed - Bay not open to public
Other	Applicant holds RCMP security clearance valid until July 2021.

**SITE/DEVELOPMENT HISTORY:**

- The site is located adjacent to the Springbank Airport District (west), B-2 and I-IS districts along north, agricultural parcels east, and residential parcels (R-2) far east and west of Range Rd. 33.
- The subject site does not have any environmental constraints, right of ways, or oil and gas lines.
- **Uses:** Unit H is vacant with the original Automotive, Equipment and Vehicle Service use. Building 5/6 is one of two newly constructed buildings located east of the site. The building was approved as an Automotive, Equipment and Vehicle Service use building under PRBD20164060 and is predominately vacant. The building contains Personal Services (training studio) and General Industry 1 (landscaping company) uses.
- **PRDP20162826:** Application proposed for a change of use from Automotive, Equipment, and Vehicle services to a Licensed Medical Marijuana Production Facility within some or all of the area within Building 6 on the subject site including request for minimum separation distance relaxation. The application was refused on December 14, 2016 for non-compliant separation distances from an existing dwelling and from an existing school site (Roll 04733005).

LAND USE BYLAW (C-7968-2019) ASSESSMENT:

Section 8 – Definitions: The proposed use meets the definition of Cannabis Cultivation and Cannabis Facility as per email cover letter, received July 8, 2020. The facility will grow and harvest cannabis within shipping containers located in the unit, and further process/store the cannabis to be shipped for wholesale purposes, in accordance with the Nursery License regulations under the *Cannabis Act* SOR/2018-144.

CANNABIS CULTIVATION means the growing and harvesting of cannabis as licensed by Health Canada;

CANNABIS FACILITY means a development, as licensed by Health Canada, where cannabis is grown, harvested, processed, tested, destroyed and/or stored on site, but does not include Cannabis Retail Store;

Section 19.1 – Applicability: General Business District (B-2) is not listed herein, therefore regulations specified as “business development” is not applicable to the proposed use/development.

Section 20.9 – Cannabis Cultivation and Cannabis Facility:

- 20.9(a) The building is approved for commercial/business uses and does not contain residential uses.
- 20.9(e) Subject site meets minimum separation distance requirement per aerials (2020), as follows:

Required	Existing/Proposed
75.00 m (0.08 km or 246.06 ft.) to residential site	Approximately 501.0 m (0.50 km) from nearest east R-2 site, (Roll 05704007), from property line to property line Approximately 530.0 m (0.53 km) to outside of dwelling located on above R-2 site.

- 20.9(f) Minimum separation distances required under this section are not applicable to B-2 districts:

N/A to B-2 districts	Distance from subject site
150 m (0.15 km) to school site	Approximately 300.0 m (0.30 km) to SE school site (Roll 04733005)



100 m (0.10 km) to residential site	Approximately 206.0 m (0.21 km) to dwelling on south Ranch and Farm site (Roll 04733004) Approximately 404.0 m (0.40 km) To dwelling on east Ranch and Farm site (Roll 05704027)
-------------------------------------	---

- 20.9(g) This development application will be time-limited to a maximum of three (3) years, if approved.

Section 47 - General Business District (B-2): Cannabis Cultivation and Cannabis Facility are listed Discretionary uses with the B-2 district.

STATUTORY PLAN(S) ASSESSMENT:

North Springbank Area Structure Plan (ASP): The subject site falls within the Airport Land Use area, specifically the Springbank Airport interface of the ASP. The site does not lie within the Highway #1 Interface of the plan.

5.6.2 Springbank Airport Interface

- 5.6.2.3: Lists commercial based business parks as appropriate land use subject to the provisions of the Plan. The subject site along with adjacent north, east, and south sites are designated General Business District (B-2). Site west of the subject site is designated Airport District. The proposed Cannabis Cultivation/Facility is considered an appropriate commercial land use as it is a listed discretionary use within the B-2 district of the Land Use Bylaw. The business does not require or propose any outdoor storage of goods, materials, or equipment.
- 5.6.2.6: Requires that any development be fully compatible with the safe operation of the Springbank Airport. The applicant has indicated that proposed business operations will be carried within shipping containers located within the unit. The business does not require outdoor storage of goods. Applicant has provided a rationale to address relevant policies in email received July 30, 2020, included with the application package. Summary of the rationale/details include:
- 5.6.2.6(a): Applicant noted that the cultivation and processing of seeds/clones would not create toxic or particular matter. To address concerns of noxious matter, an activated charcoal filtration system/ infrastructure will be installed and operational at all times in accordance with the *Health Canada Cannabis Act* and *CAN/ULC - S4400 - Standard For Safety Of Premises, Buildings And Equipment Utilized For The Cultivation, Processing And Production Of Cannabis*.
- 5.6.2.6 (c): Potential fire risk is deemed low to none per applicant. To mitigate risks, all electrical work will be completed by a licensed electrician and inspected. No risk of explosive hazards as storage of goods/explosive materials on site are not required/proposed.
- 5.6.2.6 (d): No potential for the accumulation of any material or waste edible by or attractive to birds. Destruction of cannabis waste is regulated by Health Canada and as such poses no risk to birds per applicant.
- 5.6.2.6(e): Applicant noted use of extensive artificial lighting for cultivation of cannabis, however 100% of lights will be contained within the unit and self-contained grow areas/containers. No risk of light escaping the facility has been noted.
- 5.6.2.6(g): There will be no noise exposure forecast areas and no affect to nearby properties per applicant. Cultivation is a quiet process, not requiring heavy duty equipment, with operations fully contained within unit/containers.



5.7.1 General Business Land Use

The policies herein are catered towards to the Commercial Land Use area identified in Figure 3, Future Land Use Concept map. The subject site does not fall within the identified commercial land use area, therefore Section 5.7 is not applicable.

6.2 Municipal Roads

Township Road 250 is identified as a major collector road within the ASP to facilitate movement of all vehicular types. Applicant has noted minimal impact of the business on the existing transportation network, as follows:

- Anticipated traffic volumes - No more than 3 or 4 light passenger vehicles coming and going from the facility per day (staff vehicles only);
- Vehicle types - Light passenger vehicles and occasional delivery truck. Semi-trucks not required for deliveries. Medium sized commercial vehicles will accommodate small amount of materials required for cultivation, e.g., ¾ ton cube van or flat-bed truck;
- Turning movements - In and out of the parking lot and hours of usage are regular business hours Monday to Friday, 8:00am to 4:30pm; and
- Pick-up/drop-off - Negligible activity due to relatively low production volumes within facility. No more than one truck once per week is anticipated for this purpose. Trucks will be parked in front of loading bay door for a short period of time for each pick-up and drop-off.

Other Plans: The site is located outside of the City of Calgary Intermunicipal Development Plan (IDP) study area and does not lie within an existing/proposed Conceptual Scheme.

INSPECTOR'S COMMENTS:

Inspection date: July 23, 2020

- Building is empty, relatively new and well maintained with tinted windows
- Only a couple of cars parked in the parking lot
- A large (over 2 meters) tall fence [chain-link] and trees screen adjacent neighbours (south)
- Rear of building has a drive-in bay, looks unused.

CIRCULATIONS:

Alberta Health Services

- No comments received.

Alberta Transportation (August 10, 2020)

- No concerns. The proposed development is located outside the limits of Alberta Transportation's development control zone, therefore a highway roadside development application and subsequent permit is not required from the department.

Building Services Review (July 17, 2020)

- A building permit will be required for this change of use. They must follow the "Tenant Bay Development" checklist.

Capital Projects (July 16, 2020)

- No Concerns

Development Compliance (July 10, 2020)

- No Concerns



Planning and Development - Engineering Services (July 13, 2020)

General

- The review of this file is based upon the application submitted. These conditions/recommendations may be subject to change to ensure best practices and procedures.
- The application will need to be circulated to Alberta Transportation for review and comment as the proposed development falls within the 1.6 km setback from Highway 1.

Geotechnical - Section 300.0 requirements:

- Engineering has no requirements at this time.

Transportation - Section 400.0 requirements:

- Access to the remainder parcel is provided via a road approach off of Mountain View Trail.
- The applicant/owner not required to pay transportation offsite levy, as per the applicable TOL bylaw at time of DP issuance, as the TOL was previously collected over the subject land.

Sanitary/Waste Water - Section 500.0 requirements:

- Prior to issuance, the applicant is required to confirm how the proposed development will be serviced.
 - The County supports the use of holding tanks with trucked service for commercial purpose.

Water Supply And Waterworks - Section 600.0 & 800.0 requirements:

- Prior to issuance, the applicant is required to confirm how the proposed development will be serviced.
 - The County supports the use of cisterns with trucked service for commercial purposes.
 - The applicant will be required to obtain a commercial water license from AEP if the applicant proposes to service the proposed development with a groundwater well.

Storm Water Management – Section 700.0 requirements:

- Engineering has no requirements at this time.
- The proposed development is expected to have a minimal impact to drainage as the development is within an already existing building.

Environmental – Section 900.0 requirements:

- Engineering has no requirements at this time.
- The applicant/owner will be responsible to obtain all required AEP approvals should the proposed development impact any wetlands.

Fire Services (July 15, 2020)

- If the applicant is only growing and storing the product, then the Fire Service has no comments at this time. If the applicant is processing at this site, then they will need to set up the facility so that it complies with an F-2 occupancy classification under the National Building Code.

Springbank Airport c/o Calgary Airport Authority (August 12, 2020)

- No objections to this application from both Calgary and Springbank Airport Authorities.



Utility Services (July 14, 2020)

- No Concerns

RECOMMENDATION:

Certain cannabis operations are regulated provincially/federally and not addressed at the municipal level, including but not limited, Odour, Site Design Waste, and Sale of products under the *Cannabis Regulations SOR/2018-144 (Cannabis Act)*. Applicant will be required to meet all regulations under the Act prior to commencing operations.

The proposed Cannabis Cultivation and Cannabis Facility was evaluated in accordance with the relevant sections of the Land Use Bylaw and North Springbank ASP policies. Development Authority finds that the business/use will not significantly impact nearby uses, parcels, or airport operations, therefore, recommends **APPROVAL** of the application:

- The proposed use meets the minimum separation distance requirement of 75.00 m to nearest residential site(s), is fully operational indoors without requirement of outdoor storage, does not include Cannabis Retail, not open to the general public, and has little to no impact to surrounding uses/parcels based on the operational details.
- The operational details provided by the applicant satisfy policy requirements of the North Springbank ASP and the regulations of the land use bylaw.
- Site inspection noted a vacant large bay, low activity in the area, and no concerns with the location. There is no enforcement history for this site.

OPTIONS:

Option 1: (this would allow the proposed development)

APPROVAL, for the following reasons:

Description:

1. That *Cannabis Cultivation* and *Cannabis Facility*, may operate within 190.13 sq. m. (2,046.51 sq. ft.) of Unit H (existing Building #6) on the subject lands in accordance with the submitted application, operational details, site plan and conditions noted below.

Prior-to Issuance:

2. That prior to issuance of the permit, the Applicant shall confirm any additional servicing requirements for the proposed development, besides the existing building servicing of a water cistern and holding tank, to the satisfaction of the County.

Permanent:

3. That this approval does not include a *Cannabis Retail Store*.
4. That the facility shall maintain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the facility, to facilitate accurate emergency response.
5. That the Applicant/Owner shall contact County Road Operations to determine if any Road Data permits are required for transport of products, using the County road system for the proposed development, prior to operation.
6. That no signage shall be placed on the subject property, related to the approved *Cannabis Cultivation and Cannabis Facility* use. Any future signage related to the development shall require separate development permit approval.



7. That any future change in use of the building, including any exterior changes or additions, or change in tenants shall require a Development Permit for the use and signage.
8. That no outdoor storage shall be allowed at any time for business use.
9. That two (2) parking stalls shall be maintained on-site at all times for staff.
10. That the entire site shall be maintained in a neat and orderly manner at all times, to the satisfaction of the County.
11. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application, in response to a prior to issuance or occupancy condition, shall be implemented and adhered to in perpetuity.
12. That this development permit, once issued, shall be valid until **September 30, 2023**.

Advisory:

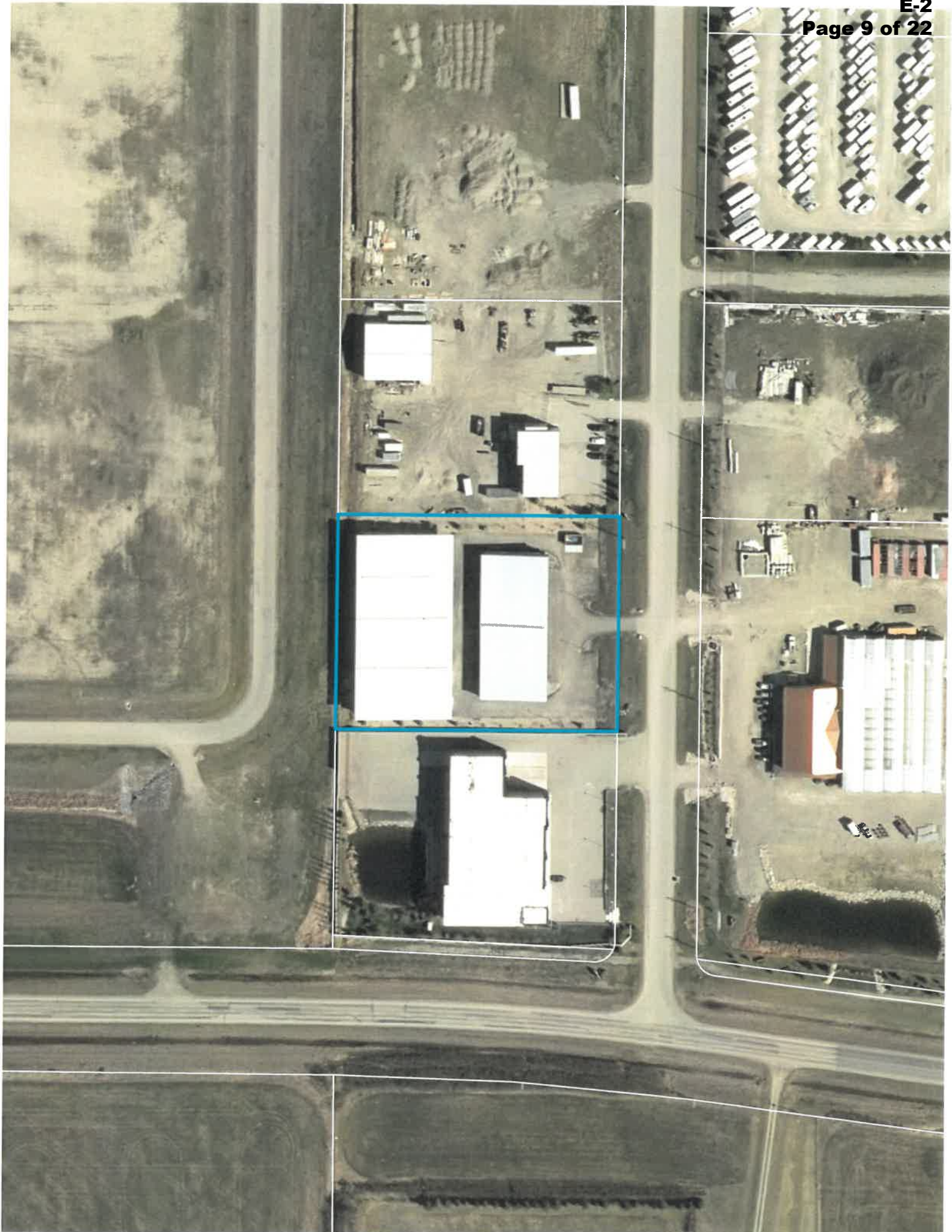
13. That the Applicant/Owner will be required to obtain a commercial water license from Alberta Environment and Parks (AEP) if a groundwater well is proposed to service the development.
14. That the site shall be maintained in compliance with County Bylaw No. C-7690-2017, the "Nuisance and Unsightly Property Bylaw", at all times. Any debris or garbage generated on the site shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
15. That the County Bylaw C-5772-2003, the "Noise Bylaw", shall be adhered to at all times.
16. That a Building Permit and applicable sub trade permits, for the change of use, shall be obtained through Building Services at the building permit stage.
 - i. That the development shall comply with an occupancy requirements under the National Building Code.
17. That any other federal, provincial or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
 - i. That the Applicant/Owner shall obtain any required Health Canada and Alberta Health Services approval(s).
 - ii. That all cannabis waste shall be managed in accordance with Alberta Cannabis Waste Management Fact Sheet.

Note: *The Applicant/Owner shall be responsible for all Alberta Environment and Parks approvals/compensation if any wetland is impacted by the development on the said land.*

Option 2: (this would not allow the proposed development)

REFUSAL, for the following reasons:

1. In the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.







ROCKY VIEW COUNTY
Cultivating Communities

2020 1670
APPLICATION FOR A
DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted 530	File Number 057-0109
Date of Receipt 06/28/2020	Receipt #

Name of Applicant CHRIS MATERSON Email [REDACTED]

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED] (H) NA Fax NA

For Agents please supply Business/Agency/ Organization Name [REDACTED]

Registered Owner (if not applicant) DALE BERKAN O/A BERKING INDUSTRIES

Mailing Address 5930 170 AVE SW

CALGARY AB Postal Code T2Y 0N8

Telephone (B) 403-813-8661 (H) - Fax -

1. LEGAL DESCRIPTION OF LAND

a) All / part of the SE ¼ Section 4 Township 25 Range 3 West of 5 Meridian

b) Being all / parts of Lot 12 Block R Registered Plan Number 0310163

c) Municipal Address 250019 MOUNTAIN VIEW TRAIL, CALGARY B

d) Existing Land Use Designation B-2 Parcel Size 2 ACRES Division 2

2. APPLICATION FOR

change of use - cannabis cultivation / facility

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes No ✓
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes No ✓
(Sour Gas facility means well, pipeline or plant)
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes No ✓
- d) Does the site have direct access to a developed Municipal Road? Yes ✓ No

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I CHRIS MATERSON hereby certify that I am the registered owner
(Full Name in Block Capitals)

✓ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my
of the facts relating to this application.

knowledge, a true statement

**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

Applicant's Signature [Signature]

Date 24-JUN-20

Owner's Signature

Date



5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.

Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, CHRIS MAYERSON, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

Signature

24-JUN-20

Date



ROCKY VIEW COUNTY
Cultivating Communities

CHANGE OF USE OF LAND OR AN EXISTING BUILDING

FOR OFFICE USE ONLY	
Fee Submitted <u>530.00</u>	File Number <u>0564089</u>
Date of Receipt <u>06/24/2020</u>	Receipt #

Business Name: 1661132 ALBERTA LTD.
 Business Details: Cannabis Cultivation (health Canada Nursery license)
 What is the current approved use? Discretionary Use of Automotive, equipment and vehicle services
 Will you be making any changes to the building and/or land? YES ☒ NO ☐
 If YES – Please describe: interior walls and electrical

1. PARKING

How many daily customer visits are anticipated? 0
 How many assigned parking spaces are there? 2
 How will overflow of parking be managed? N/A

2. EMPLOYEES

How many people are employed by the business? 2 Full Time: 2 Part Time: 0

3. OPERATION

Total area of business: 1000 (sq. ft. / sq. m)
 What are your days and hours of operation? Days: SUN to SAT Hours: 8am to 4:30pm

4. STORAGE AND SIGNAGE

Is outside storage required? YES ☐ NO ☒ If YES – Total outside storage area _____ (sq. ft. / sq. m)
 Will any sign(s) be required? YES ☐ NO ☒
 If YES – Number of sign(s) required: _____ Type of sign(s) required: _____

5. ADDITIONAL INFORMATION

☒ Site Plan ☐ Sign Details ☒ Cover Letter

Signature of Applicant: [Signature] Date: 24-JUN-20

Berking Industries Ltd.
5930 170 Ave SW
Calgary, AB
T2Y 0N8

June 23, 2020

Rocky View County
262075 Rocky View Point
Rocky View County, AB
T4A 0X2

RE: Land Use Change – Chris Mayerson

To the Development and Planning Approvals Authority:

As the registered owner of the property listed below, I hereby acknowledge that Chris Mayerson wishes to operate a cannabis cultivation business in one of the commercial bays we are offering for lease (Bay H).

Currently, the land is designated General Business District B-2. However, this type of business would require a land use change from the Discretionary Use of Automotive, Equipment and Vehicle Services to Cannabis Cultivation and/or Cannabis Facility.

Municipal Address: 250019 MOUNTAIN VIEW TRAIL, Calgary AB
Roll: 05704069
Legal Address: Lot 12; Block R; Plan 0310163

Please contact me should you require further information. Thank you kindly.

Sincerely,


Dale Berkan
President
Berking Industries Ltd
403-813-8661



Berking Industries Ltd.
5930 170 Ave SW, Calgary AB T2Y 0N8
403-813-8661
berkingindustries@gmail.com

Sangeeta Vishwakarma

From: Chris Mayerson [REDACTED]
Sent: July 8, 2020 7:52 PM
To: Sangeeta Vishwakarma
Subject: [EXTERNAL] - Re: PRDP20201670 Application

Do not open links or attachments unless sender and content are known.

Hello Sangeeta,

As per my voicemail, please find the following information:

1. I have reached out to the building owner, Dale Berkan, requesting a higher resolution PDF floor plan and to confirm the dimensions of the unit. As soon as I receive this information I will be sure to forward it to you.
2. With regards to the use of the space, it is my intention to not make any physical alterations to the interior space. The class of license that I will be applying for under the Cannabis Act is a "Nursery Licence" and only allows for 50 square meters (~500 sq ft) of flowering canopy for seed production. Because this type of license requires such a relatively small footprint, I feel that it is most cost effective to bring in self contained units (shipping containers) rather than build interior partition walls and modify the structure. I have successfully used this approach on Oahu, Hawaii for a state-licensed medical cannabis production facility. I feel that it is important to note that many of the challenges faced with indoor cannabis cultivation will not be present in my proposed operation simply because I am only producing live plants (clones) and seeds, not finished flower (bud). For example, the use of high intensity lighting will not be required, so the electrical loads and HVAC requirements typically seen with large scale indoor cultivation will simply not be an issue. If you and or your colleagues have any questions about my proposed use of the space and this specific licensing class, please be sure to let me know.
3. Please accept this as confirmation that my proposed business falls under CANNABIS FACILITY. It is important to note that I understand that this classification does not include Cannabis Retail Store and that the only sales that would occur from the premise are regulated and approved under the Cannabis Act and are only to Provincial distributors (e.g., AGLC). Also important to note is that I will be conducting some of, but not all of the permitted activities. Specifically, I will not be testing cannabis on-site, that will be done by an independent third-party Health Canada accredited laboratory in Edmonton, AB.

Should you have any questions or require anything further, please be sure to let me know as soon as possible.

Thank you for your time and consideration, it is greatly appreciated.

Have a wonderful evening.

Kind Regards,

Chris Mayerson
[REDACTED]

JUNE 24, 2020

CHRIS MATHERSON



TO WHOM IT MAY CONCERN,

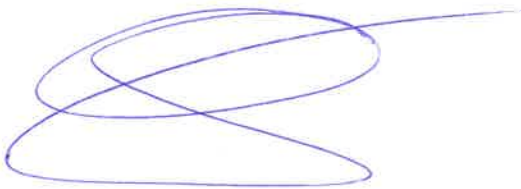
PLEASE ACCEPT THIS COVER LETTER AS PART OF MY APPLICATION FOR A CHANGE OF USE FROM DISCRETIONARY USE OF AUTOMOTIVE, EQUIPMENT AND VEHICLE SERVICES TO:
DISCRETIONARY USE CANNABIS CULTIVATION.

THE NATURE OF MY BUSINESS FALLS UNDER HEALTH CANADA'S LICENSING CLASS OF: NURSERY, UNDER THE FEDERAL CANNABIS ACT. THIS TYPE OF LICENCE ALLOWS FOR THE PRODUCTION OF SEEDS AND LIVE PLANTS. AS SUCH THERE IS LITTLE RISK TO THE PUBLIC ESPECIALLY WITH REGARDS TO THEFT AND OR DIVERSION. I HAVE AN EXTENSIVE BACKGROUND IN THE FIELD OF MEDICAL CANNABIS PRODUCTION AS I AM ONE OF THE CO-FOUNDERS OF AURORA CANNABIS. ALSO, I CURRENTLY POSSESS AN RCMP SECURITY CLEARANCE, VALID UNTIL THE END OF JUNE 2021

SHOULD YOU HAVE ANY QUESTIONS
OR REQUIRE ANYTHING FURTHER
PLEASE BE SURE TO LET ME KNOW
AS SOON AS POSSIBLE.

THANK YOU IN ADVANCE FOR YOUR
TIME AND CONSIDERATION, IT IS
GREATLY APPRECIATED.

KIND REGARDS,

A handwritten signature in blue ink, consisting of a stylized, overlapping loop structure that resembles a cursive 'C' or 'M'.

CHRIS MATHERSON



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0029 757 911 0310163;R;12 151 317 490

LEGAL DESCRIPTION
PLAN 0310163
BLOCK R
LOT 12
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 0.809 HECTARES (2 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5;3;25;4;SE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 061 031 576

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION

151 317 490	04/12/2015	TRANSFER OF LAND	\$1,100,000	\$1,100,000

OWNERS

BERKING INDUSTRIES LTD.
OF 1900 520 3 AVE SW
CALGARY
ALBERTA T2P 0R3

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION		
NUMBER	DATE (D/M/Y)	PARTICULARS

2205LB .	22/07/1971	RESTRICTIVE COVENANT
761 141 577	17/11/1976	ZONING REGULATIONS SUBJECT TO SPRINGBANK AIRPORT ZONING REGULATIONS
011 223 237	07/08/2001	EASEMENT OVER AND FOR BENEFIT OF: SEE INSTRUMENT AS TO PLAN 0112101 PORTIONS DESCRIBED

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

151 317 490

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
--------	--------------	-------------

031 023 016	20/01/2003	CAVEAT RE : DEFERRED SERVICES AGREEMENT CAVEATOR - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. 911-32 AVE NE CALGARY ALBERTA T2E6X6
031 023 018	20/01/2003	CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. 911-32 AVE NE CALGARY ALBERTA T2E6X6
031 023 023	20/01/2003	EASEMENT OVER AND FOR BENEFIT SEE INSTRUMENT (PORTION DESCRIBED SEE INSTRUMENT)
031 023 025	20/01/2003	UTILITY RIGHT OF WAY GRANTEE - TELUS COMMUNICATIONS INC. GRANTEE - ATCO GAS AND PIPELINES LTD. GRANTEE - AQUILA NETWORKS CANADA LTD. GRANTEE - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. GRANTEE - SHAW CABLESYSTEMS LIMITED. AS TO PORTION OR PLAN:0112101 R/W 'A'
031 023 026	20/01/2003	CAVEAT RE : RESTRICTIVE COVENANT
171 035 589	08/02/2017	CAVEAT RE : AGREEMENT CHARGING LAND , ETC. CAVEATOR - FORTISALBERTA INC. ATTN:LAND DEPARTMENT 320-17TH AVENUE SW CALGARY ALBERTA T2S2V1 AGENT - JAY BRAR ELECTRIC SERVICE AGREEMENT
171 035 599	08/02/2017	CAVEAT RE : AGREEMENT CHARGING LAND , ETC. CAVEATOR - FORTISALBERTA INC. ATTN:LAND DEPARTMENT 320-17TH AVENUE SW

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 3

151 317 490

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
--------	--------------	-------------

CALGARY
ALBERTA T2S2V1
AGENT - JAY BRAR
ELECTRIC SERVICE AGREEMENT

171 105 097 18/05/2017 UTILITY RIGHT OF WAY
GRANTEE - TELUS COMMUNICATIONS INC.

TOTAL INSTRUMENTS: 011

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 23 DAY OF MAY,
2018 AT 08:10 P.M.

ORDER NUMBER: 35155520

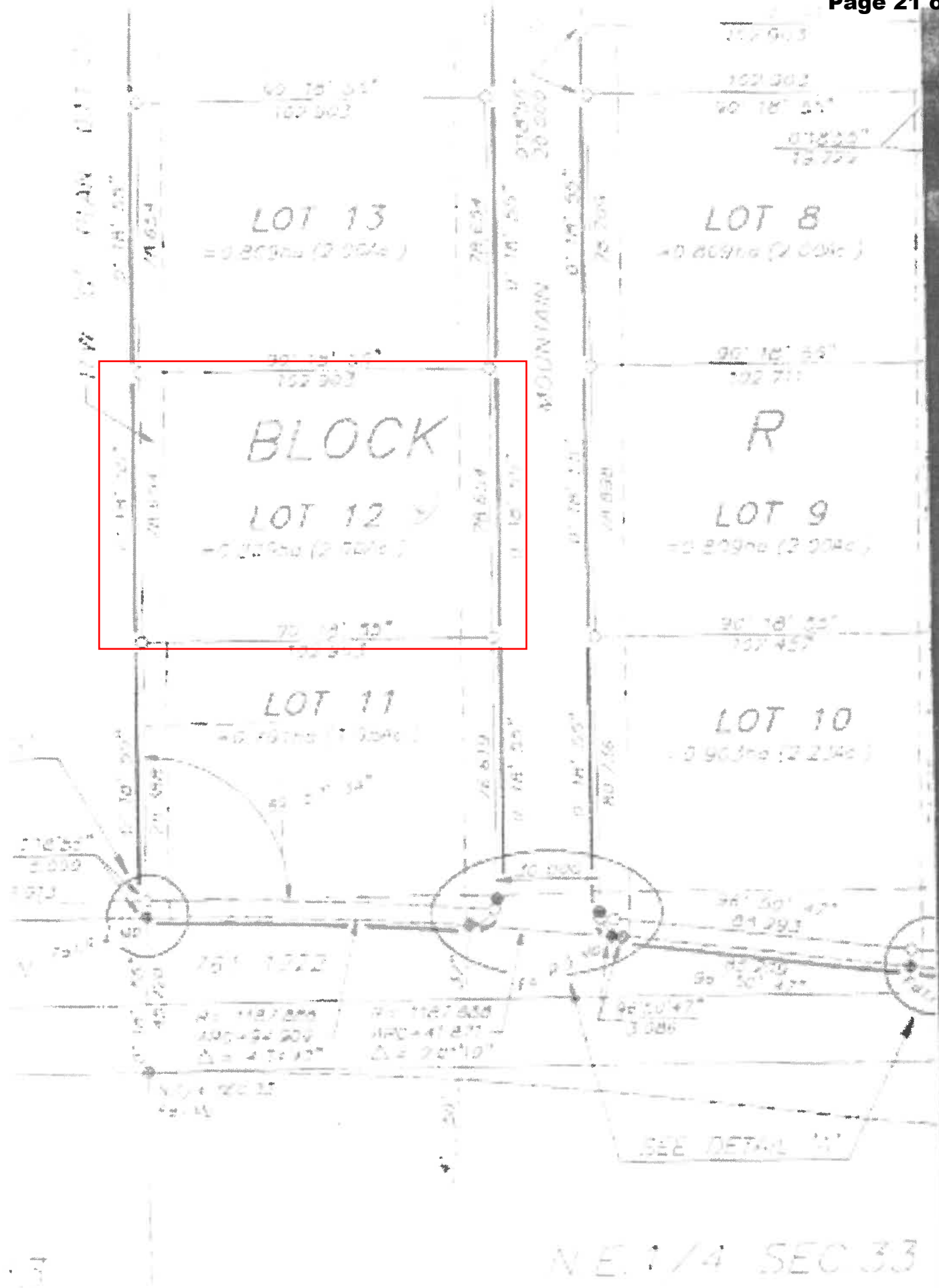
CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



RECORD OF REVISIONS:		
01	2016.03.21	2016.03.21
02	2016.04.07	DEVELOPMENT PERMIT
03	2016.08.23	ISSUED FOR REVIEW
04	2016.10.13	ISSUED FOR BP
05	2016.12.28	BP REVISION
06	2017.01.13	IFC YELLOW
07	2017.02.21	IFC ORANGE
08	2017.03.17	IFC GREEN
09	2017.05.03	BP REVISION
10	2017.05.19	IFC BLUE / BP R2

RECORD OF REVISIONS:		
01	2016.08.04	SITE SETBACK

ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE ABC, NBC, ELECTRICAL AND PLUMBING CODES

ALL WORK SHALL BE PERFORMED IN A PROFESSIONAL AND WORKMANLIKE MANNER

ALL MATERIALS SHALL BE HANDLED AND STORED TO PREVENT DAMAGE

VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUM. REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION

DIMENSIONS PROVIDED ARE RELATIVE TO FACE OF STUD OR FACE OF CONCRETE

EACH SUCCESSIVE SUBSTRATE IS REQUIRED TO CONFIRM THE LOCATION OF REFERENCE POINTS FOR LOCATING NEW WORK WITH THE WALLS / WORK ALREADY IN PLACE

ALL DESIGNS AND DRAWINGS REMAIN THE PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED WITHOUT PERMISSION OF THE DESIGNER

DO NOT SCALE DRAWINGS

THIS DRAWING SUPERCEDES PREVIOUS ISSUES

Todd Jackson Architecture Inc

200 524 17TH AVENUE SW
CALGARY AB
T2S 0S2

tel 403 520 8018
fax 403 276 5146

PROJECT:

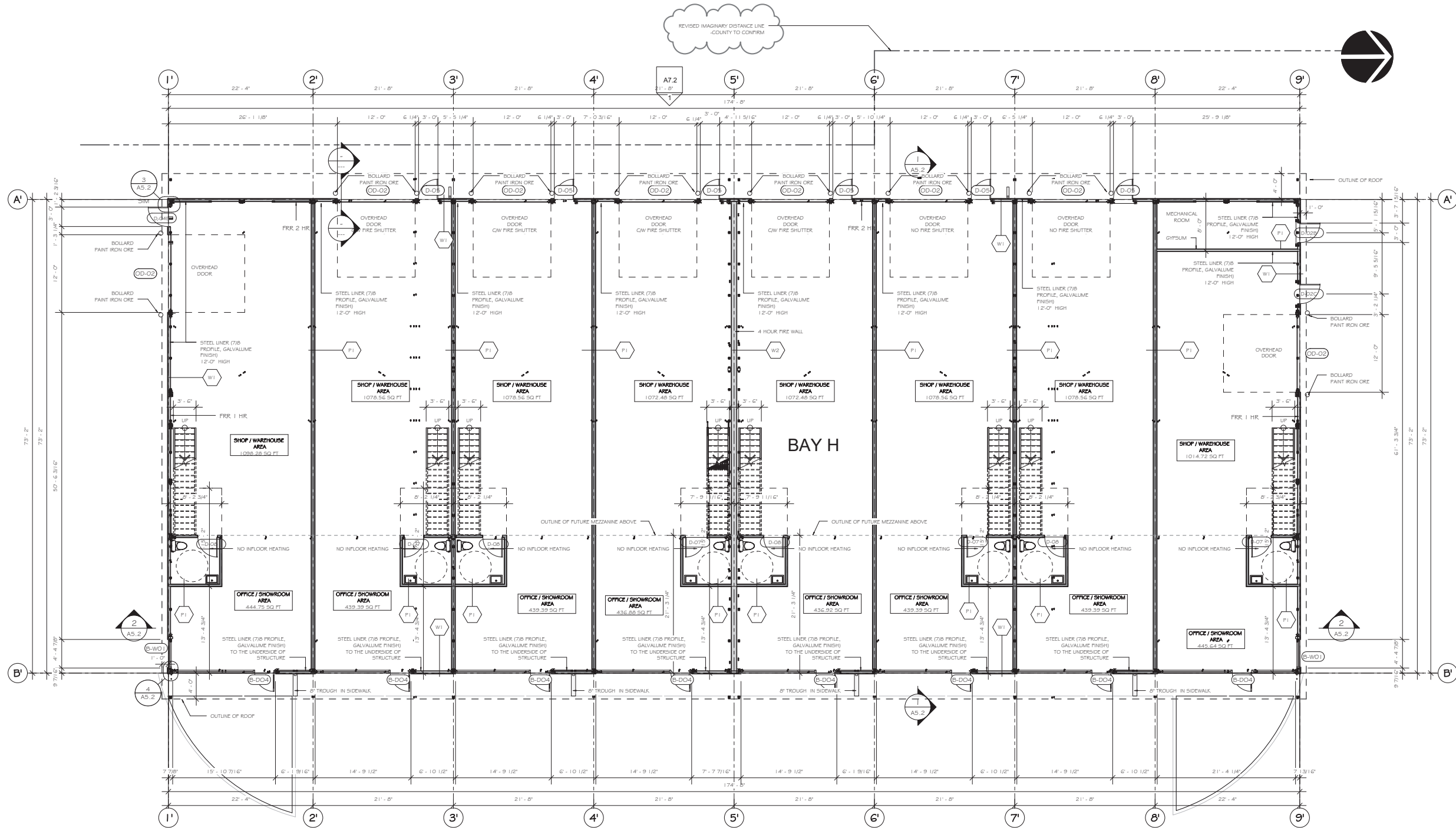
BERKING INDUSTRIES LTD.

250019 MOUNTAIN VIEW TRAIL
CALGARY, AB

DRAWING DESCRIPTION:

MAIN FLOOR PLAN BUILDINGS 5-6

PLOT SCALE:	AS NOTED	DRAWING NO.:
PROJECT NO.:	2016-04	A2.5
CHECKED BY:	TJ	
DRAWN BY:	CS/AR	PLOT DATE: 2017.05.19



BUILDING 5
BUILDING AREA = 593.63 SQ.M
FLOOR AREA = 583.29 SQ.M
PROPOSED MEZZANINE = 166.27 SQ.M

MAIN FLOOR PLAN BUILDING 5-6
1/8" = 1'-0"

BUILDING 6
BUILDING AREA = 593.63 SQ.M
FLOOR AREA = 583.29 SQ.M
PROPOSED MEZZANINE = 166.27 SQ.M



PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
SUBJECT: Development Item: Accessory Building
USE: Permitted use, with Variances

DATE: September 3, 2020
APPLICATION: PRDP20201968

APPLICATION: construction of an addition to an accessory building (existing barn), relaxation of the maximum building area, relaxation of the maximum height requirement and relaxation of the total building area for all accessory buildings.

GENERAL LOCATION: Located approximately 0.41 km (1/4 mile) north of Hwy. 1A and 1.21 km (3/4 mile) east of Rge. Rd. 35.

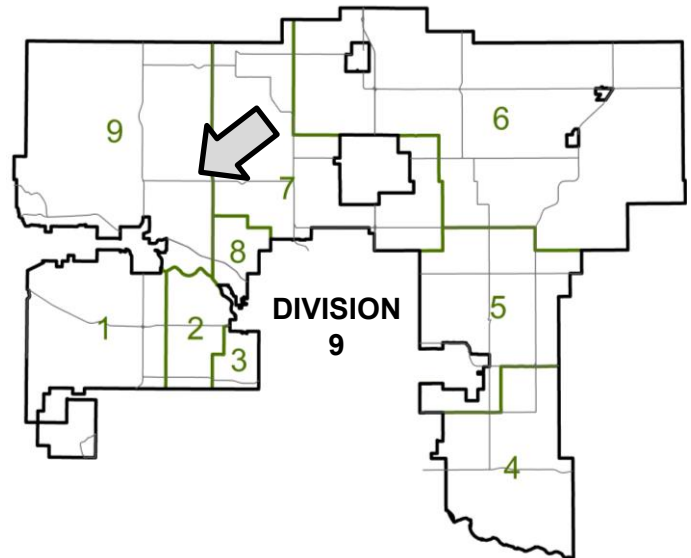
LAND USE DESIGNATION: Residential Two District (R-2)

ADMINISTRATION RECOMMENDATION:

Administration recommends Approval in accordance with Option #1.

VARIANCE SUMMARY:

Regulation	Requirement	Proposed	Variance (%)
Maximum Accessory Building Area	150.00 sq. m (1,614.59 sq. ft.)	269.59 sq. m (2,901.79 sq. ft.)	79.72%
Accessory Building Height	7.00 m (22.96 ft.)	8.50 m (27.89 ft.)	21.43%
Total Building Area for All Accessory Buildings	225.00 sq. m. (2,421.88 sq. ft.)	395.78 sq. m (4,152.50 sq. ft.)	75.90%

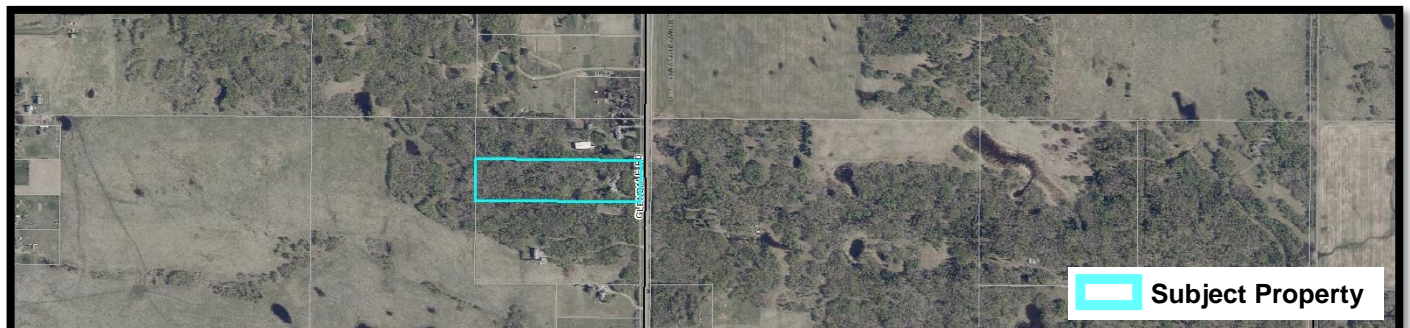


OPTIONS:

Option #1: THAT Development Permit Application PRDP20201968 be approved with the conditions noted in the report.

Option #2: THAT Development Permit Application PRDP20201968 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Wayne Van Dijk - Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: July 14, 2020	File: 06705023
Application: PRDP20201968	Applicant/Owner: Joshua Goertzen
Legal Description: NE-5-26-3-W5M	General Location: located approximately 0.41 km (1/4 mile) north of Hwy. 1A and 1.21 km (3/4 mile) east of Rge. Rd. 35.
Land Use Designation: Residential Two (R-2)	Gross Area: ±4.05 hectares (±10.01 acres)
File Manager: Wayne Van Dijk	Division: 9

PROPOSAL:

The proposal is for the construction of an addition to an accessory building (existing barn), relaxation of the maximum building area, relaxation of the maximum height requirement, and relaxation of the total building area for all accessory buildings.

The proposed accessory building will be an addition, approximately 185.78 sq. m. (1,999.72 sq. ft.) in size, that will be connected to the existing accessory building (barn). The total building area will be 269.59 sq. m (2,901.79 sq. ft.). The addition dimensions are 15.24 m x 12.19 m (49.87 ft. x 40.00 ft.) and 8.50 m (27.89 ft.) high. The building complies with the R-2 minimum setback requirements.

The addition will be used for storage and for indoor recreational activities (basketball, floor hockey, etc.), located within Residential Two (R-2) district. There are two accessory buildings (barn [83.81 sq. m {902.16 sq. ft.}] and a kennel building (125.53 sq. m {1,351.21 sq. ft.}) currently on the property, that total approximately 209.34 sq. m (2,253.37 sq. ft.).

The accessory building will require variances for the building area, the maximum height of accessory building as well as the total building area for all accessory buildings. R-2 lists the maximum height of accessory buildings as 7.00 m (22.96 ft.) and the total building area for all accessory buildings as 225.00 sq. m (2,421.88 sq. ft.).

PERMIT HISTORY:

- PRDP20200531: renewal of an indoor cat boarding facility, expires March 30, 2030;
 - Renewal applications approved as required from 1999-DP-8225
- 2010-DP-14308: construction of an accessory dwelling unit (suite within an existing accessory building);
- 1999-DP-8225: indoor cat boarding facility, expired March 30, 2000;
- 1999-DP-8226: construction of accessory building,

LAND USE BYLAW:

Section 50 R-2

50.2 Uses, Permitted

Accessory buildings less than 150.00 sq. m (1,614.59 sq. ft.) building area

50.3 Uses, Discretionary



Accessory Buildings greater than 150.00 sq. m. (1,614.59 sq. ft.) and less than 225.00 sq. m. (2,421.87 sq. ft.)

- Proposed addition is 185.78 sq. m. (1,999.72 sq. ft.).
- Total building area is 269.59 sq. m (2,901.79 sq. ft.).
- **Variance required: 119.58 sq. m (1,287.20 sq. ft.) 79.72%**

50.7 Maximum height of buildings

(b) Accessory buildings – 7.00 m (22.96 ft.)

- Proposed accessory building is 8.50 m (27.89 ft.).
- **Variance required: 1.50 m (4.92 ft.) 21.47 %**

50.9 Total building area of all accessory buildings – 225.00 sq. m (2,421.88 sq. ft.)

- Proposed total area of all accessory buildings:
 - Existing accessory buildings: 209.00 sq. m (2,253.31 sq. ft.)
 - Proposed addition: 185.78 sq. m (1,999.72 sq. ft.)
 - Total area for accessory buildings: 395.12 sq. m (4,253.03 sq. ft.)
- **Variance required: 170.11 sq. m (1,831.15 sq. ft.) 71.45%**

50.10 Maximum number of accessory buildings – 3

- The proposed accessory building will bring total accessory buildings to 3.

Assessment Rationale:

- The requested variances are not deemed to be excessive;
- The accessory building is located in an area that is heavily treed and adequately screened from adjacent landowners;
- It is the opinion of the Development Authority that approving this variance would not unduly interfere with the amenities of the neighbourhood or materially interfere with or affect the use, enjoyment or value of neighbouring parcels of land.

STATUTORY PLANS:

- This property falls within the Bearspaw Area Structure Plan. This plan does not provide any guidance for applications such as these. This application was assessed in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:

- Property well kept and tidy,
- Well screened,
- Area of proposed accessory building is well treed and sufficiently screened from adjacent landowners,
- No concerns at time of inspection.

CIRCULATIONS:

Utility Services

- No concerns

Transportation Services

- Transportation Services has the following recommendations/advisories/comments regarding this application:
 - Applicant to contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.

Development Compliance

- No comments

Building Services

- No concerns with addition, subject to BP. Must follow our “Accessory Building” checklist.
- The addition will require engineering to tie into the existing barn.

No other comments received at time of report writing

OPTIONS:

Option 1: (this would allow the proposed development)

APPROVAL, subject to the following conditions:

Description:

1. That construction of an addition to an accessory building (existing barn), approximately **185.78 sq. m (1,999.72 sq. ft.)** in area, may commence on the subject land in general accordance with the drawings submitted with application.
 - i. That the maximum building area for the accessory building (barn/garage) is relaxed from **150.00 sq. m (1,614.59 sq. ft.) to 269.59 sq. m (2,901.79 sq. ft.)**.
 - ii. That the total building area for all accessory buildings is relaxed from **225.00 sq. m (2,421.88 sq. ft.) to 395.12 sq. m (4,253.03 sq. ft.)**.
 - iii. That the maximum height requirement for the proposed garage is relaxed from **7.00 m (22.96 ft.) to 8.50 m (27.89 ft.)**.

Permanent:

2. That the accessory building shall not be used for residential occupancy or commercial purposes at any time.
3. That the accessory building (oversized barn/garage) shall not be used for residential occupancy at any time.
4. That there shall be no more than 1.00 m (3.28 ft.) of fill/topsoil placed adjacent to or within 15.00 m (49.21 ft.) of the proposed accessory building under construction in order to establish approved final grades unless a Development Permit has been issued for additional fill.
5. That the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions, in accordance with the Road Use Agreement Bylaw C-8065-2020.



6. That any plan, technical submission, agreement, or other matter submitted and approved as part of the Development Permit application, or submitted in response to a Prior to Issuance or Occupancy condition, shall be implemented and adhered to in perpetuity.

Advisory:

7. That during construction of the building, all construction and building materials shall be maintained on-site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
8. That during construction of the accessory building, the Applicant/Owner shall adhere to the County's Noise Bylaw (C-5772-2003) at all times.
9. That a Building Permit/Farm Building Location Permit, for the accessory building shall be obtained through Building Services, prior to any construction taking place.
10. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
11. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

Option 2: (this would not allow the proposed development)

REFUSAL, for the following reasons:

1. In the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY
Cultivating Communities

20201968

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted <u>280</u>	File Number <u>06705023</u>
Date of Receipt <u>07/14/2020</u>	Receipt # <u>262002470</u>

Name of Applicant Joshua Goertzen Email [REDACTED]
Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) _____

Mailing Address _____

Postal Code _____

Telephone (B) _____ (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

- a) All (part) of the NE $\frac{1}{4}$ Section 5 Township 26 Range 3 West of 5 Meridian
b) Being (all) parts of Lot 2 Block 1 Registered Plan Number 931 0550
c) Municipal Address 260227 Glendale Road
d) Existing Land Use Designation R2 Parcel Size 10.01 acres Division 9

2. APPLICATION FOR

OVER SIZED ACCESSORY BUILDING

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No X
b) Is the proposed parcel within 1.5 kilometres of a sour gas facility?
(Sour Gas facility means well, pipeline or plant) Yes _____ No X
c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No X
d) Does the site have direct access to a developed Municipal Road? Yes X No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I JOSHUA GOERTZEN hereby certify that X I am the registered owner
(Full Name in Block Capitals)

_____ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

Applicant's Signature

Date

[Signature]
July 13, 2020

Owner's Signature

Date

[Signature]
July 13, 2020



ROCKY VIEW COUNTY
Cultivating Communities

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date Received	Receipt #

APPLICATION FOR AN ACCESSORY BUILDING

Name of Applicant Joshua Goertzen Email [REDACTED]
 Mailing Address [REDACTED]
 Telephone (B) [REDACTED] (H) [REDACTED] Postal Code [REDACTED]
 Fax [REDACTED]

1. DETAILS OF ACCESSORY BUILDING

	Bylaw	Proposed	Smaller Option
Accessory building size maximum	225 sq m	186 sq m	112 sq m
Accessory building height	7 m	8.5 m	8.5 m
Number of existing accessory buildings on site	2	3	3
Total size of all accessory buildings	225 sq m	395 sq m	321 sq m

Description of Accessory Buildings:

- a) Building materials Wood post frame construction with metal roof and walls
 b) Exterior colour green
 c) Please include why relaxations for buildings are needed (location, storage needs, tidy property, etc.)
exceeding total area for all accessory buildings and height.
 d) Date when building permits were issued for existing buildings
unsure
 e) If no permits were issued - list age of buildings built prior to 1995

2. DESCRIBE THE USE OF THE ACCESSORY BUILDING

covered indoor recreation area and storage area

3. ADDITIONAL REQUIREMENTS

The following items must be provided in addition to your application:

- ☒ Elevation drawing(s) / floor plan(s)
☒ Site plan(s) showing all dimensions and setbacks

Signature of Applicant

Date:

July 13, 2020


5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and entry related to this Development Permit application.


Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Joshua Goertzen, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


Signature

July 13, 2020
Date

Josh and Holly Goertzen
260227 Glendale Road
Rocky View County
Alberta

July 13, 2020

Planning & Development Services Department
Rocky View County
262075 Rocky View Point
Rocky View County
Alberta

To Whom It May Concern,

We are hoping to build an accessory building on our acreage located halfway between Calgary and Cochrane to provide extra storage room for our family's recreational equipment (canoes, kayaks, bikes...etc) and to have a covered/indoor space for recreational use like basketball or floor hockey for our kids.

We require a Development Permit for a relaxation of the accessory building height restriction (Section 50.7b) of 7 meters so that the building could be used to play sports like basketball. We already have two accessory buildings, one adjacent to the main house and a barn farther to the back of the property. Together these existing buildings total 210 square meters. Right next to the barn is where we would like to add this new building.

In the included site plan and elevation drawings we have represented a larger-size option of the new building along with a smaller-size option. In order to build either the larger or smaller version we would also require a relaxation of the total allowable building area for all accessory buildings (Section 50.9) of 225 square meters. The larger option would add 186 square meters to our total accessory building area, taking it to 396 square meters. The smaller option would add 112 square meters to our total accessory building area, taking it to 322 square meters.

Depending on the outcome of our request for this Development Permit and the final cost estimates of the construction, we would hopefully proceed with either the larger or smaller building; or something in between.

We hope this makes sense, but if there are any questions please feel free to contact us.

Best Regards,
Josh and Holly Goertzen

[REDACTED]

Wayne Van Dijk

From: Josh Goertzen [REDACTED]
Sent: July 20, 2020 1:44 PM
To: Wayne Van Dijk
Subject: [EXTERNAL] - Re: Development Permit application PRDP20201968-oversized accessory building located at 260227 Glendale Road
Attachments: Proposed_Addition_elevations.jpg
Follow Up Flag: Follow up
Flag Status: Flagged

Do not open links or attachments unless sender and content are known.

Hi Wayne,

Thanks for contacting me... below are answers to your questions and attached is a new elevation sketch showing the proposed addition from all angles with a height included.

- Just confirming the larger option of approximately 2000 sq. ft. is the option you wish to proceed with? **Yes please proceed with the larger option**
- The use of the proposed structure is for storage and indoor recreation? **Yes, that is correct**
- Could you kindly forward a sketch plan with the height/elevations labelled on the drawings? **please see attached**
- From the drawings supplied, the additional building will be in addition to the existing pole barn and not replacing it? **Correct, the existing barn will remain intact**

Please let me know if you have any further questions.

