

Municipal Planning Commission Meeting Agenda

March 9, 2020

9:00 a.m.



ROCKY VIEW COUNTY

262075 ROCKY VIEW POINT
ROCKY VIEW COUNTY, AB
T4A 0X2

A CALL MEETING TO ORDER

B UPDATES/APPROVAL OF AGENDA

C APPROVAL OF MINUTES

1. February 12, 2020 Municipal Planning Commission Meeting Page 4

D SUBDIVISION APPLICATIONS

1. Division 8 – File: PL20190098 (06713066) –Residential subdivision

Staff Report Page 20

2. Division 2 – File: PL20190003 (05708082)– Harmony Stage 3, Phase 11 multi-lots subdivision

Staff Report Page 43

3. Division 4 – File: PL20180108 (03223004) – Langdon East Conceptual Scheme – Direct Control 97

Staff Report Page 66

E DEVELOPMENT APPLICATIONS

1. Division 7 – File: PRDP20194585 (06401017) –Truck trailer service facility and outdoor storage

Staff Report Page 85

2. Division 7 – File PRDP20194292 (06410051) – Commercial principal building

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3. Division 4 – File PRDP20194153 (02336015) – General industry, type II

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4. Division 5 – File PRDP20200020 (05322009) – General industry, type II

Staff Report Page 173

5. Division 7 – File PRDP20193998 (08712007) – Single-lot regrading

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6. Division 8 – File PRDP20200050 (05630059) –Single-lot regrading and placement of clean fill

Staff Report Page 229

7. Division 5– File PRDP20200042 (05326001) – Single-lot regrading

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8. Division 9 – File PRDP20193941 (07730002) – Equestrian centre

Staff Report Page 284

9. Division 2 – File PRDP20194632 (04727001) – Riding arena and accessory dwelling unit (to be heard with D-10)

Staff Report Page 310

10. Division 2 – File PRDP20194636 (04727001) – Keeping of livestock (to be heard with D-9)

Staff Report Page 335

11. Division 4 – File PRDP20200089 (02320004) – Commercial kennel

Staff Report Page 351

12. Division 7 – File PRDP20194645 (06427013) – Hobby kennel and the keeping of livestock

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13. Division 9 – File PRDP20194424 (06836002) – Gravel pit (renewal)

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14. Division 9 – File PRDP20200058 (06827249) – Sales centre and signage

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15. Division 8 – File PRDP20200001 (05631186) – Accessory building

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16. Division 2 – File PRDP20194061 (04735026) – Accessory dwelling unit (garden suite)

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17. Division 3 – File PRDP20200024 (04606101) – Single detached dwelling

Staff Report Page 514

F OTHER BUSINESS
- None

G ADJOURN MEETING

H NEXT MEETING: March 23, 2020

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A regular meeting of Rocky View County Municipal Planning Commission was held in the Council Chambers of the County Hall, 262075 Rocky View Point, Rocky View County, Alberta on February 12, 2020 commencing at 9:00 a.m.

Present:	Division 5	Member J. Gautreau (Chair)
	Division 4	Member A. Schule (Vice Chair)
	Division 1	Member M. Kamachi
	Division 2	Member K. McKylor
	Division 6	Member G. Boehlke

Also Present:

- A. Hoggan, Chief Administrative Officer
- T. Cochran, Executive Director, Community Development Services Division
- B. Reimann, Executive Director, Operations
- C. Satink, Municipal Clerk, Municipal Clerk's Office
- M. Wilson, Manager, Planning and Development
- S. MacLean, Planning Supervisor, Planning and Development Services
- N. Mirza, Municipal Engineer, Planning and Development Services
- K. Tuff, Appeals Coordinator, Municipal Clerk's Office
- J. Kwan, Senior Planner, Planning and Development Services
- O. Newmen, Planner, Planning and Development Services
- A. Panaguiton, Planner, Planning and Development Services
- X. Deng, Planner, Planning and Development Services
- C. Lombardo, Planner, Planning and Development Services

Call to Order

The Chair called the meeting to order at 9:00 a.m. with all members present.

2020-02-12-01

Updates/Acceptance of Agenda

MOVED by Member McKylor that the February 12, 2020 Municipal Planning Commission meeting agenda be approved as presented.