Best Regards,
Josh
[REDACTED]

On Mon, Jul 20, 2020 at 11:32 AM <WVanDijk@rockyview.ca> wrote:

Josh,

As per quick phone conversation on the development permit application, PRDP20201968, for an oversized accessory building located at 260227 Glendale Road, I need to confirm a few items prior to moving forward:

- Just confirming the larger option of approximately 2000 sq. ft. is the option you wish to proceed with?
- The use of the proposed structure is for storage and indoor recreation?
- Could you kindly forward a sketch plan with the height/elevations labelled on the drawings?
- From the drawings supplied, the additional building will be in addition to the existing pole barn and not replacing it?

Thank you for your time and assistance in this matter.

If you have any questions or require any additional information, please feel free to contact me.

Cheers,

WAYNE VAN DIJK

Development Officer | Planning and Development Services

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520-6325

wvandijk@rockyview.ca | www.rockyview.ca



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0024 621 055 9310550;1;2 121 305 466

LEGAL DESCRIPTION
PLAN 9310550
BLOCK 1
LOT 2
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 4.05 HECTARES (10.01 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5;3;26;5;NE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 951 198 503

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
121 305 466	21/11/2012	TRANSFER OF LAND	\$950,000	\$950,000

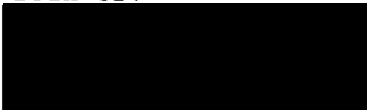
OWNERS

JOSHUA GOERTZEN

AND

HOLLY GOERTZEN

BOTH OF:



AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION	NUMBER	DATE (D/M/Y)	PARTICULARS
3106KY	.	09/03/1971	CAVEAT CAVEATOR - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44.

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
121 305 466

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

741 077 373 12/08/1974 UTILITY RIGHT OF WAY
GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY
LIMITED.

761 141 577 17/11/1976 ZONING REGULATIONS
SUBJECT TO SPRINGBANK AIRPORT ZONING REGULATIONS

901 031 406 01/02/1990 CAVEAT
RE : AGREEMENT UNDER PLANNING ACT
CAVEATOR - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO.
44.
911 - 32ND AVENUE N E
CALGARY
ALBERTA T2M4L6

931 058 243 17/03/1993 CAVEAT
RE : ACQUISITION OF LAND
CAVEATOR - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO.
44.
911 - 32ND AVENUE N E
CALGARY
ALBERTA T2M4L6
AGENT - VALERIE L SCHMALTZ

181 021 082 25/01/2018 MORTGAGE
MORTGAGEE - CONNECT FIRST CREDIT UNION LTD.
P.O. BOX 908
CALGARY
ALBERTA T2E1K4
ORIGINAL PRINCIPAL AMOUNT: \$582,589

TOTAL INSTRUMENTS: 006

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 14 DAY OF JULY,
2020 AT 02:42 P.M.

ORDER NUMBER: 39699631

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

(CONTINUED)

PAGE 3

121 305 466

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT



GLOBAL SURVEYS GROUP INC. Page 17 of 19

210, 4954 Richard Road S.W.
Calgary, Alberta T3E 6L1
Phone (403) 283-5455
E-mail: admin@theglobalgroup.ca

DESCRIPTION OF PROPERTY

Lot(s) 2
Block 1
Plan 931 0550

I, Robert M. Wallace, Alberta Land Surveyor do hereby certify that this Report and related survey, was prepared and performed under my personal supervision and in accordance with the Manual Of Standard Practice of the Alberta Land Surveyors' Association and supplements thereto. Accordingly, within those standards as of the date of this Report, I am of the opinion that:

- The Plan illustrates the boundaries of the Property, the improvements as defined in Part D, Section 7.6 of the Alberta Land Surveyors' Association's Manual of Standard Practice, registered easements and rights-of-way affecting the extent of the title to the property;
- The improvements are entirely within the boundaries of the property unless otherwise noted;
- No visible encroachments exist on the Property from any improvement situated on an adjacent property unless otherwise noted; and;
- No visible encroachments exist on registered easements or rights-of-way affecting the extent of the property, unless otherwise noted.
- Title information is based on a title search dated April 16th A.D. 2007 C.of T. No. 951 198 503
- Date of Survey November 22nd, 2007
- Unless otherwise specified the dimensions shown relate to distances from Property boundaries to foundation walls at time of survey.
- Distances are in metres and decimals thereof.
- This document is not valid unless it bears an original signature (in blue ink) and a red Global Surveys Group permit stamp.
- Purpose:** This Report has been prepared for the benefit of the Property owner, subsequent owners and any of their agents for the purpose of a real estate transaction. Copying is permitted only for the benefit of these parties. Where applicable, registered easements and utility rights of way affecting the extent of the property have been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report. The plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user. The information on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.

- Property is subject to Caveat Reg. No. 3106 KY.
- Property is subject to Utility Right-Of-Way Reg. No. 741 077 373.
- The buildings constructed on the lands described above have been constructed within the height restrictions and in accordance with the requirements set forth in the Springbank Airport Zoning Regulations registered against the title as 761 141 577.
- Property is subject to Caveat Reg. No. 901 031 406.
Re: Agreement under Planning Act
- Property is subject to Caveat Reg. No. 931 058 243.
Re: Acquisition of Land

Dated this 23rd day of November A.D. 2007.

MUNICIPAL ADDRESS:

260227 Glendale Road
M.D. of Rocky View No. 44, Alberta

Robert M. Wallace, A.L.S.

CLIENT: Ted Bain

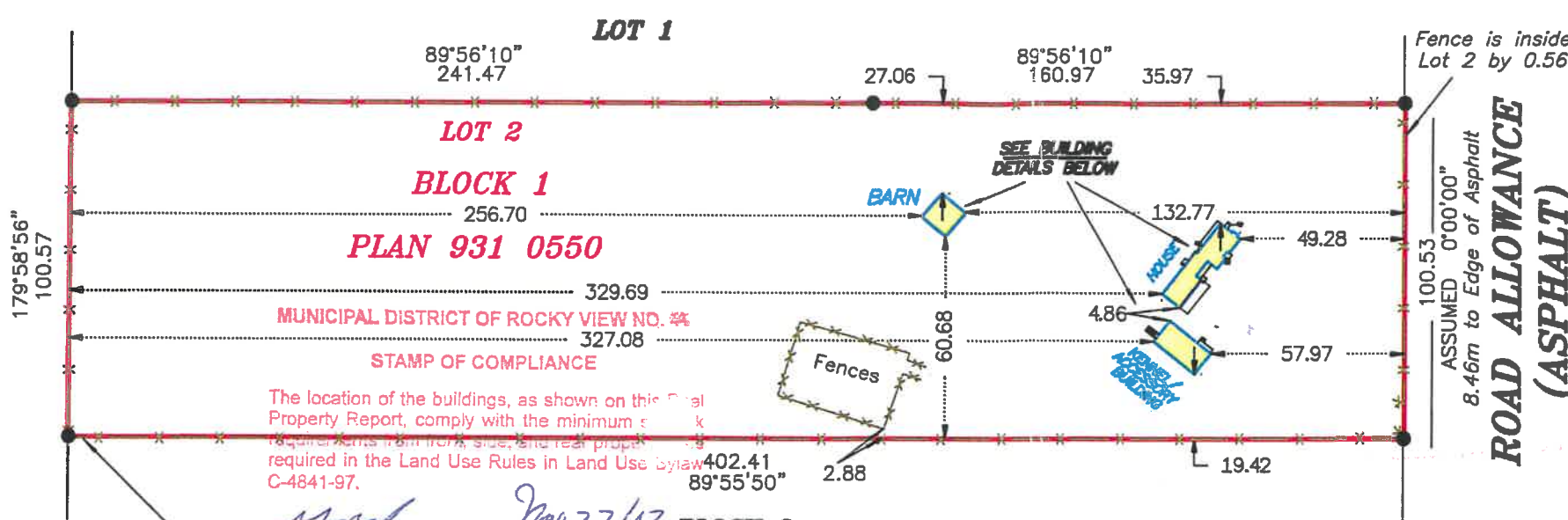
FILE NO.

Drawn by: P. Tremblay/SG

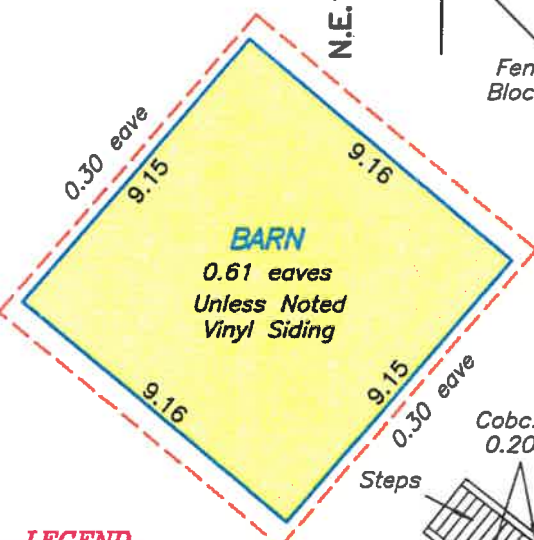
SCALE 1: 2000

G.S.G. FILE NO. 07R041333

N.E.1/4 Sec.5, Twp.26, Rge.3, W. 5 M.



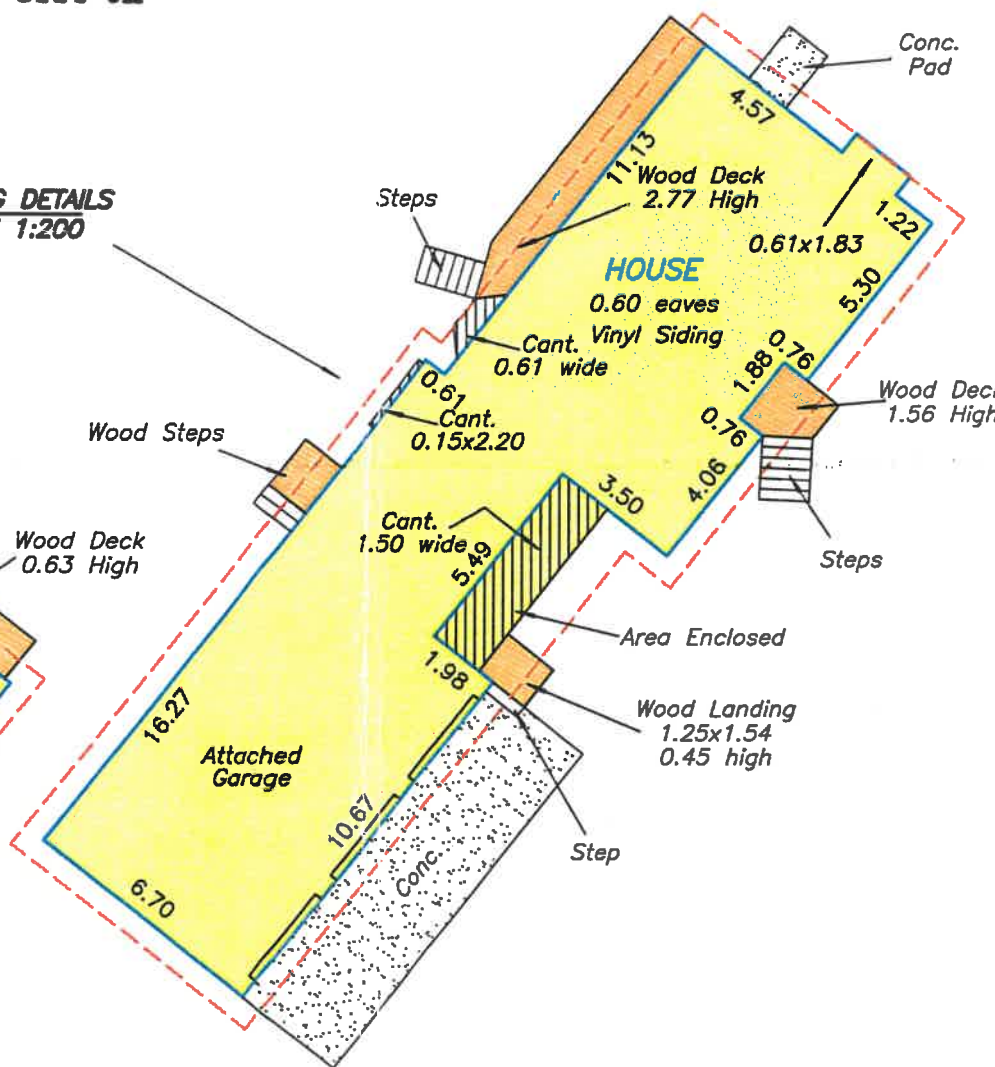
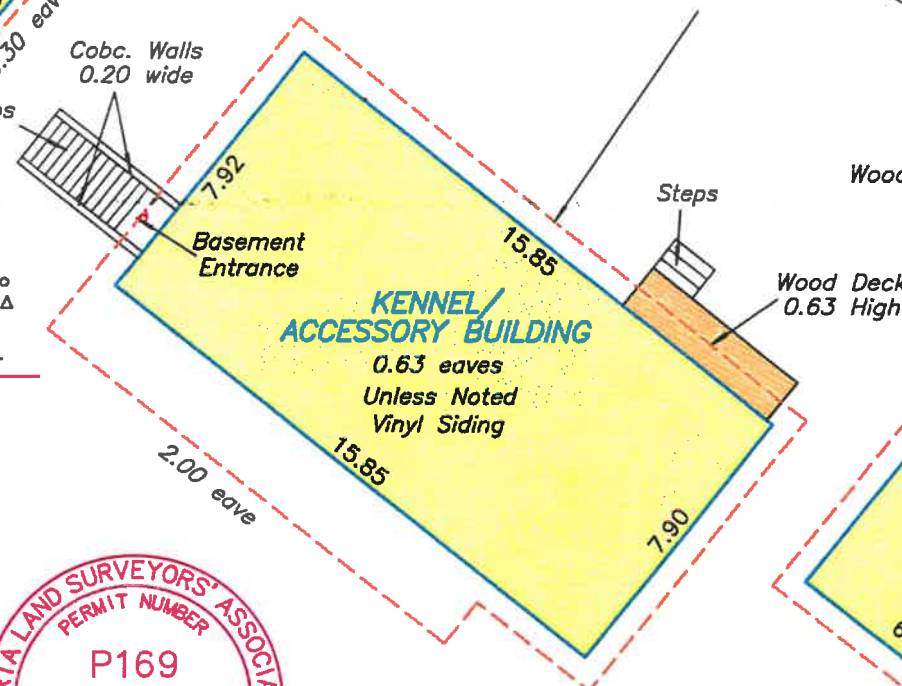
Fence is inside Block 2 by 0.25
Development Officer
Date Nov. 27/07
BLOCK 2
PLAN 8114 JK



LEGEND
ABBREVIATIONS AND SYMBOLS THAT MAY APPEAR ON THIS PLAN.
Drill Hole found shown thus ...
Iron Bar found shown thus ...
Statutory Iron Post found shown thus ...
Delta (Central) angle of arc shown thus ...
Eave Fascia are shown thus ...
Fences are shown thus ...
Line not to scale shown thus ...
Utility Rights-Of-Way are shown thus ...
Building foundation shown thus ...
Property line shown thus ...
A denotes length of arc
Blk. denotes Block
Cant. denotes cantilever
Conc. denotes concrete
E. denotes east
Fd. denotes found
G.L. denotes ground level
m denotes metres
Mk. denotes mark
M.A. denotes Maintenance Access
Mks. denotes marks
N. denotes north
O.D. denotes Overland Drainage
R denotes radius of arc
Reg. No. denotes registration number
Ret. Wall denotes retaining wall
R.W. denotes Right-Of-Way
S. denotes south
U. denotes Utility
W. denotes west
Fences are within 0.20m of property line unless otherwise noted
Eave dimensioned to Fascia



BUILDING DETAILS
SCALE 1:200



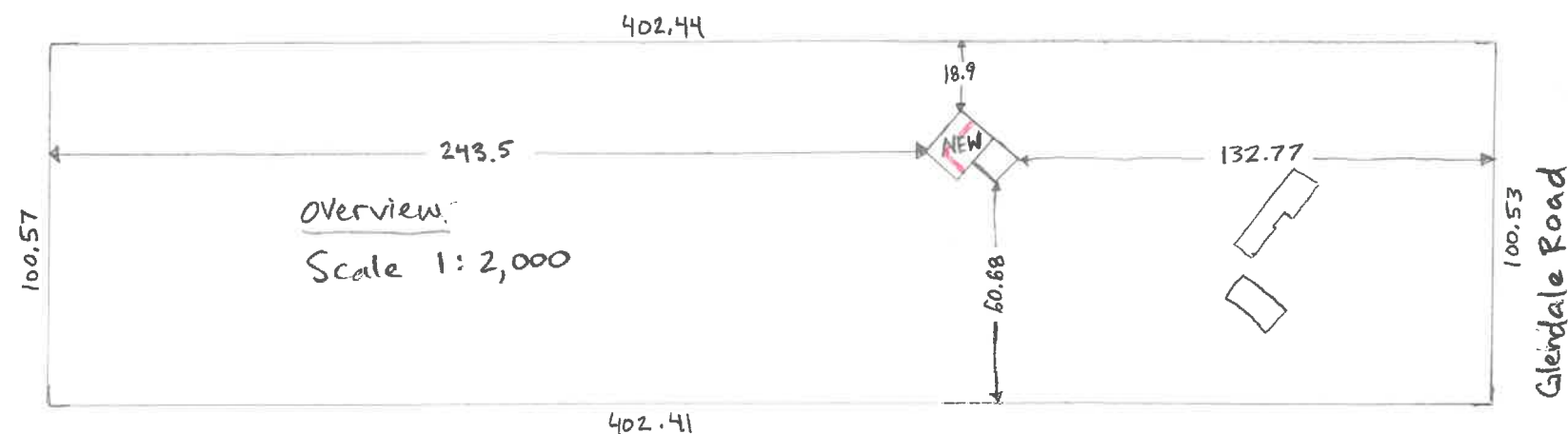
Description of Property:

LOT 2

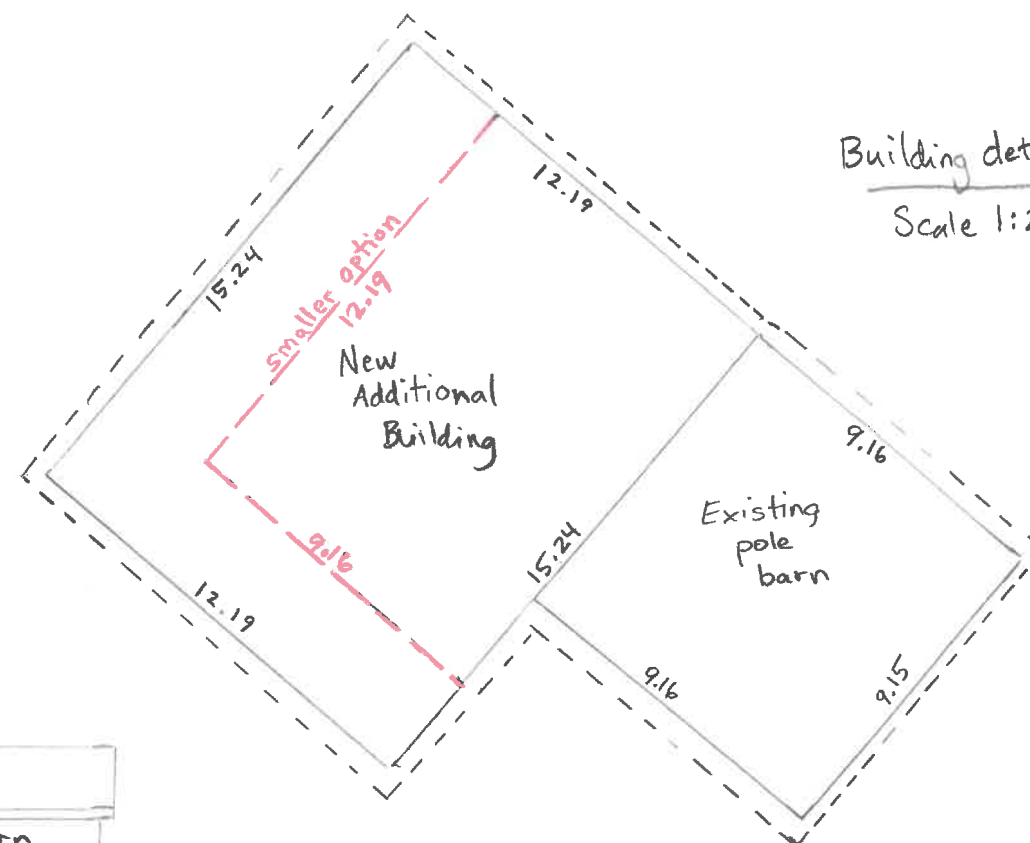
BLOCK 1

PLAN 931 0550

NE 1/4 Sec 5, Twp 26, Rge 3, W5M

Municipal Address:260227 Glendale Road
MD of Rocky View County

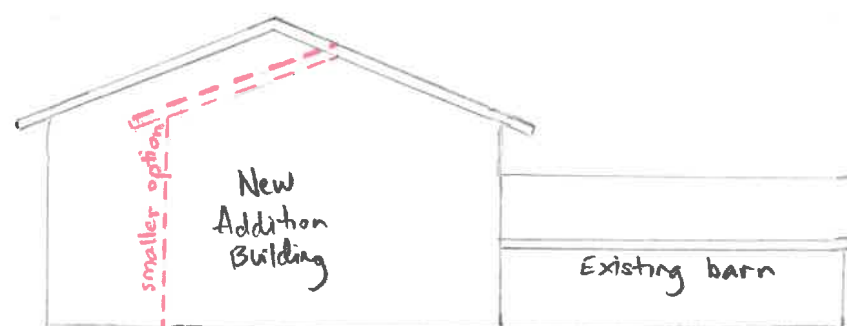
Building details
Scale 1:200



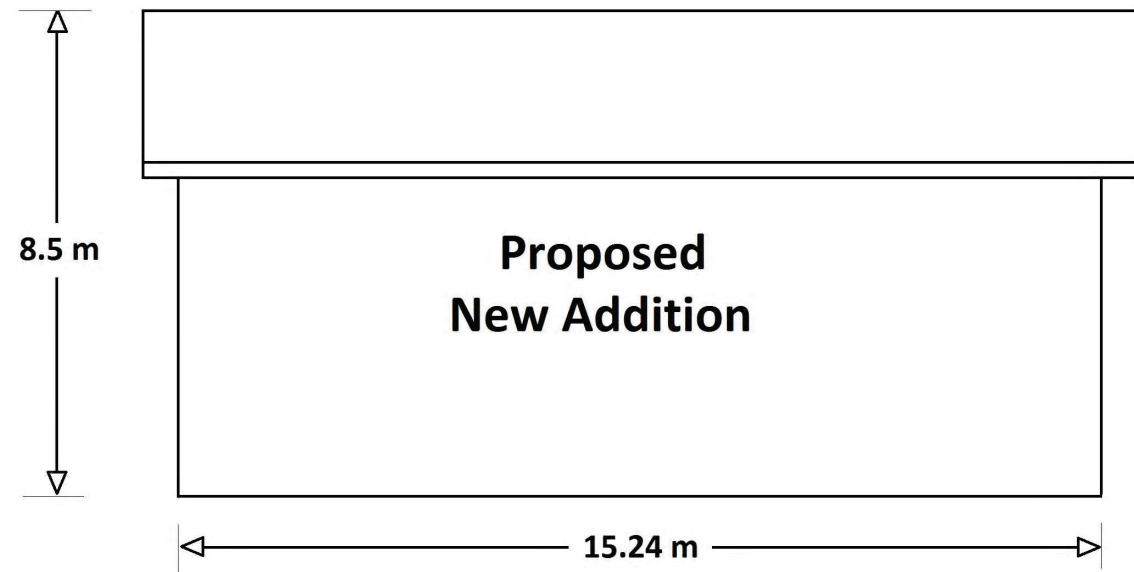
Front Elevation



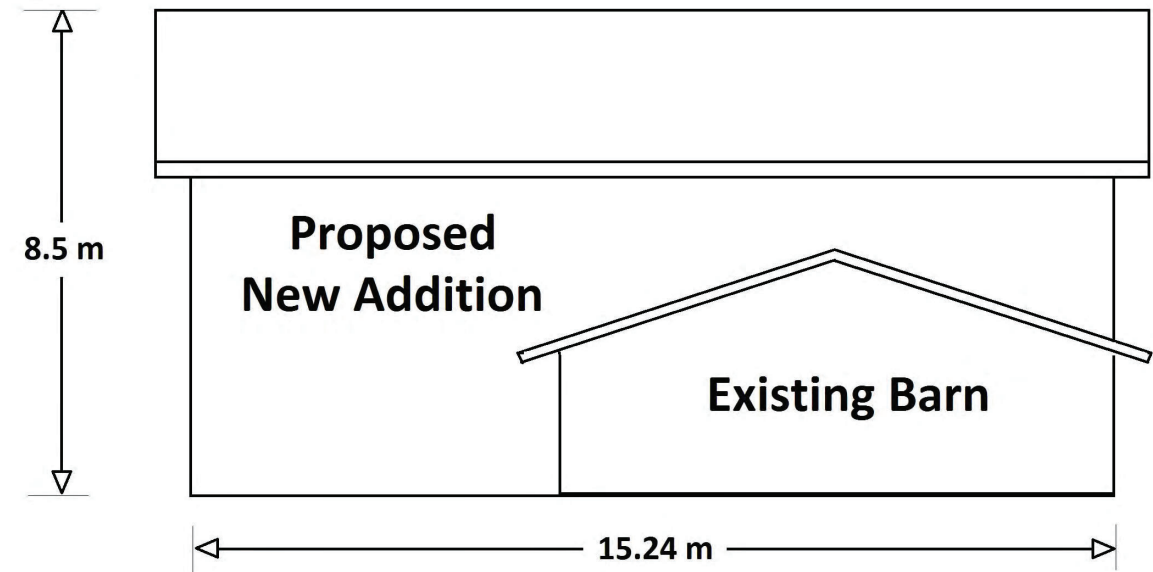
Side Elevation



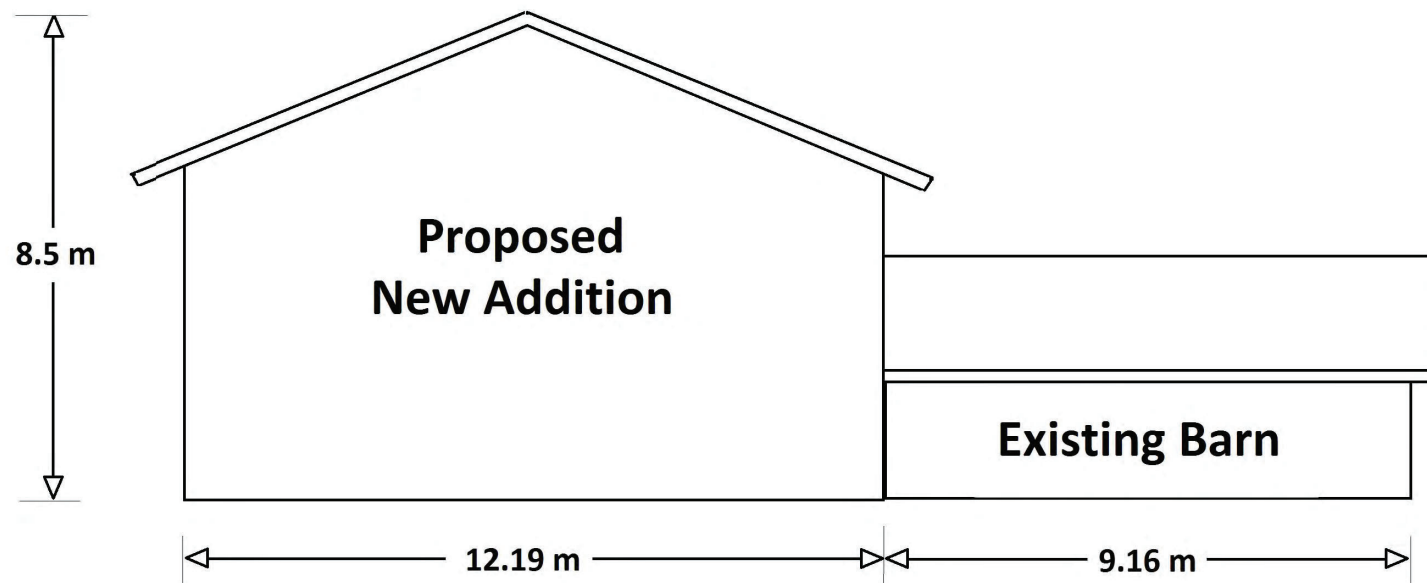
LEFT ELEVATION



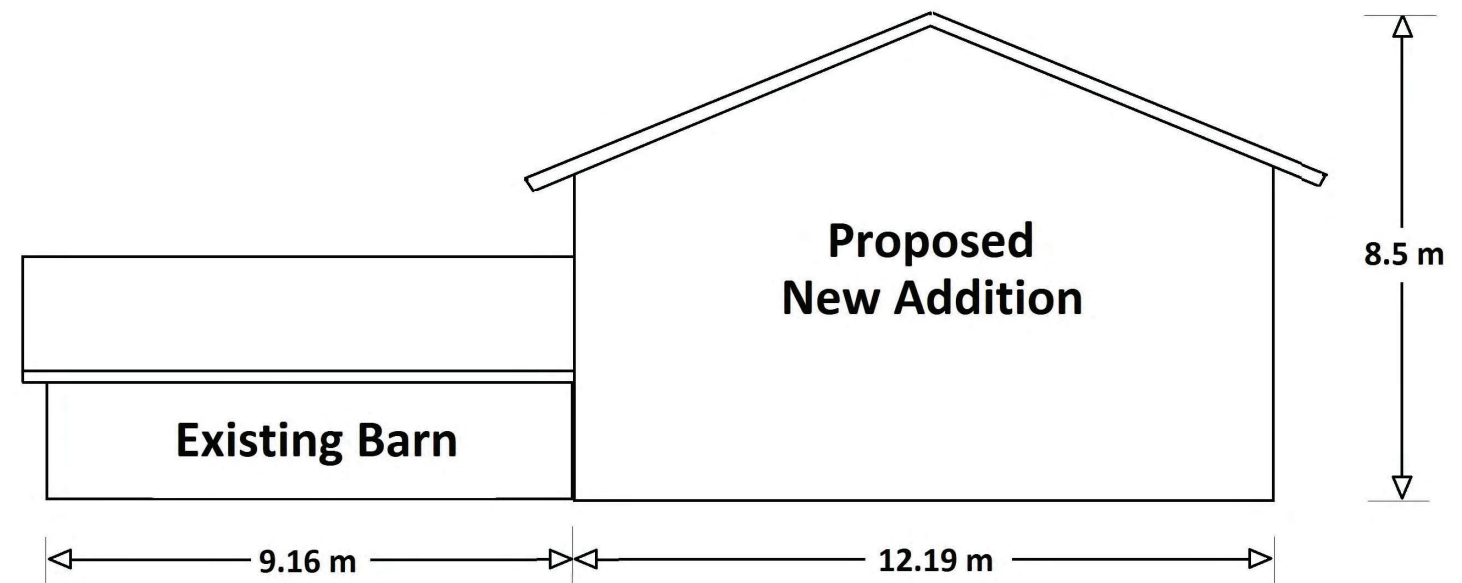
RIGHT ELEVATION



FRONT ELEVATION



REAR ELEVATION



PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: September 3, 2020

SUBJECT: Development Item: *Cannabis Cultivation*

APPLICATION: PRDP20201515

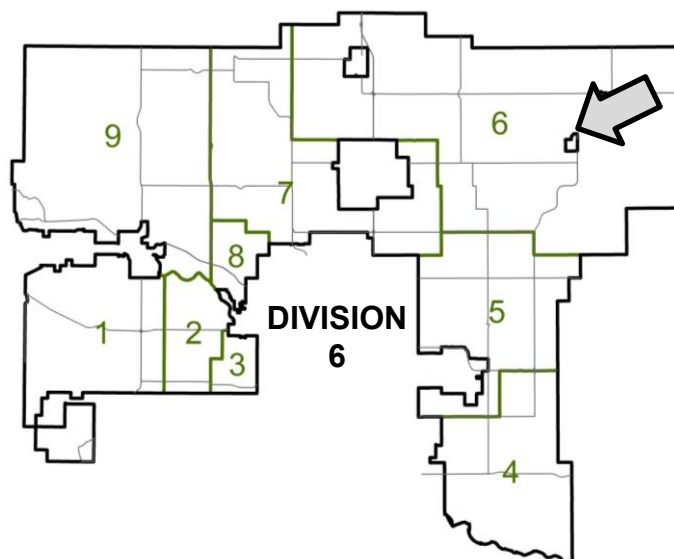
USE: Discretionary use, with Variances

APPLICATION: Cannabis Cultivation (existing building), relaxation of the maximum building area and relaxation of the minimum rear yard setback requirement

GENERAL LOCATION: Located approximately 0.81 km (1/2 mile) south of Hwy. 567 and on the west side of Rge. Rd. 264

LAND USE DESIGNATION: Farmstead (F)

ADMINISTRATION RECOMMENDATION:
Administration recommends approval in accordance with Option #1.



VARIANCE SUMMARY:

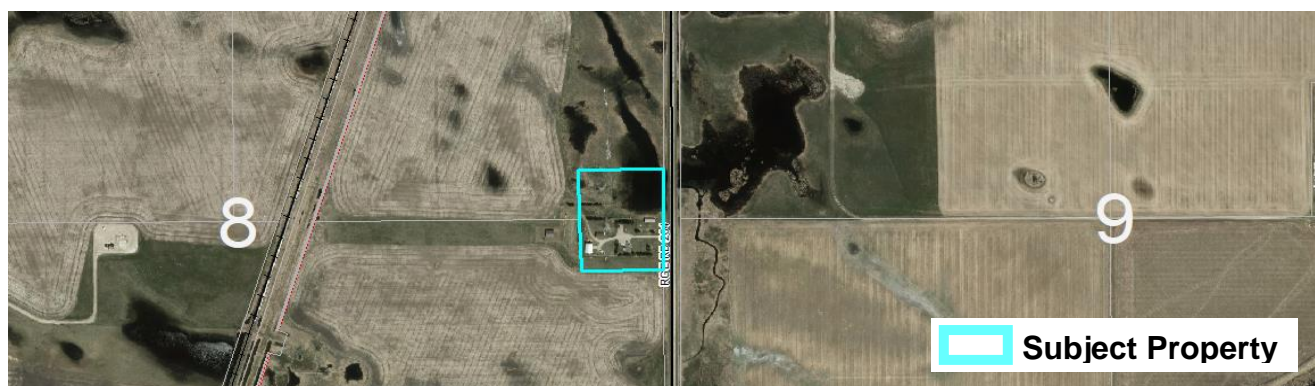
Variance	Requirement	Proposed	Percentage (%)
Rear Yard Setback	15.00 m (49.21 ft.)	7.80 m (25.59 ft.)	48.00%
Building Max Size	233.00 sq. m (2,400.35 sq. ft.)	233.41 sq. m (2,512.40 sq. ft.)	0.18%

OPTIONS:

Option #1: THAT Development Permit Application PRDP20201515 be approved with the development conditions noted in the report.

Option #2: THAT Development Permit Application PRDP20201515 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Christina Lombardo - Planning and Development Services



DEVELOPMENT PERMIT REPORT

Application Date: September 3, 2020	File: 07108004
Application: PRDP20201515	Applicant/Owner: Brandon Emery / Murray & Adeline Poffenroth
Legal Description: Lot 1, Block 1, Plan 1410073, E-08-27-26-04	General Location: Located approximately 0.81 km (1/2 mile) south of Hwy. 567 and on the west side of Rge. Rd. 264
Land Use Designation: Farmstead District (F)	Gross Area: ± 3.24 hectares (± 8.01 acres)
File Manager: Christina Lombardo	Division: 6

PROPOSAL:

The proposal is for Cannabis Cultivation (existing accessory building), relaxation of the maximum building area and relaxation of the rear yard setback requirement.

The site is developed with a dwelling, single detached (that is occupied by an owner of the Cannabis business) and multiple accessory buildings. The proposed development will be located within an existing building (Garage). The Garage is 233.41 sq. m (2,512.40.00 sq. ft.) in area.

Business Details

- Business name: Stigma & Stamen
- Business details: Garage (Accessory Building) for cannabis cultivation

The garage will include approximately 10 parking spaces on the east side of the garage. Two employees (master grower & bud tender) will attend the property from Monday to Friday, 8:30am to 4:30pm. There will be no outside storage as all products are harvested inside. No signage or industrial lighting is proposed.

Land Use Bylaw C-4841-97

SECTION 8 Definitions

CANNABIS CULTIVATION means the growing and harvesting of cannabis as licensed by Health Canada.

The application proposal is in line with the County's definition of Cannabis Cultivation and appears that the activities are in line with the Cannabis Regulations SOR/2018-144 identified below, for micro-cultivation and standard cultivation licenses through Health Canada.

1. Authorized activities include:
 - i. Possession of cannabis;
 - ii. Obtainment of dried cannabis, fresh cannabis, cannabis plant seeds by cultivating, propagating, and harvesting cannabis; and
 - iii. Selling of cannabis.



2. Ancillary uses are authorized to the extent necessary to conduct the activity, including drying, trimming, and milling cannabis.
3. A surface area not exceeding 200.00 sq. m must be clearly delineated, and all cannabis plants, including all the parts of the plants, must be contained and must be cultivated, propagated or harvested only from that surface area;
 - i. In the circumstance that the surface area consists of multiple surfaces, all must be included towards the total surface area.

SECTION 19 Applicability

19.1 Within each Section of Part 3: General Regulations, the regulations under the sub-heading of “Business Development” shall apply to the following land use districts: C-PT, C-VC, C-LC, C-RC, B-HF, B-BC, B-IC, I-IA, I-S, B-RD, B-LR, B-AS, C-SC.

- Farmstead is not one of the land use districts identified within Section 19.1; therefore, any regulations specified as “business development” will not be applied to the development.

SECTION 20 GENERAL DEVELOPMENT REGULATIONS

20.9 CANNABIS CULTIVATION AND CANNABIS FACILITY

- a) *Cannabis Cultivation and/or Cannabis Facility shall not occur in a building where a residential use is located.*
 - The existing accessory building does not contain a residential use.
- b) *A Health Care Site for the purposes of Section 20.9 of this Bylaw means the lot(s) or parcel(s) on which a Health Care Practice or Health Care Services is situated.*
 - The parcel does not contain a Health Care Practice or Health Care Service, so it is therefore not applicable.
- c) *A School Site for the purposes of Section 20.9 of this Bylaw means the lot(s) or parcel(s) on which a School, public or separate, a School, private, or a Child Care Facility is situated.*
- d) *The minimum separation distance between Cannabis Cultivation and/or Cannabis Facility and other uses shall be established by measuring the shortest distance between the Cannabis Cultivation and/or Cannabis Facility building or field and the other building. If the requirement states a minimum distance to a site, then the distance shall be established by measuring the shortest distance between the Cannabis Cultivation and/or Cannabis Facility building or field and the other site.*
- e) *In the B-2, I-IA, and B-AS districts, Cannabis Cultivation and/or Cannabis Facility must be located:*
 - i) *At least 75 m from a residential site.*
 - Not applicable – the property is designated as Farmstead.
- f) *In all other districts, Cannabis Cultivation and/or Cannabis Facility must be located:*
 - i) *At least 150 m from a Health Care Site or School Site;*
 - There are no Health Care Sites or School Sites within 150.00 m from the proposal.



- The nearest school site would be in Irricana or Keoma, which are both greater than 1.0 mile from the site
- ii) *At least 100 m from a site that is designated as a school reserve on title;*
 - There are no lands designated as a school reserve within 100.00 m from the proposal.
- iii) *At least 100 m from a residential site.*
 - The closest residential site is to the north of the proposed development; measuring from the subject building to the nearest dwelling, the distance is approximately 562.00 m away.

Note, there is a dwelling located on the subject site, that is 60.96 m from the accessory building to dwelling. The dwelling is occupied by an owner of the business. When interpreting the regulation, the Development Authority is of the interpretation that the Applicant assumes all responsibility for any impact on the subject site and all regulations are applicable for adjacent properties.
- g) *A Development Permit for Cannabis Cultivation and/or Cannabis Facility shall be limited, and the term of the Development Permit shall not exceed three years.*
 - Noted as a condition of the development permit.

SECTION 26 *Landscaping, Screening and Outdoor Display Areas*

- 26.1 *The Development Authority may prescribe or approve screening for uses which involve the outdoor storage of goods, machinery, vehicles, motor, building materials, waste materials, and other similar uses, or where other landscaping and screening requirements would be appropriate as determined by the Development Authority.*
- Not applicable – outdoor storage is not included in the application, business activity is occurring indoors only.
- 26.2 *The Development Authority, when considering a Development Permit application, may impose conditions requiring the use and maintenance of landscaping, berms, fencing, vegetation, or other screening of a location, length, thickness, type, height, and extent that is considered necessary to buffer the proposed development from adjacent or neighbouring land uses.*
- The development is to be located on an agricultural parcel. It is also located in a predominately agricultural area. Requesting additional landscaping, by way of trees and/or berming, to act as a buffer for adjacent properties, would not fit the existing context of the area and detract from the rural character. The development is also being proposed for indoor activities only, making it less discernible to neighbouring lands.

SECTION 27 *Lighting of Sites/Developments*

- 27.1 *All outdoor lighting for any development shall be located and arranged so that no direct rays of light are directed at any adjoining properties, interfere with the use and enjoyment of neighbouring lands, or interfere with the effectiveness of any traffic control devices or the vision/safety of motorists.*
- The Applicant has not identified any lighting for the subject site. Any proposed lighting shall be dark-sky compliant with the County regulations.



SECTION 35 SIGN REGULATIONS

35.1 *In considering a Development Permit application for signs, or advertising material, the Development Authority may consider such factors as:*

- a) *location of the proposed signage;*
- b) *distance from roadway;*
- c) *size;*
- d) *height;*
- e) *method of illumination;*
- f) *such other considerations as the Development Authority may deem to be relevant.*

- The application form indicates no signage is being requested.

SECTION 42 SHELTER BELTS AND FENCES

42.3 *No fence higher than 2.00 m (6.56 ft.) shall be erected in any District unless the Development Authority has determined that:*

- a) *the fence is required as part of the principal use of the site that the fence is to enclose;*
- b) *the fence would not interfere with the amenities of the neighbourhood; and*
- c) *the fence would not materially interfere with or affect the use, enjoyment, or value of neighbouring properties.*

- A 1.83 m (6.00 ft.) chain link fence is proposed in accordance with the physical barriers required by Health Canada for security measures.

SECTION 47 Farmstead District

47.1 Purpose and Intent

The purpose of this District is to provide for a single parcel of land containing an existing Farmstead from an unsubdivided quarter section.

- The proposed development is an agricultural activity, in that it is the growing and harvesting of a plant, while the primary use of the land is being used for a residential dwelling and other agricultural activities.

47.2 Uses, Permitted

- *Accessory buildings less than 80.00 sq. m (861.11 sq. ft.) building area*

47.3 Uses, Discretionary

- *Accessory buildings in excess of 80.00 sq. m (861.00.sq. ft.) but no more than 223.0 sq. m (2,400.35 sq. ft.)*
 - The existing Garage is 233.41 sq. m (2,512.40.00 sq. ft.) in area which is a 0.18% variance to the maximum allowable size. It appears the building was built prior to 1980 and was deemed legal non-conforming in 2014 when the subdivision was completed. To bring the building into compliance for the new development proposal, the required variance is granted below.
- *Cannabis Cultivation*



47.5 Minimum Requirements

a) Yard, Front:

(i) 45.00 m (147.64 ft.) from any road, County

- Existing Garage: no concern
- Existing Dwelling: 63.24 m (207.48 ft.)
- Existing Quonset: 111.91 m (367.16 ft.)

b) Yard, Side:

(iv) 6.00 m (19.69 ft.) all other.

- Existing Garage: 148.62 m (487.60 ft.) (north side) / 38.83 m (127.36 ft.) (south side)
- Existing Dwelling: 146.67 m (481.20 ft.) (north side) / 40.12 m (131.63 ft.) (south side)
- Existing Quonset: 127.40 m (417.98 ft.) (north side) / 69.52 m (228.08 ft.) (south side)

c) Yard, Rear:

(ii) 15.00 m (49.21 ft.) all other.

- Existing Garage: **7.80 m (25.59 ft.)**
 - Existing Garage is a legal non-conforming use as of in 2014, but to bring the site into compliance for the new development proposal, this is a variance request of 48.00%
- Existing Dwelling: no concern
- Existing Quonset: 28.58 m (93.77 ft.)
- Additionally there are two minor ancillary buildings on the property that are not being utilized or impacted by this application.

Agricultural Boundary Design Guidelines

SECTION 2 When to Apply the Guidelines

The guidelines should be considered for all non-agricultural development adjacent to agricultural lands and when applying for a development permit for an intensified agricultural use.

Applicable uses include:

- *Commercial and industrial*
 - Therefore, not directly applicable

The proposal has been evaluated against the Agricultural Boundary Design Guidelines and the development does not appear to conflict with surrounding agricultural lands.

- Surrounding lands are predominately agricultural (RF & F) unsubdivided quarter sections.
- Agricultural lands in the area appear to be pasture lands and/or hay land. Impacts to these agricultural lands may include:



- Trespassing – Health Canada approval requires visual and intrusion detection to be in place in order to mitigate unauthorized access.
- Odour – Health Canada approval requires specific air ventilation to prevent escape of odour from the building.
- Aesthetics – Existing appearance of the land/buildings is being maintained; the proposed development is within the existing buildings, with no external changes.
- Traffic – There are only two employees, with some potential for additional traffic associated with import/export of products. However, Engineering has determined the proposal will not likely cause a significant increase on local networks.
- The existing building is located well away from other parcel uses.
- The proposed development is to be accessed off of an existing approach from Range Road 264; which is a paved surface.

Additional Information

Many of the components related to cannabis are regulated provincially/federally and not addressed at the municipal level, including but not limited:

- Odour – the building or part of the building must be equipped with a system that filters air to prevent the escape of odours (Cannabis Regulations SOR/2018-144 [85]).
- Site design – prevention of unauthorized access (Cannabis Regulations SOR/2018-144 [63]), visual monitoring and intrusion detection (Cannabis Regulations SOR/2018-144 [64, 65], restricted access (Cannabis Regulations SOR/2018-144 [68]) and physical barriers for the operation and storage areas (Cannabis Regulations SOR/2018-144 [69]).
- Waste – solid and liquid waste generated during production and processing is to be stored, managed and disposed of in accordance with the relevant legislation (Fact Sheet – Cannabis Waste Management, Government of Alberta).
- Sale of products – selling and distributing of products to appropriate license holders or authorized individuals (Cannabis Regulations SOR/2018-144 [5]).

STATUTORY PLANS:

This property does not fall under any approved Area Structure Plan or Intermunicipal Development Plan. The application was assessed in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS (August 18, 2020):

- Well screened from road and adjacent parcels.
- No signs of activity or construction.
- No concerns.

CIRCULATIONS:

Alberta Health Services (June 30, 2020)

Thank you for inviting our comments on the above-referenced application. Alberta Health Services, Environmental Public Health (AHS-EPH) understands that this application proposes to construct and operate a cannabis cultivation facility on the subject property, in an existing building.



Based on the information provided, we recommend the following considerations:

1. Confirmation that there is an adequate water supply available for the proposed use, and that use of the projected volumes of water will not adversely affect neighboring properties' water supplies.
2. Chemicals and hazardous materials must be handled appropriately so as to not contaminate cannabis products intended for consumption.
3. Consider the types and volume of chemicals (such as pesticides, solvents, cleaning products and fertilizers) that will be stored onsite for the proposed operation. Ensure the proposed methods and location of chemical storage, utilization and disposal does not create hazardous conditions for the facility or adjacent properties.
4. The manner in which waste material will be handled, stored and disposed of must not create a situation that could harm the health of the public. The waste management plan for the proposed operation should specify the type and volume of waste materials.
5. Materials that facilitate sanitary maintenance should be used. For example, building materials for walls should be smooth, impermeable, and easy to clean.
6. Prevent mould growth with control of heat and humidity levels in the growing environment. HVAC (heating ventilation and air conditioning) system requirements and queries should be referred to safety code inspectors.
7. Implement mitigation strategies to ensure that odours from the proposed facility are controlled so as not to affect neighbouring properties.
8. Consider installing monitors to assist in maintaining carbon monoxide levels within safe parameters.

Alberta Transportation (July 21, 2020)

- In reviewing the application, the proposed development falls within the control distance of a provincial highway as outlined in the Highways Development and Protection Act / Regulation. The proposed development, however, will not cause any concern for ongoing highway operation or future highway expansion.
- Pursuant to *Section 25(3)(c)* of the *Highways Development and Protection Regulation*, Alberta Transportation issues an exemption from the permit requirements to Murray and Adeline Poffenroth and/or Stigma and Stamen Inc. for the development listed above.
- If you have any questions about the exemption or conditions please contact the undersigned Development and Planning Technologist.

Agricultural Services Review (June 25, 2020)

No concerns

Building Services (July 3, 2020)

No concerns but may require a building permit if determined through the Farm Location Permit, Declaration of Use form.



Capital Projects (July 6, 2020)

No concerns.

Development Compliance (June 23, 2020)

No concerns

Planning and Development Services - Engineering Review (July 3, 2020)

General

- The review of this file is based upon the application submitted. These conditions/recommendations may be subject to change to ensure best practices and procedures.
- The application will need to be circulated to Alberta Transportation for review and comment since the proposed development is located within the 1.6 km setback to Highway 567.

Geotechnical - Section 300.0 requirements:

- Engineering has no requirements at this time.
- The proposed development is within an existing building.

Transportation - Section 400.0 requirements:

- Access to the subject land is provided via a road approach off of Inverlake Road.
- Prior to the issuance of the DP, the applicant is required to contact County Road Operations to determine if any permits are required during the construction of the proposed development and/or for the proposed transport of produce/goods.
- The applicant/owner will not be required to pay the transportation offsite levy, as per the applicable TOL bylaw at time of DP approval, since the development is located within an agricultural land use district and is not expected to increase traffic to the local road network

Sanitary/Waste Water - Section 500.0 requirements:

- Prior to issuance, the applicant is required to confirm how the proposed development will be serviced.
- The County supports the use of holding tanks with trucked service for commercial purposes.

Water Supply And Waterworks - Section 600.0 & 800.0 requirements:

- Prior to issuance, the applicant is required to confirm how the proposed development will be serviced.
 - The County supports the use of cisterns with trucked service for commercial purposes.
 - The applicant will be required to provide confirmation of a commercial water license from AEP if the applicant proposes to service the proposed development with a groundwater well.

Storm Water Management – Section 700.0 requirements:

- Engineering has no requirements at this time.
- There should be minimal impact to existing drainage conditions since the proposed development is within an existing building.

**Environmental** – Section 900.0 requirements:

- Engineering has no requirements at this time.
- The applicant/owner will be responsible to obtain all required AEP approvals should the proposed development impact any wetlands.

Fire Services (July 2, 2020)

- No concerns

Utility Services (June 23, 2020)

- No concerns

OPTIONS:Option 1: (this would allow the proposed development)

APPROVAL, for the following reasons:

Description:

1. That *Cannabis Cultivation*, within an existing accessory building (Garage), may commence on the subject lands in general accordance with the application and site plans submitted with the application.
 - i. That the maximum building area for the existing accessory building (Garage) is relaxed from **223.0 sq. m (2,400.35 sq. ft.) to 233.41 sq. m (2,512.40.00 sq. ft.)**.
 - ii. That the minimum rear yard setback requirement for the existing accessory building (Garage) is relaxed from **15.00 m (49.21 ft.) to 7.80 m (25.59 ft.)**.

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/owner shall submit confirmation of Sanitary and Water Servicing for the proposed development, to the satisfaction of the County.
3. That prior to Issuance of this permit, the Applicant/Owner shall submit a Fencing Plan in accordance with Section 42 of the Land Use Bylaw C-4841-97, to the satisfaction of the County.

Permanent:

4. That this approval does not include a *Cannabis Retail Store or Cannabis Facility*.
5. That the facility shall maintain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the facility, to facilitate accurate emergency response.
6. That the Applicant/Owner shall contact County Road Operations to determine if any Road Data permits are required for transport of products, using the County road system for the proposed development, prior to operation.
7. That all on-site lighting shall be dark sky (fully shielded or cut-off), and all private lighting, including site security lighting and parking area lighting, shall be designed to conserve energy, reduce glare, and reduce uplight. All development shall demonstrate lighting designs that reduces the extent of spill-over glare, and eliminates glare as viewed from nearby residential properties.
8. That no signage shall be placed on the subject property, related to the approved *Cannabis Cultivation* use. Any future signage related to the development shall require separate development permit approval.



9. That any future change in use of the building, including any exterior changes or additions, or change in tenants shall require a Development Permit for the use and signage.
10. That no outdoor storage shall be allowed at any time for business use.
11. That a minimum of two parking stalls shall be maintained on-site at all times for staff.
12. That the entire site shall be maintained in a neat and orderly manner at all times, to the satisfaction of the County.
13. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application, in response to a prior to issuance or occupancy condition, shall be implemented and adhered to in perpetuity.
14. That this Development Permit shall be valid until **September 30, 2023**.

Advisory:

15. That the Applicant/Owner shall be responsible for obtaining a commercial water license from Alberta Environment for the well water use, prior to use and operation.
16. That the site shall be maintained in compliance with County Bylaw No. C-7690-2017, the "Nuisance and Unsightly Property Bylaw", at all times. Any debris or garbage generated on the site shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
17. That the County Bylaw C-5772-2003, the "Noise Bylaw", shall be adhered to at all times.
18. That the site shall remain free of restricted and noxious weeds and maintained in accordance with the Alberta Weed Control Act *[Statutes of Alberta, 2008 Chapter W-5.1, December 2017]*.
19. That a Building Permit/Farm Building Location Permit and applicable subtrade permits, for the change of use, shall be obtained through Building Services, prior to any construction taking place.

Note: That the subject development shall conform to the National Energy Code 2017, with documentation/design at Building Permit, if applicable. A Declaration of Use must be filled out and signed under a New Farm Location Permit, or a Building Permit will be required.
20. That any other federal, provincial or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
 - i. That the Applicant/Owner shall obtain any required Health Canada and Alberta Health Services approval(s).
 - ii. That all cannabis waste shall be managed in accordance with Alberta Cannabis Waste Management Fact Sheet.
21. That if the development authorized by this Development Permit is not commenced with reasonable diligence within twelve (12) months from the date of issue, and completed within twenty-four (24) months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

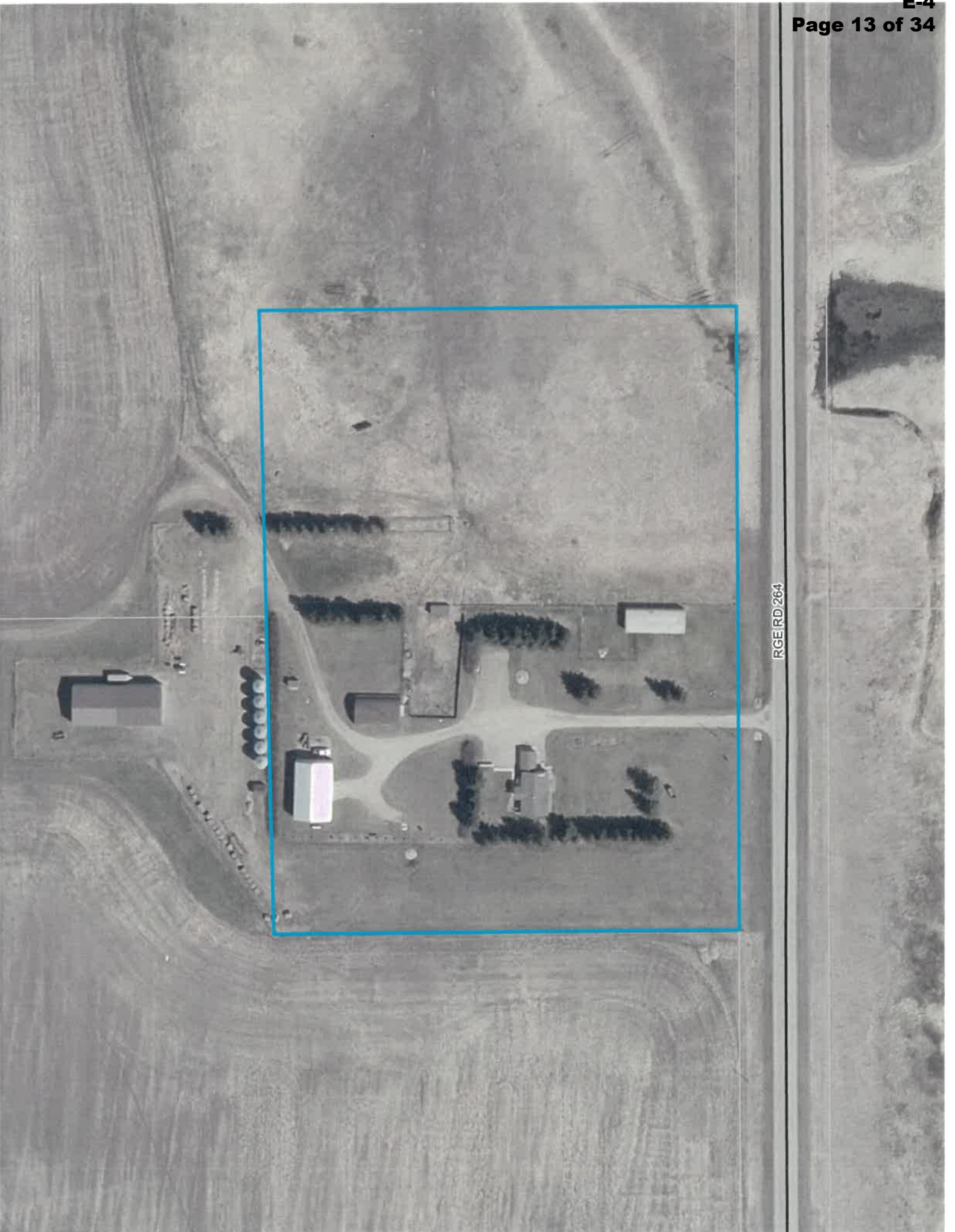
Note: The Applicant/Owner shall be responsible for all Alberta Environment and Parks approvals/compensation if any wetland is impacted by the development on the said land.

Option 2: (this would not allow the proposed development)

REFUSAL, for the following reasons:

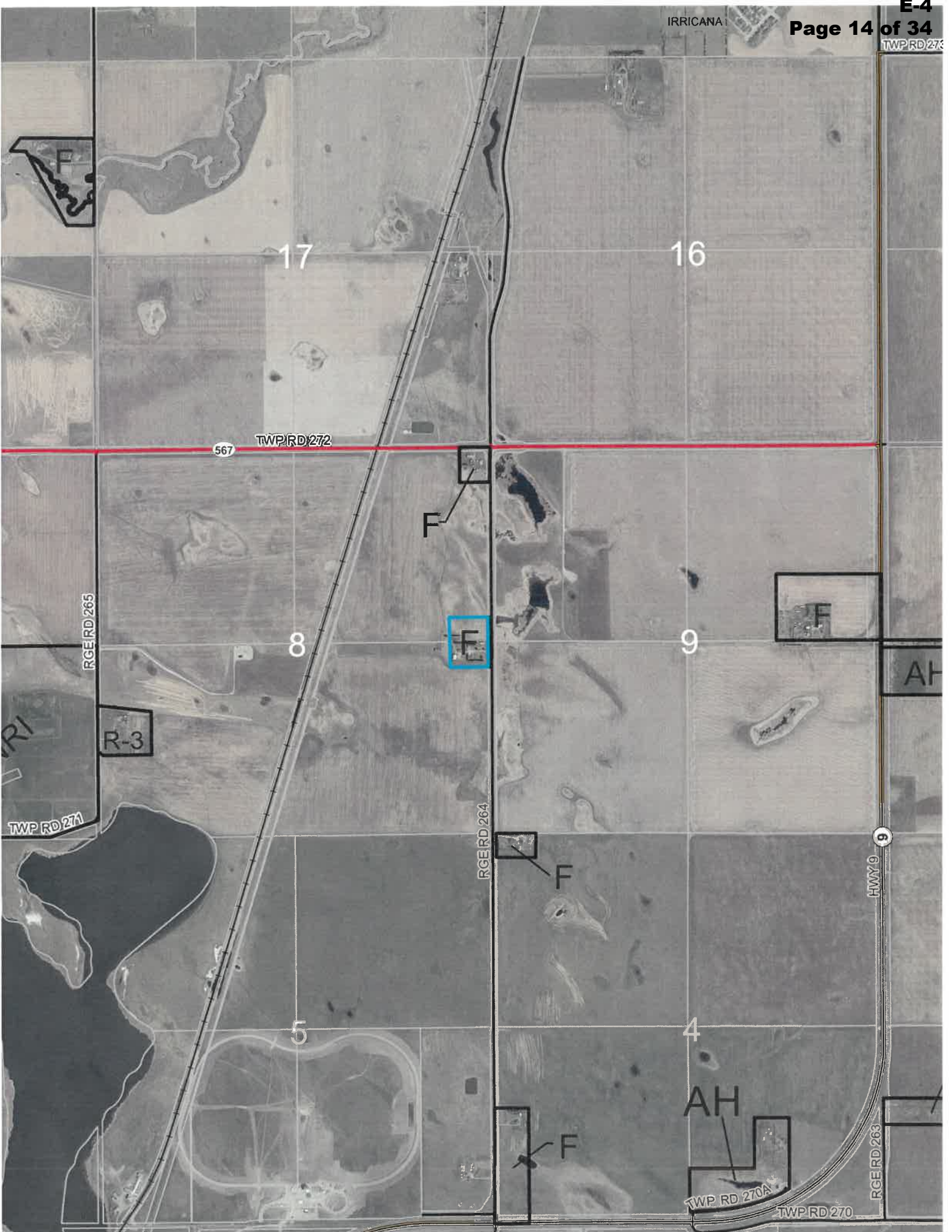


1. In the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.



RGE RD 264

IRRIGANA



ROCKY VIEW COUNTY
Cultivating Communities

2020 1515

APPLICATION FOR
COMMERCIAL/OFFICE/INDUSTRIAL
DEVELOPMENT PERMITS

FOR OFFICE USE ONLY	
Fee Submitted 530.00	File Number 071080041
Date of Receipt 06/16/2020	Receipt # 2020024417

Name of Applicant Brandon Emery

Email [REDACTED]

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) _____

(H) _____

Fax _____

For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) Murray + Adeline Poffenroth

Mailing Address _____

Postal Code _____

Telephone (B) _____

(H) _____

Fax _____

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the E 1/4 Section 8 Township 27 Range 26 West of 4th Meridian
- b) Being all / parts of Lot 1 Block 1 Registered Plan Number 1410073
- c) Municipal Address 271123 RR 264
- d) Existing Land Use Designation Farmstead Parcel Size 8.01 acres Division 6

2. APPLICATION FOR

Cannabis Cultivation

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property (s)? Yes _____ No ☒
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No ☒
(Sour Gas facility means well, pipeline or plant)
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No ☒
- d) Does the site have direct access to a developed Municipal Road? yes, RR 264
- e) Has the Design Guidelines checklist been completed? Yes _____ No _____
- f) Has supplementary information been provided? (photos, sketches written descriptions etc.) Yes _____ No _____
- g) Details of additional information _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I Brandon Emery hereby certify that _____ I am the registered owner
(Full Name in Block Capitals)

☒ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

Affix Corporate Seal
here if owner is listed
as a named or
numbered company

Applicant's Signature Brandon EmeryOwner's Signature Murray + Adeline PoffenrothDate June 8/20Adeline Poffenroth

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.

Murray S. Poffenbarger

Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Brandon Emery, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

Brandon Emery
Signature

June 8/20
Date

FOR OFFICE USE ONLY

Application: _____

General Location: _____

Brandon Emery
[REDACTED]
[REDACTED]
[REDACTED]

15 June 2020

To whom it may concern;

Please find enclosed our Development Permit Application for property located at 271123 Range Rd 264, Rocky View, AB. It is our intention to renovate the interior of the onsite building for micro cannabis cultivation.

It is our intention to operate the facility as discreetly as possible which will mean there will be no external signage or industrial lighting as we wish this facility to appear as an ordinary garage/workshop for security purposes. The facility will be staffed on a part time basis by two employees, one of which will be a master grower and the other a bud tender.

The interior of the building will be built to Health Canada standards and operating under the Health Canada licence granted to Stigma & Stamen Inc.

Sincerely,



Brandon Emery
[REDACTED]



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0035 993 609 1410073;1;1 141 004 431

LEGAL DESCRIPTION
PLAN 1410073
BLOCK 1
LOT 1
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 3.24 HECTARES (8.01 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 4;26;27;8;E

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 961 210 131
141 002 920

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION

141 004 431 07/01/2014 SUBDIVISION PLAN

OWNERS

MURRAY LLOYD POFFENROTH

AND

ADELINE LORRANE POFFENROTH

BOTH OF:

██████
██████
████████████████

AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION		
NUMBER	DATE (D/M/Y)	PARTICULARS

35CC RESTRICTIVE COVENANT
751 054 878 05/06/1975 UTILITY RIGHT OF WAY

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

141 004 431

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

GRANTEE - ROCKYVIEW GAS CO-OP LTD.
" AFFECTS PART OF THIS TITLE "

TOTAL INSTRUMENTS: 002

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 19 DAY OF MAY,
2020 AT 03:31 P.M.

ORDER NUMBER: 39332341

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

N.E. 1/4 SEC. 8-27-26-4
ROCKY VIEW COUNTY
STAMP OF COMPLIANCE
Assumed 91°54'35" 158.12

Fence is inside N.E. 1/4 SEC. 8-27-26-4 by 0.17

The location of the buildings, as shown on this Real Property Report comply with the minimum setback requirements from front, side and rear property lines required in the Land Use Rules in Land Use Bylaw C-484-1-17.

[Signature] July 22/19
Approving Authority Date

LOT 1
BLOCK 1
PLAN 141 0073



N.E. 1/4 SEC. 8-27-26-4

Metal Silos
4.16 Diameter

S.E. 1/4 SEC. 8-27-26-4

0°57'27" 207.32

0.43
0.42
0.44
0.35
0.37

8.86
7.80
12.05
19.37
12.05
19.37
GARAGE
Aluminum Siding
No Eaves

Up 0.10

97.80

127.40

148.62

54.13

29.09

28.58

60.96

69.52

39.32

38.83

154.10

91°54'01"

40.36

40.12

Up 0.10

S.E. 1/4 SEC. 8-27-26-4

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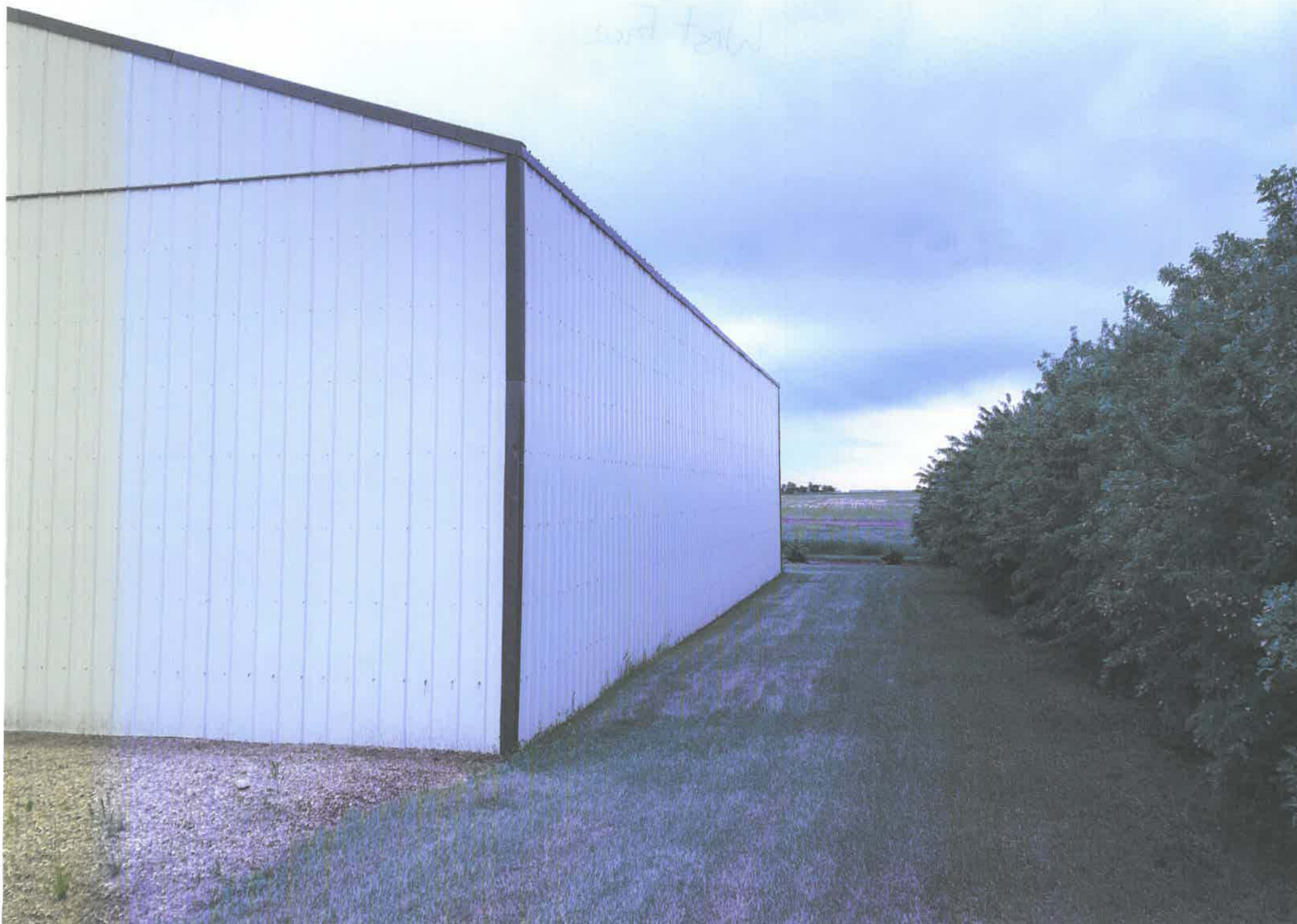
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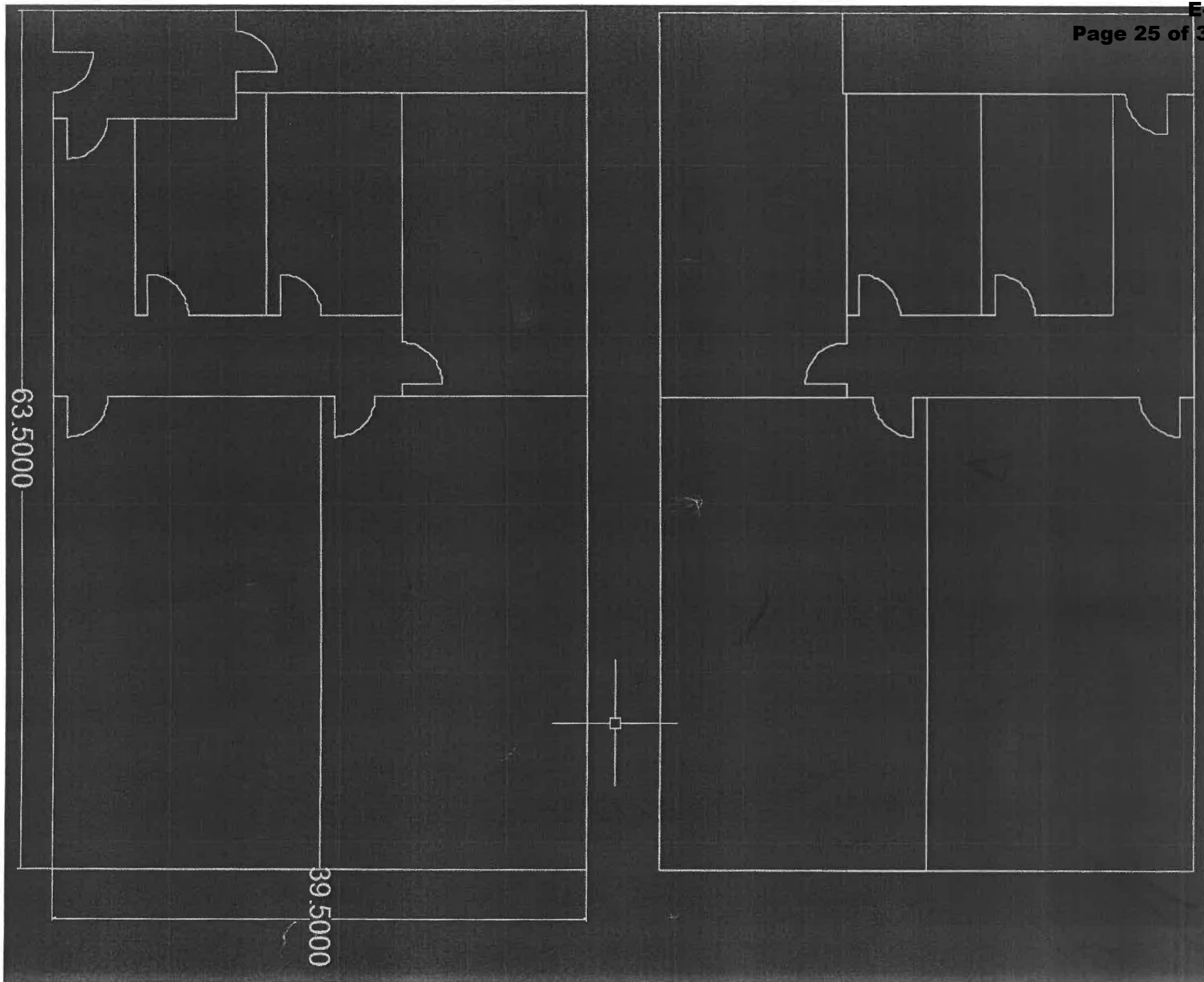
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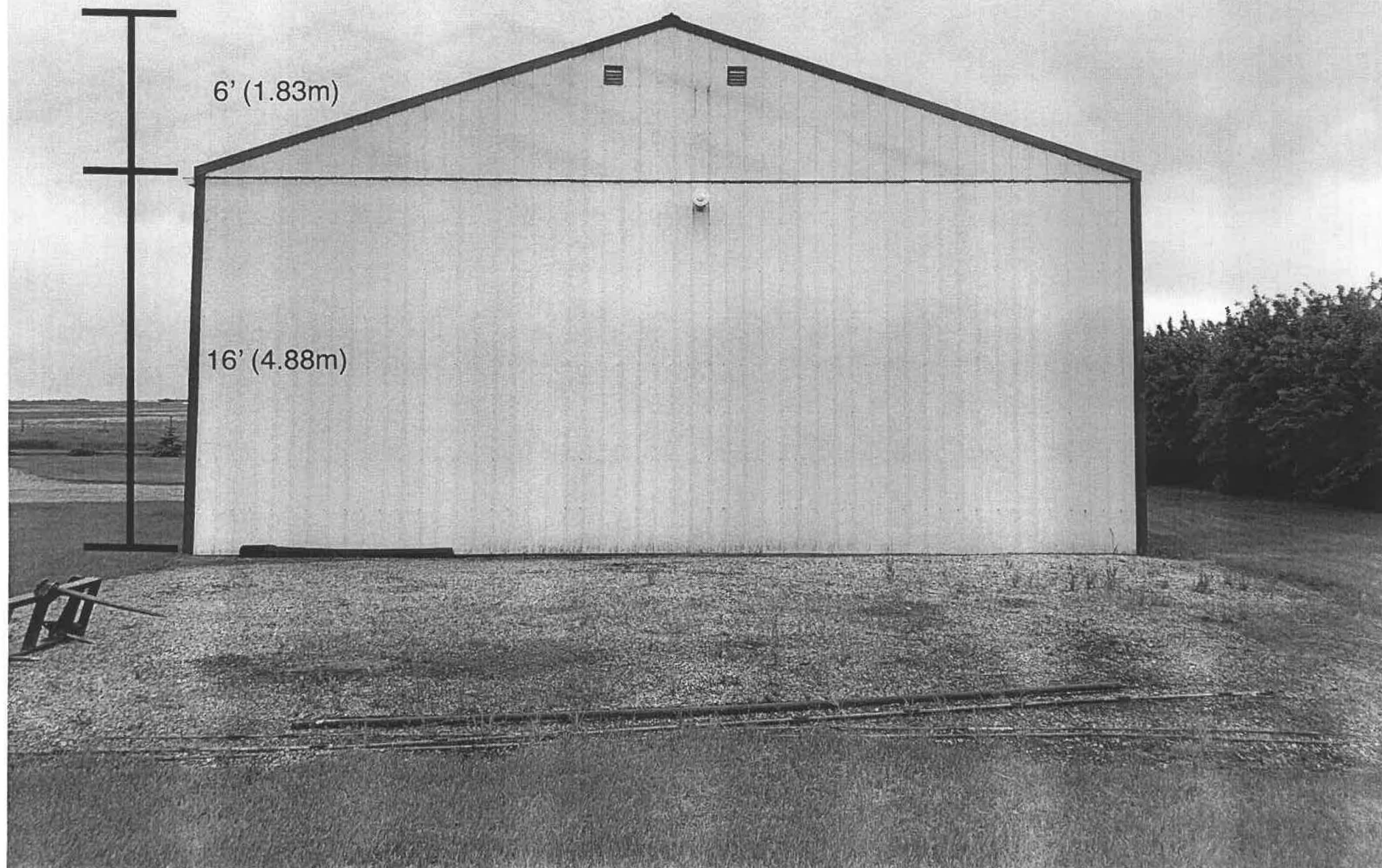






























PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
SUBJECT: Development Item: Liquor Sales
USE: Discretionary use, with no Variances

DATE: September 3, 2020

APPLICATION: PRDP20202100

APPLICATION: Liquor Sales (existing building), tenancy and signage

GENERAL LOCATION: located approximately 0.81 km (1/2 mile) east of Rge. Rd. 33 and 0.20 km (1/8 mile) north of Twp. Rd. 245

LAND USE DESIGNATION: Commercial – Springbank Court District (C-SC)

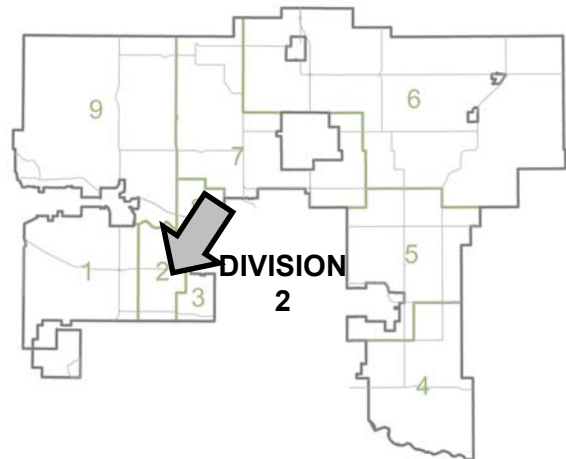
ADMINISTRATION RECOMMENDATION:

Administration recommends Approval in accordance with Option #1.

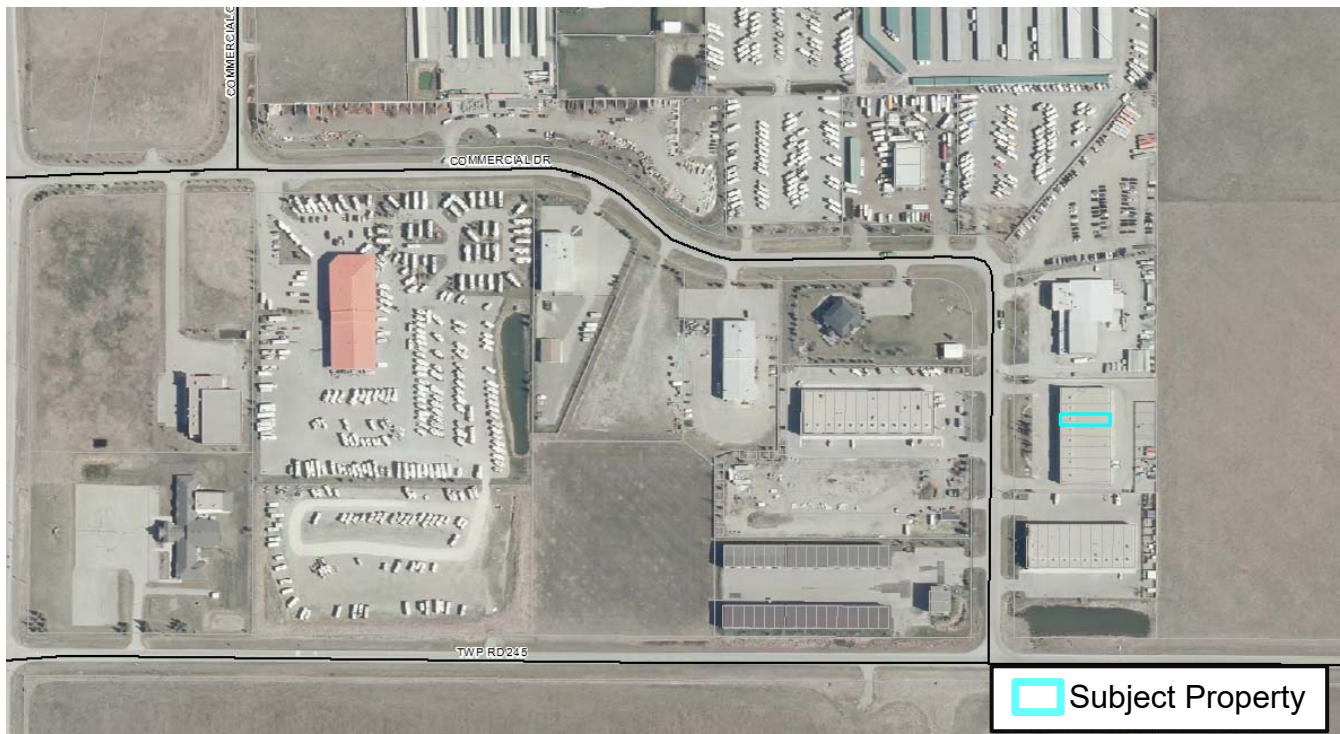
OPTIONS:

Option #1: THAT Development Permit Application PRDP20202100 be approved with the development conditions noted in the Report, attached.

Option #2: THAT Development Permit Application PRDP20202100 be refused as per the reasons noted.



AIR PHOTO DEVELOPMENT CONTEXT:



Administration Resources

Evan Neilsen – Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: July 23, 2020	File: 04734116
Application: PRDP20202100	Applicant/Owner: McDowell & Associates Inc. (Rae Paton)
Legal Description: 3-135 COMMERCIAL DRIVE (UNIT 3 Plan:1812070; SW-34-24-03-W05M)	General Location: located approximately 0.81 km (1/2 mile) east of Rge. Rd. 33 and 0.20 km (1/8 mile) north of Twp. Rd. 245
Land Use Designation: Commercial Springbank Court District (C-SC)	Gross Area: ± 0.026 ha (0.065 ac)
File Manager: Evan Neilsen	Division: 2

PROPOSAL: This proposal is for the establishment and tenancy of a *Liquor Sales* business including a *Warehouse* within an existing commercial tenant bay within the Springbank Commercial Court Business Area. The business will facilitate customer orders primarily through a delivery or curbside pickup model, with customers ordering primarily through an online portal. Staff would facilitate warehouse orders for delivery or pick-up and customers would have the opportunity to browse products for sale through a small front show-room area or via the internet. Customers would not have direct access to the warehouse, which will be utilized for storage.

The existing 8-bay building was constructed in 2007 [Development Permit 2006—DP-12213], totaling 2,350.44 sq. m (25,300.00 sq. ft.). Unit 3 is a total of 267.00 sq. m (2,874.00 sq. ft.) in area. The site was developed with a total of 39 parking spaces, including 2 barrier free.

The applicant has indicated that 25% of the building footprint would be used for the retail showroom – with the remaining 75% serving as a warehouse or office for organizing the application. The business would have a staff of 4-6, with hours as follows: Monday to Friday 12:00 PM – 8:00 PM, Saturday 10:00 AM – 8:00 PM and Sunday 12:00 AM – 6:00 PM. One fascia sign is being requested, 2.50 ft. high by 15.00 ft. long = 37.50 sq. ft. in area. The sign will read “*Roving Spirits and Wine*” and will be located within the existing building ribbon allocated for signage.

As the site is developed with 39 stalls, each bay would be allocated ~4.875 stalls, therefore 5 stalls. The site plan has allocated 4 stalls, 3 in the front and 1 in the rear. Although the application indicates walk-ins and delivery, the application indicates 4-6 staff and one of the designated stalls includes the barrier free stall – for the site. This could lead to potential over-allocated and conflicts onsite between the adjacent bays. Parking will have be confirmed as acceptable.

Land Use Bylaw:

Section 8: Definitions

LIQUOR SALES means the wholesale or retail sale or distribution to the public of any and all types of alcoholic spirits or beverages as defined by the *Alberta Liquor Control Act*;

Section 80: Commercial – Springbank Court District (C-SC)

- 80.2(d) Listed Uses; Discretionary – All Development Cells
 - Liquor Sales



Schedule 5: Parking Schedule

- Commercial or Retail Use, General
 - (a) gross floor area less than 2,000 m² – 2.7 per 100 m² (1,0764.4 sq. ft.) gross floor area
 - Proposal gross floor area: 267 m²
 - Required stalls = 267 m² / 100 m² * 2.7 stalls
 - Required stalls = 7.209 stalls = 8 stalls

STATUTORY PLANS:*City of Calgary Intermunicipal Development Plan*

- *This parcel is located within the IDP “Notification Zone” and the IDP identifies that “the policies of this plan do not apply to the Notification Zone (Section 1.0).*

North Springbank Area Structure Plan:

- *Section 5.7.1 generally and policies 5.7.1.1, 5.7.1.5 specifically appear to support this application.*
- *This application does not appear to produce any of the potential nuisance factors identified within section 5.7.3 (policies 5.7.3.2 through 5.7.3.8)*

INSPECTOR’S COMMENTS (Inspection performed August 18, 2020)

- Building well-kept
- Parking lot empty – most bays unoccupied (only one appears occupied).
- Building interior & exterior well-kept
- Ample room for signage & ample parking for customers/employees.

CIRCULATIONS (Circulated July 27, 2020)Development Compliance:

Development Compliance has no comments or concerns regarding the attached application.

City of Calgary:

No comments received.

Building Services:

No comments received.

Calgary Airport Authority:

No comments received.

Alberta Transportation:

The proposed development does not fall within the control distance of a provincial highway as outlined in the Highways Development and Protection Act / Regulation, and will not require a roadside development permit from Alberta Transportation.



Planning and Development Services – Engineering Review:

General

- The review of this file is based upon the application submitted. Should the submission material be altered or revised at subsequent development stages these conditions/recommendations may be subject to change to ensure best practices and procedure.

Geotechnical - Section 300.0 requirements:

- Engineering has no requirements at this time.

Transportation - Section 400.0 requirements:

- Prior to issuance, the applicant/owner will be required to provide a Trip Generation Memo and/or a Transportation Impact Assessment (depending on the findings of the Trip Generation Memo) conducted and stamped by a professional transportation engineer.
 - Should the Trip Generation Memo/TIA require upgrades to the road network, the applicant/owner will be required to enter into a Road Right-of-Way Construction Agreement with the County to construct the upgrades.
- There are two existing paved road approaches off of Commercial Drive providing access to the subject land.
- The applicant/owner will not be required to pay the transportation offsite levy, as per the applicable TOL bylaw at time of DP issuance, as the levy was previously collected over the subject land.

Sanitary/Waste Water - Section 500.0 requirements:

- Engineering has no requirements at this time.

Water Supply And Waterworks - Section 600.0 & 800.0 requirements:

- Engineering has no requirements at this time.
- It appears that the subject land receives piped water servicing from the Elbow Valley water co-op.

Storm Water Management – Section 700.0 requirements:

- Engineering has no requirements at this time.

Environmental – Section 900.0 requirements:

- Engineering has no requirements at this time.
- The applicant/owner will be responsible to obtain all required AEP approvals should the proposed development impact any wetlands.

OPTIONS:

Option #1 (this would allow the development to commence)

APPROVAL, subject to the following conditions:

Description:

1. That Liquor Sales (existing building), tenancy and signage for a liquor store may take place at 3-135 COMMERCIAL DRIVE (UNIT 3 Plan:1812070; SW-34-24-03-W05M) in general accordance with the plans submitted with the application including:
 - i. Installation of one (1) fascia sign; “*Roving Spirits and Wine*”;



Prior to Issuance

2. That prior to issuance of this permit, the Applicant/Owner shall submit a Trip Generation Memo and/or a Transportation Impact Assessment (depending on the findings of the Trip Generation Memo) conducted and stamped by a professional transportation engineer, in accordance with the County's Servicing Standards.
 - i. Should the Trip Generation Memo/TIA require upgrades to the road network, the applicant/owner will be required to enter into a Road Right-of-Way Construction Agreement with the County to construct the upgrades.
3. That prior to issuance of this permit, the Applicant/Owner shall confirm onsite parking details, including allocated stalls, employee parking and customer parking and/or submit a revised parking plan, identifying the minimum parking stalls required, excluding the site's minimum barrier free requirement, to the satisfaction of the County.

Permanent:

4. That all conditions of Development Permit (2006-DP-12213) shall remain in effect.
5. That no outside storage shall be allowed in the front of the property at any time. All outdoor storage for the business shall occur within the designated 116.13 sq. m. (1,250.00 sq. ft.) outdoor storage area, located at the rear of the building, as indicated on the approved site plan.
6. That no off-site advertisement signage associated with the business shall be permitted.
7. That there shall be at least eight (8) parking stalls, maintained onsite at all times, for business and customer use unless otherwise stated in the Trip Generation Memo and/or a Transportation Impact Assessment.
8. That no off-site parking is permitted on the adjacent County road system at any time.
9. That the display or placement of signage for the business shall be in accordance with Section 35 of Land Use Bylaw C-4841-97. The signage shall be kept in a safe, clean and tidy condition at all times.
10. That all business parking shall be limited to the assigned unit's parking stalls or communal site stalls.
11. That the entire site shall be maintained in a neat and orderly manner at all times, to the satisfaction of the Development Officer.
12. That if this Development Permit is not issued by **APRIL 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Advisory:

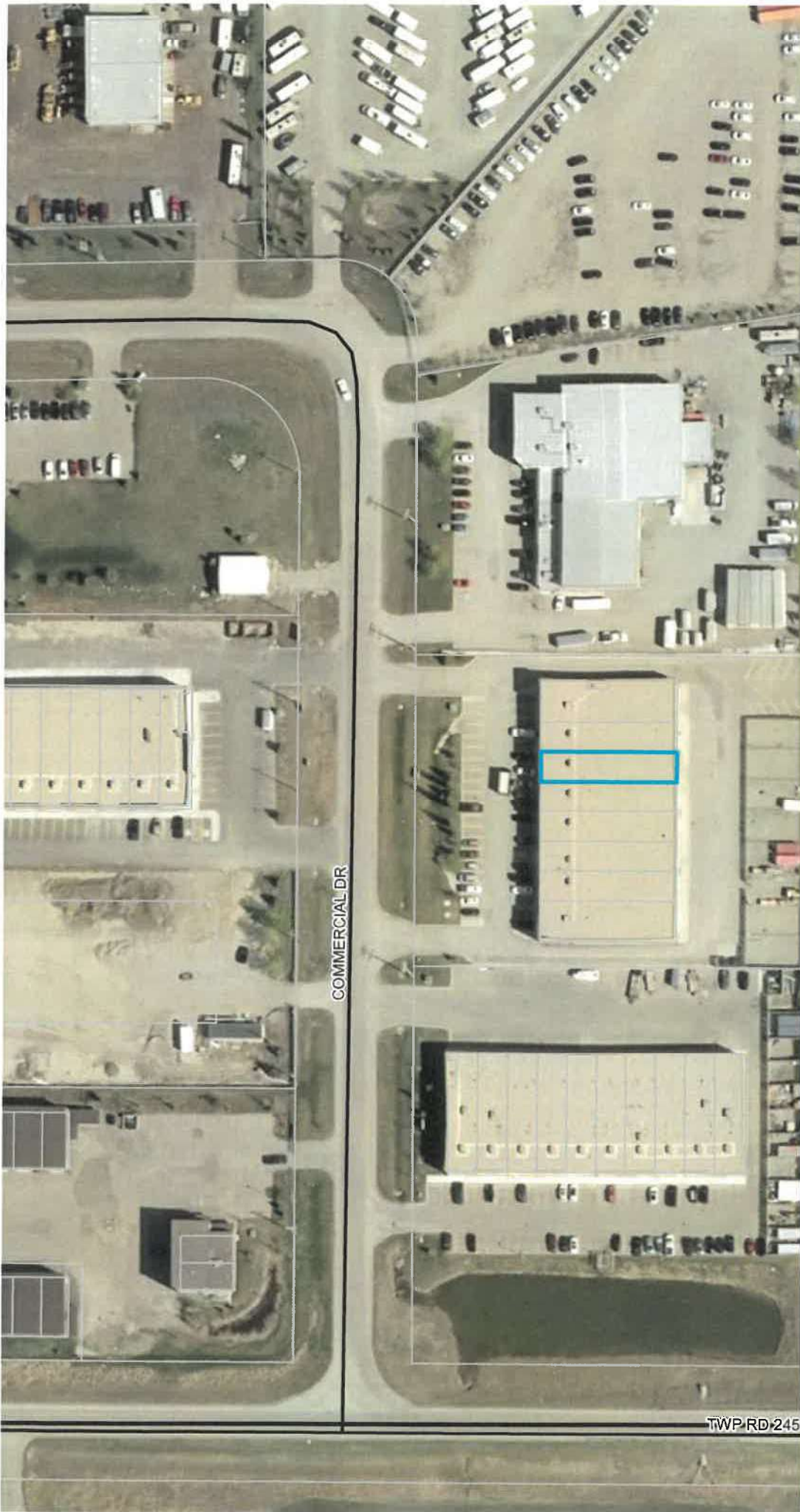
13. That any future change in use of the building (or tenants) may require a Development Permit for use and signage.
14. That a Building Permit shall be obtained through Building Services, for the change of use (if required), prior to tenant occupancy and/or building renovations.
15. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.



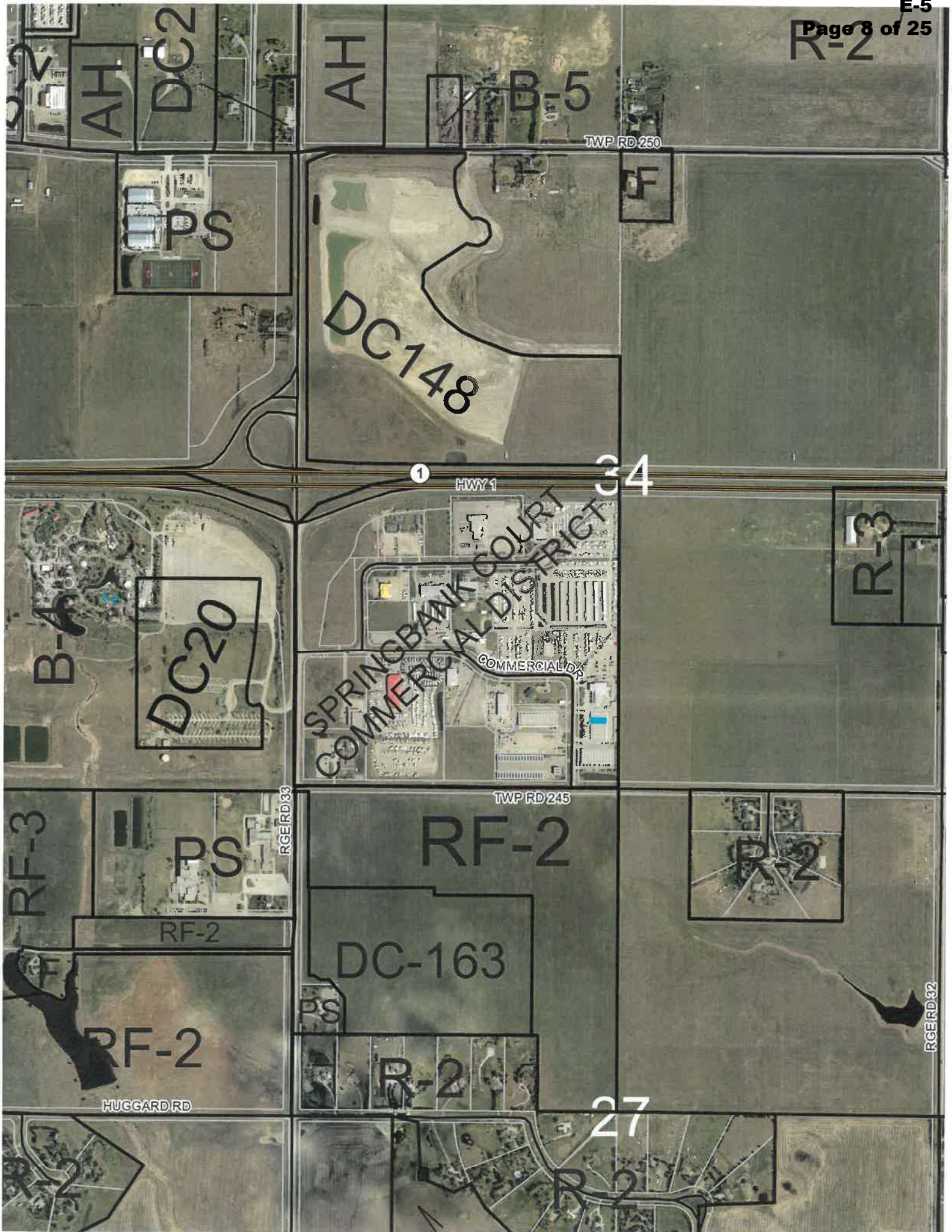
Option #2 (this would not allow the development to commence)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.



TWP:RD:245





ROCKY VIEW COUNTY
Cultivating Communities

20202100

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted 530.00	File Number 04734116
Date of Receipt July 23/20	Receipt # 2020 024812

Name of Applicant RAE PATON Email rpaton@mcdowelldesign.com
 Mailing Address 501. 933 17 AVE SW
CALGARY Postal Code T2T. 5R6
 Telephone (B) 403.245.8301 x4 (H) 403.923.1986 Fax N/A
 For Agents please supply Business/Agency/ Organization Name MCDOWELL & ASSOCIATES
 Registered Owner (if not applicant) CU (U) GP. INC.
 Mailing Address 10572. 105 Street
EDMONTON Postal Code T5H. 2W7
 Telephone (B) 780.424.7722 (H) N/A Fax 780.424.7799

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the SW ¼ Section 34 Township 24 Range 03 West of 5 Meridian
 b) Being all / parts of Lot UNIT 3 Block ✓ Registered Plan Number 1012070
 c) Municipal Address 3-135 COMMERCIAL DRIVE
 d) Existing Land Use Designation C-SC Parcel Size 7996.4m² Division _____

2. APPLICATION FOR

CHANGE OF USE: RETAIL - LIQUOR SALES & WAREHOUSE

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No X
 b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No X
 (Sour Gas facility means well, pipeline or plant)
 c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No X
 d) Does the site have direct access to a developed Municipal Road? Yes X No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I RAE PATON hereby certify that _____ I am the registered owner
 (Full Name in Block Capitals)

X I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my
of the facts relating to this application.

knowledge, a true statement

**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

Applicant's Signature [Signature]
Date JULY 23/20

Owner's Signature _____
Date _____



5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.

Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, RAE PATON, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

Signature

JULY 23/20
Date



Fee Submitted	File Number
Date of Receipt	Receipt #

CHANGE OF USE OF LAND OR AN EXISTING BUILDING

Business Name: ROVING SPIRITS AND WINE

Business Details: LIQUOR STORE - ONLINE ORDER & DELIVERY

What is the current approved use? B- OFFICE (25%) & WAREHOUSE (75%) - F2

Will you be making any changes to the building and/or land? YES ☒ NO ☐

If YES – Please describe: MINOR INTERIOR RENOVATIONS TO FRONT OFFICE & VESTIBULE ONLY TO CREATE LIMITED RETAIL ORDERING SPACE

1. PARKING

How many daily customer visits are anticipated? 25-100

How many assigned parking spaces are there? 4

How will overflow of parking be managed? LOT IS CURRENTLY NEVER FULL

2. EMPLOYEES

How many people are employed by the business? 4-6 Full Time: TBD Part Time: TBD

3. OPERATION

Total area of business: 2875 (sq. ft) / sq. m)

What are your days and hours of operation? Days: SUN to SAT Hours: SEE COVER LETTER to SEE COVER LETTER

4. STORAGE AND SIGNAGE

Is outside storage required? YES ☐ NO ☒ If YES – Total outside storage area 1250 (sq. ft) / sq. m)

Will any sign(s) be required? YES ☒ NO ☐ ↑ HOWEVER, ONE IS PROVIDED

If YES – Number of sign(s) required: 1 Type of sign(s) required: FASCIA SIGN

5. ADDITIONAL INFORMATION

☒ Site Plan ☒ Sign Details ☒ Cover Letter

Signature of Applicant: [Signature] Date: JULY 23/20

Planning & Building
Rocky View County
262075 Rocky View Point
Rocky View County, AB
T4A 0X2

Re: Unit 3, 135 Commercial Drive

Please accept this cover letter along with our enclosed application for a Development Permit for Change of Use at the abovementioned address.

This property is currently a commercial condo zoned for offices (B-approximately 25% footprint area) with warehouse space (F2-remaining 75% area). Our application seeks to change only a portion of the front office space to allow for Retail- Liquor Sales (E) in a showroom area, and still maintain a smaller office, and the remainder continues as warehouse as intended.

The Retail portion is solely a showcase space and not the typical lanes of spirits and wines found in a standard liquor store layout. Point-of-sale ordering desks would be accommodated out front for walk-in traffic, with curbside order fulfillment. Liquor is stored in the warehouse and there will be absolutely no customer access to the warehouse; all fulfilment is completed by staff.

The majority of sales are anticipated to be through online ordering, with curbside pick-up, or delivery to acreages in the Rocky View area. Hours of operation are initially proposed at 7 days/week, Monday-Friday noon-8pm; Saturday 10am- 8pm, and; Sunday noon-6pm. Staff is anticipated as 4-6 persons, with the majority being warehouse staff working on order-fulfilment. Walk-in traffic is expected to be low, but as there is an abundance of parking on-site, it is not anticipated to be problematic for neighbouring businesses.

We trust the brief overview of our proposal to be adequate, but should you require anything further, or have any questions, please do not hesitate to contact me directly.

Regards,



Rae Paton

McDowell & Associates

rpaton@mcdowelldesign.com



LAND TITLE CERTIFICATE

S		
LINC	SHORT LEGAL	TITLE NUMBER
0038 099 883	1812070;3	181 231 538 +2

LEGAL DESCRIPTION
 CONDOMINIUM PLAN 1812070
 UNIT 3
 AND 1148 UNDIVIDED ONE TEN THOUSANDTH SHARES IN THE COMMON PROPERTY
 EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE
 ATS REFERENCE: 5;3;24;34;SW

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 111 023 878 +2

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION

181 231 538	30/10/2018	CONDOMINIUM PLAN		

OWNERS

CU (6) GP, INC.
 OF C/O 10572-105 STREET
 EDMONTON
 ALBERTA T5H 2W7

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION		
NUMBER	DATE (D/M/Y)	PARTICULARS

761 141 577	17/11/1976	ZONING REGULATIONS SUBJECT TO SPRINGBANK AIRPORT ZONING REGULATIONS
071 049 602	30/01/2007	CAVEAT RE : SEE CAVEAT CAVEATOR - SPRINGBANK COMMERCIAL PARK LOT OWNERS ASSOCIATION. C/O MAIDMENT LAND SURVEYS LTD. 10, 141 COMMERCIAL DRIVE

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

181 231 538 +2

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
--------	--------------	-------------

CALGARY

ALBERTA T3Z2A7

AGENT - BRENT WILSON

(DATA UPDATED BY: CHANGE OF ADDRESS 171189448)

(DATA UPDATED BY: CHANGE OF NAME 171282848)

071 053 924 01/02/2007 UTILITY RIGHT OF WAY

GRANTEE - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44.

911-32 AVENUE NE

CALGARY

ALBERTA

GRANTEE - FORTISALBERTA INC.

700, 801-7 AVE SW

CALGARY

ALBERTA

GRANTEE - ATCO GAS AND PIPELINES LTD.

909-11 AVE SW

CALGARY

ALBERTA

GRANTEE - TELUS COMMUNICATIONS INC.

5255 1A STREET SE

CALGARY

ALBERTA

GRANTEE - ELBOW VALLEY WATER CORPORATION.

3192 SPRINGBANK HTS WAY

CALGARY

ALBERTA

AS TO PORTION OR PLAN:0710559

071 053 928 01/02/2007 CAVEAT

RE : DEFERRED SERVICES AGREEMENT

CAVEATOR - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44.

911-32 AVE NE

CALGARY

ALBERTA T2E6X6

* ADDITIONAL REGISTRATIONS MAY BE SHOWN ON THE CONDOMINIUM ADDITIONAL
PLAN SHEET

TOTAL INSTRUMENTS: 004

(CONTINUED)

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 22 DAY OF JULY,
2020 AT 01:38 P.M.

ORDER NUMBER: 39771259

CUSTOMER FILE NUMBER:

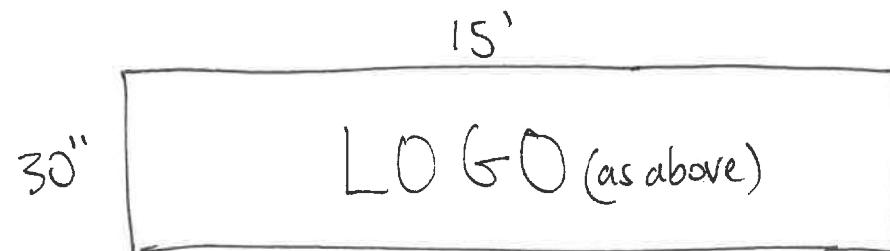


END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

ROVING
SPIRITS AND WINE



















UNIT 3, 135 COMMERCIAL DRIVE

EXISTING SIGN RIBBON

LOCATION OF FASCIA SIGN
FOR IN RIBBON

GENERAL NOTES

1. Report any discrepancies, errors & omissions on these drawings to McDOWELL & ASSOC.
2. If the layout (STRUCTURAL, ARCHITECTURAL or MECHANICAL) is modified from that which is shown on these plans, approvals are required prior to proceeding.
3. Submit two sets of shop drawings to McDOWELL & ASSOC., prior to construction.
4. It is the responsibility of the Contractor to study and understand the entire drawings set prior to commencing any stage of construction.