Carried

2020-02-12-02 (J-1)

Division 7 – Subdivision Item – Balzac East

File: PL20190121

The Chair called for a recess at 9:20 a.m. and called the meeting back to order at 9:27 a.m with all previously mentioned members present.

MOVED by Member Boehlke that condition 9 of Appendix 'B' be amended to read as follows:

“the MPC recommends to Council that Special Areas Levy be deferred and also recommends to Council that the base levy only be collected on three acres on newly created parcel and remainder of base levy to be deferred.”

Carried

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MOVED by Member Boehlke that Subdivision Application PL20190121 be approved with the conditions noted in Appendix 'B', as amended:

- A. The application to create a two \pm 9.55 acre lots at Block 1, Plan 8911822 within SE-15-26-29-W04M having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 and 14 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is approved as per the Tentative Plan for the reasons listed below:
- 1) The application is consistent with the Statutory Policy;
 - 2) The subject lands hold the appropriate land use designation; and
 - 3) The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.
- 2) The Owner is to provide a Site Plan, prepared by an Alberta Land Surveyor, which illustrates the following in relation to the new property lines:
 - a) The Site Plan is to confirm that all existing private sewage treatment systems are located within the boundaries of Lot 1, in accordance with the The Alberta Private Sewage Systems Standard of Practice 2009;
 - b) All existing buildings and structures are to conform to the setback requirements in relation to the new property line, as described in the Residential Two Land Use District, as per the Land Use Bylaw C-4841-97, as amended.

Access

- 3) The Owner shall upgrade the existing road approach to a mutual standard as shown on the Approved Tentative Plan, in order to provide access to Lots 1 and 2; In addition, the Owner shall:
 - a) Provide an access right of way plan; and
 - b) Prepare and register respective easements on each title, where required.

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Servicing

- 4) The Owner is to provide confirmation of the tie-in for connection to the East Balzac Water Transmission main for Lots 1 and 2, as shown on the Approved Tentative Plan. This includes providing the following information:
 - a) Confirmation from the water supplier that an adequate and continuous piped water supply is available for the proposed new Lot(s);
 - b) Documentation proving that water supply has been purchased for proposed Lot(s) 1 and 2;
 - c) Documentation proving that water supply infrastructure requirements including servicing to the property have been installed or installation is secured between the developer and water supplier, to the satisfaction of the water supplier and the County.
- 5) The Owner shall submit a Level 3 Private Sewage Treatment System (PSTS) Assessment, prepared by a qualified professional to the satisfaction of the County.
 - a) If the recommendations of the Model Process Assessment indicate improvements are required, the Owner shall enter into a Site Improvements/Services Agreement with the County.

Stormwater Management

- 6) The Owner is to provide and implement a Site Specific Stormwater Implementation Plan (SSIP) in accordance with the Nose Creek Watershed Water Management Plan.

Utility Easements

- 7) Utility Easements, Agreements, and Plans are to be provided and registered prior to registration to the satisfaction of ATCO Gas;

Payments and Levies

- 8) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one new lot.
- 9) The Owner shall pay the Transportation Off-Site Levy as determined by Rocky View County Council in accordance with Bylaw C-7356-2014 prior to subdivision endorsement. The Municipal Planning Commission recommends to Council that Special Areas Levy be deferred and also recommends to Council that the base levy be collected on three acres on the newly created parcel and the remainder of the base levy be deferred.

Taxes

- 10) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the *Master Rates Bylaw*.

Carried

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2020-02-12-03 (D-1)

Division 7 – Development Item – Construction of a Private Riding Arena

File: PRDP20194484 (7711005)

MOVED by Member Boehlke that condition 12 for development permit PRDP20194484 as noted in the development permit report be deleted in its entirety.

Carried

MOVED by Member McKylor that Development Permit Application PRDP20194484 be approved with the amended conditions noted in the Development Permit Report, attached:

Description:

- 1) That the proposed Private Riding Arena may be constructed on the subject site; in general accordance with the Site Plan and submitted drawings (dated September 2019, dwgs. #01-07), as submitted with the application, including:
 - a) Construction of a Private Riding Arena, approximately $\pm 1,367.53$ sq. m ($\pm 14,720$ sq. ft.) in building area;
- 2) That the minimum parcel area is relaxed from 6.00 hectares (14.83 acres) to 5.17 hectares (12.78 acres).