PRELIMINARY
NOT FOR CONSTRUCTION

ISSUED FOR B. PERMIT
JULY XX, 2020
BP# 20-XXXXX

ISSUED FOR D. PERMIT
JULY 21, 2020

DP# 20-XXXX

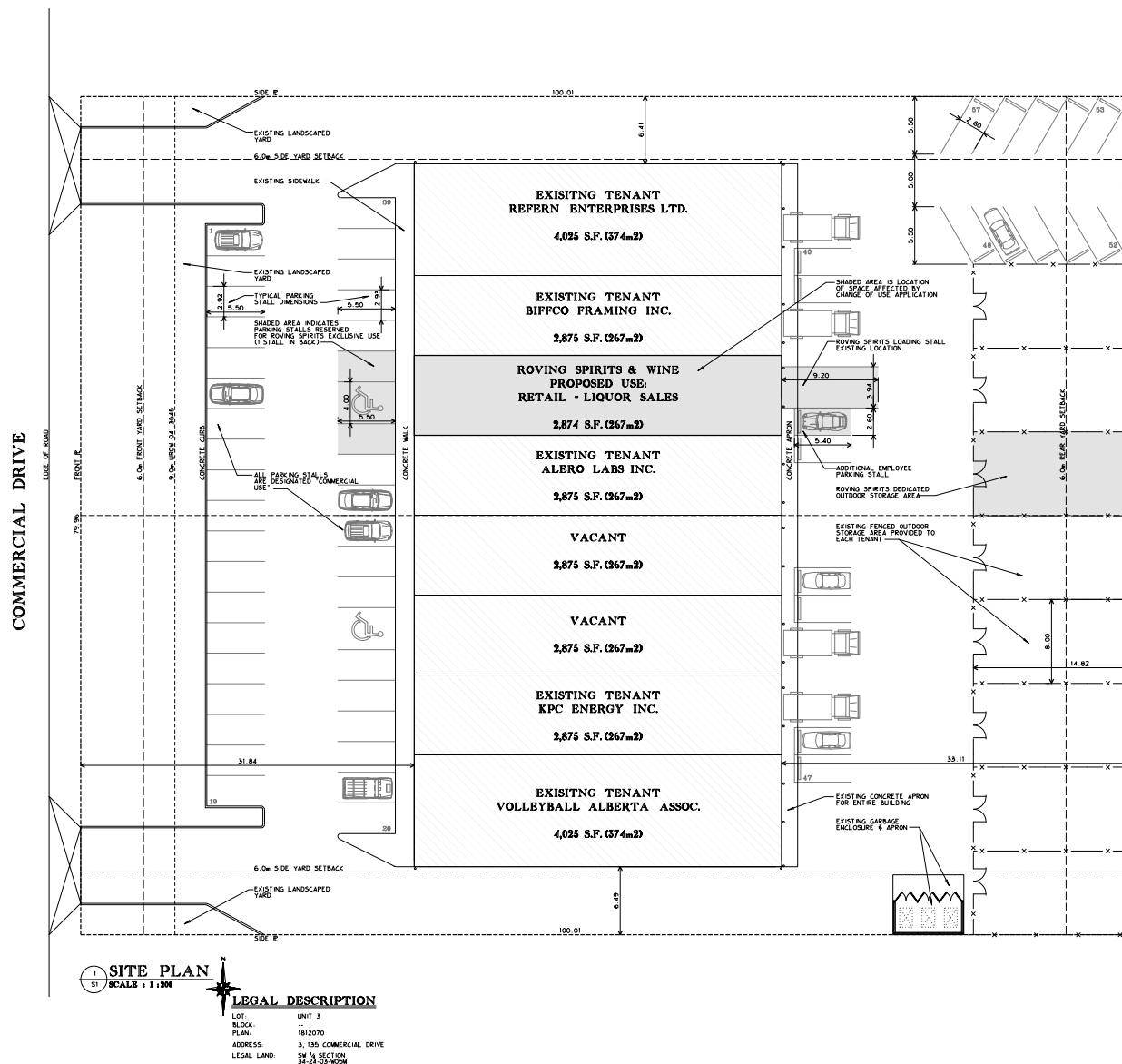
MCDOWELL & ASSOCIATES RESIDENTIAL DESIGN GROUP

401 - 933 17TH AVENUE S.W.
CALGARY, ALBERTA, CANADA
T2T 5D4

403.245.8361
INFO@MCDOWELLDISEGN.COM
MCDOWELLDISEGN.COM

Project SPRINGBANK RETAIL BUSINESS #3, 135 COMMERCIAL DRIVE UNIT 3, 1812070	Project No.	120-XX
	Date Issued	JULY 21, 2021
	Drawn By	R. PATON

SITE PLAN

SITE
OF 1 SHEETS

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

SUBJECT: Development Item: Automotive, Equipment & Vehicles Services & Retail Store

USE: Discretionary use, no Variances

DATE: September 3, 2020

APPLICATION: PRDP20202131

APPLICATION: Automotive, Equipment and Vehicle Services & Retail Store (existing building), tenancy and signage for a motorcycle and small engine repair shop

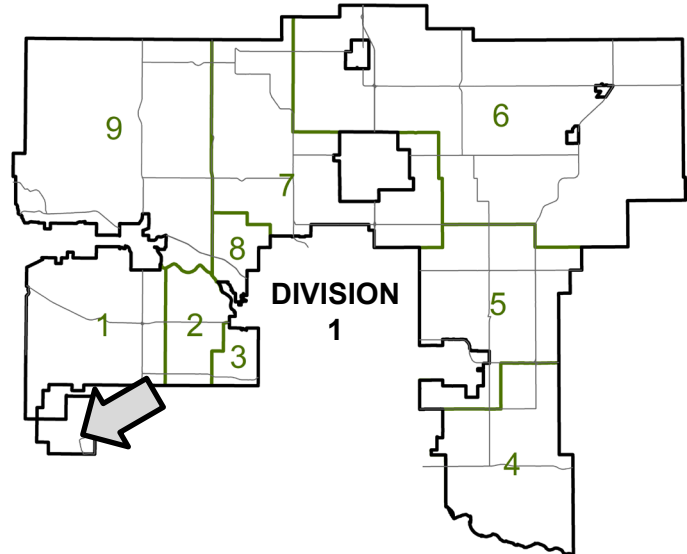
GENERAL LOCATION: Located in the hamlet of Bragg Creek

LAND USE DESIGNATION: Hamlet Commercial District (HC)

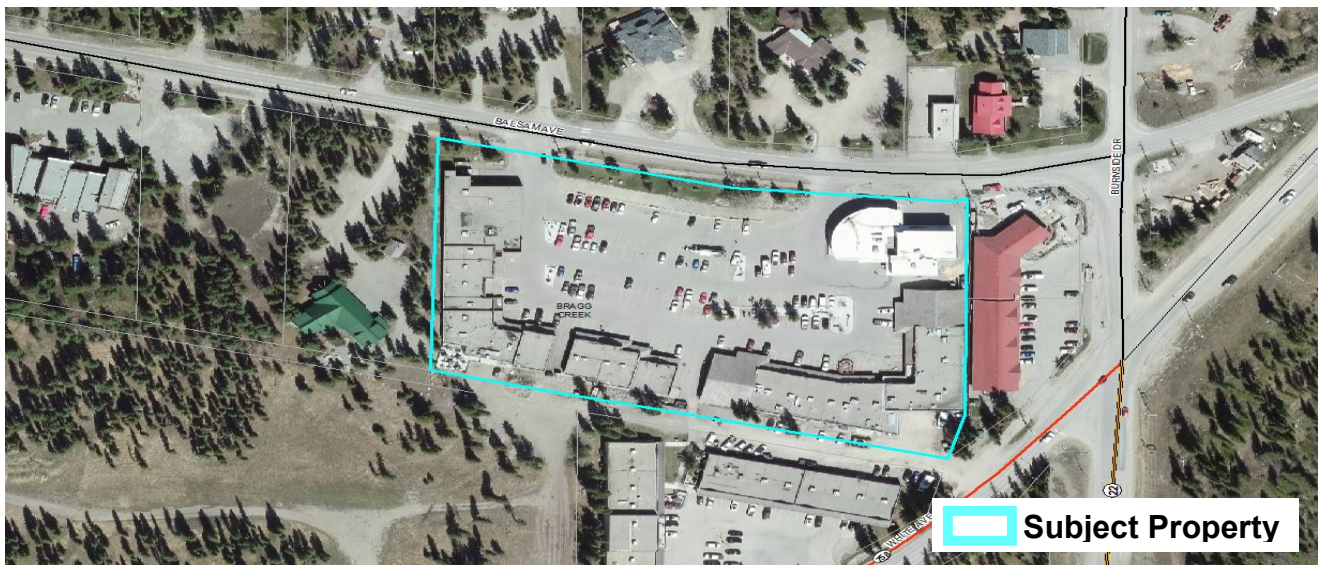
ADMINISTRATION RECOMMENDATION: Administration recommends approval in accordance with Option #2.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20202131 be approved in accordance with the application and the conditions noted in the report.
- Option #2: THAT Development Permit Application PRDP20202131 be approved with amendments in accordance with the conditions noted in the report.
- Option #3: THAT Development Permit Application PRDP20202131 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Sandra Khouri - Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: July 24, 2020	File: 03913040
Application: PRDP20202131	Applicant/Owner: Paskett, Jon J.
Legal Description: Lot 13, Block 1, Plan 1311759, SE-13-23-05-05	General Location: Located in the hamlet of Bragg Creek
Land Use Designation: Hamlet Commercial District (HC)	Gross Area: ± 1.68 hectares (± 4.14 acres)
File Manager: Sandra Khouri	Division: 1

PROPOSAL:

The proposal is for the Automotive, Equipment and Vehicle Services & Retail Store (existing building), tenancy and signage for a motorcycle and small engine repair shop.

The proposed development is within unit #400 of the Bragg Creek Shopping Mall on 7 Balsam Avenue. The existing tenant is Art Country Canada, which falls under *Retail Store*. The new tenant, Bragg Creek Powersports, will utilize approximately 89.19 sq. m (960.00 sq. ft.) of the bay (the front two thirds) as *Retail Store* and will include the sale of motorcycle parts and merchandise. The back third, approximately 59.46 sq. m (640.00 sq. ft.) will be used for small engine repair and maintenance for motorcycles, ATVs, lawnmowers, chainsaws, and other small engine equipment. This will require a change of use to *Automotive, Equipment, and Vehicle Services*.

Recommendation Rationale

- The operation of the automotive and equipment repair component of the business will generate excessive noise that may unduly impact adjacent units and/or the surrounding area;
- The proposal is not in keeping with the nature of the Hamlet Commercial Core and would be better suited to an industrial area; and
- The Greater Bragg Creek Area Structure Plan states *Automotive, Equipment, and Vehicle Services* as an undesirable use that should not be supported.

As such, the application component relating to the *Automotive, Equipment and Vehicles Services* is recommended for refusal. However, Administration has no concerns with the *Retail Store* component.

Land Use Bylaw (C-4841-97)

SECTION 63 *Hamlet Commercial District (HC)*

63.3 *Uses, Discretionary*

Automotive, Equipment and Vehicle Services

63.9 *Bragg Creek Exception*

Notwithstanding 62.2, in the Hamlet of Bragg Creek, as shown on Land Use Map 39-1, the following uses shall be considered Discretionary Uses:

Retail Store

**SECTION 8 Definitions**

- *AUTOMOTIVE, EQUIPMENT AND VEHICLE SERVICES means a development used for the rental, lease, sale, storage, service, restoration and/or mechanical repair of automobiles, trucks, trailers, motorcycles, heavy equipment, snowmobiles, motor homes, tent trailers, boats, travel trailers or similar light vehicles, recreation but does not include truck trailer service or outdoor storage, truck trailer. Uses and facilities would also include transmission shops, muffler shops, auto body paint and repair facilities, and fleet services involving vehicles, motor for the delivery of people, goods or services.*
- *RETAIL STORE, LOCAL means a building or part thereof in which foods, wares, merchandise, substances, articles, or things are offered or kept for sale directly to local clientele at retail, but does not include Cannabis Sales.*

Business Information

- Business name: Bragg Creek Powersports
- Business details: Sale of motorcycle parts and merchandise; small engine repair and maintenance for motorcycles, ATVs, lawnmowers, chainsaws, and other small engine equipment.
- Parking: There are 5 stalls immediately adjacent to the subject unit, but the entire mall has a significant amount of shared parking (approximately 145 stalls) available.
- Employees: There is 1 full-time and 2 part-time employees.
- Hours of operation: Tuesday to Sunday from 8:00 am to 6:00 pm.
- Outside Storage: No outside storage is requested.
- Signage: One façade sign has been requested. Details were not provided with the application and will be requested.

Landscaping

- Landscaping was assessed on the initial development permit for the site. No new construction is occurring so additional landscaping is not required.

Parking

- Parking will be assessed in accordance with the *Automotive Services* use and *Commercial or Retail Use, General (not listed separately)* use under Schedule 5 of the Land Use Bylaw.
 - *Automotive Services: 2.00 stalls per service bay*
 - 1 service bay = 2 stalls
 - *Commercial or Retail Use, General: Gross floor area less than 2,000 sq. m; 2.70 stalls per 100.00 sq. m (1,076.40 sq. ft.) gross floor area*
 - $30.00 \text{ ft.} \times 32.00 \text{ ft.} = 960.00 \text{ sq. ft. or } 89.19 \text{ sq. m} \times (2.70 \text{ stalls} / 100.00 \text{ sq. m}) = 2.41 = 3 \text{ stalls}$
 - Total stalls required for the buildings is 5 stalls rounded up, as per Section 30.1 (c) of the Land Use Bylaw {2 + 3 = 5 stalls}.

Lighting

- No lighting has been proposed with the application.



- As per Section 27, the development must use full cut-off (shielded) outdoor light fixtures that direct light downward and are designed to minimize light pollution, glare, and light trespass onto adjacent properties, while maintaining night-time, on-site safety and security during evening operating hours. This has been identified as a permanent condition.

Permit History

- No permits on file for this unit; historical permits only.

STATUTORY PLANS:***Greater Bragg Creek Area Structure Plan (ASP)*****7.3.4 Undesirable Uses**

Recognizing the desire to create and to maintain a pedestrian friendly environment, the following uses should not be supported in the hamlet core:

Automotive, equipment and vehicles services

- This policy outlines desirable commercial uses for the Hamlet Commercial Core. Automotive, Equipment, and Vehicle Services is included as one of these uses. As such, this portion of the application will be recommended for refusal as it does not appear to align with the policies of the ASP.

INSPECTOR'S COMMENTS:

No inspection completed at this time

CIRCULATIONS:**Alberta Transportation**

No comments received.

Building Services Review

A building permit will be required for the change of use including Mechanical Engineered design for the ventilation and make up air required for the repair shop.

Architect or engineer required for the fire rated separation between repair shop and front office space.

Development Compliance Officer Review

Development Compliance has no comments or concerns with respect to the attached Application.

Utility Services

No Concerns.

Planning and Development Services – Engineering Review**General**

- The review of this file is based upon the application submitted. Should the submission material be altered or revised at subsequent development stages these conditions/recommendations may be subject to change to ensure best practices and procedure.

Geotechnical - Section 300.0 requirements:

- Engineering has no requirements at this time.

**Transportation** - Section 400.0 requirements:

- Prior to issuance, the applicant/owner will be required to confirm the anticipated number of daily customer visits. Depending on the number of anticipated number of daily customer visits, at the County's discretion, the applicant/owner may be required to provide a Trip Generation Memo and/or a Transportation Impact Assessment (depending on the findings of the Trip Generation Memo) conducted and stamped by a professional transportation engineer.
 - Should the Trip Generation Memo/TIA require upgrades to the road network, the applicant/owner will be required to enter into a Road Right-of-Way Construction Agreement with the County to construct the upgrades.
- There is an existing paved road approach off of Balsam Avenue providing access to the subject land.
- Prior to issuance, the applicant/owner will be required to pay the transportation offsite levy, as per the applicable TOL bylaw at time of DP issuance, over the development area. The applicant will be required to submit a revised site plan identifying the development area of the proposal.
 - The development area refers to the portion of lands utilized directly for development purposes, and includes: the driveway access; all structures (buildings), the storage and display areas directly associated to the use; and the required parking area (as defined in the Land Use Bylaw

Sanitary/Waste Water - Section 500.0 requirements:

- Engineering has no requirements at this time.

Water Supply And Waterworks - Section 600.0 & 800.0 requirements:

- Engineering has no requirements at this time.

Storm Water Management – Section 700.0 requirements:

- Engineering has no requirements at this time.

Environmental – Section 900.0 requirements:

- Engineering has no requirements at this time.
- The applicant/owner will be responsible to obtain all required AEP approvals should the proposed development impact any wetlands.

OPTIONS:

Option #1 (this would allow the business to operate as a retail store and repair shop)

APPROVAL, subject to the following conditions:

Description:

- 1) That *Automotive, Equipment and Vehicle Services & Retail Store* (existing building), tenancy and signage for a motorcycle and small engine repair shop may take place on the subject site in accordance with the Site Plan submitted with the application.

Prior to Issuance:

- 2) That prior to issuance of this permit, the Applicant/Owner shall submit signage details for the façade sign, including location and dimensions, in accordance with the Hamlet of Bragg Creek Design Standards and to the satisfaction of the County.



- 3) That prior to issuance of this permit, the Applicant/Owner shall submit a 3.2.2 Building Code Analysis, conducted by a qualified architect, to ensure unit compatibility with the existing building classification, to the satisfaction of the County.
- 4) That prior to issuance of this permit, the Applicant/Owner shall submit a Noise Impact Assessment, prepared by a qualified professional, to understand the Sound Transmission Class (STC) of the existing space and address the noise generated from the tenant's operations. The assessment should include noise control recommendations that will eliminate or reduce noise impacts to adjacent units, shopping patrons, and the surrounding area, to the satisfaction of the County.
- 5) That prior to issuance of this permit, the Applicant/Owner shall confirm the anticipated number of daily customer visits.
 - a) Depending on the anticipated number of daily customer visits, at the County's discretion, the Applicant/Owner may be required to provide a Trip Generation Memo and/or a Transportation Impact Assessment (depending on the findings of the Trip Generation Memo) conducted and stamped by a professional transportation engineer.
 - b) Should the Trip Generation Memo/TIA require upgrades to the road network, the applicant/owner will be required to enter into a Road Right-of-Way Construction Agreement with the County to construct the upgrades.

Permanent:

- 6) That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity, including but not limited to the Noise Impact Assessment.
- 7) That all vehicles and equipment needing repair shall enter and exit the unit through the side overhead loading door or the rear man door and shall access through the back laneway only. Vehicle and equipment drop offs shall not occur at the front of the unit through the main entrance door.
- 8) That there shall be no vehicle or equipment idling within the unit at any time.
- 9) That the development shall maintain all parking on-site, in accordance with the approved Parking Plan. That no customer/business parking shall be permitted within the adjacent County Road Allowance.
- 10) That the sign shall be installed in accordance with the signage details and kept in a safe, clean and tidy condition at all times.
- 11) That any future signage, not approved within this permit, shall require separate development permit approval.
- 12) That the outside storage of any vehicles, equipment, or materials is not permitted at any time. All business-related vehicles, equipment, or materials under repair or for storage purposes, shall be kept within the unit at all times.
- 13) That all outdoor lighting shall be full cut-off (shielded) light fixtures that direct light downward and designed to minimize light pollution, glare, and light trespass onto adjacent properties, while maintaining night-time, on-site safety and security during evening operating hours.
- 14) That the entire site shall be maintained in a neat and orderly manner at all times. All garbage and waste material shall be deposited and confined in weatherproof and animal-proof containers located within the building or adjacent to the side or rear of the building and screened



from view from all adjacent properties and public thoroughfares. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways.

- a) That any non-domestic wastewater, anti-freeze, oils or fuels that accumulate within the unit shall be held in sealed tanks, the contents of which shall be pumped out and properly disposed of off-site in accordance with the regulations administered by Alberta Environment.

Advisory:

- 15) That a Building Permit, for a change of use classification, shall be obtained through Building Services, prior to tenant occupancy and/or interior bay renovations.
- 16) That any other federal, provincial or County permits, approvals, and/or compliances are the sole responsibility of the Applicant/Owner.
- 17) That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void.
- 18) That if this Development Permit is not issued by **APRIL 30, 2021** or an approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Option #2 (this would allow the business to operate as a retail store only)

Description:

- 1) That *Retail Store* (existing building), tenancy and signage for a motorcycle merchandise shop may take place on the subject site in accordance with the Site Plan submitted with the application.

Prior to Issuance:

- 2) That prior to issuance of this permit, the Applicant/Owner shall submit signage details for the façade sign, including location and dimensions, in accordance with the Hamlet of Bragg Creek Design Standards and to the satisfaction of the County.

Permanent:

- 3) That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity.
- 4) That the development shall maintain all parking on-site, in accordance with the approved Parking Plan. That no customer/business parking shall be permitted within the adjacent County Road Allowance.
- 5) That the sign shall be installed in accordance with the signage details and kept in a safe, clean and tidy condition at all times.
- 6) That any future signage, not approved within this permit, shall require separate development permit approval.
- 7) That the outside storage of any vehicles, equipment, or materials is not permitted at any time. All business-related materials shall be kept within the unit at all times.



- 8) That all outdoor lighting shall be full cut-off (shielded) light fixtures that direct light downward and designed to minimize light pollution, glare, and light trespass onto adjacent properties, while maintaining night-time, on-site safety and security during evening operating hours.
- 9) That the entire site shall be maintained in a neat and orderly manner at all times. All garbage and waste material shall be deposited and confined in weatherproof and animal-proof containers located within the building or adjacent to the side or rear of the building and screened from view from all adjacent properties and public thoroughfares. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways.

Advisory:

- 10) That a Building Permit, for a change of use, shall be obtained through Building Services, prior to tenant occupancy and/or interior bay renovations.
- 11) That any other federal, provincial or County permits, approvals, and/or compliances are the sole responsibility of the Applicant/Owner.
- 12) That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void.
- 13) That if this Development Permit is not issued by **APRIL 30, 2021** or an approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Option #3 (this would not allow the business to operate)

REFUSAL, for the following reasons:

- 1) That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2) That the proposed *Automotive, Equipment & Vehicles Services* use does not conform to the policies of the Greater Bragg Creek Area Structure Plan.

Municipal Planning Commission

262075 Rocky View Point

Rocky View County

AB, T4A 0X2.

With regards to our application to change part of the use of unit # 400, 7 Balsam Avenue, Bragg Creek to include a motorcycle service & repair workshop along with retail elements for motorcycle parts and accessories, plus tourism merchandise. It has been brought to our attention that there are two items that have brought this application before the committee for review.

The inclusion of automotive, equipment and vehicles services in the Hamlet Commercial Core.

This has confused us a little as there has been an element of automotive industry in the hamlet commercial core at Bragg Creek long before we moved to the area in 2009. The Husky gas station had a car repair workshop with 2 or 3 bays. When that was replaced with the ESSO gas station, planning permission was given to replace the automotive bays which, after some time of trying to attract a tenant, was eventually changed over to a fast food venue.

The noise impacts to adjacent units and surrounding areas.

The unit that we are looking at is technically a stand-alone unit. One neighbor, a sewing machinist, is over 20+ feet away across the recess to the garbage bays. The other, a bar, restaurant and live music venue, while giving the appearance of being attached, we have been informed is not. The workshop area we have in mind, is separated by the mechanical room and rest room in unit #400 and by the rest rooms on the other side.

Despite initial thoughts, a small engine workshop with one journey man motorcycle mechanic is not as noisy as you may think at first. Oil and filter changes, tire changes etc do not warrant any noise that would cause a nuisance. There are on occasions the need to run an engine for a few minutes for diagnostic purposes which would create no more noise than a motorcycle driving around the parking lot.

Before the meeting on September 3rd, we will talk to the adjacent buildings residents for their feedback and send in or bring along the results.

In summary the small engine workshop that we propose has two elements.

1. The locals will have someone local to service and repair their mechanical equipment such as snow clearing equipment (ATVs & side by sides ploughs and snowblowers) as well as other small engine items commonly used on acreages such as chain saws. This will remove the need for locals to either pay for pick and up delivery from a repair shop in Calgary or Cochrane or the need to transport the equipment back and forth in trucks and trailers, especially on winter roads. This service would also be open to the West Bragg Creek Trails Association and the Redwood Meadows Fire department should they wish to use it, even if they just need to borrow tools or ask for any expert knowledge to assist volunteers.

There is also the potential for vehicle tire changes for the locals as the seasons change, only if workshop space allows; we are also looking into windshield repair options.

2. The hamlet of Bragg Creek is awash with motorcycle riders in Spring, Summer and Fall. It is a real gathering spot. If we can do the basic service, tire changes and repairs as they wait, we could be keeping them in area for longer than normal; hopefully to browse the other retail outlets and food services and spend some money.

Not only are we tapping into the customer base that is already there, we are keen to diversify the options for Bragg Creek visitors than what is currently on offer in the hamlet. We feel there is opportunity to promote the area of Bragg Creek as a whole. Currently there is limited Bragg Creek merchandise available to buy and we have sourced Canadian companies that produce quality apparel that can be tailor made for the activities that bring people to Bragg Creek.

We already promote Bragg Creek on the world stage. We have a classic race motorcycle that is built at home and that has won awards at the Isle of Man Classic TT races as the Bragg Creek Powersports, Canada motorcycle. This has resulted in both press reports in worldwide motorcycle publications as well as local newspapers.

We look forward to the opportunity to come talk to the committee and answer any questions that you may have.

Regards

Jon Paskett.







ROCKY VIEW COUNTY
Celebrating Communities

20202131

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Received \$530.00	File Number 03213040
Date of Receipt July 24, 2020	Received By 2020 024/851

Name of Applicant JON PASKETT

Email [REDACTED]

Mailing Address [REDACTED]

Telephone (B) [REDACTED]

(H) [REDACTED]

Postal Code [REDACTED]

Fax [REDACTED]

For Agents please supply Business/Agency/ Organization Name [REDACTED]

Registered Owner (if not applicant) CAPITAL IDEAS LTD.

Mailing Address 1212 1ST ST SE, CALGARY, AB

Postal Code T2G 2H8

Telephone (B) 403 282 1428

(H) 403 282 0166

Fax [REDACTED]

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the SE 1/4 Section 13 Township 23 Range 05 West of 05 Meridian 05
- b) Being all / parts of Lot 13 Block 1 Registered Plan Number 1311759
- c) Municipal Address 4400 12th Avenue
- d) Existing Land Use Designation HC Parcel Size 4.14 ACRES Division 01

2. APPLICATION FOR

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes [REDACTED] No ✓
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? (Sour Gas facility means well, pipeline or plant) Yes [REDACTED] No ✓
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes [REDACTED] No ✓
- d) Does the site have direct access to a developed Municipal Road? Yes ✓ No [REDACTED]

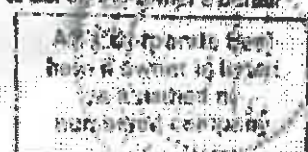
4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

CAPITAL IDEAS LTD. hereby certify that [REDACTED] I am the registered owner
(Full Name in Block Capitals)

I am the registered owner

✓ I am authorized to act on the owner's behalf

and that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.



Applicant's Signature [Signature]

Date 7/23/20

Owner's Signature [Signature]

Date July 23/2020



CHANGE OF USE OF LAND OR AN EXISTING BUILDING

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date of Receipt	Receipt #

Business Name: BRAGG CREEK POWERSPORTS.
 Business Details: MOTORCYCLE / SMALL ENGINE REPAIR - RETAIL
 What is the current approved use? FURNITURE RETAIL (HAMLET COMMERCIAL)
 Will you be making any changes to the building and/or land? YES ☐ NO ☒
 If YES – Please describe: _____

1. PARKING

How many daily customer visits are anticipated? UNKNOWN
 How many assigned parking spaces are there? ZERO
 How will overflow of parking be managed? NO OVERFLOW ANTICIPATED - 180 STALL P. LOT

2. EMPLOYEES

How many people are employed by the business? 3 Full Time: 1 Part Time: 2

3. OPERATION

Total area of business: 1562 (sq. ft. / sq. m)
 What are your days and hours of operation? Days: TUES to SUN Hours: 8AM to 6PM

4. STORAGE AND SIGNAGE

Is outside storage required? YES ☐ NO ☒ If YES – Total outside storage area _____ (sq. ft. / sq. m)
 Will any sign(s) be required? YES ☒ NO ☐
 If YES – Number of sign(s) required: 1 Type of sign(s) required: FASCIA SIGN

5. ADDITIONAL INFORMATION

☒ Site Plan ☐ Sign Details ☐ Cover Letter

Signature of Applicant: _____ Date: _____



ROCKY VIEW COUNTY
Cultivating Communities

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.

Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, _____, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

Signature

Date

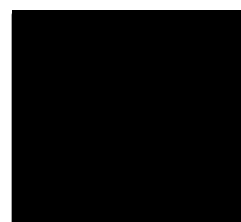


Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A. 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, S. Parnett hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

[Signature]
Signature

26/4/2020
Date



To whom it may concern

Please find attached the paperwork to apply for a change of use of unit #400 7 Balsam Avenue, Bragg Creek. I have been dealing with Ralf Woessner and Rob Grey @ Spaceopoly who rent these Bragg Creek retail units out. Ralf is very interested in my venture and helping me as much as possible so I can go ahead with it. We hope to sign a short term contract in order to establish if the business is viable at this location.

As a proud resident of Bragg Creek for over a decade and a highly skilled red seal journeyman motorcycle mechanic, I am interested in setting up a business to attract people to the hamlet, draw on the existing customer base and also add value for the local Creekers. I have already been helping maintain the Bragg Creek Trails association equipment over the past few years in their superb facility. I am known to many local residents who have all expressed great interest when I have mentioned my ideas. I am looking at becoming even more part of our great community as soon as possible.

I have already promoted Bragg Creek on the world stage with a race motorcycle that I have taken to the Isle of Man Classic TT races under the banner of Bragg Creek Powersports multiple times. In doing so I have built up a worldwide following on social media where Bragg Creek is highly visible, that online presence will only be heightened with a retail space and store front.

My plan is to offer small engine repair & maintenance to cover motorcycles, ATV's, lawnmowers, chainsaws and other small engine equipment. I am sure local Creekers will appreciate a great local service, so they do not have to transport their equipment into the city to have it serviced and repaired. This service will be even more invaluable in the winter when its snow removal season.

Alongside the above service I will have a retail section for sales to tourists, motorcycle enthusiasts, and locals a like. This will include parts and merchandise including Bragg Creek merchandise to promote our fantastic small town. I will also have my racing motorcycle and other memorabilia on display for visitors to see.

The work is expected to be in greater demand during the Spring to Fall seasons, but I had put this business idea on hold with the insurgence of Covid 19 earlier this year. As you will understand I am extremely keen to get this project up and running as soon as possible, now that Alberta is doing a good job with the virus, and to get established and known locally.

The unit in question is ready to lease as soon as we get the required approvals, so your urgent attention would be greatly appreciated.

Yours sincerely

A handwritten signature in dark ink, appearing to read 'Jon Paskett', written over the 'Yours sincerely' line.

Jon Paskett



LAND TITLE CERTIFICATE

S		
LINC	SHORT LEGAL	TITLE NUMBER
0035 716 919	1311759;1;13	131 154 100

LEGAL DESCRIPTION
 PLAN 1311759
 BLOCK 1
 LOT 13
 EXCEPTING THEREOUT ALL MINES AND MINERALS
 AREA: 1.675 HECTARES (4.14 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
 ATS REFERENCE: 5;5;23;13;SE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 071 451 826 +2
 071 451 826 +1
 071 451 826

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
131 154 100	28/06/2013	PLAN OF SURVEY - NEW TITLE		

OWNERS

CAPITAL IDEAS LTD.
 OF 202, 1212 - 1ST STREET SE
 CALGARY
 ALBERTA T2G 2H8

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION	DATE (D/M/Y)	PARTICULARS
NUMBER		
871 013 965	28/01/1987	CAVEAT RE : LEASE CAVEATOR - HER MAJESTY THE QUEEN IN RIGHT OF CANADA AS REPRESENTED BY MINISTER OF PUBLIC WORKS C/O PUBLIC WORKS CANADA REAL ESTATE SERVICES BOX 488, EDMONTON

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
131 154 100

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

ALBERTA T5J2K1
AGENT - MELVIN GERES
" AFFECTS PART OF THIS TITLE "

951 246 883 30/10/1995 UTILITY RIGHT OF WAY
GRANTEE - FORTISALBERTA INC.
320 - 17 AVENUE S.W.
CALGARY
ALBERTA T2S2Y1
PORTION AS DESCRIBED
(DATA UPDATED BY: TRANSFER OF UTILITY RIGHT
OF WAY 001298197)
(DATA UPDATED BY: CHANGE OF NAME 051029349)

171 149 844 07/07/2017 CAVEAT
RE : LEASE INTEREST
CAVEATOR - BHAVANI (CANADA) CORPORATION.
520,1110 CENTRE STREET NORTH
CALGARY
ALBERTA T2E2R2
AGENT - CHARLES N D HOTZEL

171 149 845 07/07/2017 CAVEAT
RE : LEASE INTEREST
CAVEATOR - BHAVANI FOOD (CANADA) CORPORATION.
520,1110 CENTRE STREET NORTH
CALGARY
ALBERTA T2E2R2
AGENT - CHARLES N D HOTZEL

191 208 013 10/10/2019 CAVEAT
RE : LEASE INTEREST
CAVEATOR - LEGISLATIVE ASSEMBLY OFFICE.
ATTN PARLIAMENTARY COUNSEL
3105, 9820 107 ST NW
EDMONTON
ALBERTA T5K1E7
AGENT - SHANNON DEAN

TOTAL INSTRUMENTS: 005

(CONTINUED)

PAGE 3
131 154 100

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 23 DAY OF JULY,
2020 AT 10:36 A.M.

ORDER NUMBER: 39779553

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

Property Search Results

This section allows you to view tax assessments

Tax Roll 03913040

100, 7 BALSAM AVE (plus more
addresses)

13, 1, 1311759

SE, 13, 23, 05, 05

Assessment Inquiry

Page: 1

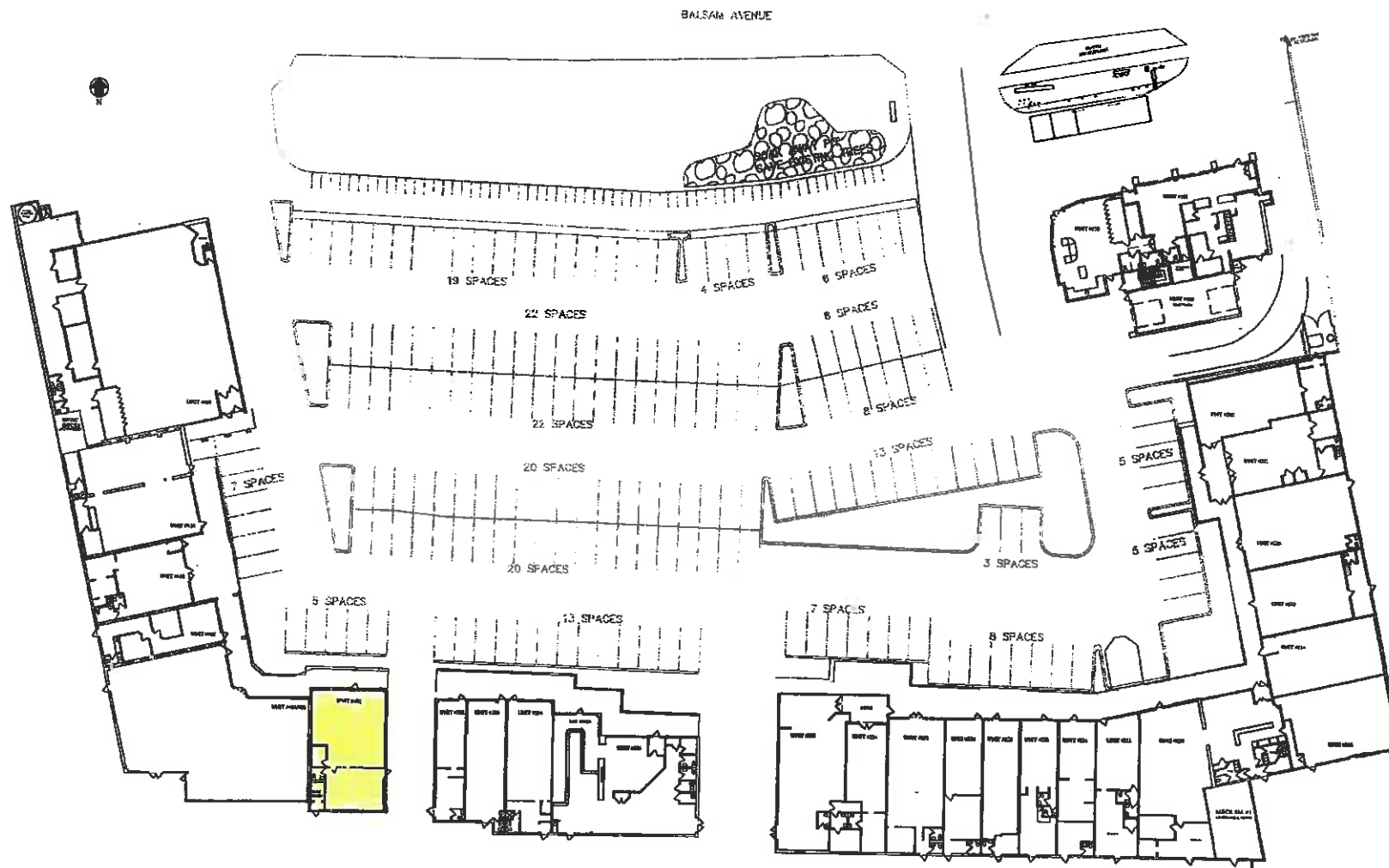
New Search

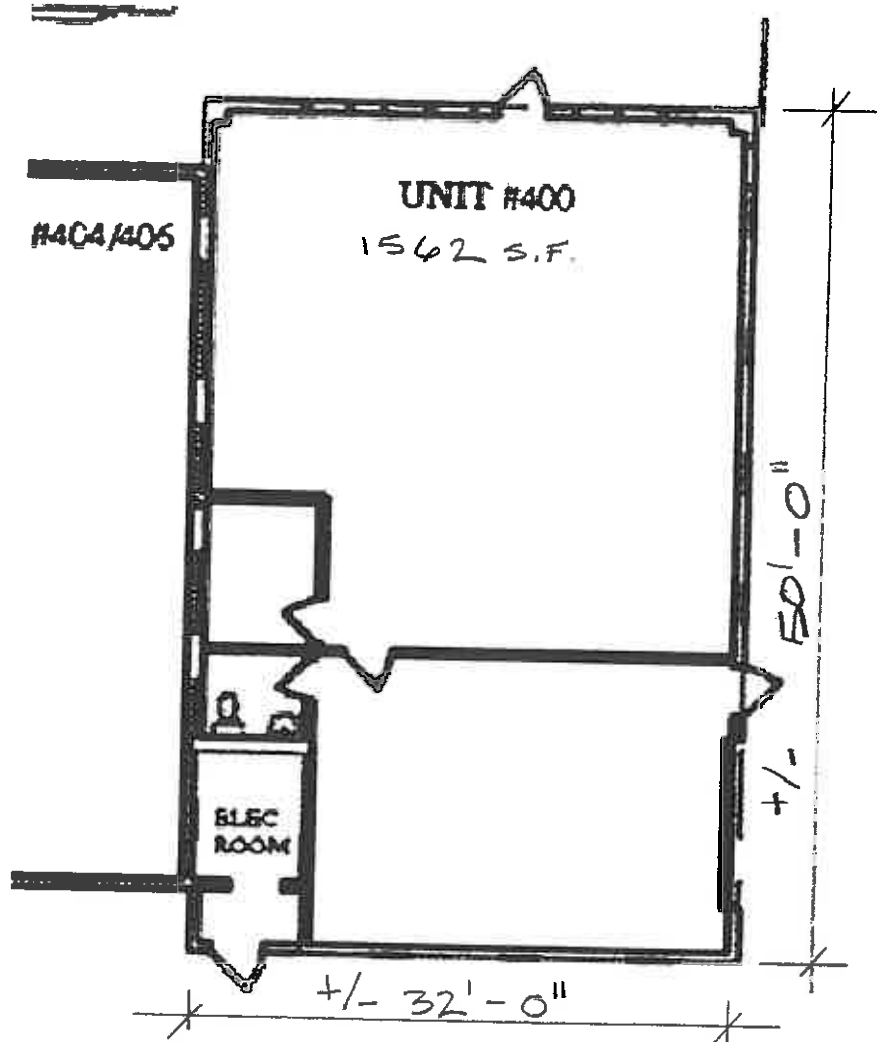
□□



AREA OF SIGNAGE
APPROX 6' X 8'

BRAGG CREEK SHOPPING MALL
7 Balsam Avenue, Bragg Creek AB





PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
SUBJECT: Development Item: Single-lot regrading
USE: Discretionary use, with no Variances

DATE: September 3, 2020
APPLICATION: PRDP20202106

APPLICATION: The proposal is for the single-lot regrading and placement of clean fill, including construction of a berm and swales

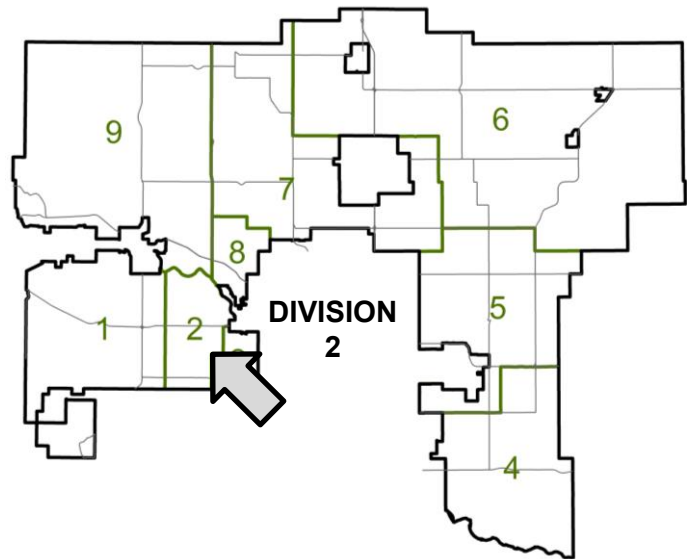
GENERAL LOCATION: located approximately 4.02 km (2 1/2 miles) north of Twp. Rd. 250 and 0.81 km (1/2 mile) west of Rge. Rd. 33

LAND USE DESIGNATION: Residential One District (R-1)

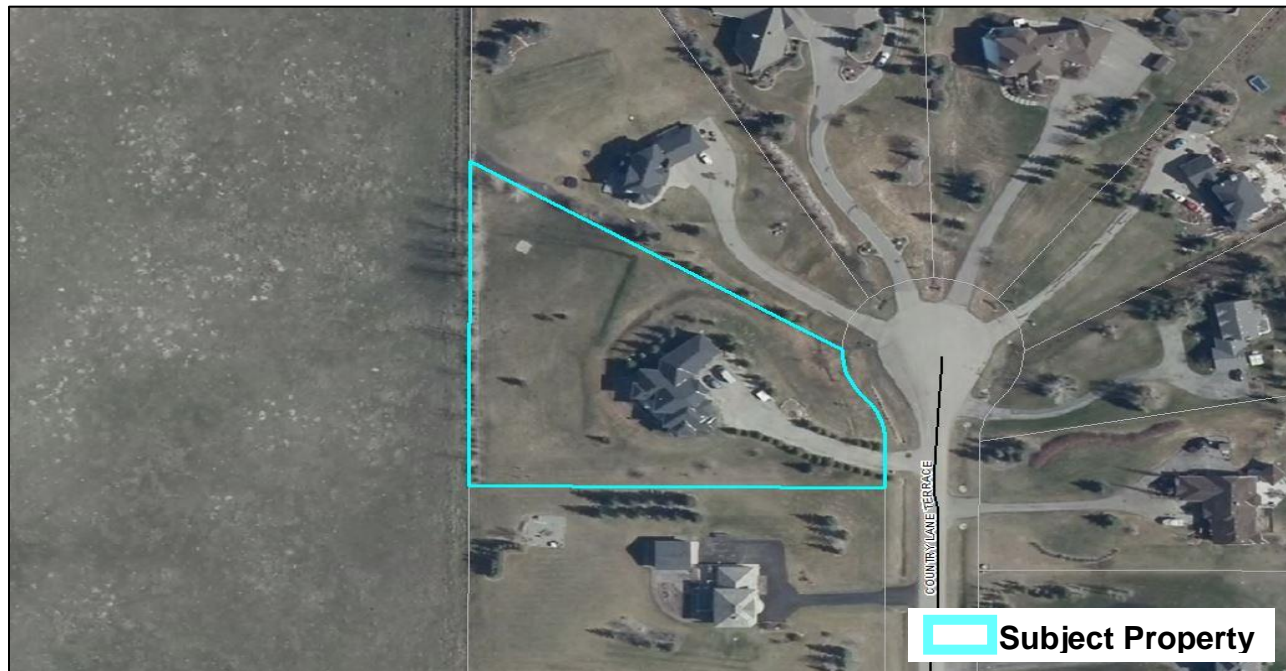
ADMINISTRATION RECOMMENDATION:
 Administration recommends approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20202106 be approved with the development conditions noted in the report.
- Option #2: THAT Development Permit Application PRDP20202106 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Sandra Khouri, Planning and Development Services

**DEVELOPMENT PERMIT REPORT**

Application Date: July 23, 2020	File: 05716086
Application: PRDP20202106	Applicant/Owner: Pilot, Patrizio
Legal Description: Lot 16, Block 3, Plan 9411017, NE-16-25-03-05	General Location: located approximately 4.02 km (2 1/2 miles) north of Twp. Rd. 250 and 0.81 km (1/2 mile) west of Rge. Rd. 33
Land Use Designation: Residential One District (R-1)	Gross Area: ± 0.80 hectares (± 1.98 acres)
File Manager: Sandra Khouri	Division: 2

PROPOSAL:

The proposal is for the single-lot regrading and placement of clean fill including construction of a berm and swales.

Under Section 33.1 of the Land Use Bylaw, all stripping, filling, excavation, grading and/or re-contouring requires a Development Permit.

The intent of the application is to improve drainage on the lot by redirecting water to the existing County culverts. The Applicant has indicated that water is not currently draining into the culverts and is pooling throughout the lot. The Applicant wishes to construct a berm along the north side of the property with a swale adjacent to it to redirect drainage from the back of the property to the front. He also wants to add another swale along the west side that will connect drainage flow from the southwest portion of the lot to the northern portion. The ultimate goal is that all water would be directed towards the existing culverts at the front of the property.

Placement of berm (along north portion of the property) with adjacent swale to the south and swale to the west:

- **Height:** < 1.20 m (3.93 ft.)
- **Width:** unknown
- **Length:** unknown
- **Area:** 0.28 hectares (0.71 acres)
- **Volume:** 800 cubic metres
- **Truckloads:** minimum 60
- **Slope factor:** 1% on north side, up to 5% in deep pockets where more water pools

Development Permit History:

No history

STATUTORY PLANS:

The subject property is located within the Central Springbank ASP. This plan does not provide policy guidance on applications of this nature. As such, the application was evaluated in accordance with the Land Use Bylaw and the County Servicing Standards.

INSPECTOR'S COMMENTS:

No inspection completed at the time this report was written.

CIRCULATIONS:Calgary Airport Authority

No comments provided.

Development Compliance Officer Review

Development Compliance has no comments or concerns regarding the attached application.

Planning and Development Services - Engineering Review**General**

- The review of this file is based upon the application submitted. Should the submission material be altered or revised at subsequent development stages these conditions/recommendations may be subject to change to ensure best practices and procedure.
- Prior to issuance, the applicant/owner will be required to submit a construction management plan addressing noise mitigation measures, traffic accommodation, sedimentation and dust control, management of stormwater during construction, erosion and weed control, construction practices, waste management, firefighting procedures, evacuation plan, hazardous material containment and all other relevant construction management details.

Geotechnical - Section 300.0 requirements:

- Prior to issuance, should there be areas of fill that are greater than 1.2 m in depth, the applicant/owner will be required to provide a Deep Fills report conducted by a professional geotechnical engineer for all areas of fill greater than 1.2 m in depth.
- As a permanent condition, should there be areas of fill that are greater than 1.2 m in depth, the applicant/owner will be required to provide compaction testing verifying that the fill areas greater than 1.2 m in depth were placed in accordance with the Deep Fills report accepted by the County.

Transportation - Section 400.0 requirements:

- Prior to issuance, the applicant/owner is required to contact County Road Operations to determine if any permits or if a Road Use Agreement is required (dependent on the quantity of the fill) during the construction of the proposed development.
- Prior to issuance, the applicant/owner is required to contact County Road Operations to determine if a temporary road approach is required to access the site during development.
- There is an existing paved road approach off of Country Lane Terrace providing access to the subject land.
- The applicant/owner will not be required to pay the transportation offsite levy, as per the applicable TOL bylaw at time of DP issuance, since the proposed development is within the residential land use district and will not result in an increase in traffic to the local road network.

Sanitary/Waste Water - Section 500.0 requirements:

- Engineering has no requirements at this time.

Water Supply And Waterworks - Section 600.0 & 800.0 requirements:

- Engineering has no requirements at this time.

Storm Water Management – Section 700.0 requirements:

- Prior to issuance, the applicant/owner will be required to provide a Site-Specific Implementation Plan (SSIP) conducted and stamped by a professional stormwater engineer that assesses and provides stormwater mitigation measures and is in accordance with the Springbank Master Drainage Plan, the Springbank Creek Catchment Plan, and the County Servicing Standards.
- Prior to issuance, the applicant/owner shall submit a grading plan conducted and stamped by a professional engineer that provides pre-development and post-development grades and is in accordance with the recommendations of the SSIP accepted by the County.

Environmental – Section 900.0 requirements:

- Engineering has no requirements at this time.
- The applicant/owner will be responsible to obtain all required AEP approvals should the proposed development impact any wetlands.

Utility Services

No Concerns.

Agricultural Services Staff Comments

No agricultural concerns.

OPTIONS:

Option #1 (this would allow the development to commence)

APPROVAL, subject to the following conditions:

Description:

1. That single-lot regrading and the placement of approximately 800 cubic metres of clean fill, including construction of a berm and swales, shall be permitted in general accordance with the drawings submitted with the application and the conditions of this permit.

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall submit a Construction Management Plan, addressing noise mitigation measures, traffic accommodation, sedimentation and dust control, management of stormwater during construction, erosion and weed control, construction practices, waste management, firefighting procedures, evacuation plan, hazardous material containment and all other relevant construction management details, in accordance with the County Servicing Standards.
3. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.

- i. That the Applicant/Owner shall also confirm with County Road Operations if a temporary road approach is required to access the site during development. All approvals shall be obtained by the Applicant/Owner, if required.
 - ii. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.
4. That prior to issuance of this permit, the Applicant/Owner shall submit a Site-Specific Implementation Plan (SSIP), conducted and stamped by professional stormwater engineer, to confirm that the placement of fill is in accordance with the Springbank Master Drainage Plan, the Springbank Creek Catchment Plan, and the County Servicing Standards.
5. That prior to issuance of this permit, the Applicant/Owner shall submit a grading plan, conducted and stamped by a professional engineer, which provides pre-development and post-development grades and is in accordance with the recommendations of the SSIP, as accepted by the County.
 - i. Should there be any areas of fill that are greater than 1.20 m (3.93 ft.) in depth, the Applicant/Owner shall submit a Deep Fills report, conducted by a professional geotechnical engineer for all areas of fill greater than 1.20 m (3.93 ft.) in depth.

Permanent:

6. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity.
7. That upon completion of the proposed development, should there be areas of fill that are greater than 1.20 m (3.93 ft.) in depth, the Applicant/Owner shall submit compaction testing verifying that the fill areas greater than 1.20 m (3.93 ft.) in depth were placed in accordance with the Deep Fills report accepted by the County.
8. That it shall be the responsibility of the Applicant/Owners to ensure the fill has been placed in a safe manner that does not cause slope stability issues, slumping, or any other related safety issues.
9. That upon completion of the proposed development, the Applicant/Owners shall submit an as-built survey, confirming that the development proposal and post grades align with the supporting technical submissions for the file.
10. That any material entering to or leaving from the site, shall be hauled on/off in a covered trailer/truck, which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.
11. That the clean-up of any mud tracking and/or dirt that enters onto any County roads during hauling, shall be the responsibility and cost of the Applicant/Owner for clean-up.
12. That no topsoil shall be removed from the site.
13. That the Applicant/Owners shall ensure no organic material is buried and capped in a manner that will cause methane gas related issues.
14. That the fill shall not contain large concrete, rebar, asphalt, building materials, organic materials, or other metal.

15. That the Applicant/Owners shall take effective measures to control dust on the parcel so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity.
16. That if no future development of the proposed graded area occurs, the proposed graded area shall have a minimum of six (6) inches of topsoil placed on top, which shall then be spread and seeded to native vegetation, farm crop, or landscaped to the satisfaction of the County.
17. That the Applicant/Owners shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
18. That the subject land shall be maintained in a clean and tidy fashion at all times and all waste material shall be deposited and confined in an appropriate enclosure. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways. That all garbage and waste shall be stored in weatherproof and animal proof containers and be in a location easily accessible to containerized garbage pickup.

Advisory:

19. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
20. That the subject development shall conform to the County's Noise Bylaw C-5773-2003 in perpetuity.
21. That the site shall remain free of restricted and noxious weeds and maintained in accordance with the *Alberta Weed Control Act*.
22. That if the development authorized by this Development Permit is not completed within twelve (12) months of the date of issuance, the permit is deemed to be null and void.
23. That if this Development Permit is not issued by **APRIL 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Option #2 (this would not allow the development to commence)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.



16





ROCKY VIEW COUNTY
Cultivating Communities

20202106

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted 465.00	File Number 05716086
Date of Receipt July 23	Receipt # 2020 024813

Name of Applicant PATRIZIO PILOT Email [REDACTED]

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED] (H) [REDACTED]

For Agents please supply Business/Agency/ Organization Name Home residence

Registered Owner (if not applicant) _____

Mailing Address Same

Postal Code _____

Telephone (B) _____ (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the NE ¼ Section 16 Township 25 Range 03 West of 05 Meridian
- b) Being all / parts of Lot 16 Block 3 Registered Plan Number 9411017
- c) Municipal Address 59 Country Lane Terrace T3Z 1A8
- d) Existing Land Use Designation Residential R-1 Parcel Size 1.98 Division _____
acres

2. APPLICATION FOR

YARD FILLING AND REGRADING TO
IMPROVE WATER DRAINAGE

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No X
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No X
(Sour Gas facility means well, pipeline or plant)
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No X
- d) Does the site have direct access to a developed Municipal Road? Yes X No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I PATRIZIO PILOT hereby certify that X I am the registered owner
(Full Name in Block Capitals)

_____ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

Affix Corporate Seal
here if owner is listed
as a named or
numbered company

Applicant's Signature [Signature]

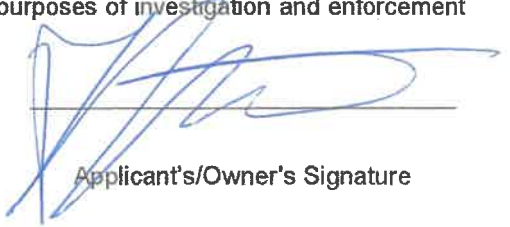
Date JUNE 20th 2020

Owner's Signature _____

Date JUNE 20th 2020

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.


Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, PATRIZIO PILOT, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


Signature

JUNE 20TH 2020
Date



ROCKY VIEW COUNTY
Cultivating Communities

STRIPPING, FILLING, EXCAVATION AND GRADING

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date of Receipt	Receipt #

Name of Applicant PATRIZIO PILOT

Address of Applicant [REDACTED]

Telephone (C) [REDACTED] (H) [REDACTED] (Fax) [REDACTED]

1. NATURE OF THE APPLICATION

Type of application (Please check off all that apply):

- ☐ Site stripping
☒ Filling
☒ Excavation (including removal of topsoil)
☒ Grading
☒ Re-contouring
☐ Stockpiling
☐ Construction of artificial water bodies and/or dugouts
☐ Other _____

2. PURPOSE

What is the intent of the proposal? To better grade the lot and slope it towards water evacuation system to prevent pooling (causing odors, mosquitoes etc) to correct surface drainage. + Foundation

Indicate the effect(s) on existing drainage patterns or environmentally sensitive areas (i.e. riparian, wetland, waterbodies) (if applicable)

no affect foreseen, as water would go where it is intended to go as per Rocky View's culverts + BERM between us + neighbours.

☒ The fill does not contain construction rubble or any hazardous substances (please check)

3. TYPE

Height less than 1.2m
 Width _____
 Length _____
 Area .71 acres square metres
 Volume 800 meters cubed
 Truckload 60 @ least (approximately)
 Slope Factor ~ 1% (if applicable)

* Please show all measurements in detail on your site plan.

on north side of yard, up to 5% in deep pockets where more water pools

4. TERMS AND CONDITIONS

(a) General statement about conditions:

- The Development Authority may include any condition necessary to satisfy a Land Use Bylaw provision, a County Plan, Area Structure Plan, Conceptual Scheme, Master Site Development Plan policy and/or County Servicing Standard.
- Where on-site works are proposed the County may, by condition, require the provision of a Construction Management Plan and/or Stormwater Management Plan.
- The Development Authority may impose any condition to meet a requirement of the Municipal Government Act or Subdivision and Development Regulation.
- As a condition of development approval, the Development Authority may include the requirement to update technical reports submitted with the application.

5. The Development Authority shall impose relevant requirements for the payment of levies associated with Bylaws for transportation, wastewater, water supply and stormwater:
 - i. Transportation Offsite Levy Bylaw;
 - ii. Water and Wastewater Offsite Levy Bylaw; and
 - iii. Such other Bylaws as may be in force or come into force and be applicable to development or activities on or services provided to the subject land from time to time.
6. The Development Authority shall determine any oversizing requirements for services and infrastructure required to be constructed as part of the proposed development. The County will determine Cost Recovery arrangements through preparation and execution of documents prior to endorsement of a plan of survey for registration.

(b) *Technical reports* are defined as any report or any information regarding a matter identified in the Municipal Government Act, Subdivision and Development Regulations, Statutory Plan, County Policy, Servicing Standards or Bylaw.

(c) General statement about technical reports:

1. Additional technical reports may be required after the time of application, based upon the ongoing assessment of the application.

(e) All costs of development are borne by the landowner / applicant including, but not limited to, all on and off-site construction works, infrastructure development, securities, levies, contributions, additional fees associated the preparation and review of reports and technical assessments, endorsement fees imposed by the County, registration fees and such other costs as may be associated with the development of the land. Further, that it is the landowner / applicant responsibility to identify and consider all costs of development.

(f) The applicant and landowner acknowledge that not providing the information required in this form or failing to provide accurate information may prejudice the assessment of the application.

(g) The applicant and landowner acknowledge that the County including individual staff members have not provided an advisory role with respect to the preparation and making of this application and that the decision to make the application is entirely that of the applicant and landowner.

(h) It should be noted that while every effort is made to ensure the applicants are provided with clear information regarding the requirement for application, that over the course of the application assessment process, particularly following a full technical review and also following submissions from agencies, additional technical information may be required. In addition to the requirement for further technical information, further justification regarding the merits of a development proposal may also be required.

5. ADDITIONAL INFORMATION

*We have discovered 3 cracks in our Foundation
With water coming out of them. We need
To address the water pooling issue as
soon as possible. A Berm between us and
neighbours will ensure we are not moving.*

I PATRIZIO PILOT hereby certify that
(Print Full Name)

- ☒ I am the registered owner *The issue*
☐ I am authorized to act on behalf *To Their*
of the registered owner *Lot.*

and that the information given on this form and the material provided with this application is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application for subdivision approval. Further, I have read, understood and accept the contents, statements and requirements contained and referenced in this document –
STRIPPING, FILLING, EXCAVATION AND GRADING.

PLEASE PROVIDE ALL OF THE ABOVE INFORMATION. THANK YOU.

Lot regarding proposal to address water pooling issues

59 Country Lane Terrace, Rockyview County, T3Z 1H8



June 2020

Table of contents

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Stripping, filling, excavation and grading form	pages 3-4
Site plan with existing and proposed swales and berms	page 5
Graphic showing all fill heights for swales and berms	page 6
Soil certificate for all fill to be used	pages 7-9
Aerial site photo	page 10
Detailed photos	pages 11-20
-Front yard, zone A	
-Back yard, zone B, C, D and E	
-Cracks discovered in the back foundation (water coming out)	
Copy of tax notice for lot numbers reference	page 21

IMPORTANT NOTES:

We currently have water pooling issues, trees dying, mosquito infestation and bad odors due to still water, and cracks in our foundation showing water coming out. We really need to get water away from our home and draining towards the county culvert.

Our neighbours on the south side have a lot much higher than ours, so our yard regarding would not affect them at all.

Our neighbours on the north side would not be affected either, as a berm would be built on all the side of our yard to pervert water from going from our lot to theirs. All slopes and swales will be directed towards the front yard and into the culvert.



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0026 022 038 9411017;3;16 191 085 211

LEGAL DESCRIPTION
PLAN 9411017
BLOCK 3
LOT 16
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 0.8 HECTARES (1.98 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5;3;25;16;NE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 191 030 500

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
191 085 211	06/05/2019	TRANSFER OF LAND	\$730,000	SEE INSTRUMENT

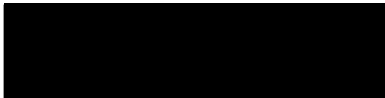
OWNERS

ANNE MARIE MEUNIER

AND

PATRIZIO PILOT

BOTH OF:



AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
761 141 577	17/11/1976	ZONING REGULATIONS SUBJECT TO SPRINGBANK AIRPORT ZONING REGULATIONS

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
191 085 211

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
901 089 078	09/04/1990	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED.
941 122 585	12/05/1994	UTILITY RIGHT OF WAY GRANTEE - ALTALINK MANAGEMENT LTD. 2611 - 3 AVE SE CALGARY ALBERTA T2A7W7 AS TO PORTION OR PLAN:9411014 (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 021216817) (DATA UPDATED BY: CHANGE OF ADDRESS 091109530)
941 122 593	12/05/1994	RESTRICTIVE COVENANT
941 122 594	12/05/1994	CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO PLANNING ACT CAVEATOR - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. 911 - 32ND AVENUE N E CALGARY ALBERTA T2M4L6
941 122 597	12/05/1994	UTILITY RIGHT OF WAY GRANTEE - CLEAR WATER UNLIMITED INC. GRANTEE - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. AS TO PORTION OR PLAN:9411018
941 122 598	12/05/1994	UTILITY RIGHT OF WAY GRANTEE - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. GRANTEE - WESTPOINT DEVELOPMENTS LTD. AS TO PORTION OR PLAN:9411018
951 183 856	16/08/1995	CAVEAT RE : RESTRICTIVE COVENANT
961 091 140	01/05/1996	CAVEAT RE : RESTRICTIVE COVENANT
191 085 212	06/05/2019	MORTGAGE MORTGAGEE - COMPUTERSHARE TRUST COMPANY OF CANADA. C/O HOME TRUST COMPANY 145 KING ST W SUITE 2300 TORONTO ONTARIO M5H1J8 ORIGINAL PRINCIPAL AMOUNT: \$438,000 (DATA UPDATED BY: TRANSFER OF MORTGAGE (CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 3
191 085 211

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
------------------------	--------------	-------------

191145919)

201 086 106	06/05/2020	MORTGAGE MORTGAGEE - THE BANK OF NOVA SCOTIA. 7000, 873 - 85TH STREET SW CALGARY ALBERTA T3H0J5 ORIGINAL PRINCIPAL AMOUNT: \$1,375,000
-------------	------------	---

TOTAL INSTRUMENTS: 011

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 23 DAY OF JULY,
2020 AT 01:22 P.M.

ORDER NUMBER: 39782479

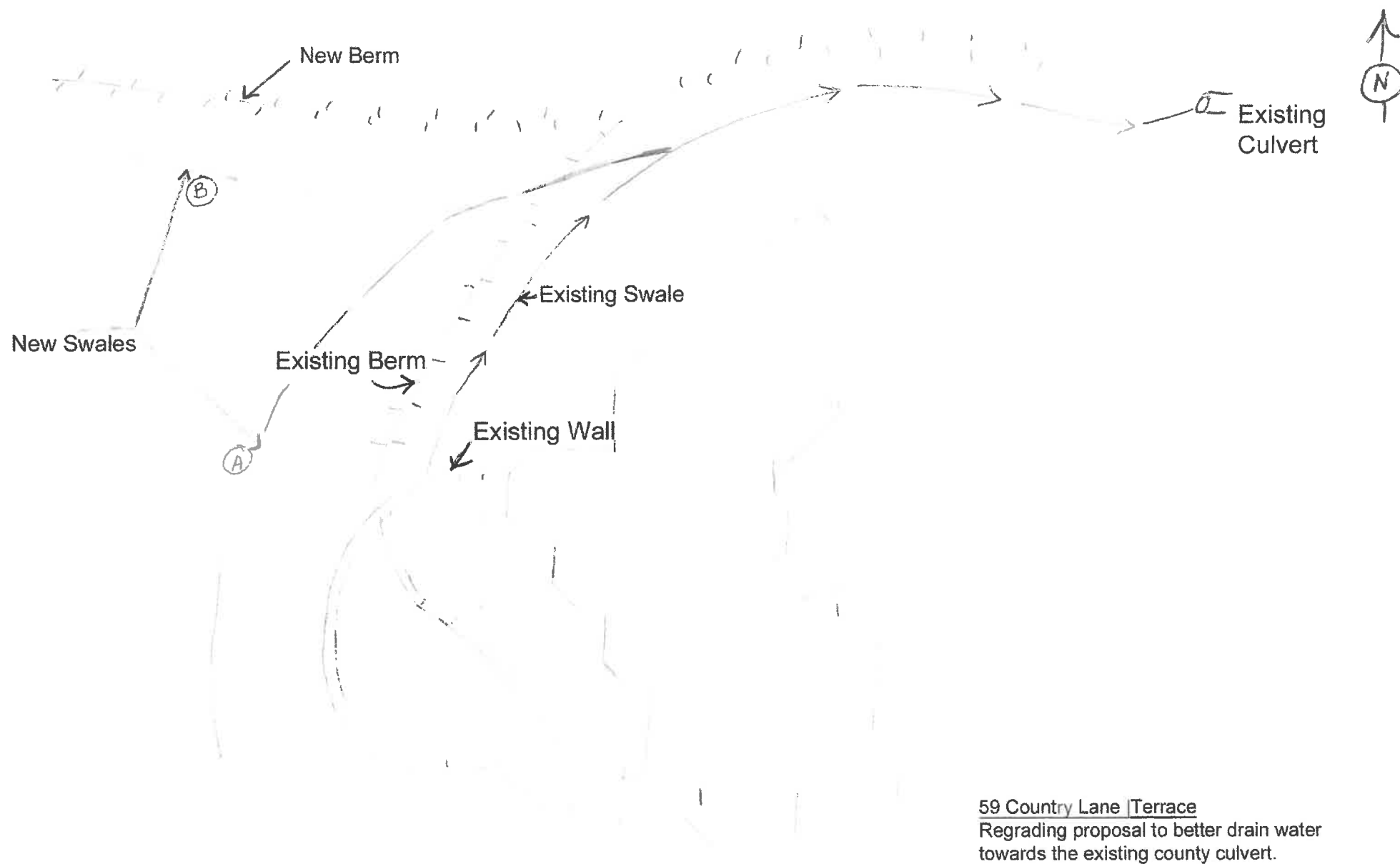
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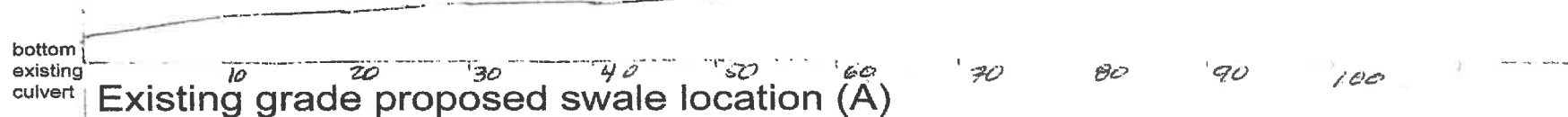
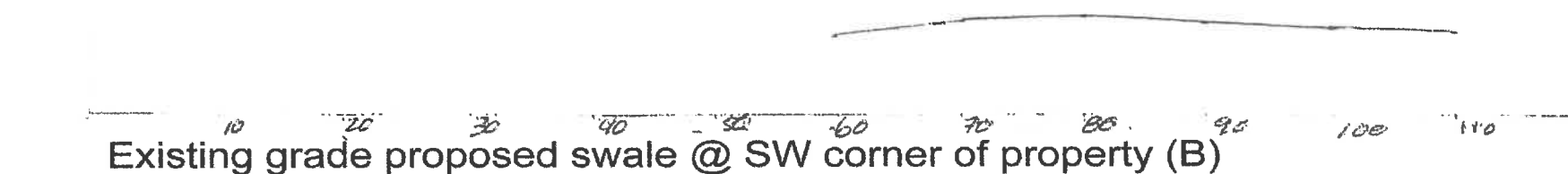
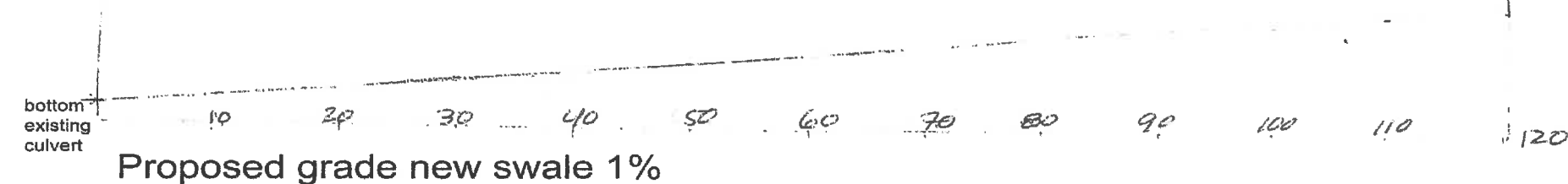


END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
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Scale 1:50

REPORT NUMBER
20-037-0119 v2
COMPLETED DATE
Feb 11, 2020
RECEIVED DATE
Feb 6, 2020

ACCOUNT
35001



PAGE 1/2
TODAY'S DATE
Feb 24, 2020

**NUTRILYTICAL INC.
BRUCE MARSHALL
B6 3911 BRANDON ST SE
CALGARY AB T2G 4A7**

IDENTIFICATION
ANDREW KEMP

SOIL ANALYSIS REPORT

LAB NUMBER	SAMPLE IDENTIFICATION	ORGANIC MATTER LOI	PHOSPHORUS			POTASSIUM		MAGNESIUM		CALCIUM		SODIUM		pH		CATION EXCHANGE CAPACITY CEC	PERCENT		BASE SATURATION		(COMPUTED)	
			P ₁ (WEAK 1:7)	P ₂ (STRONG 1:7)	OLSEN BICARBONATE P	K	Mg	Ca	Na	SOIL pH 1:1	BUFFER INDEX	% K	% Mg	% Ca	% H		% Na					
			percent	RATE	ppm	RATE	ppm	RATE	ppm	RATE	ppm	RATE	ppm	RATE	meq/100g							
357																						
93778	LOAM	4.8 VH	4 VL	30 M	19 H	352 VH		432 VH		3821 H		68		7.8		23.9	3.8	15.1	79.9	0.0	1.2	
LAB NUMBER	NITRATE-N (FIA)								SULFUR S ICAP	ZINC Zn DTPA	MANGANESE Mn DTPA	IRON Fe DTPA	COPPER Cu DTPA	BORON B SOGB. DTPA	DEERS LINE RUE	SOLUBLE SALTS 1:1 mmhos/ cm	RATE					
	SURFACE		SUBSOIL 1		SUBSOIL 2		Total lbs/A															
	ppm	lbs/A	depth (in)	ppm	lbs/A	depth (in)		ppm										lbs/A	depth (in)			
357																						
93778	14	25	0-6						25	38 VH	2.0 M	4 VL	30 VH	0.7 L	0.6 L	H	0.7 L					

REV.10/17

The above analytical results apply only to the sample(s) submitted. Samples are retained a maximum of 30 days.
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REPORT NUMBER
20-037-0119 v2
COMPLETED DATE
Feb 11, 2020
RECEIVED DATE
Feb 6, 2020

ACCOUNT
35001

**NUTRILYTICAL INC.
BRUCE MARSHALL
B6 3911 BRANDON ST SE
CALGARY AB T2G 4A7**



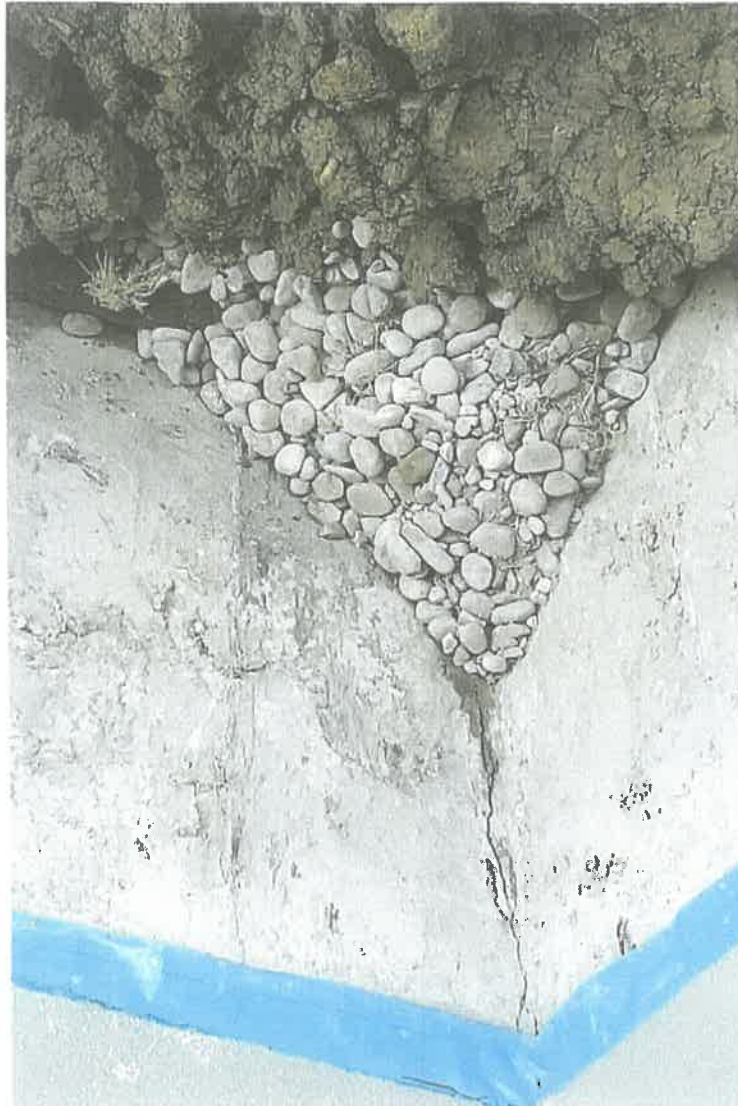
IDENTIFICATION
ANDREW KEMP

PAGE 2/2
TODAY'S DATE
Feb 24, 2020

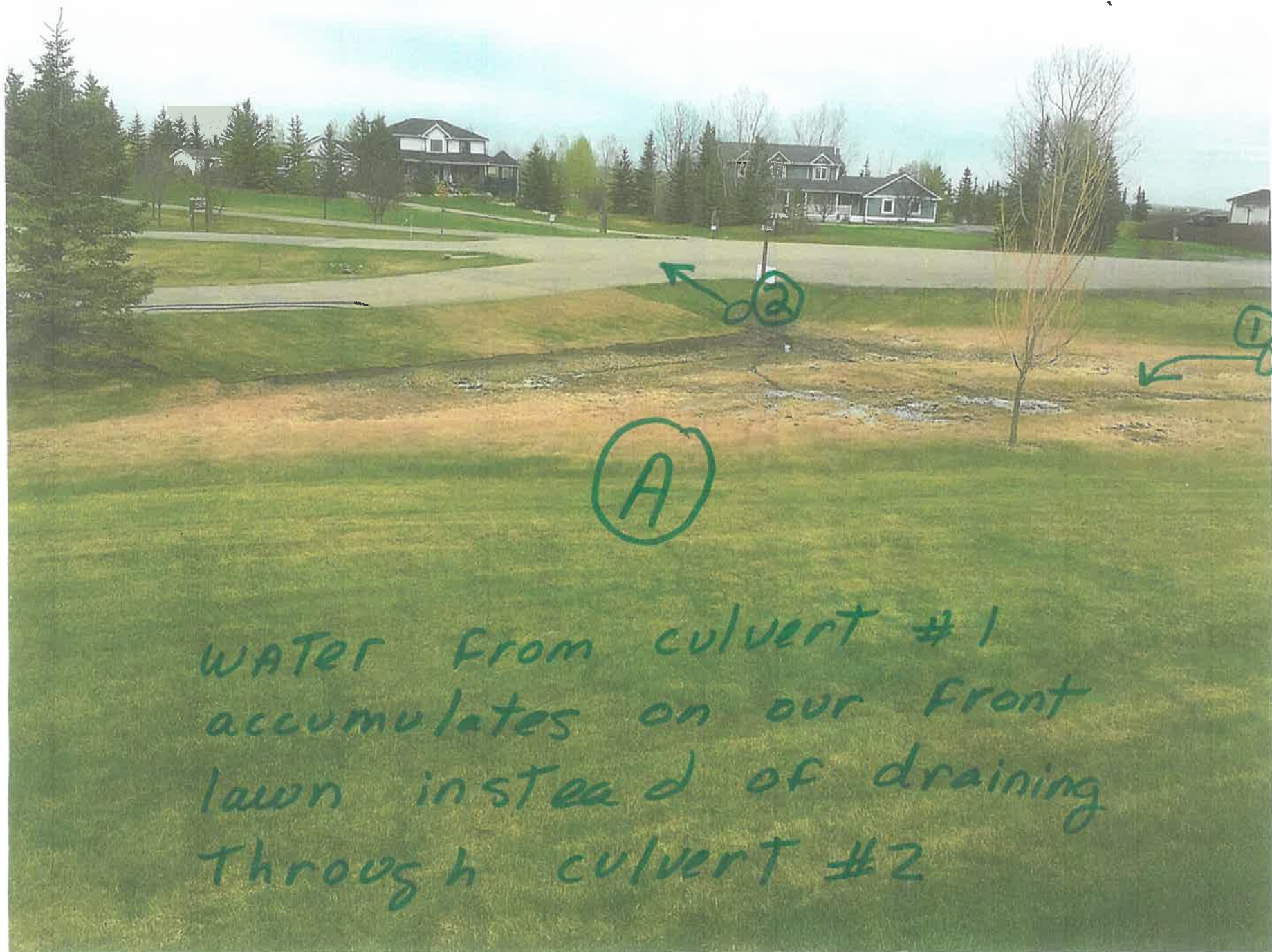
SOIL TEXTURE REPORT

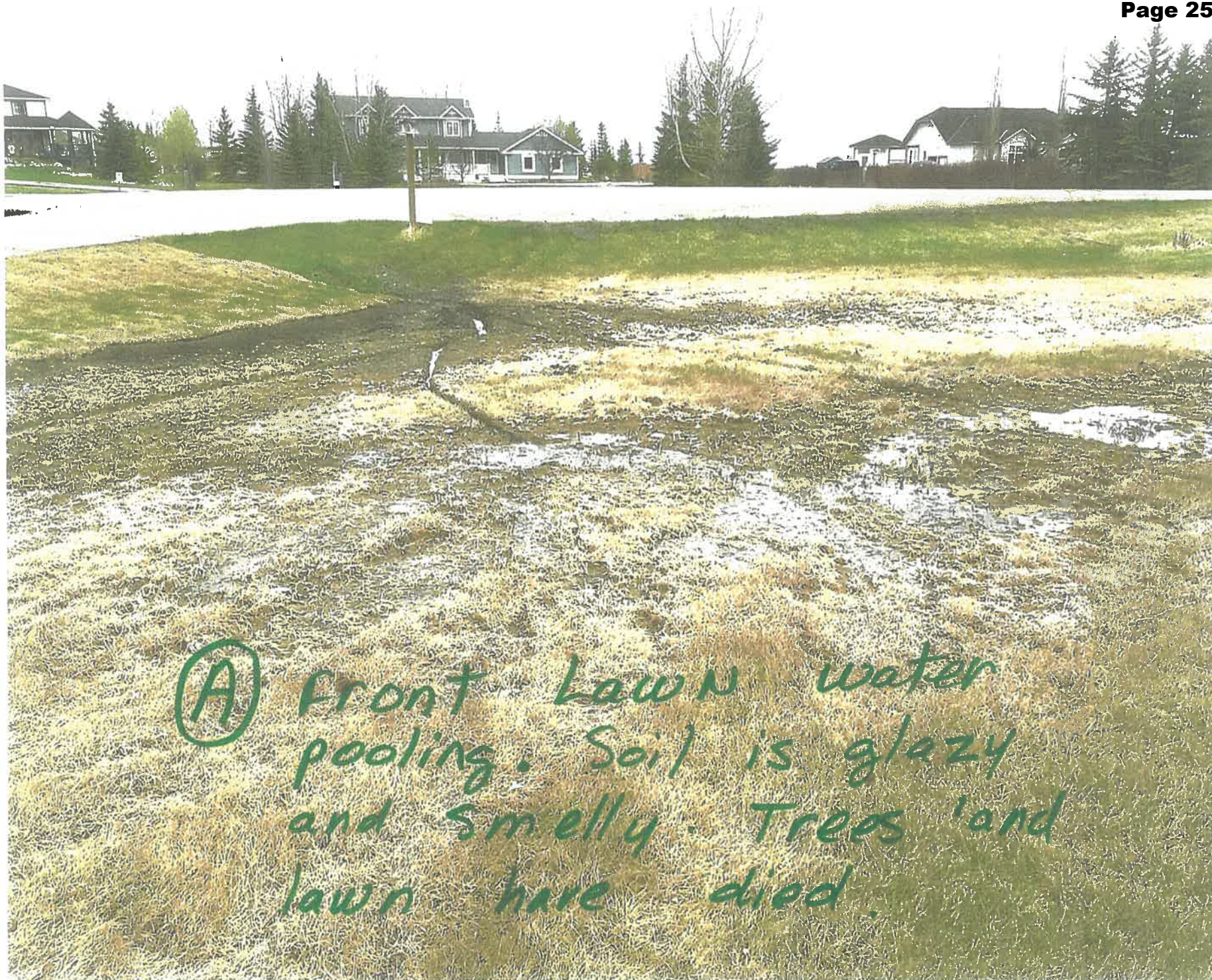
Lab Number	Sample Identification	SAND	SILT	CLAY	SOIL TYPE
35793778	LOAM	28%	38%	34%	CLAY LOAM

The above analytical results apply only to the sample(s) submitted. Samples are retained a maximum of 30 days.
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① Front Lawn water pooling. Soil is glazy and smelly. Trees and lawn have died.











⑤ CURRENT PROBLEM AREAS



PROPOSED AREA
FOR FILL

1077

± .71 acres

COUNTRY LANE TERRACE



PLANNING AND DEVELOPMENT SERVICES

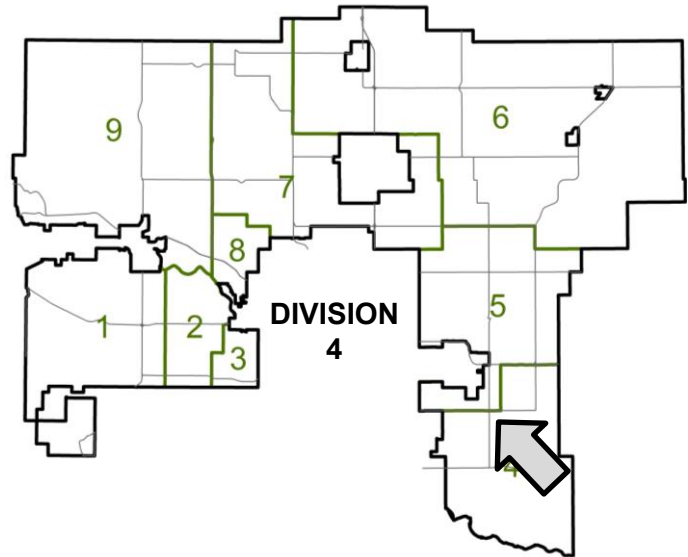
TO: Municipal Planning Commission **DATE:** September 3, 2020
SUBJECT: Development Item: Accessory Building and Signs **APPLICATION:** PRDP20202020
USE: Discretionary use, with Variances

APPLICATION: Religious Assembly (existing), construction of an accessory building (gazebo), and relaxation of the minimum front yard setback requirement and placement of a sign (Buddha statue)

GENERAL LOCATION: Located approximately 0.81 km (1/2 mile) south of Hwy. 560 and on the east side of Hwy. 791

LAND USE DESIGNATION: Public Services District (PS)

ADMINISTRATION RECOMMENDATION:
 Administration recommends approval in accordance with Option #1



VARIANCE SUMMARY:

Regulation	Requirement	Proposed	Variance
Front Yard Setback	60.00 m (196.85 ft.)	40.00 m (131.23 ft.)	33.33%

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20202020 be approved with the development conditions noted in the report.
- Option #2: THAT Development Permit Application PRDP20202020 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Sandra Khouri, Planning and Development Services



DEVELOPMENT PERMIT REPORT

Application Date: July 20, 2020	File: 03219028
Application: PRDP20202020	Applicant/Owner: Calgary Lao Buddhist Society
Legal Description: Lot 22, Block 1, Plan 0714198, W1/2-19-23-27-04	General Location: Located approximately 0.81 km (1/2 mile) south of Hwy. 560 and on the east side of Hwy. 791
Land Use Designation: Public Services District (PS)	Gross Area: ± 1.62 (± 4.00 acres)
File Manager: Sandra Khouri	Division: 4

PROPOSAL:

The proposal is for a Religious Assembly (existing), construction of an accessory building (gazebo), relaxation of the minimum front yard setback requirement and placement of a Sign (Buddha statue).

The Buddhist Temple Development Permit (PRDP20194369) was originally granted conditional approval by MPC on April 6, 2020. The permit is pending issuance until the prior to issuance conditions are satisfied.

- **Note:** as a prior to issuance condition of this DP, the original DP shall be issued.

The Applicant/Owner is now applying to add a three-sided gazebo, approximately 23.04 sq. m (248.00 sq. ft.) in size and 4.80 m (15.75 ft.) in height, to shelter a 2.74 m (9.00 ft.) high white Buddha statue. The gazebo will be supported on posts, covered by 3 plastic walls, and finished with a shingled roof. The statue and gazebo will be located in front of the temple on a cement pad, approximately 40.00 m (131.23 ft.) from the front property line and just south of the freestanding monument sign approved on the original DP.

Land Use Bylaw:

Section 8 Definitions

RELIGIOUS ASSEMBLY means a development owned by a religious organization used for worship and related religious, philanthropic, or social activities and includes accessory rectories, manses, meeting rooms, classrooms, dormitories, and other buildings. Typical facilities would include churches, chapels, mosques, temples, synagogues, parish halls, convents, and monasteries.

SIGN means an object or device intended for the purpose of advertising or calling attention to any person, matter, thing, or event.

Section 65 Public Services District (PS)

65.2 Uses, Permitted

Accessory buildings less than 90.00 sq. m (968.75 sq. ft.) building area.

- Proposed: 23.04 sq. m (248.00 sq. ft.) in building area

65.3 *Uses, Discretionary*

Accessory Building

Religious Assembly

Signs

65.5 *Minimum Requirements*

(b) Yard, Front:

(ii) 60.00 m (196.85 ft.) from any road, highway

- Accessory Building: 40.00 m (131.23 ft.)
 - This is a variance of 33.33%
 - See Alberta Transportation approval below (#RSDP026466-2).

(c) Yard, Side:

(v) 6.00 m (19.69 ft.) from all other

- Accessory Building: Lots on both sides

(d) Yard, Rear

(ii) 15.00 m (49.21 ft.)

- Accessory Building: Lots

65.6 *Maximum Requirements*

(a) Maximum Height:

(ii) 5.50 (18.04 ft.) – accessory building

- Accessory Building: 4.80 m (15.75 ft.)

65.7 *Special Requirements*

A minimum of 10% of the site area shall be landscaped.

- This application is minor in nature and would not trigger additional landscaping. Landscaping requirements have been considered on the original development permit.

Lighting

Section 27.2 a) Outdoor lighting on any development shall comply with the following provisions:

- (i) All developments shall use full cut-off (shielded) outdoor light fixtures that direct the light downward;*
- (ii) no light structure shall exceed a height of 7.62 m (25.00 ft.); and no light shall be attached to a structure above a height of 7.62 m (25.00 ft.) along that structure*
 - Solar powered lights will be installed in the gazebo but details were not provided.
 - As the gazebo is an open structure with transparent walls, there is a potential for light pollution.
 - **Note:** Prior to issuance, a lighting plan will be required to confirm dark-sky compliance with the County regulations.

Signage:**Section 35** *Sign Regulations*

The proposed sign/statue is located at located in front of the temple on a cement pad, approximately 40.00 m (131.23 ft.) from the front property line and just south of the freestanding monument sign approved on the original DP. The statue is approximately 2.74 m (9.00 ft.) in height, 2.43 m (8.00 ft.) wide, and 2.13 m (7.00 ft.) long. The statue is entirely contained within the three-sided gazebo.

35.7 *No signs of any kind shall be permitted within 0.80 km (0.49 miles) of any road, highway unless the proper approval of Alberta Transportation has been obtained, if required.*

- AT approval has been granted, see below.

Additional Information:Development Permit History:

PRDP20194369 Religious Assembly (existing building), dwelling unit accessory to the principal use, construction of an addition and accessory building, relaxation of the maximum building area requirement and signage.

Building Permit History:

2005-DP-18123 Building permit for dwelling.

Land Use Planning History:

September 24, 2019 Applications PL20180126/127 to adopt the Calgary Lao Buddhist Society Master Site Development Plan and redesignation from Residential Two District to Public Services District was approved.

Alberta Transportation Approval:

RSDP026466-1 Establish a Buddhist Temple Issued September 9, 2019

RSDP026466-2 Construct Buddhist Temple (Lao Buddhist Temple Sign) & (Buddha Statue and Structure)

STATUTORY PLANS:

The property has a Master Site Development Plan (Lao Buddhist Temple). The MSDP doesn't reference any signage. As such, the application was evaluated in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:August 5, 2020

- Observed from road, structure partially complete
- No statue visible at time of visit
- Some construction complete on shelter
- Some screening from road from trees

CIRCULATIONS:Building Services Review

No concerns with Statue, roof structure will require a BP.

Development Compliance Officer Review

Development Compliance has no comments or concerns with respect to the attached application.

Utility Services

No Concerns.

Planning and Development Services – Engineering Review

Engineering has no comments at this time. I included the area of the gazebo within the TOL of their original permit file.

OPTIONS:

Option #1 (this would allow the development to commence)

APPROVAL, subject to the following conditions:

Description:

- 1) That the construction of an accessory building (gazebo) and placement of a Sign (Buddha statue), ancillary to the existing Religious Assembly, may take place on the subject property in general accordance with the approved site plan and details submitted with the application.

Prior to Issuance:

- 2) That prior to issuance of this permit, the Applicant/Owner shall submit a revised Site Lighting Plan that includes model types, location, and height of any proposed site or building lighting. All proposed lighting shall be in accordance with the County's dark sky regulations.
- 3) That prior to issuance of this permit, Development Permit #PRDP20194369 shall be issued.

Permanent:

- 4) That the statue shall be placed in accordance with the drawings and site plan submitted with the application.
- 5) That the statue shall be kept in a safe, clean and tidy condition at all times.
- 6) That the proposed Accessory Building (gazebo) shall not be used for residential occupancy purposes at any time.
- 7) That the exterior siding and roofing materials of the Accessory Building (gazebo) shall be similar/cohesive to the existing Buddhist Temple and/or area.
- 8) That there shall be no more than 1.00 m (3.28 ft.) of fill placed adjacent to or within 15.00 m (49.21 ft.) of the proposed accessory building under construction, which is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
- 9) That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
- 10) That if this Development Permit is not issued by **APRIL 30, 2021** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Advisory:

- 11) That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
- 12) That during construction of the Accessory Building and installation of the Sign, all construction and building materials shall be maintained on site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 13) That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
- 14) That a Building Permit shall be obtained through Building Services, prior to any construction taking place.

Option #2 (this would not allow the development to commence)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.

F

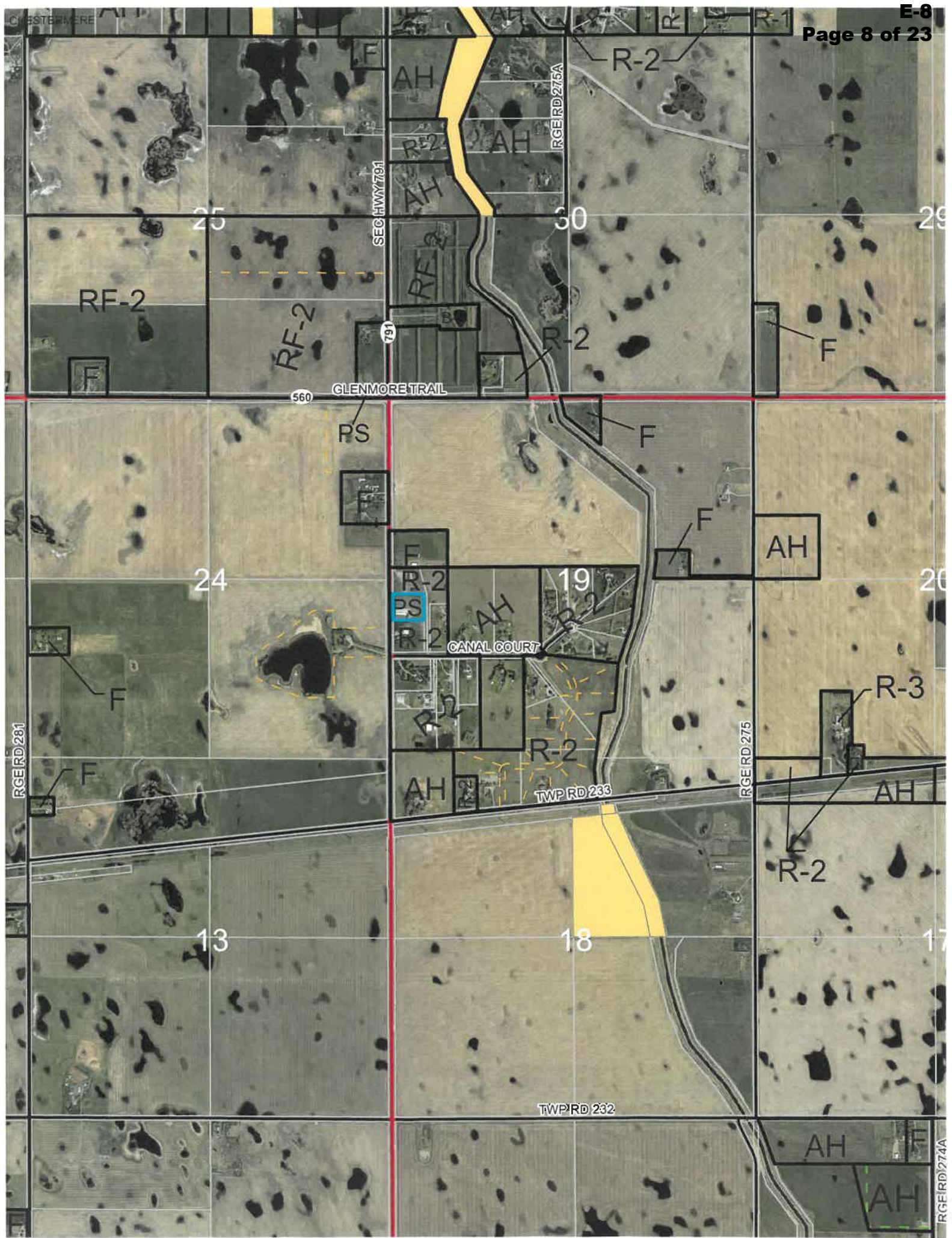
R-2

PS

R-2

SEC HWY 791

CANAL COURT





ROCKY VIEW COUNTY
Cultivating Communities

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY

Fee Submitted 265.00	File Number 03219028
Date of Receipt 07/20/2020	Receipt #

Name of Applicant Calgary Lao Buddhist Society Email watlaocalgary@gmail.com

Mailing Address 233104 Range Road 280, Rocky View County, Alberta

Postal Code T1X 0H5

Telephone (B) 403-936-5018 (H) _____ Fax 403-936-5018

For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) _____

Mailing Address _____

Postal Code _____

Telephone (B) _____ (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

a) All / part of the SW $\frac{1}{4}$ Section 19 Township 23 Range 27 West of 4 Meridian

b) Being all / parts of Lot 22 Block 1 Registered Plan Number 0714198

c) Municipal Address 233104 Range Road 280 (highway 791), Rocky View County, AB T1X 0H5

d) Existing Land Use Designation Public Services Parcel Size 1.619 Division 4

2. APPLICATION FOR

To install big Buddha statue in front lawn of this property. There will be gazebo like struture to provide shelter. This structure will be at least 40m from the highway property line. Approved by AT

See Cover Letter

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No X
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No X
(Sour Gas facility means well, pipeline or plant)
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No X
- d) Does the site have direct access to a developed Municipal Road? Yes X No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I Amphon Phiaxay hereby certify that _____ I am the registered owner
(Full Name in Block Capitals) X I am authorized to act on the owner's behalf

and that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.

**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

Applicant's Signature [Signature]
Date July 19/20

Owner's Signature _____
Date _____

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.

Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Amphon Phiaxay, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.



Signature

July 19/20

Date



Calgary Lao Buddhist Society
233104 Range Road 280 (Hwy 791)
Rocky View, AB T1X 05H
Phone: 403-936-5018
email: watlaocalgary@gmail.com

Sandra Khouri
Development Officer
Planning and Development Services
Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

July 19, 2020

Re: Application for Buddha Statue (Signage)

Dear Sandra Khouri,

This letter is to give you more details on the application for Development Permit for the big Buddha Statue that we have discussed over the phone and emails. We would like to put the Big Buddha statue in lawn in front of the building- facing outward- as it represent many things for us including an example of meditating for peacefulness and signifies the blessing for mankind.

The structure will be at least 40 metres from the highway property line. This Buddha statue has dimension of 9 foot high, 8 foot wide and 7 foot long. The statue will sit on cement pad that is 16 x 16 foot in area. Normally in warm weather country, we won't put in roof or gazebo like structure around the Buddha statue. But we are in cold country and would like to build a gazebo like structure to protect it from the snow and wind. We will install 3 plastic walls (2 on the side, in the back of the statue) and leave opening in front of it. The 4 main posts supporting the roof will be about 12 ft (3.6m) apart and 3 metres high. The roof will be made out of shingles and will be about 1.8 metres at its tallest point. There will no heating for this structure. The light will be powered by solar panel/batteries. Please see attachment for the drawing of the statue/structure.

We have discussed this with Alberta Transportation and they have issued development permit for this. We have attached the permit from AT as well.

Per the Check-list, I have attached application fee form(payment), certificate of Land Title, Affidavit to grant me the authorization to legally act on behalf of Calgary Lao Buddhist Society and the latest Land Title.

If you have any questions, please contact me at the 587-899-7664 or email watlaocalgary@gmail.com

Sincerely,

Amphon Andy Phiaxay
Vice President
Calgary Lao Buddhist Society



LAND TITLE CERTIFICATE

S		
LINC	SHORT LEGAL	TITLE NUMBER
0032 636 565	0714198;1;22	111 015 345

LEGAL DESCRIPTION
 PLAN 0714198
 BLOCK 1
 LOT 22
 EXCEPTING THEREOUT ALL MINES AND MINERALS
 AREA: 1.619 HECTARES (4 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
 ATS REFERENCE: 4;27;23;19;SW

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 081 142 212

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
111 015 345	19/01/2011	TRANSFER OF LAND	\$700,000	NOMINAL

OWNERS

CALGARY LAO BUDDHIST SOCIETY.
 OF 233104 RANGE ROAD 280
 ROCKYVIEW
 ALBERTA T1X 0H5

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
4073P		RESTRICTIVE COVENANT "SUBJECT TO THE RIGHTS AND CONDITIONS RESERVED IN TRANSFER"
741 100 537	31/10/1974	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED.
921 263 390	21/10/1992	EASEMENT

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
111 015 345

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

OVER LOT 17, PLAN 9212073
FOR BENEFIT OF LOT 18, PLAN 9212073
(THE NORTHERLY 117.35 METRES IN PERPENDICULAR
WIDTH OF THE WESTERLY 15.24 METRES IN
PERPENDICULAR WIDTH THROUGHOUT LOT 17)

991 289 466	05/10/1999	CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. 911 - 32ND AVENUE N.E., BOX 3009, STATION 'B', CALGARY ALBERTA T2M4L6
011 166 790	15/06/2001	EASEMENT OVER LOT 20 FOR THE BENEFIT OF LOT 19 BOTH IN BLOCK 1 ON PLAN 9912798 AS TO PLAN 0111643
021 293 820	22/08/2002	UTILITY RIGHT OF WAY GRANTEE - INDUS WATER INC.
041 277 963	27/07/2004	EASEMENT AS TO PORTION OR PLAN:PORTION OVER PLAN 9212073 LOT 16 FOR BENEFIT OF PLAN 9912798 BLOCK 1 LOT 19
071 418 856	21/08/2007	UTILITY RIGHT OF WAY GRANTEE - TELUS COMMUNICATIONS INC. 10020 - 100 STREET EDMONTON ALBERTA T5J0N5 GRANTEE - ATCO GAS AND PIPELINES LTD. 1500, 909 11TH AVENUE S.W. CALGARY ALBERTA T2R1L8 GRANTEE - FORTISALBERTA INC. 900,801-7 AVENUE S.E. CALGARY ALBERTA T2P3P7

TOTAL INSTRUMENTS: 008

(CONTINUED)

PAGE 3

111 015 345

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 29 DAY OF
NOVEMBER, 2019 AT 09:45 A.M.

ORDER NUMBER: 38447191

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



Delivery Services, Transportation
Southern Region, Calgary District
803 Manning Road NE
Calgary, Alberta T2E 7M8

Permit No.: RSDP026466
File Number: SW-19-23-27-W4M(02C)

July 16, 2020

Calgary Lao Buddhist Society
233104 Range Road 280
Rocky View, AB T1X 0H5
Email: watlaocalgary@gmail.com

Attention Calgary Lao Buddhist Society

Subject: Approval for the items identified below within Rocky View County ("Municipality")

Regarding application for the following:

LAO Buddhist Temple Sign & Buddha Statue and Structure

Permit / File Number	Description	Location
RSDP026466-1 Development	Construct Buddhist Temple	Highway 791 SW-19-23-27-4 Lot 22 Block 1 Plan 0714198
RSDP026466-2 Sign	Construct Buddhist Temple (LAO Buddhist Temple Sign) & (Buddha Statue and Structure)	Highway 791 SW-19-23-27-4 Lot 22 Block 1 Plan 0714198

Alberta Transportation Sign Permit No. **RSDP026466** is issued to Calgary Lao Buddhist Society (Permittee) under the Highways Development and Protection Regulation authorizing the above noted sign(s). Issuance of this permit does not excuse violation of any regulation, bylaw or act which may affect the proposed project. This permit is subject to the conditions shown and should be carefully reviewed.

1. This permit is issued subject to the approval of Rocky View County
(County, M.D., I.D. Special Area)
2. This permit approves only the sign(s) contained herein. A further application is required for any changes or additions.
3. Alberta Transportation is under no obligation to extend or reissue a permit if the approved sign(s) has not been constructed prior to expiration of this permit.
4. The Applicant shall not place any signs contrary to Alberta Regulation 326/2009.
5. The sign(s) shall be maintained in a proper state of repair.

6. If, in the opinion of the Operations Manager, the sign(s) are not kept in an acceptable condition, they must be removed or repaired by the owner within 7 (seven) days of receiving written notice of the deficiency, or the sign(s) may be removed by Alberta Transportation at the expense of the sign owner.
7. Use of red or yellow as background colours is not permitted.
8. The applicant is solely responsible for any costs related to removal and/or relocation of the sign(s) in the event of future upgrading or widening of the highway.
9. Gerry Benoit shall be notified prior to the installation.
(Development & Planning Technologist)
10. The LAO Buddhist Temple Sign must be setback a minimum of 30 metres from the highway property line. The Buddha Statue and Structure must be setback a minimum of 40 metres from the highway property line.
11. Flags are not permitted.

Permission is hereby granted to Calgary Lao Buddhist Society to carry out the development in accordance with the plan(s) and specifications attached hereto and subject to the conditions shown above.

If the development has not been carried out by **July 16, 2021** this permit expires and the Permittee must reapply for a new permit if they wish to proceed.

If you have any questions about the permit or any of the conditions, please contact the undersigned Development and Planning Technologist.

Signed:

Gerry Benoit
Dev and Planning Technologist
gerry.benoit@gov.ab.ca
(403) 297-5027

cc: Rocky View County
Perry Roberts, CMA 520

**Government
of Alberta** ■
Transportation

APPLICATION FOR SIGN INSTALLATION NEAR A PROVINCIAL HIGHWAY

Alberta Transportation Permit # RSDP026466

Applicant's Name Calgary Lao Buddhist Society

Mailing Address 233104 Range Road 280

City/Town/Village Rocky View **Province** AB **Postal Code** T1X 0H5

Phone # 587-899-7664 **Fax #** 403-936-5018 **e-mail** watlaocalgary@gmail.com

Landowner's Name Same as above
(if different from above)

Mailing Address _____

City/Town/Village _____ **Province** _____ **Postal Code** _____

Phone # _____ **Fax #** _____ **e-mail** _____

APPLICATION IS HEREBY MADE TO INSTALL OR CHANGE A SIGN IN:

Property Information			
SW	19	23	27
(NE, NW, SE, SW)	¼ Section	Township	Range
22	1	0714198	1.619 Hectares
Lot	Block	Plan Number	Parcel size (acres or hectares)
791	15 Metres		Indus or above address (50 metres behind the sign)
Highway No.	Distance of the proposed sign to the highway boundary	Location of business shown on sign	
Rocky View County	Public Services	\$2500	
Name of Municipality	Existing / Proposed Land Use	Estimated cost of proposed sign	
Dimensions of sign "face":	Length <u>8 metres</u>	Height <u>1 metre (Banner section)</u>	
Sign Type (select one):	One Sided _____	Double Sided <u>YES</u>	
Purpose of Sign:	Business Identification _____	Directional _____ Construction _____	
	Other (explain) <u>Religious Assembly (Temple, non-profit, charitable organization)</u>		

Note: Please attach a plan showing the proposed sign in detail including the wording, etc. and the location of the proposed sign and existing as well as proposed development relative to the ¼ line and highway. Location of items such as existing or proposed shelterbelts, signs, etc. must also be shown.