Prior to Issuance:

Fees:

- 3) That prior to the issuance of this permit, the Applicant/Owner shall confirm acceptance of or refusal to participate in the Voluntary Recreation Contribution for Community Recreation Funding on the form provided by the County and that the contribution, if accepted, is \$10,224.00, calculated at \$800.00 per acre for 12.78 acres.

Development:

- 4) That prior to issuance of this permit, the Applicant/Owner shall submit Elevation drawings, for the private riding arena, to the satisfaction of the County. The drawings shall include elevations from grade to peak, with matching scaling. The drawings shall also include a list of building materials and colour schemes used for the building.
- 5) That prior to issuance of this permit, the Applicant/Owner shall submit a revised Grading Plan, identifying pre and post grade elevations of the development area, in accordance with County Servicing Standards.

Technical:

- 6) That prior to issuance of this permit, the Applicant/Owner shall submit a Site Specific Stormwater Implementation Plan (SSIP), demonstrating how stormwater for the proposed development is consistent with the Nose Creek Watershed Water Management Plan and in accordance with County Servicing Standards.

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Permanent:

- 7) That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application, in response to a Prior to Issuance or Occupancy condition, shall be implemented and adhered to in perpetuity, including any recommendations of the SSIP.
- 8) That the entire site shall be maintained in a neat and orderly manner at all times to the satisfaction of the Development Officer.
- 9) That if any soil is removed from the site, it is to be hauled off in a covered trailer/truck. This will prevent the blowing of dust/small rocks onto the road, or the causing of issues with other vehicles on the road, and shall be done so in accordance with the County Servicing Standards.
- 10) That the number of animal units maintained onsite shall be in accordance with the Land Use Bylaw or approved Development Permit to increase the permitted number of animal units.
 - a) If a Development Permit to increase the permitted number of animal units is not active, or valid, the Applicant/Owner shall remain in accordance with the Land Use Bylaw.
- 11) That water conservation strategies shall be implemented and maintained at all times.
- 12) That dust control shall be maintained on the site at all times. The Applicant/Owner shall take whatever means necessary to keep visible dust from blowing onto adjacent lands.
- 13) That there shall be no more than 1.00 m (3.28 ft.) of fill excavated or placed adjacent to or within 15.00 m (49.21 ft.) of the proposed building under construction, that is used to establish final grades, unless a Development Permit has been issued for additional fill.
- 14) That all garbage and waste for the site shall be stored in weatherproof and animal proof containers in the garbage bins, and screened from view by all adjacent properties and public thoroughfares.
- 15) That all on site lighting shall be "dark sky" and all private lighting including site security lighting and parking area lighting shall be designed to conserve energy, reduce glare, and reduce uplight. All development shall be required to demonstrate lighting design that reduces the extent of spill-over glare and eliminates glare as viewed from nearby residential properties.
- 16) That the Applicant/Owner shall adhere to the submitted Manure Management Plan at all times. If there is a build-up of manure, said manure shall be removed immediately.
- 17) That no liquid waste/water or solid waste from a livestock operation shall be disposed of in any river, stream, canal or slough.
- 18) That the private riding arena shall only be used by the Applicant/Owners/Occupants and non-paying guests of the parcel, and be associated only to the principle use of the property.
- 19) That the private riding arena shall only be used for the training, exercising, breeding and rehabilitation of horses, and shall not be used for horse shows, rodeos, or similar events to which there is a fee to participate, or to use or attend the facilities.
- 20) That the private riding arena shall not be rented out to persons or groups that are not owners of the site.
- 21) That the private riding arena shall not have any mezzanines or viewing areas.
- 22) That the property shall maintain proper fencing at all times when horses are present, and no horses shall be allowed on unfenced parcels.

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Advisory:

- 23) That during construction, all construction and building materials shall be maintained onsite in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 24) That the site shall adhere to the Rocky View County Noise Bylaw (C-5772-2003) at all times.
- 25) That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act [*Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017*].
- 26) That a Farm Building Location Permits shall be obtained, through Building Services, prior to any construction taking place.
 - a) That water supply for fire suppression and emergency vehicle access shall be provided in accordance with Alberta Building Code.
- 27) That if the development authorized by the Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
- 28) That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 29) That if this Development Permit is not issued by JULY 31, 2020 or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Note: The Applicant/Owner shall be responsible for any/all Alberta Environment approvals/compensation, if any wetland is impacted by the proposed development.