It is understood that all works will be constructed, altered, maintained or operated at the sole expense of the undersigned, and that any work must not begin before a permit has been issued by Alberta Transportation. The issuance of a permit by Alberta Transportation does not relieve the holder of the responsibility of complying with relevant municipal bylaws and this permit once issued does not excuse violation of any regulation, bylaw or act which may affect this project.

In consideration of any permit issued in respect to this application, the Applicant shall indemnify and hold harmless Alberta Transportation, its employees and agents from any and all claims, demands, actions and costs whatsoever that may arise, directly or indirectly from anything done or omitted to be done in the construction, maintenance, alteration or operation of the works authorized. The Applicant also consents to a person designated by Alberta Transportation to enter upon land for the purpose of inspection during the processing of this application.

I Amphon Phiaxay hereby certify that ☐ I am the registered owner
(print full name)

I Amphon Phiaxay hereby certify that ☒ I am authorized to act on the owner's behalf
(print full name)

Signature [Signature]
Signature

and that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of facts relating to this application for sign installation.

(Date) Dec. 11/2019

Government
of Alberta ■
Transportation

APPLICATION FOR SIGN INSTALLATION NEAR A PROVINCIAL HIGHWAY

Alberta Transportation Permit # RSDP026466

See attached document - CLBS_Site_Plan_Sign_App.pdf

Note: distances may be shown in metres or feet

SITE PLAN

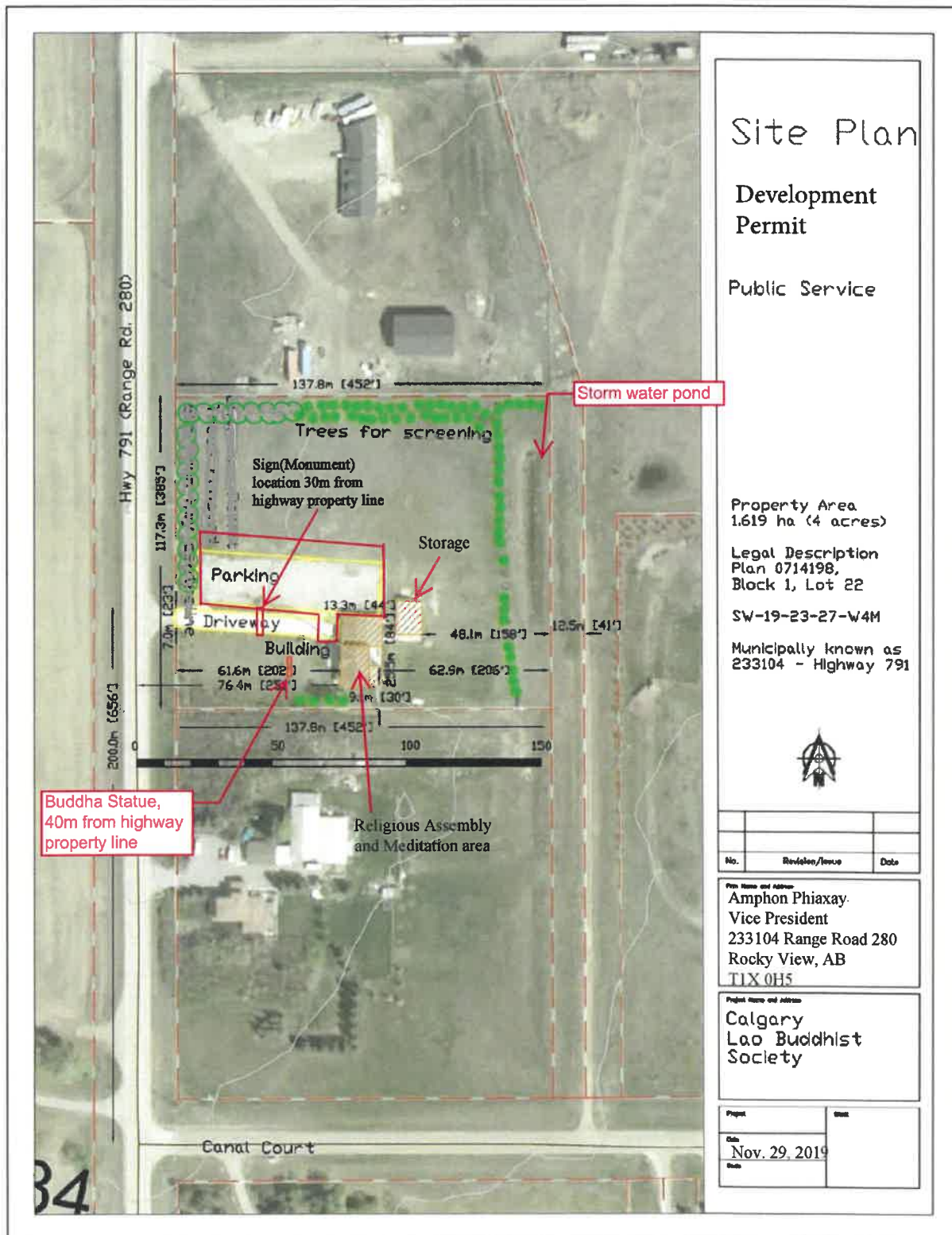
SKETCH OF PROPOSED SIGN

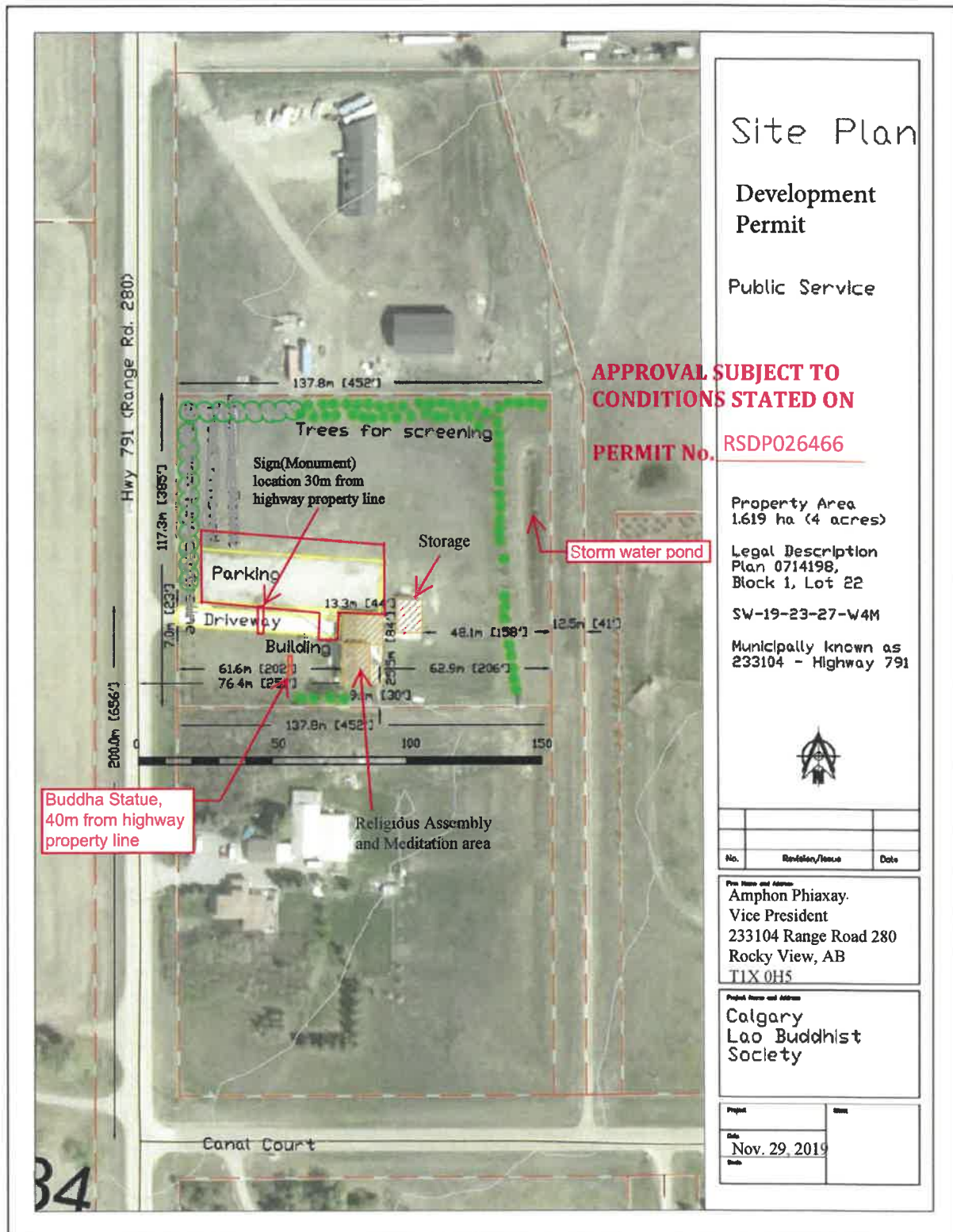
see attached document Sign_Sketch.jpg

APPROVAL SUBJECT TO
CONDITIONS STATED ON

PERMIT No. RSDP026466


Signature of Registered Owner or Authorized Agent

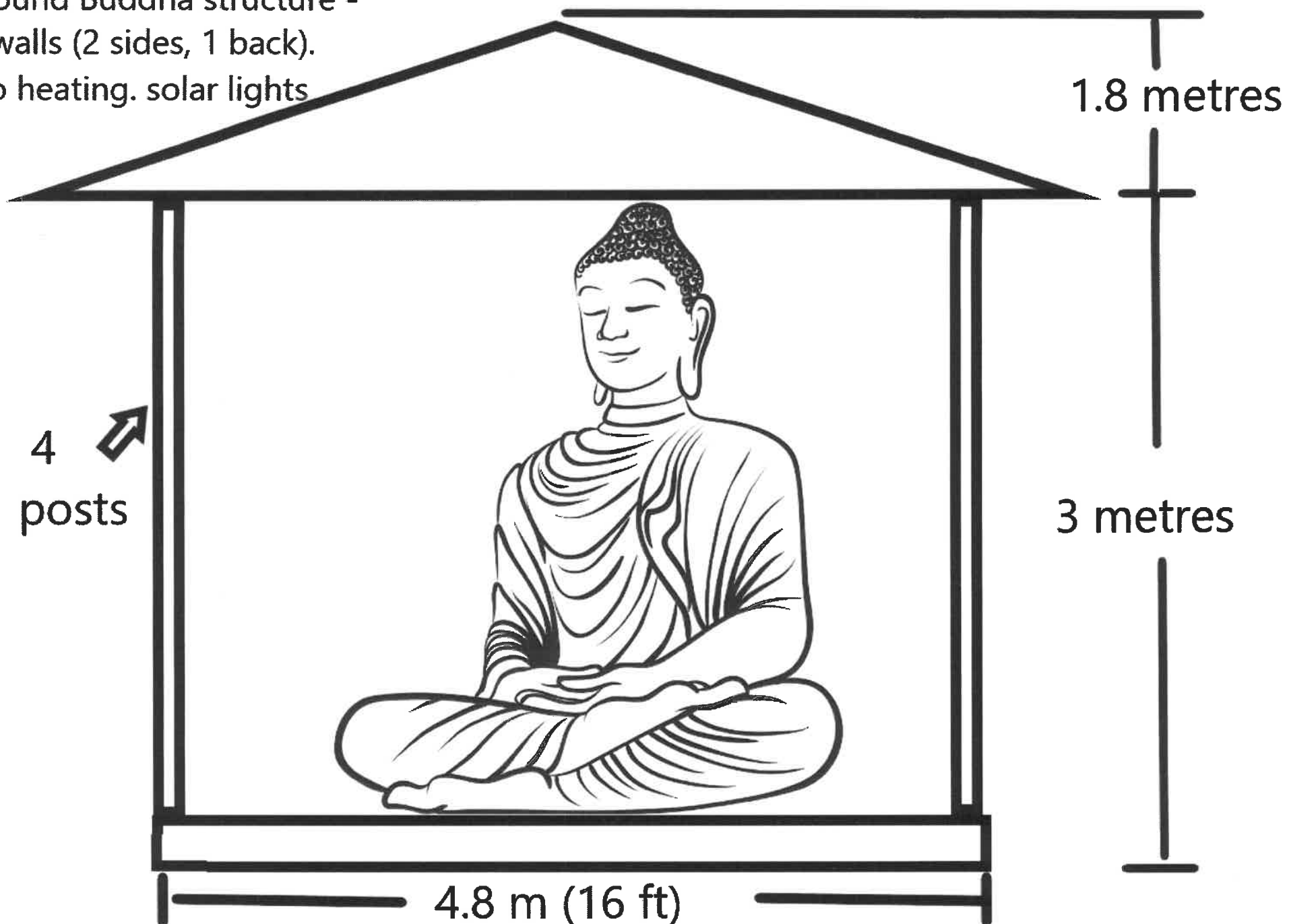








Gazebo like structure
around Buddha structure -
3 walls (2 sides, 1 back).
No heating. solar lights



PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: September 3, 2020

SUBJECT: Development Item: Dwelling, Single Detached

APPLICATION: PRDP20202237

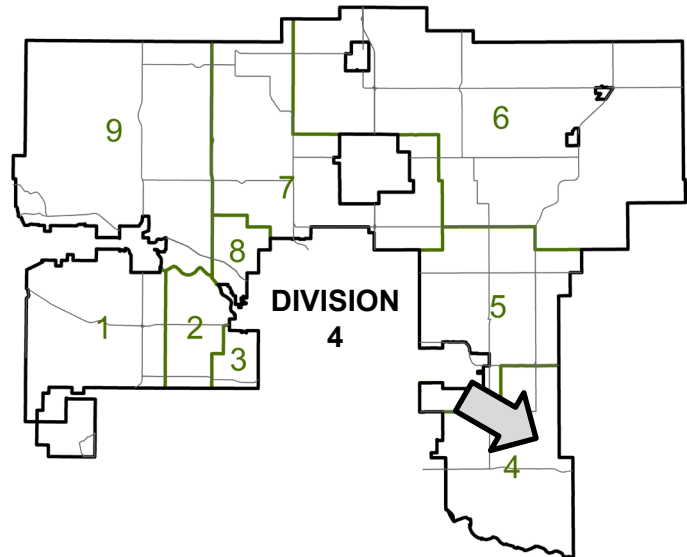
USE: Permitted use, with Variances

APPLICATION: Construction of a dwelling, single detached, relaxation of the maximum site coverage.

GENERAL LOCATION: Located in the hamlet of Langdon

LAND USE DESIGNATION: Hamlet Residential Single Family District (HR-1)

ADMINISTRATION RECOMMENDATION:
Administration recommends approval in accordance with Option #1



VARIANCE SUMMARY:

Regulation	Requirement	Proposed	Variance
Maximum Site Coverage (principal building)	25% of the site	33.32% of the site	33.28%

OPTIONS:

Option #1: THAT Development Permit Application PRDP20202237 be approved with the development conditions noted in the report.

Option #2: THAT Development Permit Application PRDP20202237 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Sandra Khouri, Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: August 4, 2020	File: 03222095
Application: PRDP20202237	Applicant/Owner: Nielsen, Tylor & Karli
Legal Description: Lot 4, Block 11, Plan 8711396, SE-22-23-27-04 (20 COWAN STREET)	General Location: Located in the hamlet of Langdon
Land Use Designation: Hamlet Residential Single Family District (HR-1)	Gross Area: ± 0.10 hectares (± 0.25 acres)
File Manager: Sandra Khouri	Division: 4

PROPOSAL:

The proposal is for the construction of a dwelling, single detached, relaxation of the maximum site coverage.

This application is a revision of a previous permit (PRDP20200049) that was conditionally approved on February 11, 2020. The previous permit granted a relaxation to the minimum front yard setback requirement (from 6.00 m to 5.48 m) and the maximum site coverage requirement (from 25% to 31.09%). The Applicant has provided a revised site plan of the dwelling with the front yard setback compliant with the minimum requirement but the site coverage has increased to 33.32% due to the addition of a covered deck.

Uses (Section 59.2 & 59.3)

- *Dwelling, single detached* is listed as a permitted use. However, as a variance is required, it is considered discretionary.

Minimum Requirements (Section 59.5)

Principal building (dwelling, single detached)

- Front yard setback:
 - **Permitted:** 6.00 m (west)
 - **Proposed:** 6.09 m
- Side yard setback (sites with lanes):
 - **Permitted:**
 - Street side of corner site: 3.00 m (north)
 - All other sites: 2.40 m (south)
 - **Proposed:**
 - Street side of corner site: 3.00 m
 - All other sites: 4.99 m



- Rear yard setback:
 - **Permitted:** 8.00 m (east)
 - **Proposed:** 8.01 m
- Habitable Ground Floor Area (Excludes Basement):
 - **Permitted:** 65.00 sq. m main floor area, 27.00 sq. m second floor area (two storey dwelling)
 - **Existing:** 193.98 sq. m (main floor), 75.34 sq. m (second floor, home office)

Maximum Limits (Section 59.6)

- Site Coverage:
 - **Permitted:** 25% of the site
 - **Proposed:** 33.32%
 - This is a variance request of 33.28%.
 - As the requested variance is minor, the use is in keeping with the purpose and intent of the land use district, and there are no concerns about potential offsite impacts.
- Height of buildings (principal building):
 - **Permitted:** 10.00 m
 - **Proposed:** 9.53 m
- Maximum dwellings per lot
 - **Permitted:** 1
 - **Proposed:** 1
- Maximum number of accessory buildings
 - **Permitted:** 2
 - **Proposed:** 0

STATUTORY PLANS:

The subject property is located within the Langdon Area Structure Plan. However, this plan does not provide guidance on applications of this nature. As such, the application was evaluated in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:

An inspection was not completed at the time this report was written.

OPTIONS:

Option #1 (this would allow the development to proceed)

APPROVAL, subject to the following conditions:

Description:

1. That construction of a dwelling, single detached may commence on the subject parcel, in general accordance with the drawings prepared by TKL Construction Ltd., revisions dated July 6, 2020, as amended and conditions noted herein:



- i. That the maximum site coverage requirement for the dwelling, single-detached, is relaxed from **25.00% to 33.32%**.

Prior to Issuance:

2. That prior to issuance of this permit the Applicant shall confirm acceptance of or refusal to participate in the Voluntary Recreation Contribution for Community Recreation Funding on the form provided by the County and that the contribution, if accepted, is \$800, calculated at \$800.00 for each new residential unit.

Permanent:

3. That it is the responsibility of the Applicant/Owner to obtain approval from Rocky View County Road Operations for any new construction, installation or alterations of any driveways/approaches, prior to commencing any work on the driveways/approaches.
4. That there shall be no more than 1.00 m (3.28 ft.) of fill and/or topsoil placed adjacent to or within 15.00 m (49.21 ft.) of the proposed dwelling under construction that is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
5. That no topsoil shall be removed from the subject property.
6. That the Applicant/Owners shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
7. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the dwelling unit located on the subject site, to facilitate accurate emergency response.

Advisory:

8. That a Building Permit and subtrade permits shall be obtained through Building Services, for construction of the dwelling, single detached.
9. That during construction of the dwelling, all construction and building materials shall be maintained onsite, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
10. That any over government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
11. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.
12. That if this Development Permit is not issued by **DECEMBER 31, 2020** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Option #2 (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY
Cultivating Communities

20202237

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted \$78.75	File Number 03222085
Date of Receipt Aug 4, 2020	Receipt # 2020024953

update to PRDP 2020 00.19

Name of Applicant Tylor Nielsen Email [REDACTED]
 Mailing Address [REDACTED] Postal Code [REDACTED]
 Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]
 For Agents please supply Business/Agency/ Organization Name _____
 Registered Owner (if not applicant) _____
 Mailing Address _____
 Postal Code _____
 Telephone (B) _____ (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the _____ 1/4 Section _____ Township _____ Range _____ West of _____ Meridian
 b) Being all / parts of Lot 4 Block 11 Registered Plan Number 871 1396
 c) Municipal Address 20 Cavan Street NW
 d) Existing Land Use Designation _____ Parcel Size _____ Division _____

2. APPLICATION FOR

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No ☒
 b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No ☒
 (Sour Gas facility means well, pipeline or plant)
 c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No ☒
 d) Does the site have direct access to a developed Municipal Road? Yes ☒ No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

Tylor Nielsen hereby certify that ☒ I am the registered owner
 (Full Name in Block Capitals)

☐ I am authorized to act on the owner's behalf

and that the information given on this form
 is full and complete and is, to the best of my knowledge, a true statement
 of the facts relating to this application.

Affix Corporate Seal
 here if owner is listed
 as a named or
 numbered company

Applicant's Signature [Signature]

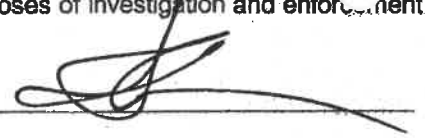
Date July 29 2020

Owner's Signature _____

Date _____

5. RIGHT OF ENTRY

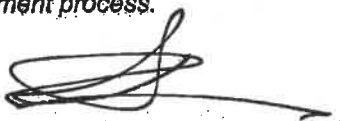
I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Tyler Nielsen, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.



Signature

July 29 2020

Date



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0013 007 521 8711396;11;4 191 255 940

LEGAL DESCRIPTION
PLAN 8711396
BLOCK 11
LOT 4
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE
ATS REFERENCE: 4;27;23;22;SE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 181 179 063

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
191 255 940	17/12/2019	TRANSFER OF LAND	\$125,000	\$125,000

OWNERS

TYLOR NIELSEN

AND

KARLI NIELSEN

BOTH OF:

133 WESTCHESTER WAY

CHESTERMERE

ALBERTA T1X 1B8

AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION	NUMBER	DATE (D/M/Y)	PARTICULARS
761 145 165	24/11/1976	UTILITY RIGHT OF WAY	GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED. "DISCHARGED EXCEPT FOR THE S 20 FT BY 871200483 -

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION

PAGE 2

NUMBER

DATE (D/M/Y)

PARTICULARS

191 255 940

30/10/87"

871 200 482 30/10/1987 CAVEAT

RE : DEVELOPMENT AGREEMENT

CAVEATOR - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO.
44.

911-32 AVENUE NE

CALGARY

ALBERTA

191 255 941 17/12/2019 MORTGAGE

MORTGAGEE - ATB FINANCIAL.

600, 100 MARINA DRIVE

CHESTERMERE

ALBERTA T1X0R9

ORIGINAL PRINCIPAL AMOUNT: \$125,000

TOTAL INSTRUMENTS: 003

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 13 DAY OF
JANUARY, 2020 AT 11:02 A.M.

ORDER NUMBER: 38631232

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



DO NOT SCALE DRAWINGS
CONSTRUCTION MUST CONFORM
TO ALL BY-LAW'S THAT
GOVERN THIS LOT

BUILDER MUST VERIFY ALL DETAILS
AND DIMENSIONS PRIOR TO
ANY CONSTRUCTION

REFER TO HOME PLANS FOR
EXACT BUILDING DIMENSIONS

ANY ENGINEERING IS THE
RESPONSIBILITY OF THE BUILDER

ALL MEASUREMENTS SHOWN ARE
IN METERS, AND DECIMALS THEREOF

COPYRIGHT 2019

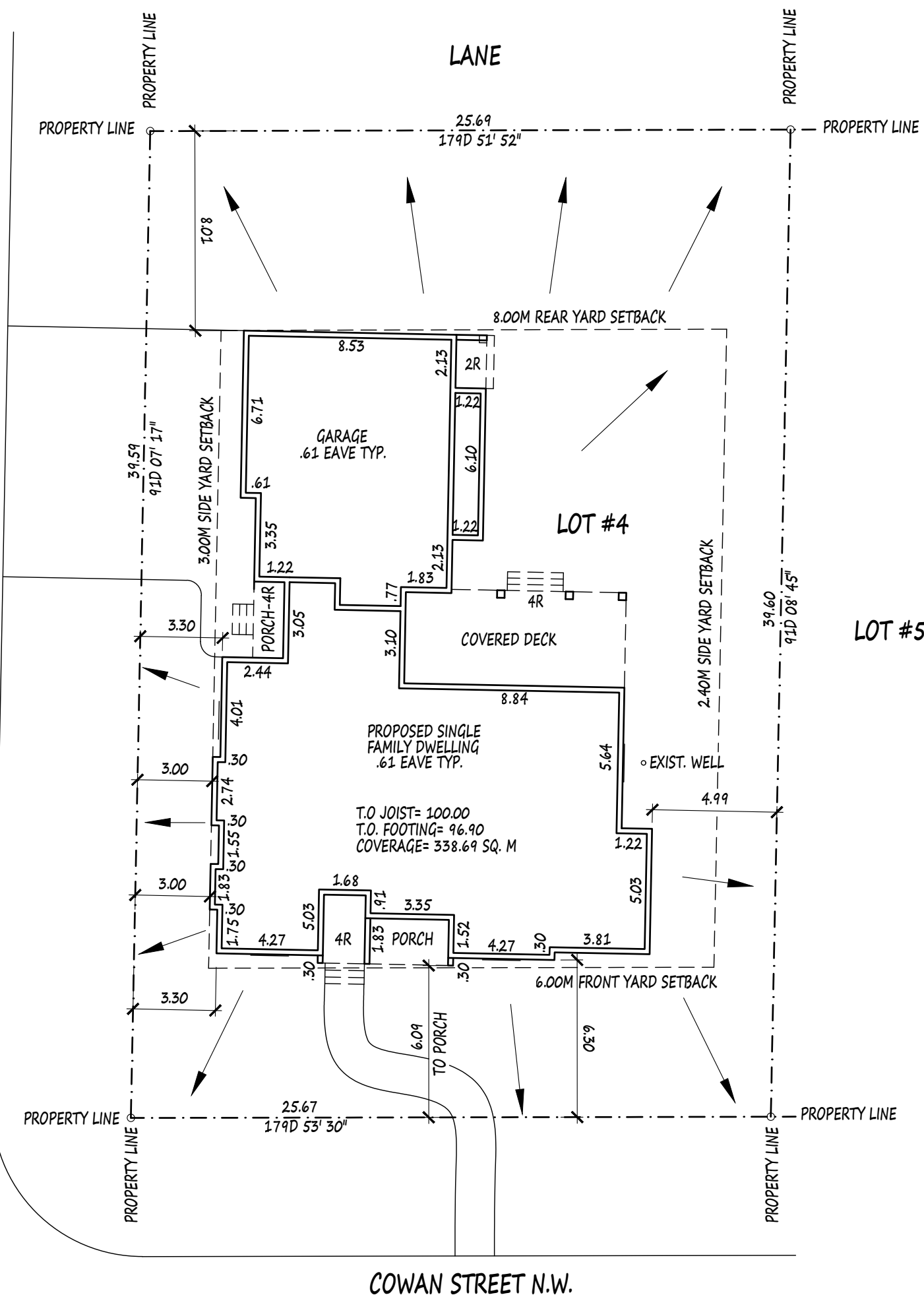
ADDED DIMENSION TO PORCH FROM
FRONT P.L. PER ROCKYVIEW REQUEST
JANUARY 22, 2020

REDUCED PORCH DEPTH AND SINGLE
GARAGE WIDTH, AND REVISED DECK
JULY 6, 2020

20 COWAN STREET N.W.
LANGDON, ALBERTA

LOT	4
BLOCK	11
PLAN	871 1396

DRAWN DATE	DECEMBER 12, 2019
REVISION #1	JAN. 22, 2020
REVISION #2	JULY 6, 2020
SCALE	1:200 METRIC





dwelling.design.arch@gmail.com

TKL CONSTRUCTION LTD.

tylor@tklconstruction.ca
phone: 403-993-9050

GENERAL NOTES

DO NOT SCALE THIS DRAWING

THE OWNER, AND/OR CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL PERMITS PRIOR TO CONSTRUCTION

ALL CONSTRUCTION DETAILS MUST CONFORM TO CURRENT ALBERTA BUILDING CODES, AS WELL AS OTHER LOCAL CODES, BY-LAWS, AND ORDINANCES

BUILDER MUST VERIFY ALL DETAILS AND DIMENSIONS PRIOR TO ANY CONSTRUCTION

THIS DRAWING IS TO BE USED IN CONJUNCTION WITH ENGINEERED TRUSS AND JOIST PLANS BY OTHERS

ANGLED WALLS ARE 45 DEG. UNLESS NOTED OTHERWISE

ADJUST FRAMING DIMS TO SUITE BUILT-IN ITEMS OR APPLIANCES

ALL EXTERIOR LINTELS ARE 2-2x10 #2 SPRUCE UNLESS NOTED OTHERWISE

FINAL GRADING MAY ALTER EXTERIOR APPEARANCE

ANY ENGINEERING IS THE RESPONSIBILITY OF THE BUILDER OR OWNER

SPECS AND SCHEDULES OF MANUFACTURED COMPONENTS SHALL GOVERN OVER WORKING DRAWINGS AND BE REVISED PRIOR TO CONSTRUCTION

ELECTRICAL LAYOUT SHOWN IS ONLY A REPRESENTATION ACTUAL LAYOUT TO BE INSTALLED TO MEET OR EXCEED CODE REQUIREMENTS, AND TO SUITE FRAMING CONDITIONS

THE DESIGNER ASSUMES NO LIABILITY FOR THE INSTALLATION OR COMPLIANCE OF THE PRODUCTS OR MATERIALS USED FOR THE CONSTRUCTION OF THIS BUILDING

ALL ERRORS OR OMISSIONS MUST BE REPORTED TO THE DESIGNER FOR CLARIFICATION OR CORRECTION

THIS DRAWING MUST BE SIGNED AND SEALED BY A REGISTERED PROFESSIONAL HAVING AUTHORITY

REVISIONS

REDUCED SINGLE GARAGE BAY WIDTH-JULY 13, 2020
REDUCED FRONT PORCH DEPTH-JULY 13, 2020
MODIFIED ENSUITE AND W.I.C. DOORS/ACCESS-JULY 13, 2020
INCREASED COVERED DECK AREA-JULY 13, 2020

SQUARE FOOT(S)

MAIN FLOOR: 2088 SQ. FT.
BASEMENT DEVELOPMENT: 1077 SQ. FT.
GARAGE: 928 SQ. FT.
WEST PORCH: 117 SQ. FT.
NORTH PORCH: 40 SQ. FT.
COVERED DECK: 246 SQ. FT.
HOME OFFICE ABOVE GARAGE: 811 SQ. FT.
PORCH FOR SUITE ENTRY: 28 SQ. FT.

DRAWING NAME

NIELSEN RESIDENCE

DRAWING TITLE

PRE-PERMIT PLAN

PROJECT ADDRESS

20 COWAN STREET
LANGDON, ALBERTA

LEGAL DESCRIPTION

LOT: 4
BLOCK: 11
PLAN: 871 1396

DATE

DECEMBER 2019

SCALE

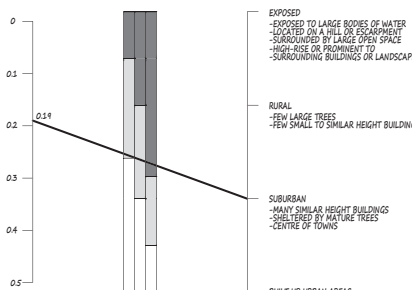
3/16"=1'-0" UNLESS OTHERWISE NOTED

SHEET NO.

1/6

A440.4-07 BUILDING EXPOSURE NOMOGRAPH

OVERHANG EXPOSURE RATING TERRAIN



MOISTURE INDEX (MI):
33 (STRATHMORE)

OVERHANG RATIO
OVERHANG WIDTH: 2'-0" WALL HEIGHT: 10'-4" = 0.19

WHERE: HORIZONTAL DISTANCE BETWEEN THE OUTER SURFACE OF THE CLADDING OR WINDOW OR DOOR AND THE OUTER SURFACE OF THE OVERHANG
OVER: HEIGHT OF THE OVERHANG ABOVE THE SILL OF THE WINDOW OR DOOR

EXPOSURE RATING

■ HIGH EXPOSURE
■ MODERATE EXPOSURE
□ LOW EXPOSURE

FENESTRATION PERFORMANCE REQUIREMENTS

MINIMUM PERFORMANCE GRADE (PG) [30]
MINIMUM POSITIVE DESIGN PRESSURE [1440]
MINIMUM NEGATIVE DESIGN PRESSURE [1440]
MINIMUM WATER PENETRATION TEST PRESSURE [330]

MAXIMUM U-VALUE FOR WINDOWS=1.6 W/(m²K)

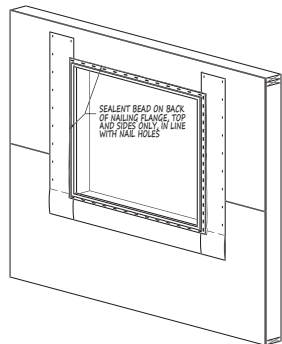
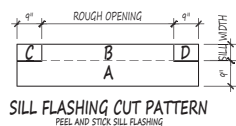
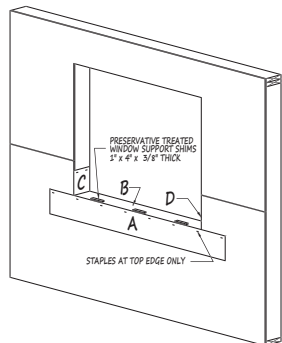
UPPER FLOOR HOME OFFICE

8'-1" CEILING HEIGHT (U.N.O.)

TOTAL AREA: 811 SQ.FT.

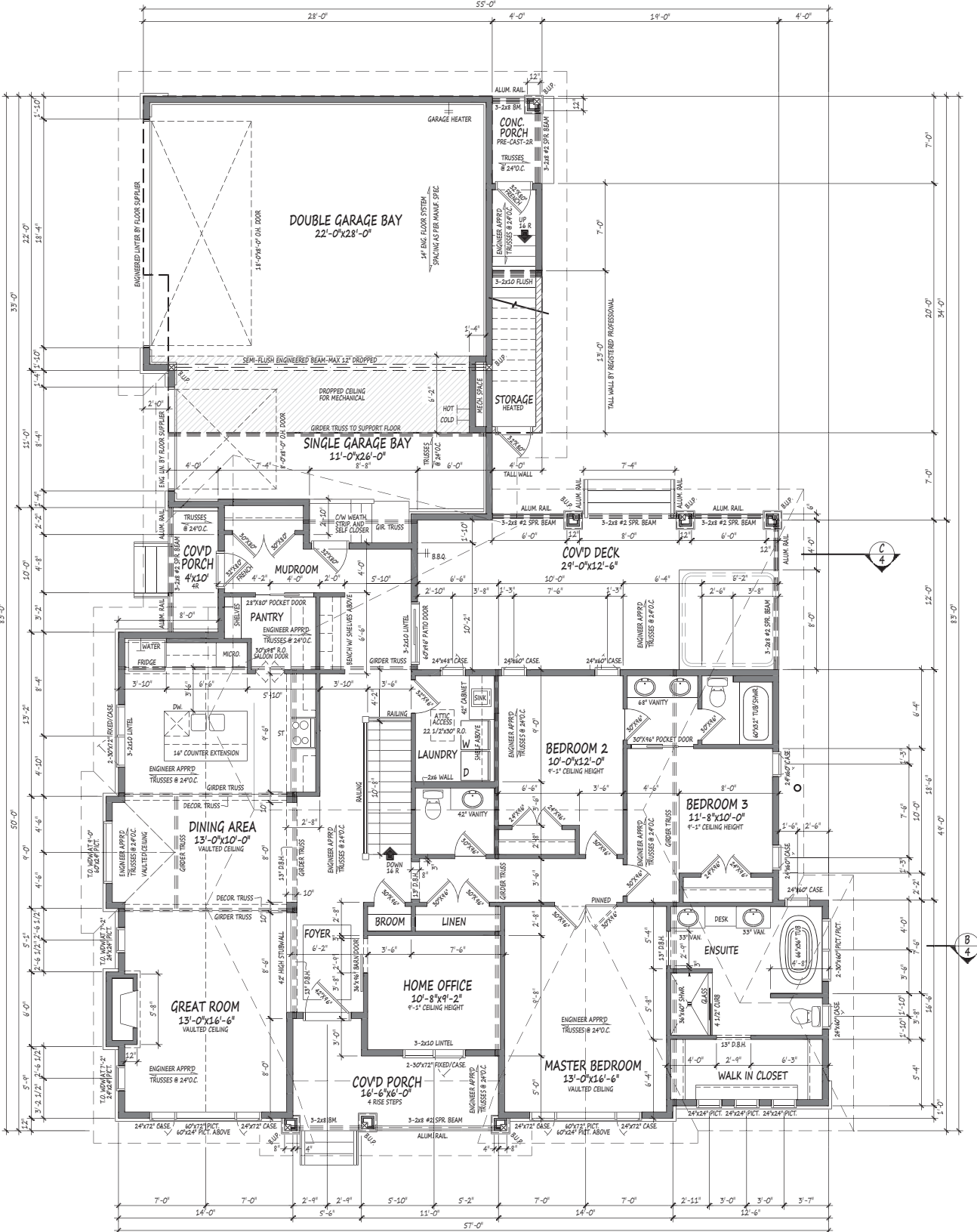
WINDOW INSTALLATION DETAILS

WINDOW INSTALLATION DETAILS ARE FOR ILLUSTRATIVE PURPOSES ONLY, AND MUST BE USED IN CONJUNCTION WITH THE CANADIAN SUPPLEMENT "CSA A440 DOCUMENT" FOR THE INSTALLATION OF WINDOWS, DOORS, AND SKYLIGHTS
SCALE: NOT TO SCALE, UNLESS SHOWN OTHERWISE



FLASHING LOCATION DETAIL

SCALE: 3/8"=1'-0"





dwelling.design.arch@gmail.com

TKL CONSTRUCTION LTD.

tylor@tklconstruction.ca
phone: 403-993-9050

GENERAL NOTES

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REDUCED SINGLE GARAGE BAY WIDTH-JULY 13, 2020
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DRAWING NAME

NIELSEN RESIDENCE

DRAWING TITLE

PRE-PERMIT PLAN

PROJECT ADDRESS

20 COWAN STREET
LANGDON, ALBERTA

LEGAL DESCRIPTION

LOT: 4
BLOCK: 11
PLAN: 871 1396

DATE

DECEMBER 2019

SCALE

3/16"=1'-0" UNLESS OTHERWISE NOTED

SHEET NO.

2/6

GENERAL CONSTRUCTION NOTES

FOUNDATION NOTES

-FOUNDATION WALLS AND FOOTINGS ARE TO BE REINFORCED TO COMPLY WITH BUILDING CODE REQUIREMENTS REGARDING LATERAL STABILITY AND SOIL BEARING CAPACITY-TO BE REVIEWED BY REGISTERED PROFESSIONAL.
-WHERE STEP FOOTINGS ARE REQUIRED, THE VERTICAL DIMENSION SHALL NOT EXCEED 24", AND THE HORIZONTAL DIMENSION SHALL NOT BE LESS THAN 24".
-CONCRETE STRIP FOOTINGS ARE TO HAVE A CONTINUOUS RUN OF TWO 10mm RE-BAR WITH A MIN. COVER OF 3"-TO BE REVIEWED BY REGISTERED PROFESSIONAL.

-ALL BEAM POCKETS TO BE 8" WIDE, 14" HIGH, AND 3" DEEP-UNLESS OTHERWISE NOTED ON BEAM SUPPLIER LAYOUT. (IF APPLICABLE)
-A SULPHATE TEST IS REQUIRED PRIOR TO ANY CONCRETE FOUNDATION WORK.
-ALL CONCRETE SLABS TO HAVE 10mm RE-BAR GRID AT 24" O.C.

FRAMING NOTES

-ALL 3 PLY LINTELS TO HAVE DOUBLE CRIPLES EACH SIDE.
-THE SIZE OF WOOD POSTS SUPPORTING BEAMS, GIRDERS, OR LINTELS SHALL BE EQUAL IN WIDTH OF THE SUPPORTED MEMBER.
-DOUBLE FRAMING AROUND ALL OPENINGS IN FLOOR OR ROOF WHEN USING NOMINAL LUMBER-ENGINEERED FLOORS AND ROOFS AS PER SUPPLIER LAYOUT.
-PROVIDE 2x6 BLOCKING FOR CLOSET SHELF BACKING.
-PROVIDE 2x6 BLOCKING FOR HANDRAIL SUPPORT AT STAIRS.
-PROVIDE 2x6 BLOCKING AT KITCHEN FOR CABINET SUPPORT.

MECHANICAL NOTES

-MECHANICAL LAYOUT, DRAWINGS, AND SPECIFICATIONS TO BE SUPPLIED BY OTHERS.
-ALL RETURN AND SUPPLY AIR VENTS ARE TO BE CLOSE TO THE FLOOR WHERE POSSIBLE, BUT MUST NOT BE IN AN INSULATED ASSEMBLY.
-HEATING AND VENTILATION SYSTEM TO INCLUDE AN ACTIVE H.R.V. UNIT

FLASHING NOTES

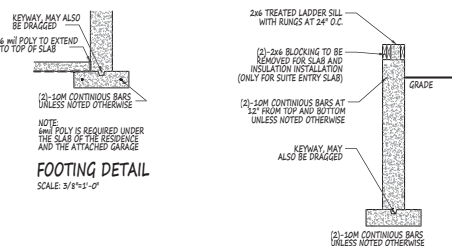
-ALL FLASHING TO HAVE A POSITIVE SLOPE (6 DEG. MIN.) AWAY FROM THE PROTECTED SURFACE.
-FLASHING SHALL BE INSTALLED AT EVERY HORIZONTAL JUNCTION BETWEEN TWO DIFFERENT EXTERIOR FINISHES, EXCEPT WHERE THE UPPER FINISH OVERLAPS THE LOWER FINISH.
-FLASHING SHALL BE APPLIED OVER ALL EXTERIOR OPENINGS.
-FLASHING SHALL BE INSTALLED SO IT EXTENDS UP THE WALL NOT LESS THAN 2" (50mm) BEHIND THE BUILDING PAPER, AND FORMS A DRIP ON THE OUTSIDE EDGE.
-FLASHING SHALL EXTEND PAST THE HORIZONTAL PROJECTION OF A WINDOW OR TOP OF DOOR BY A MIN. OF 1/4". THE FLASHING MUST EXTEND PAST THE WINDOW JAMB FLANGE BY A MIN. OF 3" ON EACH SIDE. EACH END OF THE FLASHING MUST BE PAINTED (TURNED UP) TO DIRECT WATER AWAY FROM THE WALL.
-FLASHING MATERIAL SHALL BE ONE OF THE FOLLOWING:
a) 0.13mm THICK GALVANIZED STEEL
b) 0.46mm THICK COPPER
c) 0.46mm THICK ZINC
d) 0.46mm THICK ALUMINUM
e) 1.02mm THICK VINYL
NO ALUMINUM FLASHING IS TO BE USED IN A STUCCO APPLICATION

SEALANT PROVISIONS WERE REQUIRED IN ALBERTA BUILDING CODE

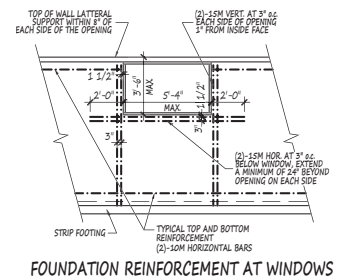
-SEALANT SHALL BE PROVIDED WHERE REQUIRED TO PREVENT THE ENTRY OF WATER INTO THE STRUCTURE.
-SEALANT SHALL BE PROVIDED BETWEEN MASONRY, SIDING OR STUCCO, AND THE ADJACENT DOOR AND WINDOW FRAMES OR TRIM, INCLUDING SILLS, UNLESS SUCH LOCATIONS ARE COMPLETELY PROTECTED FROM THE ENTRY OF RAIN.
-SEALANT SHALL BE PROVIDED AT VERTICAL JOINTS BETWEEN DIFFERENT CLADDING MATERIALS UNLESS THE JOINT IS SUITABLY LAPPED OR FLASHED TO PREVENT THE ENTRY OF RAIN.
-SEALANT SHALL BE A NON HARDENING TYPE SUITABLE FOR EXTERIOR USE, AND SELECTED FOR THE ABILITY TO RESIST THE EFFECTS OF WEATHERING, AND COMPATIBLE WITH AND ADHERE TO SUBSTRATE TO WHICH IT IS APPLIED.

GENERAL REINFORCEMENT NOTES

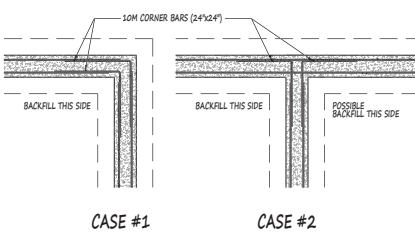
-MINIMUM CONCRETE FOUNDATION WALL THICKNESS IS 8"
-MINIMUM CONCRETE STRENGTH IS 20 MPa AT 28 DAYS
-MINIMUM OF 2x4 LADDER SILL FRAMING AT TOP OF WALL
-MINIMUM REINFORCING OF TWO 10MM HORIZONTAL BARS WITHIN TWO FEET FROM THE TOP AND FROM THE BOTTOM OF THE WALL
-REINFORCEMENT SHALL BE DEFORMED BILLET STEEL BARS CONFORMING TO CAN/CSA C22.3-M14 (M12) (BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT), WITH A MINIMUM YIELD STRENGTH OF 400 MPa
-VERTICAL REINFORCEMENT TO BE INSTALLED WITH 1" OF CONCRETE COVER FROM INSIDE FACE OF WALL.
-BUILDERS MAY SUBSTITUTE TWO 10MM BARS FOR EACH ONE 15MM BAR AT THEIR DISCRETION.