Carried

2020-02-12-04 (D-2)

Division 7 – Development Item – Keeping of Livestock

File: PRDP20194586 (7711005)

MOVED by Member McKylor that Development Permit Application PRDP20194586 be approved with the conditions noted in the Development Permit Report, attached:

Description:

- 1) That the keeping of livestock at densities no greater than two animal units per 1.60 hectares (3.95 acres) may be permitted on the subject property (SW-11-27-03-W5M) at any time.
- 2) That the maximum number of animal units (horses) on the subject property shall not exceed six at any time.

Permanent:

- 3) That the Manure and Grazing Management Plan as submitted with the application shall be practiced at all times.
 - a) If overgrazing becomes evident on the property, revised grazing procedures may need to be implemented by the Applicant or the number of animal units may need to be decreased, upon request from the County.

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- 4) That all manure shall be collected and disposed of off-site or worked into the fields on a continual basis at least once a month.
 - 5) That if there is a build-up of manure, that manure shall be removed immediately.
 - 6) That the Applicant/Owner shall ensure the property contains adequate livestock fencing, to ensure all livestock units (horses) remain on the subject property at all times.

Advisory:

- 7) That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 8) That this development permit shall be valid until March 11, 2021.

Carried

2020-02-12-05 (D-3)

Division 5 – Development Item – Accessory Buildings and Side Yard Setback

File: PRDP20194136 (5335012)

MOVED by Member Schule that Development Permit Application PRDP20194136 be approved with the suggested conditions noted in the staff report:

Description:

- 1) That the existing Accessory Buildings (oversize Quonset [approximately 281.90 sq. m (3,034.34 sq. ft.) in area]), wood shed, and two sheds) may remain on the subject land in general accordance with the approved site plan, as prepared by Jones Geomatics, Job No. NP21751-17, dated June 2017.
 - a) That the minimum side yard setback requirement for the accessory building (shed #1 [as referenced on the site plan]) is relaxed from 6.00 m (19.68 ft.) to 2.52 m (8.26 ft.).

Permanent:

- 2) That the existing Accessory Buildings (Quonset, wood shed, and two sheds) shall not be used for commercial purposes at any time, except for a Home-Based Business, Type I or an approved Home-Based Business, Type II.
- 3) That the existing Accessory Buildings (Quonset, wood shed, and two sheds) shall not be used for residential occupancy purposes at any time.

Advisory:

- 4) That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
- 5) That the accessory buildings (Gazebo and four horse shelters [#5, #7, #10 and #11 as referenced on the site plan]) shall be removed from the subject property and/or relocated to comply with the County's current Land Use Bylaw requirements.
- 6) That Building Permits shall be obtained, through Building Services, for any buildings over 107.63 sq. ft. in area, if no building permits were obtained.
- 7) That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.

Carried

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2020-02-12-06 (D-4)

Division 3 – Development Item – Single Detached Dwelling, Single-Lot Regrading, and Placement of Clean Fill
File: PRDP20194357 (4619131)

MOVED by Member McKylor that Development Permit Application PRDP20194357 be approved with the conditions noted in the Development Permit Report attached:

Description:

- 1) That the proposed construction of a dwelling, single detached, relaxation of the maximum height requirement and single-lot regrading may take place on the subject site, in general accordance with the submitted site plan and application drawings as prepared by Shade Tree Design, dated November 20 2019.
 - a) That the maximum height requirement for the dwelling, single detached, as shown on the application drawings labeled A3.1 and A3.2, prepared by Shade Tree Design, dated November 20, 2019, is relaxed from 10.00 m (32.81 ft.) to 11.85 m (38.88 ft.).
- 2) That the proposed single-lot regrading and placement of clean fill, for a grade change up to a maximum of 3.66m (12.01 ft.) may commence as shown on the proposed application drawings labeled A1.2, prepared by Shade Tree Design, dated November 20, 2019.

Prior to Issuance:

- 3) That prior to issuance of this permit, the Applicant shall contact County Road Operations to further discuss the Applicants/Owner's request for relaxation to County Standards for the approach grade.
 - a) Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.
- 4) That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions
 - a) Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.
- 5) That prior to issuance of this permit, the Applicant/Owner shall submit a Deep Fill Report, prepared by a qualified professional, for any grade areas where the depth change exceeds 1.20 m (3.94 ft.), in accordance with County Servicing