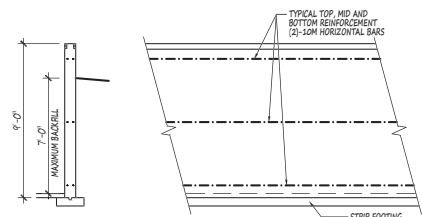
LADDER SILL DETAIL FOR SUITE ENTRY SLAB
SCALE: 3/8"=1'-0"



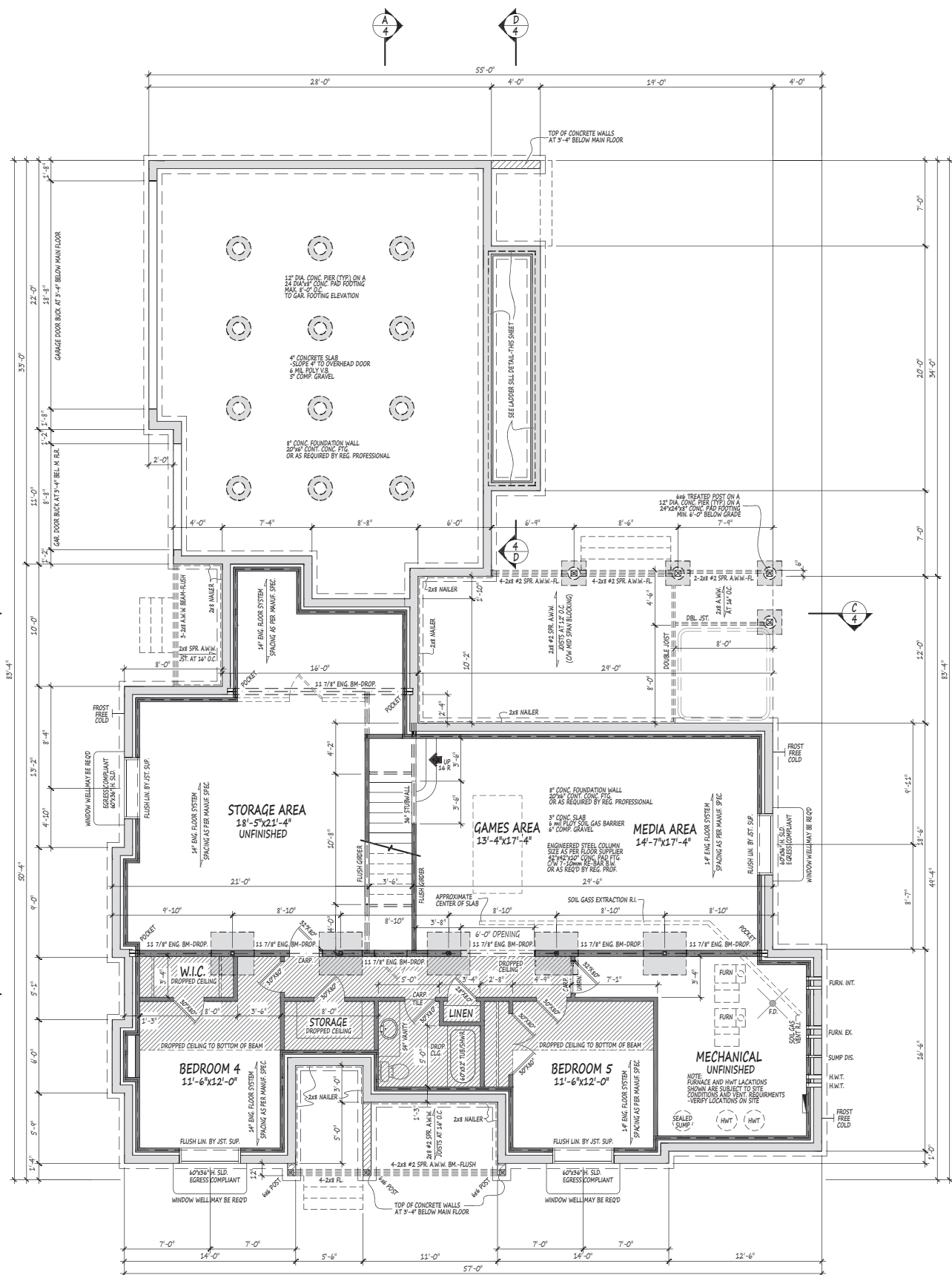
FOUNDATION REINFORCEMENT AT WINDOWS
SCALE: 3/16"=1'-0"



CONCRETE FOUNDATION CORNER REINFORCEMENT
SCALE: 3/8"=1'-0"



MINIMUM 9'-0" FOUNDATION REINFORCEMENT
SCALE: 3/16"=1'-0"



BASEMENT PLAN
8'-9" CEILING HEIGHT (U.N.O.)
MAIN FLOOR: 1077 SQ.FT.



dwelling.design.arch@gmail.com

TKL CONSTRUCTION LTD.

taylor@tklconstruction.ca
phone: 403-993-9050

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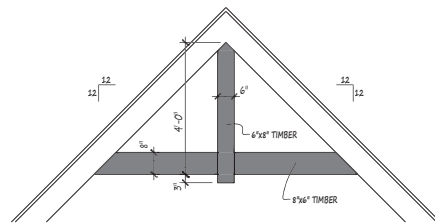
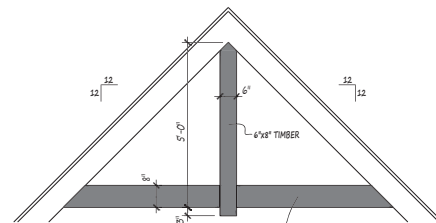
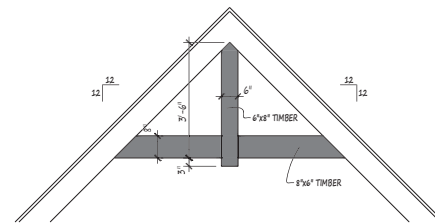
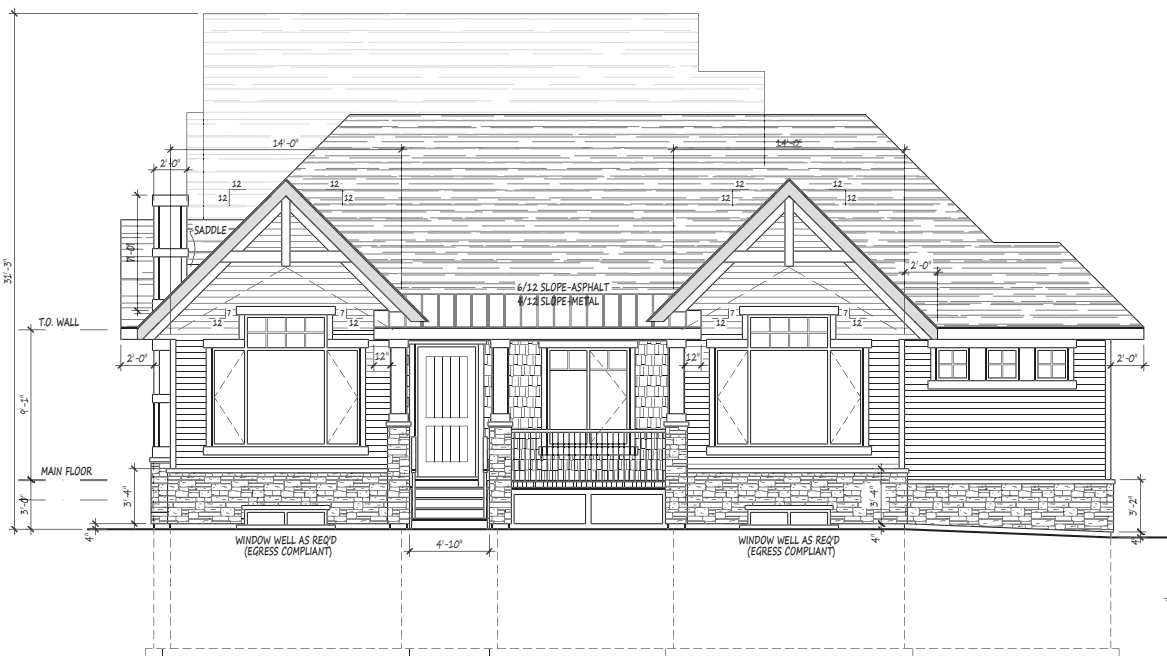
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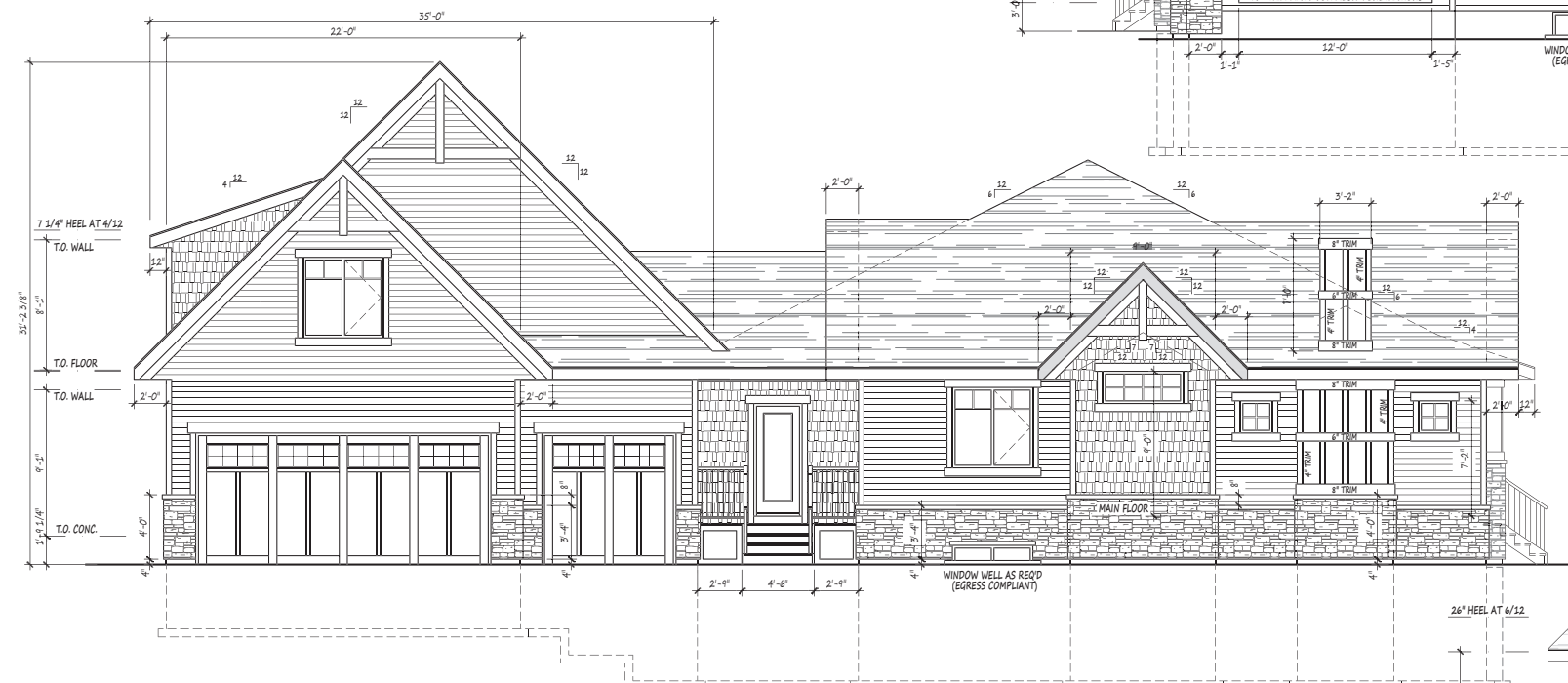
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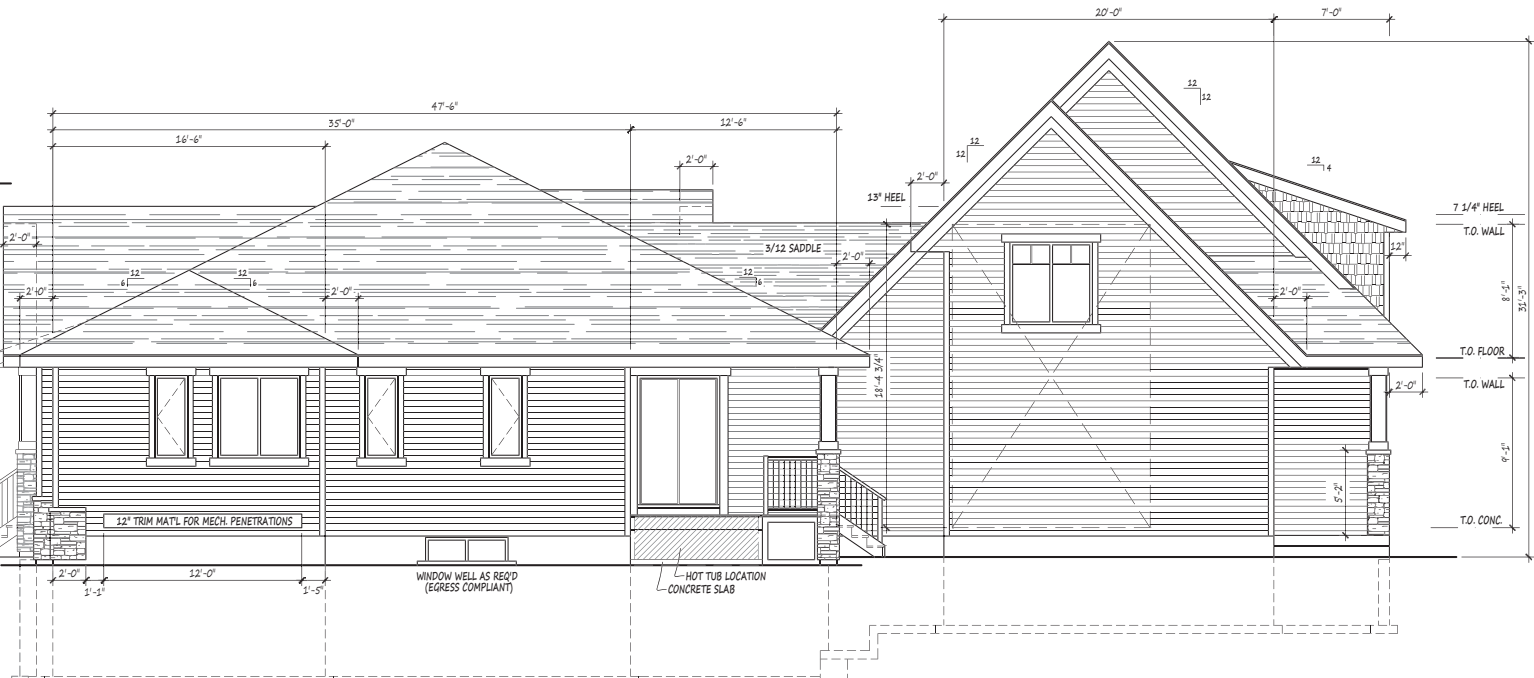
3/6

GABLE TRUSS DETAIL
WEST ELEVATION-TYPICAL OF 2
SCALE: 3/8"=1'-0"GABLE TRUSS DETAIL
NORTH ELEVATION-TYPICAL OF 1 (UPPER GARAGE ROOF)
SCALE: 3/8"=1'-0"GABLE TRUSS DETAIL
NORTH ELEVATION-TYPICAL OF 2
SCALE: 3/8"=1'-0"

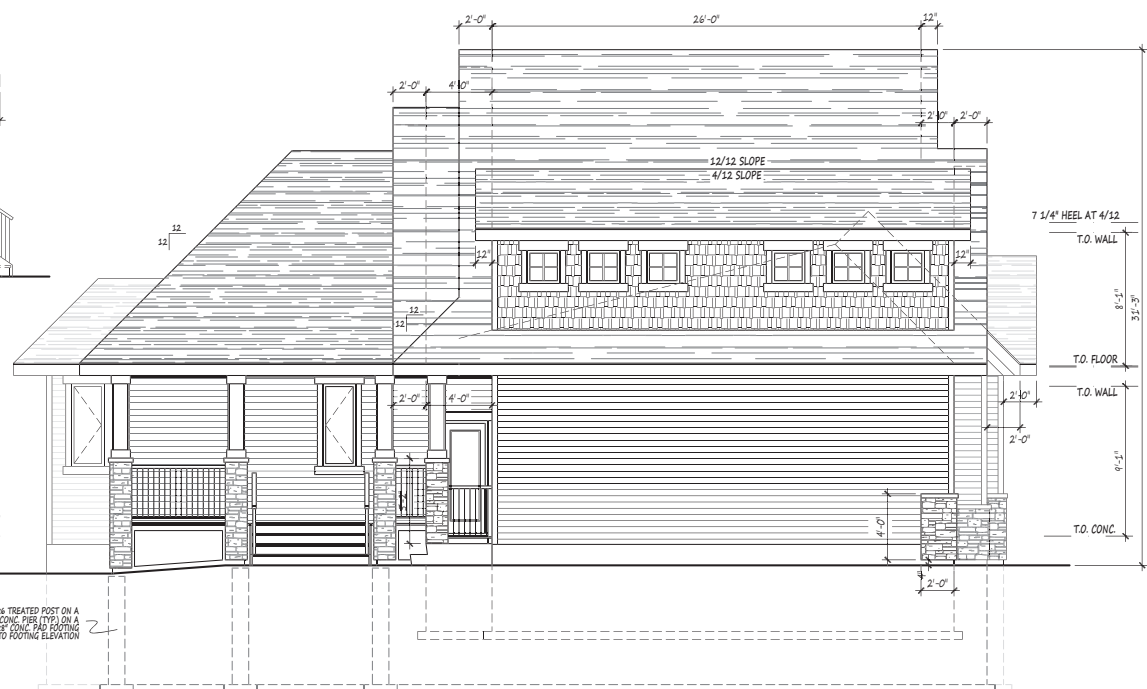
WEST ELEVATION

ROOF VENTS AS PER CODE
(VENT ATTIC AT 3-300)
ASPHALT SHINGLES/METAL ROOFING
8" ALUM. FASCIA-TYPICAL U.N.O.
(2x8 SUB FASCIA)
8" PAINTED FASCIA ON GABLES
(2x8 SUB FASCIA) SHOWN SHADEDALL WDW GRIDS TO BE SOL.
FIBER CEMENT SHAKES
WHERE SHOWN
FIBER CEMENT HORIZONTAL SIDING
WHERE SHOWN
FIBER CEMENT PANELS W/TRIM
WHERE SHOWNALUM. VENTED SOFFIT
12/24" EAVES OR AS SHOWN
6" TRIM AT TOP AND BOTTOM
OF WINDOWS WITH 4" TRIM AT SIDES
6" TRIM AT TOP OF OVERHEAD
DOORS WITH 4" TRIM AT SIDES
6" TRIM AT GABLE SOFFIT
PARING AS REQ'DADDITIONAL 4" 6" AND 8" TRIM
WHERE SHOWN ON ELEVATIONS
MANUFACTURED STONE,
WITH STONE CAP
DECORATIVE GABLE TRUSS
SEE DETAIL- THIS SHEET
FLASHING REQ'D AT
EXTERIOR OPENINGS
SEE DETAIL ON SHEET FIVE

NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



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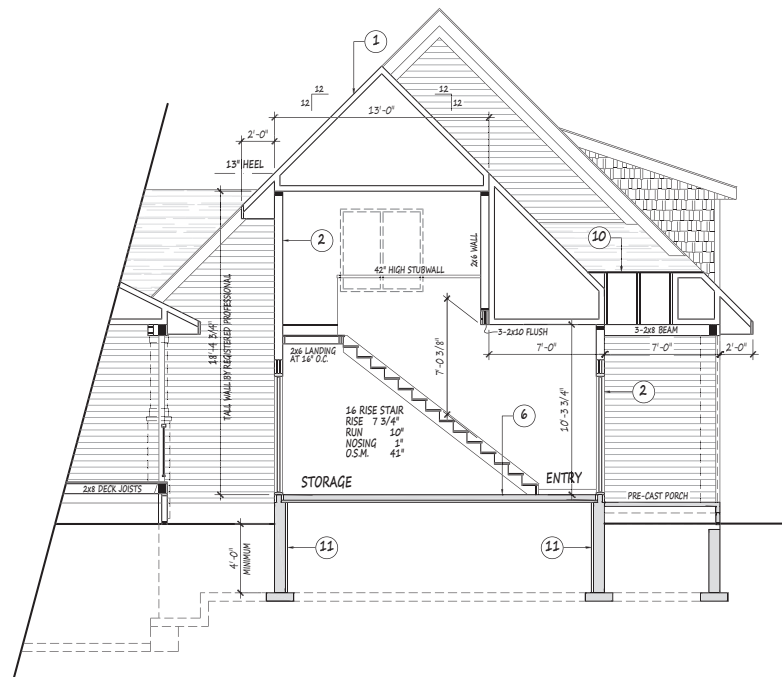
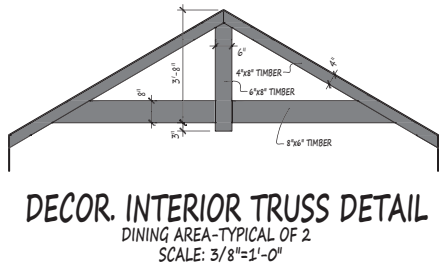
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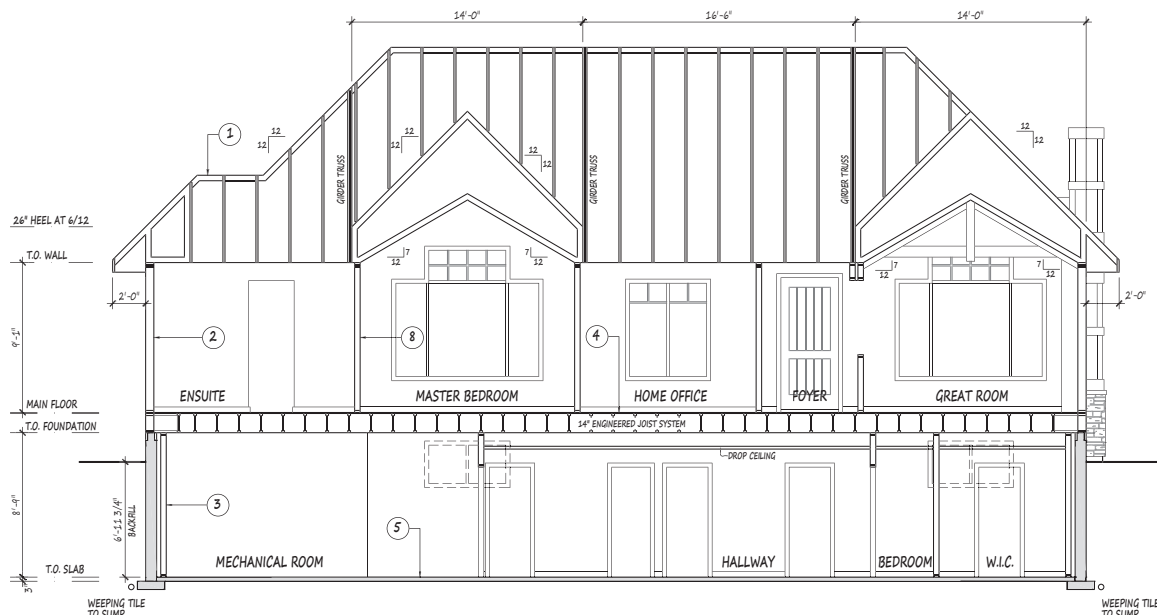
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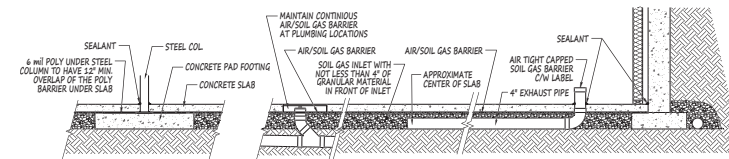
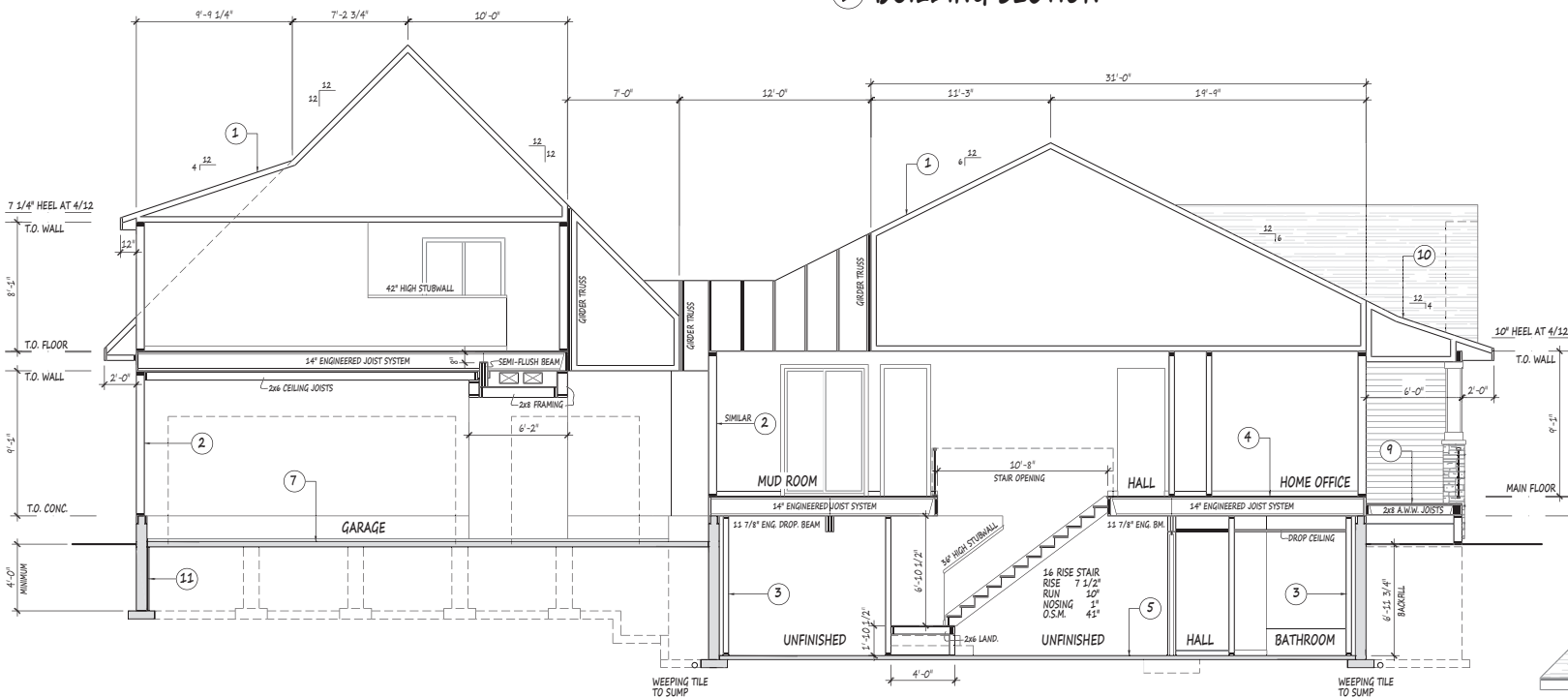
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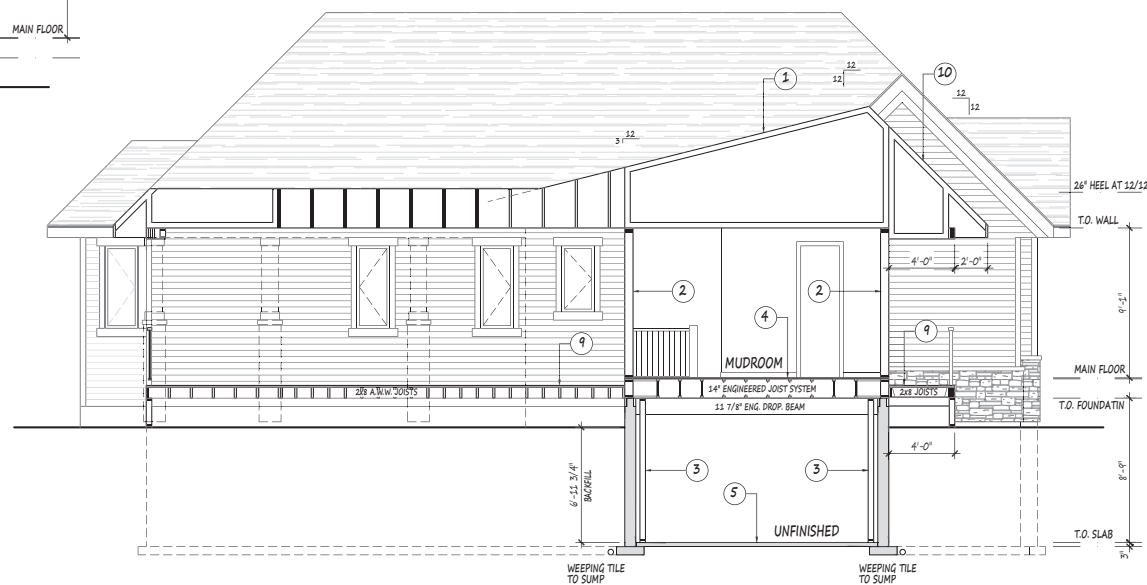
D BUILDING SECTION



B BUILDING SECTION

SOIL GAS PROTECTION SYSTEM ROUGH-IN DETAIL
SCALE: 3/8"=1'-0"

A BUILDING SECTION



C BUILDING SECTION

- 1 ROOF ASSEMBLY
ASPHALT SHINGLES
UNDERLAYMENTS
3/8" O.S.B. SHTG. C/W 1/4" CLIPS
ENG. APPROD. TRUSSES AT 24" O.C.
BATT OR LOOSE FILL INSUL.
6 MILL POLY VAPOUR BARRIER
1/2" DRYWALL C.D. BOARD
ROOF SPACE VENTED AT 1:300 MIN.
- 2 EXTERIOR WALL
FIBER CEMENT/CONCRETE SING
BUILDING PAPER OR APPROD BUILDING WRAP
3/8" O.S.B. SHTG.
2x6 #2 SPR. STUDS AT 24" AND 16" O.C.
R 19 BATT INSULATION
6 MILL POLY VAPOUR BARRIER
1/2" DRYWALL
- 3 FOUNDATION WALL-HOUSE
20"x6" CONTINUOUS CONCRETE FOOTING
DAMP-PROOFING-TWO COATS
8" CONCRETE FOUNDATION WALL
2x4 STUDS AT 24" O.C.-3 1/2" FROM CONC. WALL
R 20 BATT INSULATION
6 MILL POLY VAPOUR BARRIER
1/2" DRYWALL WHERE/IF DEVELOPED
- 4 MAIN FLOOR
FLOOR FINISH AS SPECIFIED
3/8" PLYWOOD UNDERLAY AT TILE AREAS
23/32" T&G O.S.B. SUBFLOOR
14" ENGINEERED FLOOR SYSTEM
1/2" DRYWALL
- 5 BASEMENT SLAB-BELOW GRADE
3" CONCRETE SLAB
6 MILL POLY SOIL GAS BARRIER
6" MIN. COMPACTED GRAVEL
- 6 CONCRETE SLAB-ABOVE GRADE
4" CONCRETE SLAB
6 MILL POLY SOIL GAS BARRIER
2" EXTRUDED POLYSTYRENE INSUL.
6" MIN. COMPACTED GRAVEL
- 7 GARAGE SLAB
4" CONCRETE SLAB
SLOPE TO OVERHEAD DOOR
C/W 10 MM RE-BAR AT 24" O.C. B.W.
3" COMPACTED GRAVEL MIN.
- 8 INTERIOR PARTITIONS
1/2" DRYWALL
2x4 OR 2x6 #2 SPR. STUDS AT 16" OR 24" O.C.
1/2" DRYWALL
WALLS SUPPORTING KITCHEN CABINETS
TO HAVE BLOCKING
- 9 DECK/PORCH ASSEMBLY
5/4x6 DECKING BOARDS
2X8/2X10 #2 SPR. A.W.W. JOISTS AT 16" O.C.
2X8/2X10 #2 SPR. A.W.W. BEAM-AS PER PLAN
- 10 PORCH ROOF ASSEMBLY
ASPHALT SHINGLES
UNDERLAYMENTS
3/8" O.S.B. SHTG. C/W 1/4" CLIPS
ENG. APPROD. TRUSSES AT 24" O.C.
ROOF SPACE VENTED AT 1:300 MIN.
VENTED ALUMINUM SOFFIT
- 11 FOUNDATION WALL -GARAGE
20"x6" CONTINUOUS CONCRETE FOOTING
8" CONCRETE FOUNDATION WALL
14" ENGINEERED FLOOR RIGID INSUL.
2" EXTRUDED POLYSTYRENE INSUL.
- 12 FLOOR OVER GARAGE
FLOOR FINISH AS SPECIFIED
3/8" PLYWOOD UNDERLAY AT TILE AREAS
23/32" T&G O.S.B. SUBFLOOR
14" ENGINEERED FLOOR SYSTEM
3/8" O.S.B. BACKING FOR SPRAY FOAM
2x6 CEILING JOISTS AT 24" O.C.
2 LB SPRAY FOAM INSULATION
1/2" DRYWALL-TAPED AND FINISHED



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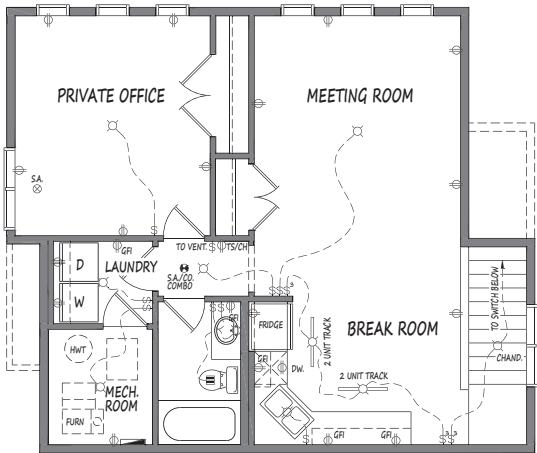
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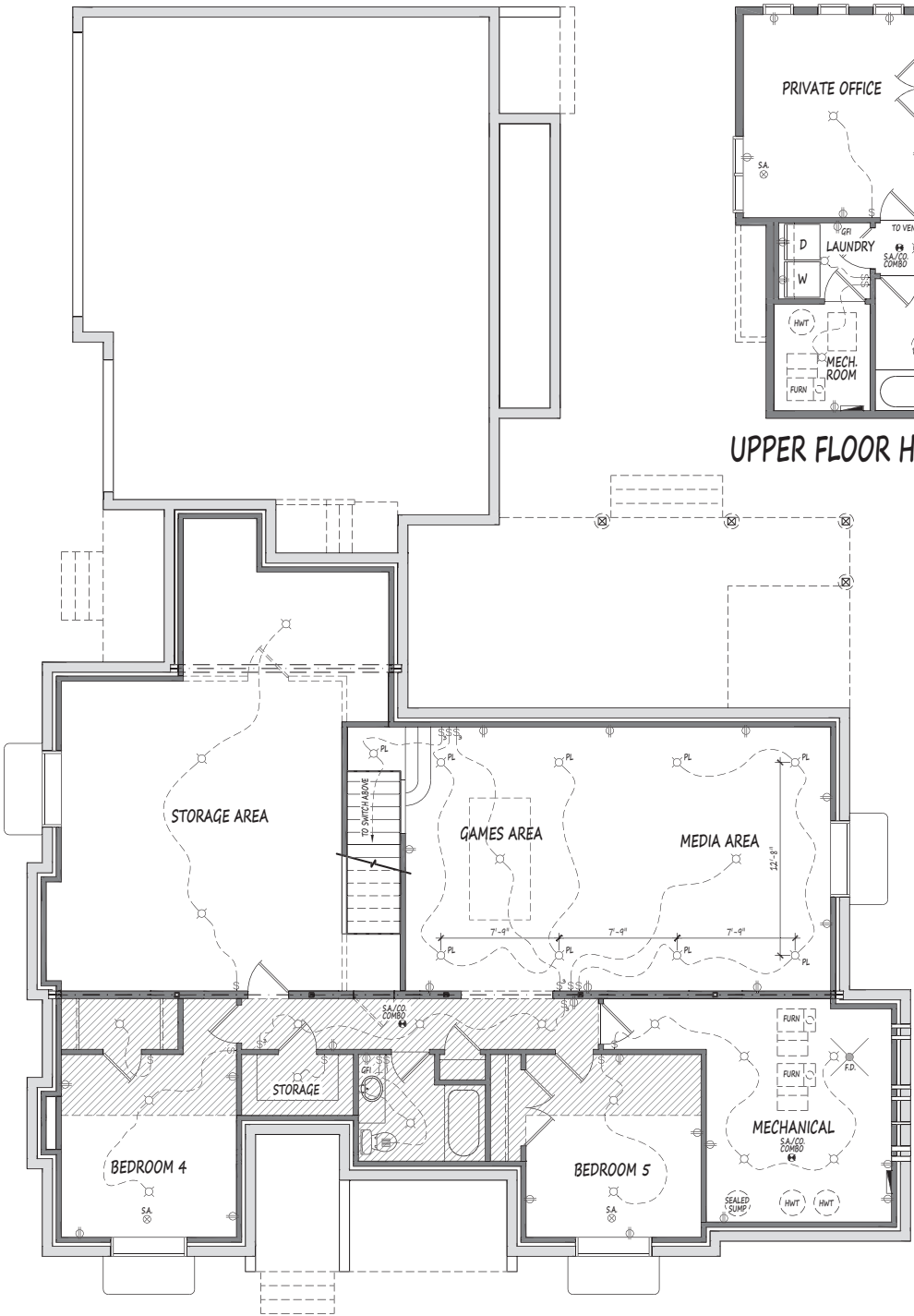
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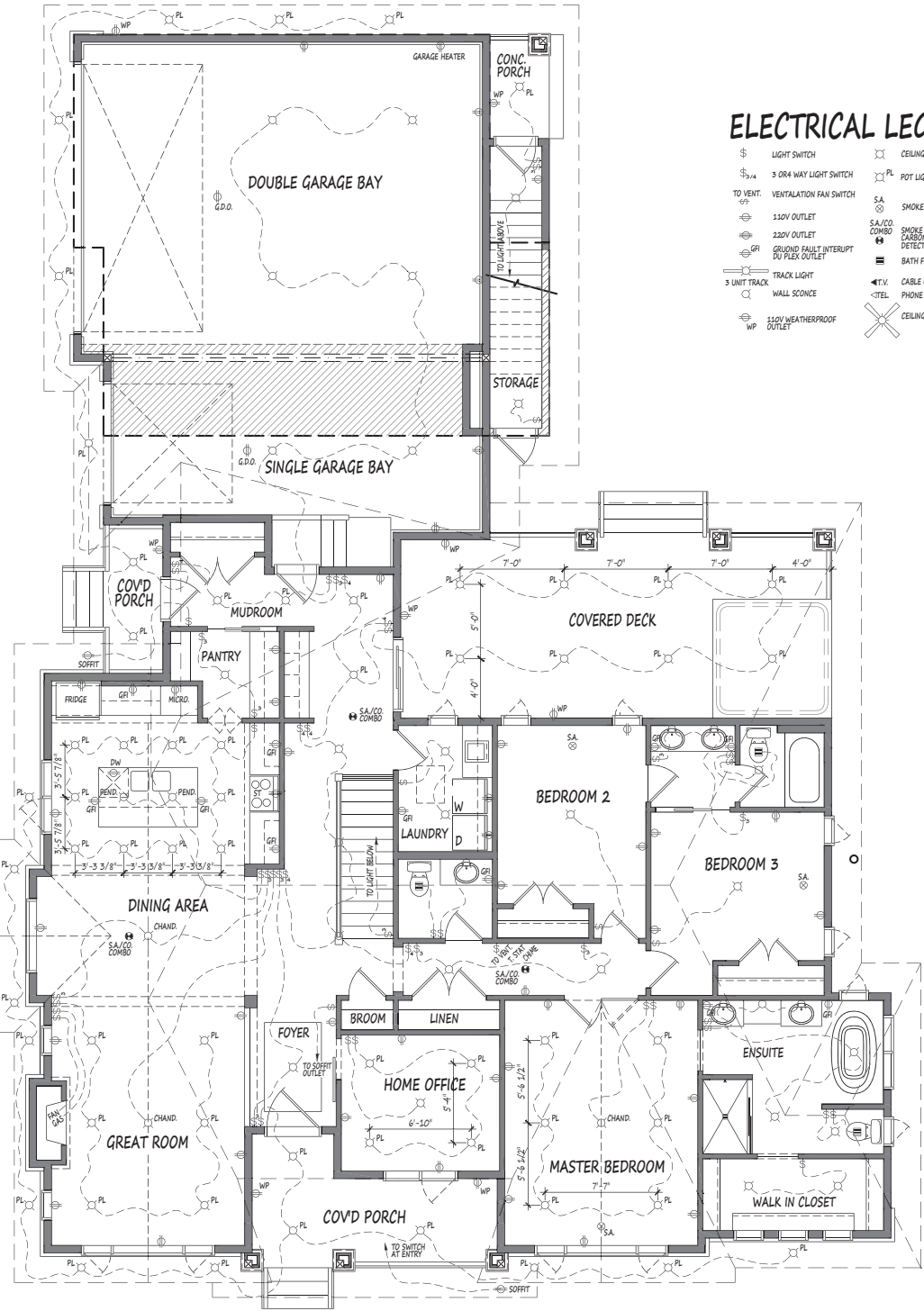
5/6



UPPER FLOOR HOME OFFICE ELECTRICAL PLAN



BASEMENT ELECTRICAL PLAN



MAIN FLOOR ELECTRICAL PLAN

ELECTRICAL LEGEND

- | | | | |
|-------------------------|---------------------------------------|-------------|--|
| \$ | LIGHT SWITCH | ⊗ | CEILING LIGHT |
| 3 OR 4 WAY LIGHT SWITCH | | ⊗ | POT LIGHT |
| TO VENT. | VENTILATION FAN SWITCH | SA | SMOKE ALARM |
| 110V OUTLET | | SA/CO COMBO | SMOKE ALARM AND CARBON MONOXIDE DETECTOR |
| 220V OUTLET | | ⊗ | BATH FAN |
| GFI | GROUND FAULT INTERRUPT DU PLEX OUTLET | ⊗ | CABLE OUTLET |
| 3 UNIT TRACK | TRACK LIGHT | ⊗ | PHONE OUTLET |
| ⊗ | WALL SCONCE | ⊗ | CEILING FAN AND LIGHT |
| ⊗ | 110V WEATHERPROOF OUTLET | | |



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N.B.C. (2019-ALBERTA EDITION) 9.36 SUMMARY

COMPLIANCE PATH (9.36.1)

- ☐ -PRESCRIPTIVE PATH
- ☐ -TRADE OFF PATH, (ATTIC FOR ABOVE GRADE WALLS)
- ☒ -PERFORMANCE PATH
- AIR TIGHTNESS FOR PERFORMANCE MODELING TO BE 2.5 ACH.

GENERAL REQUIREMENTS (9.36)

- 9.36.2.4 (4) ALLOWS SOME ASSEMBLIES TO HAVE A MIN. RSI VALUE REDUCED BY 0.16 RSI
- NO HVAC DUCTING PERMITTED IN ANY INSULATED ASSEMBLY.
- NO PLUMBING PIPES OR VENTING PERMITTED IN ANY INSULATED ASSEMBLY.
- NO BUNDLES OF ELECTRICAL WIRES OR CABLES IN ANY INSULATED ASSEMBLY.
- CONTINUOUS AIR/VAPOUR BARRIER MAINTAINED USING SHEET POLY. SEALANT.
- AND THE USE OF 2lb SPRAY APPLIED CLOSED CELL FOAM INSULATION.

HVAC REQUIREMENTS (9.36.3)

- WARM AIR FURNACE TO COMPLY WITH N.B.C., TABLE 9.36.3.10
- GAS FIRED WARM AIR FURNACE HAVING A MIN. PERFORMANCE AFUE OF 95%
- ALL DUCTING SHALL BE SEALED TO COMPLY WITH N.B.C. 9.36.3.2
- ALL AIR INTAKE AND OUTLETS DAMPERS TO COMPLY WITH N.B.C. 9.36.3.3
- SERVICE WATER HEATING EQUIPMENT TO COMPLY WITH N.B.C., TABLE 9.36.4.2
- GAS FIRED STORAGE HEATER HAVING A MIN. PERFORMANCE EF OF 67%
- GAS FIRED TANKLESS HEATER HAVING A MIN. PERFORMANCE EF OF 80%
- PIPING SHALL BE INSULATED (12mm), FOR FIRST 2M TO COMPLY WITH N.B.C. 9.36.4.4
- HEAT RECOVERY VENTILATION SYSTEM TO COMPLY WITH N.B.C. 9.36.3.9 (ONE PER FURNACE)
- ACTIVE HRV EQUIPMENT HAVING A MIN. PERFORMANCE EF OF 60%

FOUNDATION WALL ASSEMBLY

DAMPENPROOFING-THD COATS	0.00 RSI
CONCRETE FOUNDATION WALL	0.08 RSI
1" AIR SPACE	0.18 RSI
R20 BATT INSULATION	2.51 RSI
2x4 SPS. STRAPPING WALL AT 24" o.c.	0.00 RSI
6 mil POLY. AIR/VAPOUR BARRIER	0.00 RSI
2" EPS/PM BOARD (BUILT DEVELOPED)	0.00 RSI
INTERIOR AIR FILM	0.11 RSI
TOTAL EFFECTIVE	2.77 RSI
N.B.C. (2019) MIN	2.18 RSI

HOUSE/GARAGE WALL ASSEMBLY

INTERIOR AIR FILM	0.12 RSI
5/8" EPS/PM BOARD	0.08 RSI
6 mil POLY. AIR/VAPOUR BARRIER	0.00 RSI
R18 BATT INSULATION	1.67 RSI
2x4 SPS. STUDS AT 24" o.c.	0.00 RSI
5/8" O.S.B. SHEATHING	0.09 RSI
EX-TERIOR AIR FILM	0.03 RSI
TOTAL EFFECTIVE	2.85 RSI
N.B.C. (2019) MIN	2.83 RSI

BASEMENT FLOOR ASSEMBLY

BELOW FROST LINE-UNHEATED	
INTERIOR AIR FILM	0.16 RSI
FLOOR FINISH	0.00 RSI
4" 40# CONCRETE SLAB	0.00 RSI
6 mil POLY. SOIL GAS BARRIER	0.00 RSI
6" COMPACTED 40 MIL WASHED GRAVEL	0.00 RSI
TOTAL EFFECTIVE	0.16 RSI
N.B.C. (2019) MIN-UNINSULATED	

ROOF/ATTIC ASSEMBLY

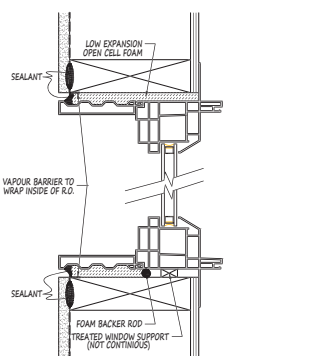
ASPHALT/METAL ROOFING MATERIALS	0.00 RSI
UNDERLAYMENTS AS REQUIRED	0.00 RSI
2" O.S.B. SHEATHING-THD-CLIPS	0.00 RSI
ATTIC AIR FILM (VENTED AT 1:300 MIN.)	0.03 RSI
ENGINEERED JOIST TRUSSES AT 24" o.c.	N/A
2x4 SPS. BOTTOM CHORD CAVITY	1.47 RSI
2x4 SPS. STUDS AT 24" o.c.	0.00 RSI
6 mil POLY. AIR/VAPOUR BARRIER	0.00 RSI
2" EPS/PM C.D. BOARD	0.09 RSI
INTERIOR AIR FILM	0.11 RSI
TOTAL EFFECTIVE	3.85 RSI
N.B.C. (2019) MIN	3.87 RSI

EXTERIOR WALL ASSEMBLY

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5/8" EPS/PM BOARD	0.08 RSI
6 mil POLY. AIR/VAPOUR BARRIER	0.00 RSI
R18 BATT INSULATION	1.67 RSI
2x4 SPS. STUDS AT 24" o.c.	0.00 RSI
5/8" O.S.B. SHEATHING	0.09 RSI
BUILDING PAPER OR HOUSE WRAP	0.00 RSI
EXTERIOR FINISH (SEE ELEVATIONS)	0.03 RSI
EXTERIOR AIR FILM	0.03 RSI
TOTAL EFFECTIVE	3.80 RSI
N.B.C. (2019) MIN	3.87 RSI

EXTERIOR TALL WALL ASSEMBLY

INTERIOR AIR FILM	0.12 RSI
5/8" EPS/PM BOARD	0.08 RSI
6 mil POLY. AIR/VAPOUR BARRIER	0.00 RSI
R18 BATT INSULATION-14" TALL CAVITY	1.30 RSI
2.5" X 5" STUDS AT 20" o.c. MIN.	N/A
5/8" O.S.B. SHEATHING	0.09 RSI
BUILDING PAPER OR HOUSE WRAP	0.00 RSI
EXTERIOR FINISH (SEE ELEVATIONS)	0.03 RSI
EXTERIOR AIR FILM	0.03 RSI
TOTAL EFFECTIVE	3.65 RSI
N.B.C. (2019) MIN	3.97 RSI

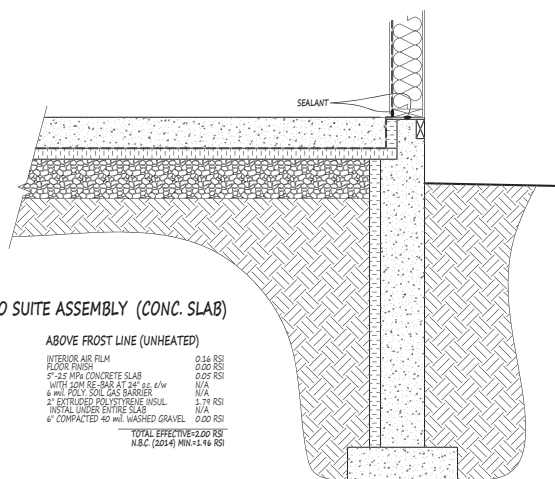


WINDOW JAMB DETAIL (T.O. DOOR SIMILAR)
SCALE: 3/16"=1'-0"

ENTRY TO SUITE ASSEMBLY (CONC. SLAB)

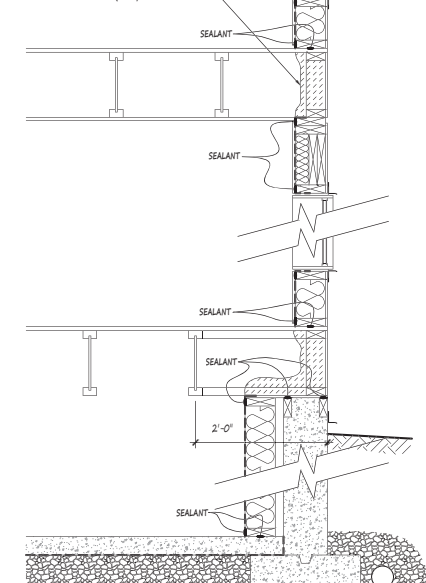
ABOVE FROST LINE (UNHEATED)

INTERIOR AIR FILM	0.16 RSI
FLOOR FINISH	0.00 RSI
4" 40# CONCRETE SLAB	0.00 RSI
WITH 20M RE-BAR AT 24" o.c. 6/4	N/A
6 mil POLY. SOIL GAS BARRIER	0.00 RSI
2" EXTRUDED POLYSTYRENE INSUL.	1.79 RSI
INSTALL UNDER ENTIRE SLAB	N/A
6" COMPACTED 40 MIL WASHED GRAVEL	0.00 RSI
TOTAL EFFECTIVE	2.90 RSI
N.B.C. (2019) MIN	2.18 RSI



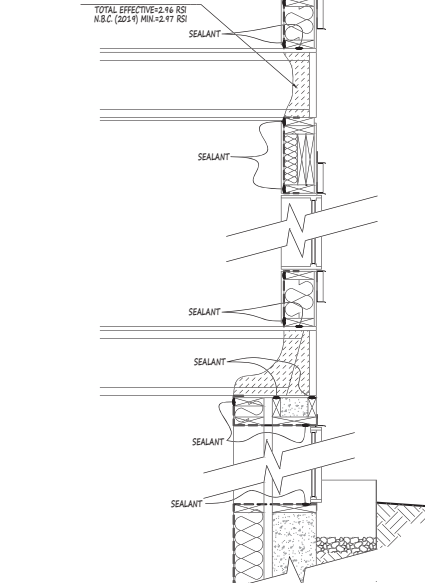
RIM-JOISTS PARALLEL

INTERIOR AIR FILM	0.12 RSI
4" OF 2lb SPRAY FOAM (1.95-0.91)	2.86 RSI
2" O.S.B. SHEATHING	N/A
BUILDING PAPER OR HOUSE WRAP	0.00 RSI
EXTERIOR FINISH (SEE ELEVATIONS)	0.03 RSI
EXTERIOR AIR FILM	0.03 RSI
TOTAL EFFECTIVE	3.13 RSI
N.B.C. (2019) MIN	2.97 RSI



RIM-JOISTS PERPENDICULAR

INTERIOR AIR FILM	0.12 RSI
5/8" MIN. OF 2lb SPRAY FOAM (1.95-0.91)	2.86 RSI
2" O.S.B. RIM BOARD	0.08 RSI
ENGINEERED JOISTS AT 24" o.c. MIN.	N/A
BUILDING PAPER OR HOUSE WRAP	0.00 RSI
EXTERIOR FINISH (SEE ELEVATIONS)	0.03 RSI
EXTERIOR AIR FILM	0.03 RSI
TOTAL EFFECTIVE	3.14 RSI
N.B.C. (2019) MIN	2.97 RSI



OUTLET BOX DETAIL

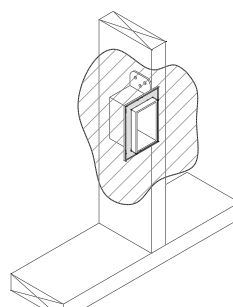
N.T.S.

INSTALL "AIR TIGHT" PLASTIC BOXES (N.B.C. 9.36.2.10)

-INCLUDING CEILING AREAS (EX. POT LIGHTS)

APPLICABLE TO INSULATED ASSEMBLIES WHERE A POLY. VAPOUR BARRIER IS PART OF THE ASSEMBLY

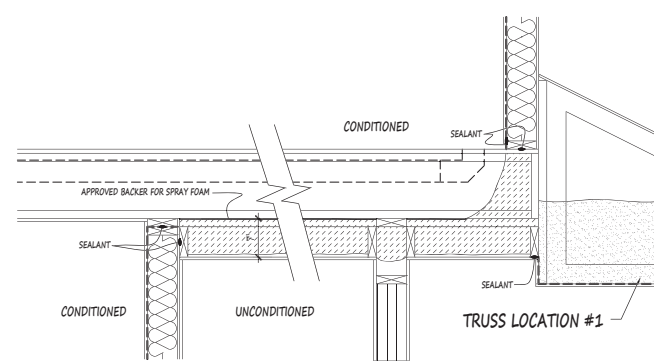
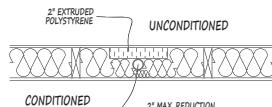
OUTLET BOX MUST PROVIDE A HEATHOD TO STRUCTURALLY SUPPORT TO THE AIR/VAPOUR BARRIER



EXTERIOR WALL ASSEMBLY FOR HVAC/PLUMB/ELECT IN INSULATED WALL

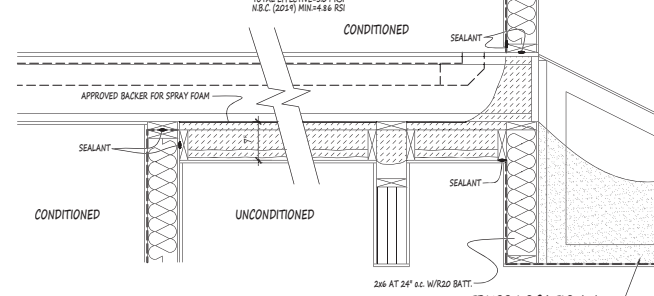
INTERIOR AIR FILM	0.12 RSI
5/8" EPS/PM BOARD	0.08 RSI
6 mil POLY. AIR/VAPOUR BARRIER	0.00 RSI
1 1/2" GLASS FIBER BATT INSULATION	0.81 RSI
2" EXTRUDED POLYSTYRENE INSULATION	1.79 RSI
2" EXTRUDED POLYSTYRENE INSULATION	1.79 RSI
2" O.S.B. SHEATHING	0.09 RSI
BUILDING PAPER OR HOUSE WRAP	0.00 RSI
EXTERIOR FINISH (SEE ELEVATIONS)	0.03 RSI
EXTERIOR AIR FILM	0.03 RSI
TOTAL EFFECTIVE	3.00 RSI
N.B.C. (2019) MIN	2.97 RSI

2" MAX. REDUCTION FOR 2x6 WALL ASSEMBLY



FLOOR ABOVE GARAGE ASSEMBLY

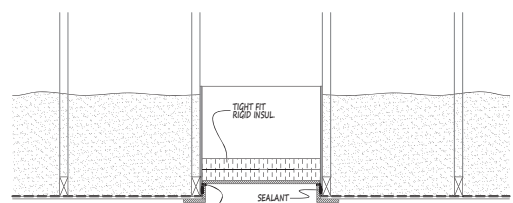
FLOOR FINISH	0.00 RSI
5/8" O.S.B. TAG SUBFLOOR	0.00 RSI
INTERIOR AIR FILM	0.14 RSI
ENGINEERED JOISTS AT 24" o.c. MIN.	N/A
APPROVED BACKER FOR SPRAY FOAM	0.00 RSI
2x4 SPS. CEILING JOISTS AT 24" o.c.	N/A
1 1/2" OF 2lb SPRAY FOAM INSULATION	4.88 RSI
2" EPS/PM C.D. BOARD	0.08 RSI
EXTERIOR AIR FILM	0.03 RSI
TOTAL EFFECTIVE	5.04 RSI
N.B.C. (2019) MIN	4.86 RSI



VAULTED CEILING/ATTIC ASSEMBLY

ASPHALT ROOFING SHINGLES	0.00 RSI
UNDERLAYMENTS AS REQUIRED	0.00 RSI
2" O.S.B. SHEATHING-THD-CLIPS	0.00 RSI
ATTIC AIR FILM (VENTED AT 1:300 MIN.)	0.03 RSI
ENGINEERED JOIST TRUSSES AT 24" o.c.	N/A
2x4 SPS. BOTTOM CHORD CAVITY	1.76 RSI
R20 GLASS FIBER BATT INSULATION	1.50 RSI
6 mil POLY. AIR/VAPOUR BARRIER	0.00 RSI
5/8" EPS/PM C.D. BOARD	0.08 RSI
INTERIOR AIR FILM	0.14 RSI
TOTAL EFFECTIVE	5.01 RSI
N.B.C. (2019) MIN	5.02 RSI

SEALANT



ATTIC ACCESS HATCH

ATTIC AIR FILM (VENTED AT 1:300 MIN.)	0.03 RSI
2" EXTRUDED POLYSTYRENE INSULATION	3.58 RSI
5/8" HDG FINISH MATERIAL	0.11 RSI
INTERIOR AIR FILM	0.14 RSI
TOTAL EFFECTIVE	3.81 RSI
N.B.C. (2019) MIN	2.60 RSI

CLOSED CELL FOAM GASKET

TIGHT FIT RIGID INSUL.

SEALANT

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
SUBJECT: Development Item: Farmers Market
USE: Discretionary use, with no Variances

DATE: September 3, 2020

APPLICATION: PRDP20201845

APPLICATION: Farmers Market and signage

GENERAL LOCATION: located approximately 0.80 km (1/2 mile) east of Rge. Rd. 11 and on the south side of the City of Airdrie boundary

LAND USE DESIGNATION: Farmstead District (F)

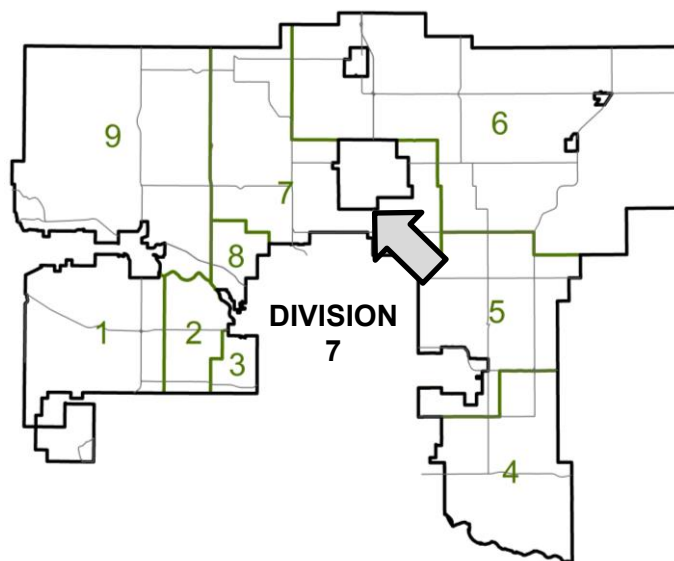
ADMINISTRATION RECOMMENDATION:

Administration recommends Approval in accordance with Option #1.

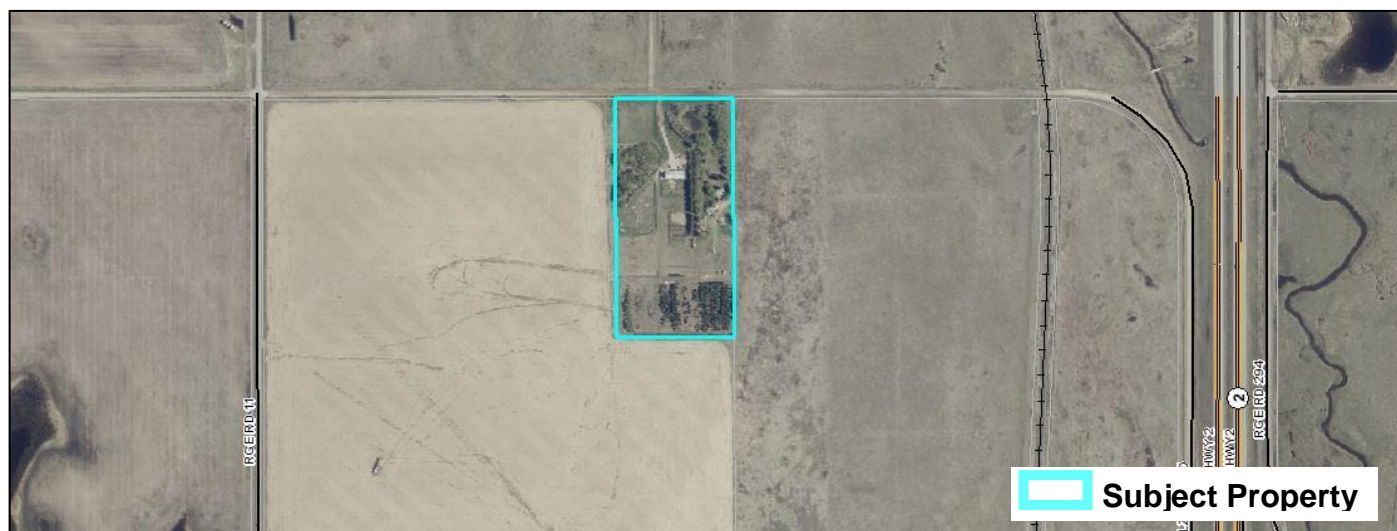
OPTIONS:

Option #1: THAT Development Permit Application PRDP20201845 be approved with the development conditions noted in the report.

Option #2: THAT Development Permit Application PRDP20201845 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Sandra Khouri – Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: July 07, 2020	File: 06524006
Application: PRDP20201845	Applicant/Owner: Cody and Holly Shepherd
Legal Description: NW-24-26-01-05	General Location: located approximately 0.80 km (1/2 mile) east of Rge. Rd. 11 and on the south side of Twp. Rd. 264
Land Use Designation: Farmstead District (F)	Gross Area: ± 8.09 hectares (± 20 acres)
File Manager: Sandra Khouri	Division: 7

PROPOSAL:

The proposal is for the development of a seasonal outdoor Farmers Market. The market will include the sale of locally made arts and crafts, pre-packaged food, bath and body products, plants, shrubs, trees, and flowers.

The subject lands are currently designated Farmstead district. A *Farmers Market* is a discretionary use in this district.

Operations

The Farmers Market will operate seasonally (weather permitting) on Saturdays from 11:00 am to 1:00 pm. It will be mainly family run but there will be one full time employee hired to assist with operations.

Proposed Use

The applicant has applied for a *Farmers Market*, which is defined in the LUB as such:

FARMERS MARKET means a market which has a primary use of selling goods produced in farming operations, and operates on a regular but temporary occurrence, and can include use of a building, structure or lot for the purpose of selling any or all of produce, meat, fish, seafood, grains, flowers, and crafts and may include retail stores and restaurants.

The *Farmers Market* use states that the market operates on a regular but temporary basis. The proposed market will only operate seasonally as it is only outdoors at this time. The Applicant has indicated that in the future she may apply to have an indoor component so the market can operate year round. However, Administration is of the opinion that the current proposed use meets the definition of a Farmers Market.

Site Details

The Farmers Market will operate from approximately 2,081.85 sq. m (22,408.82 sq. ft.) of outdoor space on the subject lands. This includes a ± 796.22 sq. m (8,570.40 sq. ft.) parking area to the north of an existing Kennel building (2003-DP-13891) and a ± 667.81 sq. m (7,188.30 sq. ft.) market area to the east. There is an existing dwelling, single detached and a modular home located to the south of the market area.

No permanent buildings are being constructed for the proposed Farmers Market. Each vendor (up to 16) will have a 10' x 10' temporary tent for their outdoor stall.



There are 4 washrooms onsite; 3 are indoors (within the kennel building) and 1 is a porta-potty in the parking lot.

Parking

The Applicant anticipates approximately 10-15 customers per hour.

There are no parking guidelines in the Land Use Bylaw for “Farmers Markets” so “Commercial or Retail Use, General (not listed separately)” was used. Parking required is 2.7 per 100 sq. m of gross floor area. The proposed market area totals 667.81 sq. m (7,188.30 sq. ft.), which requires 18 parking stalls.

The Applicant has identified a parking area to the north of the dwelling which accommodates 45 parking stalls. Seven (7) of these stalls are required for the existing *Kennel* operation. As such, the minimum required number of stalls for the site is 25 with 2 being barrier free.

The size of the parking area appears to be sufficient for the number of stalls required but barrier free stalls have not been identified.

- **Note:** prior to issuance, the Applicant will be required to provide an updated parking plan with at least 2 barrier free stalls provided.

Additionally, the proposed pathway from the parking lot to the market area appears to be covered in trees/shrubs.

- **Note:** the approval will include minor grading and tree clearing for the pathway.

Landscaping

There is extensive existing vegetation on site as demonstrated by the Site Plan and aerials. The market area is heavily treed which will ensure minimal visual impacts to adjacent parcels. No further landscaping is required.

Signage

There will be one temporary sign posted over the existing sign for The Place 4 Paws (Commercial Kennel – PRDP20160945) on market days.

- **Note:** Signage details are required prior to issuance.

Lighting

No outdoor lighting is required as the market only runs during the day.

- **Note:** as a permanent condition, any lights installed by the Applicant/Owner must comply with the dark sky lighting requirements of the LUB.

Property History

Permit Number	Permit Type	Status
PRBD20163453	Commercial kennel	Cancelled- Deemed incomplete
PRDP20160945	Existing Commercial Kennel, increase the number of dogs from 70 to 150 and construction of a kennel building	Closed- Approved



PRDP20152290	Renewal of a farm dwelling, mobile home	Closed- Approved
2005-DP-11493	Renewal of a farm dwelling, mobile home	Closed- Approved
2003-BP-16961	Accessory building/detached garage	Occupancy Granted
2003-DP-10465	Kennel (dog and cat)	Closed- Approved
2000-DP-8867	Renewal of a farm dwelling, mobile home	Closed- Approved
1999-DP-8637	agriculture intensive (tree farm + gate sales)	Closed- Approved
1994-BP-13328	Farm building	Approved
1987-BP-255	Addition to Single Family Dwelling	Occupancy Granted

STATUTORY PLANS:

City of Airdrie/Rocky View County Intermunicipal Development Plan

The application was circulated in accordance with the policies of the IDP. The City of Airdrie noted that the South Airdrie ASP amendment is proposing commercial land use along the south boundary of the plan area opposite the proposed Farmers Market but no negative land use impacts are anticipated.

There will be need for proper coordination of the location of the access road off 56 Avenue SW to the South Airdrie ASP area with the existing access driveway to the Farmers Market to avoid traffic impacts during periods when the market is operational. Depending on the success of the Farmers Market, there may be times when large attendance numbers beyond the 45-vehicle parking stalls capacity could lead to vehicles parking along the driveway access and backing to 56 Avenue SW. However, this may be addressed with appropriate traffic management measures on the property.

City of Calgary/Rocky View County IDP

The application was circulated in accordance with the policies of the IDP. The City of Calgary did not provide comments.

Balzac West Area Structure Plan

The subject property is located within the Queen Elizabeth II Highway Corridor Area and the City of Airdrie Interface Area of the ASP.

Policy 6.1 RESIDENTIAL

Policy 6.1.2 Other uses such as institutional, educational, **small-scale neighbourhood retail**, local convenience commercial, personal service, home-based business, recreational, open space, and community facilities may also be appropriate, provided they are consistent with the purpose of the area and compatible and appropriate within a residential context.

Policy 6.2 QUEEN ELIZABETH II HIGHWAY CORRIDOR

Policy 6.2.11 On lands within the Queen Elizabeth II Highway Corridor that are situated adjacent to either the Residential policy area, the Rocky Creek Conceptual Scheme or the City of Airdrie, only those non-residential uses deemed appropriate within the Residential policy area of this ASP should be allowed.

Policy 6.6 AIRDRIE/ROCKY VIEW INTERFACE AREA

The purpose of the Airdrie Rocky View Interface Area is to identify that area within the Balzac Plan Area where topographic considerations, drainage patterns, and existing road patterns form natural boundaries between the MD of Rocky View and the adjacent City of Airdrie. The seamless integration of land uses, densities, and transportation and servicing patterns are essential to the integration of jurisdictions.

The policy within the ASP states that developments adjacent to the City of Airdrie should be limited to uses deemed appropriate within the Residential policy area, which includes small-scale neighbourhood retail. As a small scale local farmers market, this proposal appears to conform to the ASP.

Policy 6.6 also states that transportation patterns within areas that interface with the City of Airdrie should be integrated with the City of Airdrie. The scale of this development would not trigger any major impacts to the transportation infrastructure.

INSPECTOR'S COMMENTS:

July 14, 2020

- Proposed farmers market area well screened
- Some foliage recently removed
- Ample parking onsite w/ gated access from Twp. 264
- Existing dog boarding business on site, well kept, some noise from dogs audible
- Farmers market site relatively flat
- Existing dwelling on site

CIRCULATIONS:

Alberta Transportation

In reviewing the application, the proposed development falls within the control distance of a provincial highway as outlined in the Highways Development and Protection Act / Regulation. The proposed development, however, will not cause any concern for ongoing highway operation or future highway expansion.

Pursuant to Section 25(3)(c) of the Highways Development and Protection Regulation, Alberta Transportation issues an exemption from the permit requirements to Cody and Holly Shepherd for the development listed above.

Calgary Airport Authority

Please be advised that after reviewing your file PRDP20201845, the Calgary Airport Authority does not have any comments.

City of Airdrie

The City of Airdrie Planning & Development Department has completed its review of the above mentioned development application, in response your request for comments, recommendations and/or requirements with respect to the application.

The application is for a proposed Farmers Market located approximately 800m east of Range Road 11 (8th Street SW) and on the south side of Township Road 264 (56 Avenue SW). It is approximately 120m south of the South Airdrie ASP area and approximately 800m from the Southwest CASP area.



The land use is F, Farmstead District, surrounded by RF, Ranch and Farm District on the west, south and east. The proposed Farmers Market will operate every Saturday from 11:00am – 1:00pm and will host a maximum of 16 vendors. No buildings will be constructed, and parking is available for 45 vehicles. The expected attendance is 10 – 15 people per hour.

The South Airdrie ASP amendment is proposing commercial land use along the south boundary of the plan area opposite the proposed Farmers Market and no negative land use impacts are anticipated.

There will be need for proper coordination of the location of the access road off 56 Avenue SW to the South Airdrie ASP area with the existing access driveway to the Farmers Market to avoid traffic impacts during periods when the market is operational. Depending on the success of the Farmers Market, there may be times when large attendance numbers beyond the 45-vehicle parking stalls capacity could lead to vehicles parking along the driveway access and backing to 56 Avenue SW. However, this may be addressed with appropriate traffic management measures on the property.

Given the information provided, Planning has no objections to the application as the proposed development will not negatively impact the adjacent parcels located within the City of Airdrie boundary.

City of Calgary

No comments received.

Canadian Pacific Railway

No comments received.

Alberta Health Services

No comments received.

Building Services Review

No concerns with outdoor farmers market. If any temporary tents are being used, they will require BP's.

Development Compliance Officer Review

Development Compliance has no comments or concerns with the attached application.

Planning and Development Services - Engineering Review

General

- Engineering has no concerns with the approval of this application as proposed as no additional structure will be required with the following comments:

Geotechnical - *Section 300.0 requirements:*

- Engineering has no requirement at this time as no significant slopes are exceeding 15% have been identified for the site. No changes to site grading is expected for the proposed development.
- Engineering has no requirements at this time.

Transportation - *Section 400.0 requirements:*

- Access to the subject land is provided by the driveway onto Twp Rd 264, all access to operate as existing. Twp Rd 264 is within the City of Airdrie City boundary, and the Applicant shall satisfy the comments provided by the City of Airdrie for the proposed use of the Farmer's Market for the site.



- The applicant will not be required to pay the transportation offsite levy, as per the applicable TOL bylaw at time of DP issuance, since the proposed development is located on a Farmstead as per Bylaw C-8007-2020
- Engineering has no requirements at this time.

Sanitary/Waste Water - Section 500.0 requirements:

- As per the application, the proposed market will not require any additional servicing.
- Engineering as no requirement at this time.

Water Supply And Waterworks - Section 600.0 & 800.0 requirements:

- As per the application, the proposed market will not require any additional servicing.
- Engineering has no requirement at this time.

Storm Water Management – Section 700.0 requirements:

- No significant increase in site runoff is expected as a result of the proposed development.
- Engineering has no requirement at this time.

Environmental – Section 900.0 requirements:

- Engineering has no requirements at this time.

Fire Services Review

Because there are no structures being constructed, the Fire Service has no comments at this time.

Utility Services

No Concerns.

Capital Project Management

No concerns.

Agricultural and Environment Services Staff Comments

No agricultural concerns.

OPTIONS:

Option #1 (this would allow the proposed development)

APPROVAL, subject to the following conditions:

Description:

1. That a seasonal Farmer's Market may take place on the subject land in general accordance with the site plan submitted with the application, and includes:
 - i. An outdoor market area, approximately 667.81 sq. m (7,188.30 sq. ft.) in size;
 - ii. A parking area to the north of the existing kennel building, approximately 796.22 sq. m (8,570.40 sq. ft.) in size;
 - iii. Minor grading and tree clearing required for walkway establishment; and
 - iv. One (1) freestanding temporary sign, details to be submitted prior to installation.

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall submit a revised Site Plan showing a minimum of two (2) of barrier free parking stalls with signage and dimensions, in accordance with the Alberta Building Code.
3. That prior to issuance of this permit, the Applicant/Owner shall submit signage details in accordance with Section 27 of the County's Land Use Bylaw C-4841-97, to the satisfaction of the County.

Permanent:

4. That the hours of operation for the Farmer's Market are Saturdays from 11:00 a.m. to 1:00 p.m. only, during the months of May to October.
5. That the site shall be maintained in a neat and orderly fashion at all times.
6. That there shall be a minimum of twenty-five (25) parking stalls including two (2) barrier free stalls maintained onsite at all times.
7. That there shall be no parking within a County road allowance at any time.
8. That all signage shall be located on the subject property and shall not be located within the County's Right of Way.
9. That dust control shall be maintained on the site at all times and that the Applicant/Owner shall take whatever means necessary to keep visible dust from blowing onto adjacent lands.
10. That the garbage and waste material onsite shall be stored in weatherproof and animal-proof containers located within buildings or adjacent to the side or rear of buildings. The garbage and waste material shall be screened from view from all adjacent properties.
11. That all garbage and refuse shall be removed from the parking area and market areas after each Farmers Market day to ensure debris is not blowing onto adjacent properties.
12. That any on-site lighting shall be dark sky, and all private lighting, including site security lighting and parking area lighting, shall be designed to conserve energy, reduce glare, and reduce uplift. All development shall demonstrate lighting design that reduces the extent of spill-over glare, and eliminates glare as viewed from nearby residential properties.
13. That potable water, if required onsite, shall be provided by a piped source, licensed and approved for commercial use by Alberta Environment, or hauled to the site and stored in cisterns, as approved by the County.
14. That disposal of wastewater shall be subject to all requirements of Alberta Environment and/or Alberta Municipal Affairs and all County approvals. Portable toilets may be placed where required on site.
15. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application, in response to a prior to issuance or occupancy condition, shall be implemented and adhered to in perpetuity.

Advisory:

16. That the site shall conform to the County's Noise Bylaw C-5773-2003 in perpetuity.
17. That the Applicant/Owner shall obtain Building Permits, for Vendor Tents prior to installation onsite, through Building Services, unless the tents:
 - i. are at least 3.00 m (9.84 ft.) apart;



- ii. do not exceed 60.00 sq. m (645.83 sq. ft.) in area; and
 - iii. do not contain any commercial cooking equipment
18. That any fire protection measures onsite shall be in accordance with the Alberta Fire Code.
19. That if this Development Permit is not issued by **APRIL 30, 2021**, or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.
20. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
21. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.

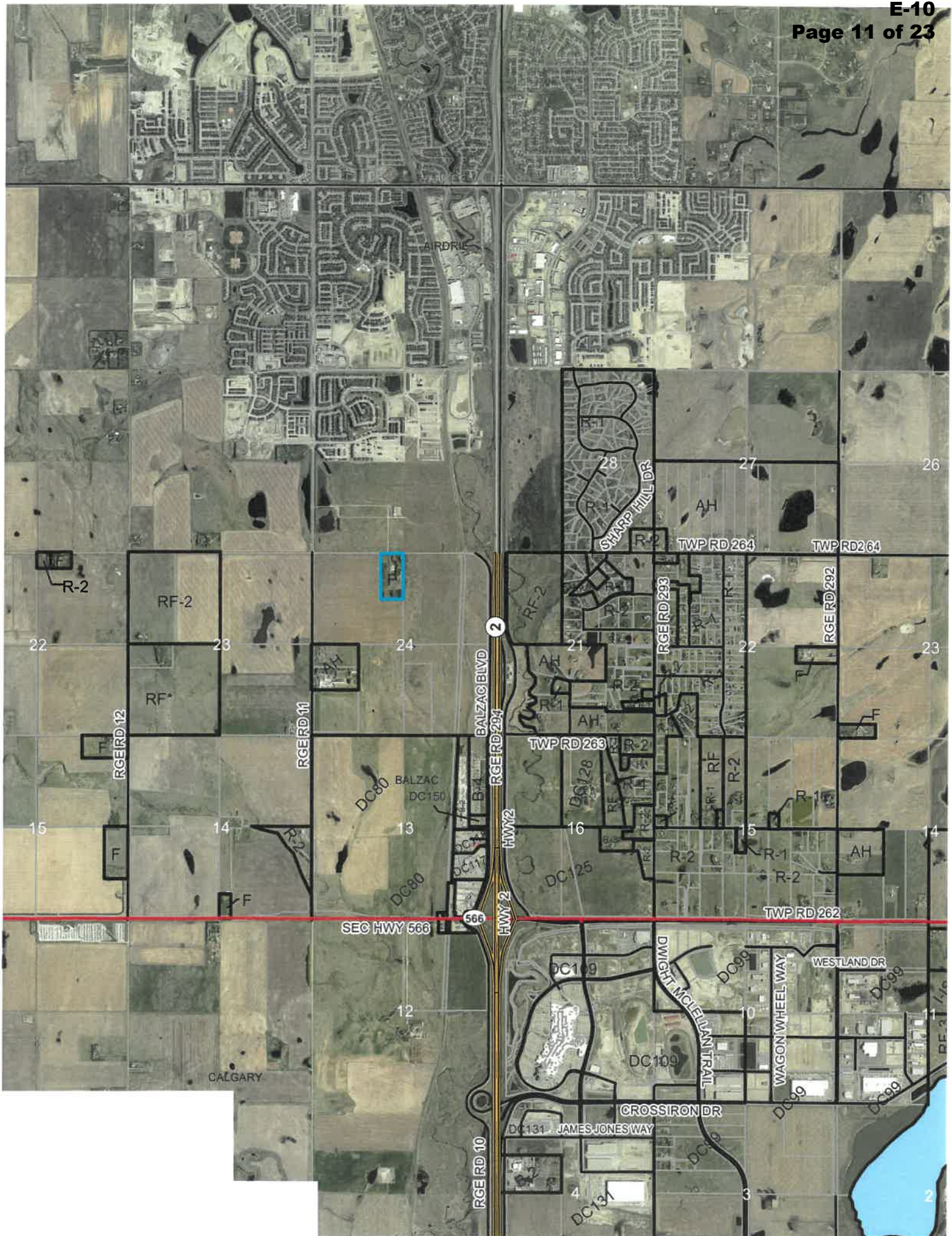
Option #2 (this would not allow the proposed development)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.

AIRDRIE







ROCKY VIEW COUNTY
Cultivating Communities

20201845

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted \$600.00	File Number 16524006
Date of Receipt July 7, 2020	Receipt # 2020024631

Name of Applicant Cody and Holly Shepherd Email [REDACTED]
Mailing Address [REDACTED] Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]
For Agents please supply Business/Agency/ Organization Name _____
Registered Owner (if not applicant) same as above
Mailing Address _____
Postal Code _____
Telephone (B) _____ (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the NW ¼ Section 24 Township 26 Range 1 West of S Meridian
b) Being all / parts of Lot _____ Block _____ Registered Plan Number _____
c) Municipal Address 10135 TWP 264
d) Existing Land Use Designation _____ Parcel Size _____ Division _____

2. APPLICATION FOR

Farmer's Market Permit

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No X
b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No X
(Sour Gas facility means well, pipeline or plant)
c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No X
d) Does the site have direct access to a developed Municipal Road? Yes X No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I CODY SHEPHERD hereby certify that ✓ I am the registered owner
(Full Name in Block Capitals)

_____ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

Applicant's Signature [Signature]

Date Sept 24, 2020

Owner's Signature [Signature]

Date Sept 24, 2020

5. RIGHT OF ENTRY


I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Cody Shepherd, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.



Signature

Sept 24, 2020
Date

July 8, 2019

Cody and Holly Shepherd
[REDACTED]

Rocky View County
262075 Rocky View Drive
Balzac, AB T4A 0X2

Dear Sir/Madam:

Re: Development Permit – Carrot and Coyote Homestead Farmer's Market

We recently had the pleasure of meeting with Evan Nielsen, Development Assistant at the Rocky View County office. Mr. Nielsen was helpful in providing information and guidance on the development application requirements. As such, please find attached our development permit application for the above noted business.

As Covid 19 and our current economic downturn has negatively impacted everyone, and in particular, small local businesses, it is our goal to provide a weekly venue to local vendors and makers to market locally made goods. This venue would allow local businesses to attract a wider target market to increase their sales and revenue. Specifics of the market are as follows:

Market Name: Carrot and Coyote Homestead Market
Location: 10135/10131 Township Road 264, Rocky View County, AB T4B 2Z8
Owners: Cody and Holly Shepherd
Phone: [REDACTED]
Email: [REDACTED]

Days/Times of Operation: Markets would be open one day per week - Saturdays from 11:00 am to 1:00 pm
Type of products offered for sale: Locally made arts and crafts, prepackaged food, bath and body products, plants, shrubs, trees, flowers. Please note we will not permit cannabis products of any type to be sold.
Number of Vendors: We are looking to host a maximum of 16 vendors.
Buildings Being Constructed: No buildings are to be constructed.
Parking Area: Please see site plan for parking.
Attendance: Expected attendance is 10 – 15 people per hour
Washrooms: Four washrooms are available. Three of the washrooms are located indoors and one is a porta-potty.
Food Prep and Selling of Raw Materials: No food will be prepped onsite. All food items must be prepared according to AHS rules and regulations, prepackaged ready for sale.

Please find attached the following:

- ☐ Completed and signed application forms
- ☐ Application fee of \$585
- ☐ Current copy of the certificate of title including digital non-financial caveats and covenants registered on the title
- ☐ Authorization from registered owner on title
- ☐ Site plan of proposed development

Thank you for your time and consideration of our application. Should you have any questions, please do not hesitate to contact Cody Shepherd at 403-818-1579 email cody@theplace4paws.com.

Kindest regards,

Cody Shepherd and Holly Shepherd

Cody and Holly Shepherd

Attachments



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0021 126 058 5;1;26;24;;14 191 095 825

LEGAL DESCRIPTION

MERIDIAN 5 RANGE 1 TOWNSHIP 26
SECTION 24
THE EAST HALF OF LEGAL SUBDIVISION 14
CONTAINING 8.09 HECTARES (20 ACRES) MORE OR LESS
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 161 158 045

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
191 095 825	22/05/2019	TRANSFER OF LAND	\$1,100,000	NOMINAL

OWNERS

CODY SHEPHERD

AND

HOLLY SHEPHERD

BOTH OF:



AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION	DATE (D/M/Y)	PARTICULARS
771 147 064	20/10/1977	ZONING REGULATIONS SUBJECT TO CALGARY INTERNATIONAL AIRPORT ZONING REGULATIONS

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
191 095 825

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

041 300 108 12/08/2004 UTILITY RIGHT OF WAY
GRANTEE - ROCKYVIEW GAS CO-OP LTD.

161 158 046 08/07/2016 MORTGAGE
MORTGAGEE - SHELL EMPLOYEES' CREDIT UNION LIMITED.
117, 400 4 AVE SW
CALGARY
ALBERTA T2P0J4
ORIGINAL PRINCIPAL AMOUNT: \$715,000

161 158 047 08/07/2016 CAVEAT
RE : ASSIGNMENT OF RENTS AND LEASES
CAVEATOR - SHELL EMPLOYEES' CREDIT UNION LIMITED.
C/O MILLER THOMSON LLP
3000, 700-9 AVE SW
CALGARY
ALBERTA T2P3V4
AGENT - MICHAEL J MORCOM.

161 158 048 08/07/2016 CAVEAT
RE : TRUST AGREEMENT
CAVEATOR - KADE SHEPHERD
10135 TOWNSHIP ROAD 264
ROCKY VIEW COUNTY
ALBERTA T4B2Z8
AGENT - RICHARD A HORNE.

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 7 DAY OF JULY,
2020 AT 01:19 P.M.

ORDER NUMBER: 39651068

CUSTOMER FILE NUMBER: PRDP20201845

END OF CERTIFICATE

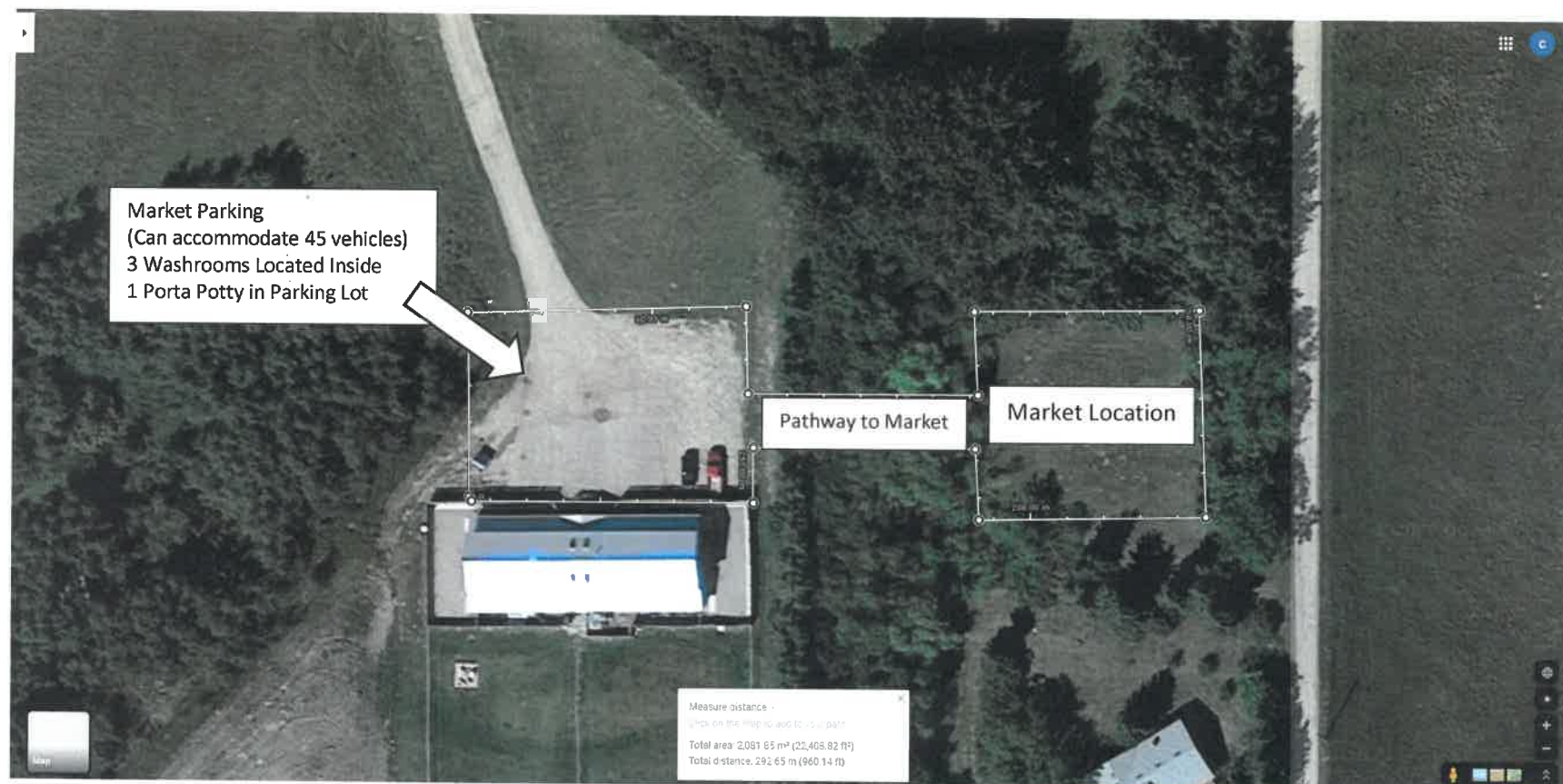


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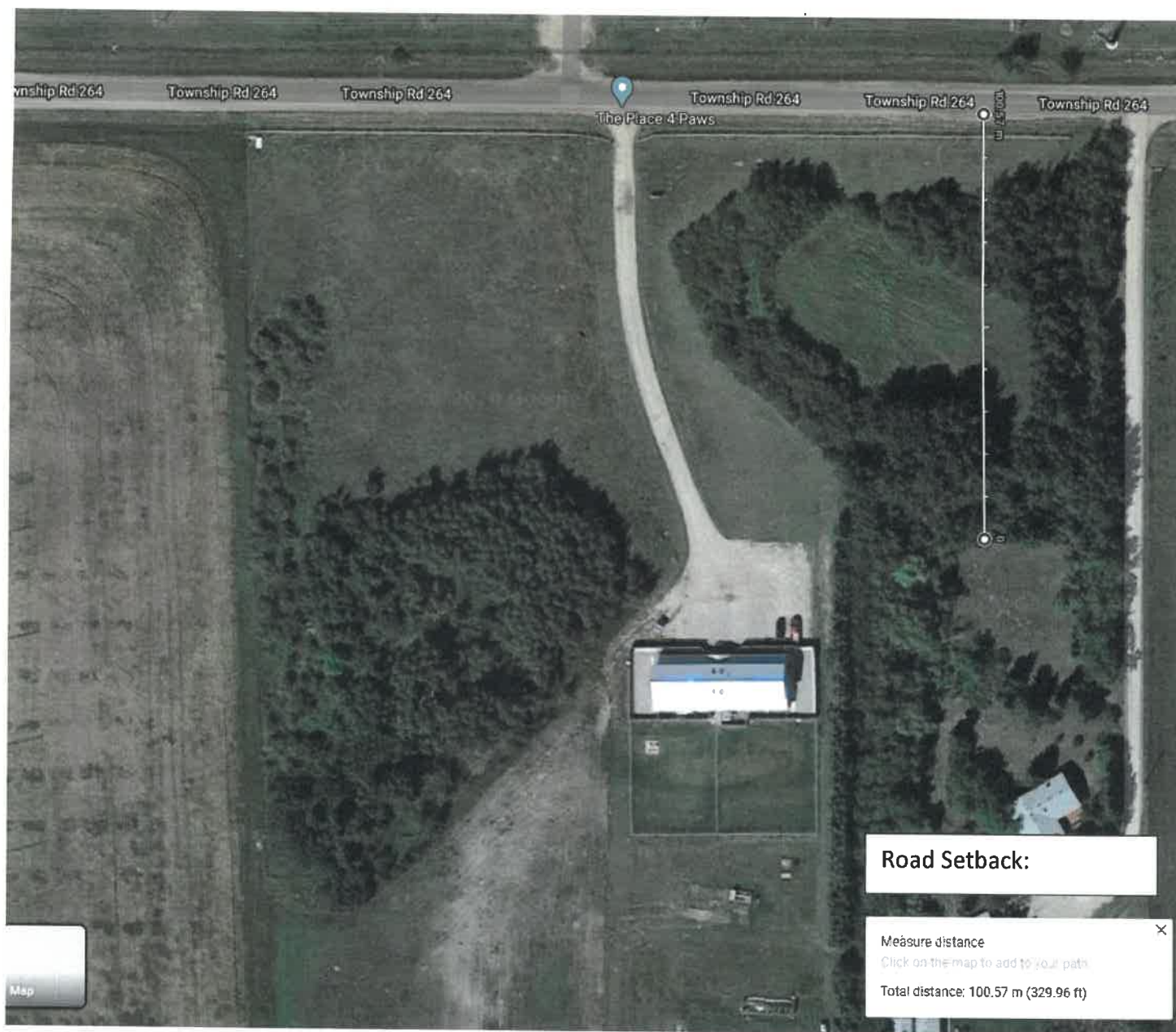
THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S) .













PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
SUBJECT: Development Item: Accessory Building
USE: Permitted use, with Variances

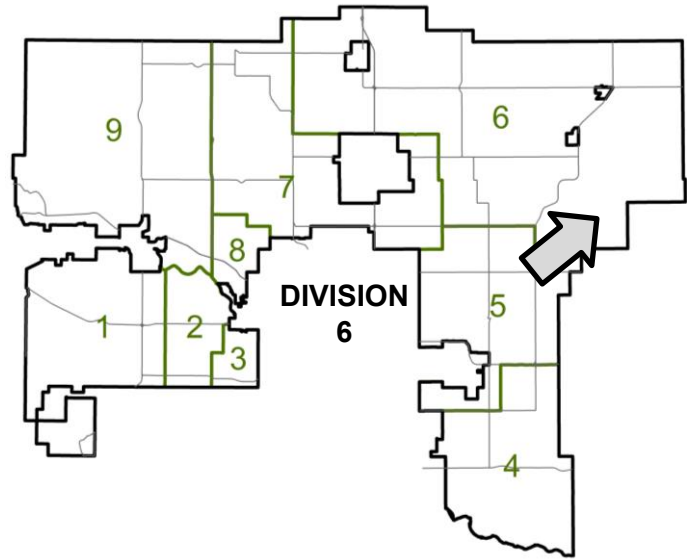
DATE: September 3, 2020
APPLICATION: PRDP20201842

APPLICATION: Construction of an accessory building (expansion of an existing shed to create a garage), relaxation of the total building area for all accessory buildings, relaxation of the maximum number of accessory buildings, and relaxation of the minimum front yard setback requirement.

GENERAL LOCATION: Located approximately 0.81 km (1/2 mile) east of Rge. Rd. 265 and on the north side of Twp. Rd. 260.

LAND USE DESIGNATION: Residential Two (R-2)

ADMINISTRATION RECOMMENDATION:
 Administration recommends approval in accordance with Option #1.



VARIANCE SUMMARY:

Regulation	Requirement	Proposed	Variance
Front yard setback	45.00 m (147.63. ft.)	44.00 m (144.35 ft.)	2.22%
Total building area for all accessory buildings	225.00 sq. m (2,421.87 sq. ft.)	405.00 sq. m (4,359.38 sq. ft.)	80.00%
Maximum number of accessory buildings	3	6	100.00%

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20201842 be approved with the conditions noted in the report.
- Option #2: THAT Development Permit Application PRDP20201842 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Sandra Khouri – Planning and Development Services



DEVELOPMENT PERMIT REPORT

Application Date: July 7, 2020	File: 06105006
Application: PRDP20201842	Applicant/Owner: Biczok, Delaney S
Legal Description: Lot 1, Block , Plan 8711651, SE-05-26-26-04	General Location: Located approximately 0.81 km (1/2 mile) east of Rge. Rd. 265 and on the north side of Twp. Rd. 260.
Land Use Designation: Residential Two District (R-2)	Gross Area: ±3.43 hectares (±8.48 acres)
File Manager: Sandra Khouri	Division: 6

PROPOSAL:

The proposal is for the construction of an accessory building (expansion of an existing shed to create a garage), relaxation of the total building area for all accessory buildings, relaxation of the maximum number of accessory buildings, and relaxation of the minimum front yard setback requirement..

The garage is proposed to be 6.70 m (22.00 ft.) x 6.70 m (22.00 ft.), totalling 44.89 sq. m (483.19 sq. ft.). There is an existing well house on the property that will be incorporated into the new detached garage. The building will function to shelter the well from the elements and pests as well as provide shelter for the owner's vehicles.

The other accessory buildings on the property include a shop, which contains tools and equipment, and farm buildings, which house livestock and hay.

LAND USE BYLAW:

Section 50 Residential Two District (R-2)

Requirements				
Section	Regulation	Required (m)	Proposed (m)	Variance
50.2	Uses, Permitted	Accessory buildings <150.00 sq. m	44.89 sq. m	0%
50.5 (b)	Yard, Front – from a road, County	45.00 m	44.00 m	2.22%
50.5 (c)	Yard, Side – all other	3.00 m	67.89 m / lots	0%
50.5 (d)	Yard, Rear – all other	7.00 m	lots	0%
50.7	Height of Buildings – (accessory building)	7.00 m	3.81 m	0%

50.9	Total building area for all accessory buildings	225.00 sq. m	405.00 sq. m	80%
50.10	Maximum number of accessory buildings	3	6	100%

Permit History

Permit Number	Permit Type	Status
1994-BP-3954	Addition to single family dwelling	Occupancy Granted

STATUTORY PLANS:

The subject property is not located within statutory plan. As such, the application was evaluated in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:

No inspection completed at the time this report was written.

CIRCULATIONS:

Building Services Review

No concerns with Accessory Building, subject to BP.

Development Compliance Officer Review

No comments received.

Road Operations

Parcel is currently accessed by a single gravel residential approach approximately 1,070 m east of Rge Rd 265

- Deficiencies:
 - The sight distance to the east is deficient as it is impeded by vegetation in the County right-of-way. This is not an immediate concern as it is an undeveloped road allowance east of this approach. However, should a County standard road be developed, this vegetation should be cleared to provide appropriate sightlines
 - The existing 3.0 m approach width does not meet the County's 6.1 m standard for single residential approaches
- Suggestion:
 - Improvements not required
 - There is no change to land use or land use intensity
 - The approach appears functional for current use

Planning and Development Services – Engineering Review**General**

- As per the application, the applicant is proposing to construct a 22' x 22' accessory building (garage).

Geotechnical - Section 300.0 requirements:

- Engineering has no requirements at this time.

Transportation - Section 400.0 requirements:

- As per GIS review, the parcel gains access off TWP RD 260 via a gravel approach.
- Significant increase to traffic volume is not anticipated due to this development. Therefore, the applicant will not be required to pay the transportation offsite levy, as per the applicable TOL bylaw.

Sanitary/Waste Water - Section 500.0 requirements:

- Engineering has no requirements at this time.

Water Supply And Waterworks - Section 600.0 & 800.0 requirements:

- The accessory building is proposed to be constructed encompassing the existing water well. As an advisory condition, the applicant must contact Alberta Environment if any changes to the water well are proposed and to ensure any necessary setbacks from the water well are maintained as needed.
- Engineering has no requirements at this time.

Storm Water Management – Section 700.0 requirements:

- Since the proposed development is not expected to significantly increase the imperviousness of the area, minimal impact to existing drainage conditions is expected.
- Engineering has no requirements at this time.

Environmental – Section 900.0 requirements:

- Engineering has no requirements at this time.

Utility Services

No Concerns.

OPTIONS:

Option #1 (this would allow the development to commence)

APPROVAL, subject to the following conditions:

Description:

1. That the construction of an accessory building (detached garage), approximately 44.96 sq. m (484.00 sq. ft.) in area, may be constructed on the subject land in general accordance with the approved plans and includes:
 - i. That the minimum front yard setback requirement for the garage is relaxed from **45.00 m (147.63 ft.) to 44.00 m (144.35 ft.)**.

- ii. That the total building area for all accessory buildings is relaxed from **225.00 sq. m (2,421.87 sq. ft.) to 405.00 sq. m. (4,359.38 sq. ft.)**.
- iii. That the maximum number of accessory buildings is relaxed from **three (3) to six (6)**.

Permanent:

2. That the proposed Accessory Building (detached garage) shall not be used for commercial purposes at any time, except for a Home-Based Business, Type I.
3. That the proposed Accessory Building (detached garage) shall not be used for residential occupancy purposes at any time.
4. That the exterior siding and roofing materials of the Accessory Building (detached garage) shall be similar/ cohesive to the existing dwelling, single-detached and/or area.
5. That there shall be no more than 1.00 m (3.28 ft.) of fill placed adjacent to or within 15.00 m (49.21 ft.) of the proposed building under construction, which is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
6. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

Advisory:

7. That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
8. That during construction of the Accessory Building, all construction and building materials shall be maintained on site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
9. That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
10. That a Building Permit and sub-trade permits shall be obtained through Building Services, prior to any construction taking place.

Option #2 (this would not allow the development to commence)**REFUSAL**, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.



TWP RD 260





ROCKY VIEW COUNTY
Cultivating Communities

20201842

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted 280.00	File Number 06105006
Date of Receipt July 7	Receipt # 2020 024628

Name of Applicant DELANEY BICZOKEmail [REDACTED]Mailing Address [REDACTED]Postal Code [REDACTED]Telephone (B) [REDACTED](H) [REDACTED]Fax [REDACTED]For Agents please supply Business/Agency/ Organization Name [REDACTED]Registered Owner (if not applicant) [REDACTED]Mailing Address [REDACTED]Postal Code [REDACTED]Telephone (B) [REDACTED](H) [REDACTED]Fax [REDACTED]

1. LEGAL DESCRIPTION OF LAND

a) All / part of the SE ¼ Section 05 Township 26 Range 26 West of 4 Meridianb) Being all / parts of Lot 1 Block [REDACTED] Registered Plan Number 8711651c) Municipal Address 264088 TWP RD 260 ROCKYVIEW COUNTY AB 333 T413KSd) Existing Land Use Designation [REDACTED] Parcel Size [REDACTED] Division [REDACTED]

2. APPLICATION FOR

WELL HOUSE EXPANDED TO GARAGE

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes [REDACTED] No ✓
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes [REDACTED] No ✓
(Sour Gas facility means well, pipeline or plant)
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes [REDACTED] No ✓
- d) Does the site have direct access to a developed Municipal Road? Yes ✓ No [REDACTED]

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I DELANEY BICZOK hereby certify that ✓ I am the registered owner
(Full Name in Block Capitals)

[REDACTED] I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

Affix Corporate Seal
here if owner is listed
as a named or
numbered company

Applicant's Signature [Signature]Date 05/08/20Owner's Signature [Signature]Date 05/08/20

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.

Devin Bickel

Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Devin Bickel, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

[Signature]
Signature

05/08/20

Date



ROCKY VIEW COUNTY
Cultivating Communities

APPLICATION FOR AN ACCESSORY BUILDING

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date Received	Receipt #

Name of Applicant DELANEY BECZAK Email dbiczok@live.ca
Mailing Address 264088 TWP 260 ROCKYVIEW COUNTY AB.
Postal Code T4A 3K5
Telephone (B) 403 805 6512 (H) _____ Fax _____

1. DETAILS OF ACCESSORY BUILDING

	Bylaw	Proposed
Accessory building size maximum		
Accessory building height		12'6"
Number of existing accessory buildings on site		4
Total size of all accessory buildings		3715 sq ft

Description of Accessory Buildings:

- a) Building materials wood vinyl siding
- b) Exterior colour multiple
- c) Please include why relaxations for buildings are needed (location, storage needs, tidy property, etc.)
storage of vehicle to protect from weather
- d) Date when building permits were issued for existing buildings _____
- e) If no permits were issued - list age of buildings 60 yrs?

2. DESCRIBE THE USE OF THE ACCESSORY BUILDING

remaining portion to continue use for well house new portion to park vehicle for weather protection.

3. ADDITIONAL REQUIREMENTS

The following items must be provided in addition to your application:

- ☒ Elevation drawing(s) / floor plan(s)
☒ Site plan(s) showing all dimensions and setbacks

Signature of Applicant

Date:

05/08/20

I DELANEY BICZOK WOULD LIKE TO BUILD A GARAGE ON MY PROPERTY TO HAVE PARKING FOR MY WIFE'S VEHICLE TO PROTECT IT FROM THE ELEMENTS. THE GARAGE WOULD ALSO HAVE THE EXISTING WELL HOUSE INTEGRATED INTO IT WHICH WOULD AID IN REBUILDING SOME OF THAT STRUCTURE TO MAKE IT MORE EFFICIENT IN COLD WEATHER AND KEEPING CRITTERS OUT.

AT THIS TIME WE DO NOT HAVE A SUFFICIENT STRUCTURE TO PARK IN TO PROTECT FROM WEATHER AS THE EXISTING STRUCTURES HAVE ANIMALS & HAY STORAGE AND SHOP HAS TOOLS & EQUIPMENT.

PLEASE CONSIDER MY REQUEST TO EXPAND EXISTING WELL HOUSE.

THANK YOU,

DELANEY BICZOK
403-805-6512

dbiczok@live.com

264088 TWP RD 260
Rocky View County
T4A 3K5



LAND TITLE CERTIFICATE

S		
LINC	SHORT LEGAL	TITLE NUMBER
0013 081 435	8711651;;1	161 239 388

LEGAL DESCRIPTION
 PLAN 8711651
 LOT 1
 EXCEPTING THEREOUT ALL MINES AND MINERALS
 AREA: 3.43 HECTARES (8.48 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
 ATS REFERENCE: 4;26;26;5;SE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 001 255 117

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
161 239 388	07/10/2016	TRANSFER OF LAND	\$579,000	CASH & MORTGAGE

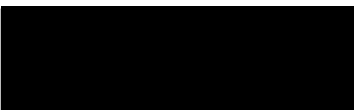
OWNERS

DELANEY S BICZOK

AND

GABRIELLE KIEWNING

BOTH OF:



AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION	DATE (D/M/Y)	PARTICULARS
751 057 401	11/06/1975	UTILITY RIGHT OF WAY GRANTEE - ROCKYVIEW GAS CO-OP LTD.
161 239 389	07/10/2016	MORTGAGE

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
161 239 388

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

MORTGAGEE - THE BANK OF NOVA SCOTIA.
151 WALDEN GATE SE, UNIT 510
CALGARY
ALBERTA T2X0R2
ORIGINAL PRINCIPAL AMOUNT: \$579,000

TOTAL INSTRUMENTS: 002

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 7 DAY OF JULY,
2020 AT 10:59 A.M.

ORDER NUMBER: 39648710

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

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PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



262075 Rocky View Point, Rocky View County, AB T4A 0X2
 TEL 403-230-1401 EMAIL building@rockyview.ca
 WEB www.rockyview.ca

Accessory Building Detail Sheet

PLEASE NOTE:

Windows cannot be placed in a wall that is closer than 4'-0" to the neighbor's property line.

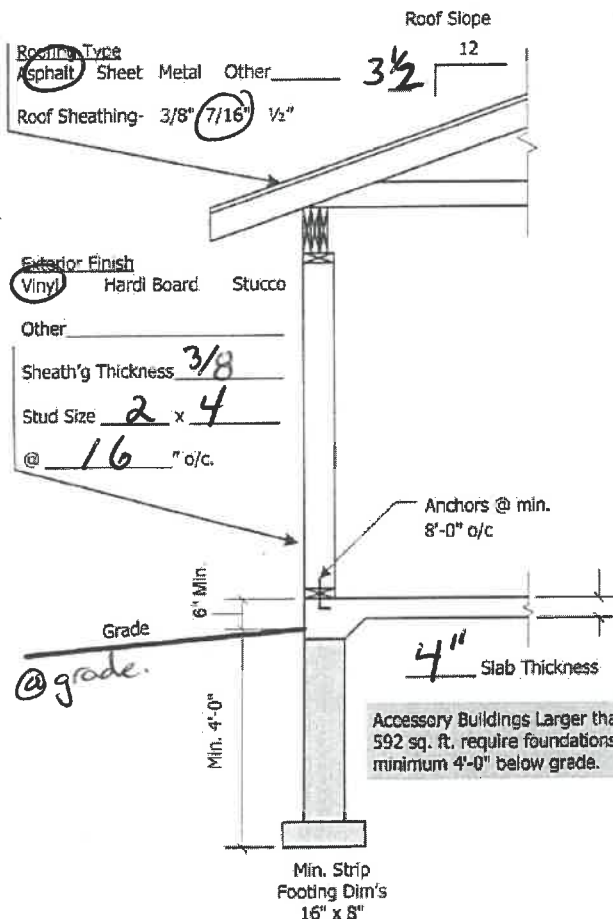
If the roof framing members transfer roof loading to the overhead garage door beam, please specify the size of the garage door lintel(s).

Roofing of OSB or Plywood that is less than 1 1/2" in thickness requires 'H' Clips and ridge blocking.

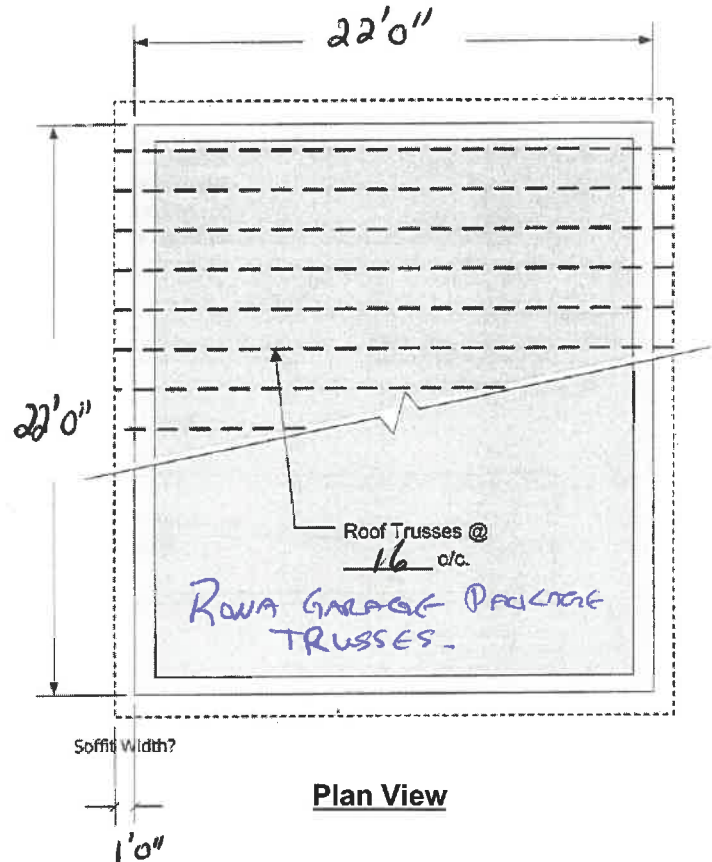
Note:

Please sketch the locations & sizes of any mandooors, overhead doors and windows.

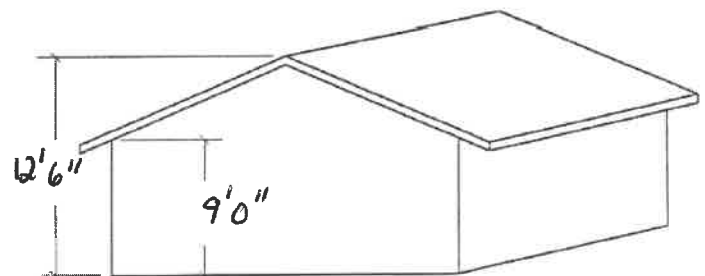
Please see other side of page for more info.



Cross Section



Plan View



Isometric View

Rocky View County	
_____	Building Inspector
_____	Date
_____	Building Permit Number



ROCKY VIEW COUNTY
 Building Services

262075 Rocky View Point, Rocky View County, AB T4A 0X2
 TEL 403-230-1401 EMAIL building@rockyview.ca
 WEB www.rockyview.ca

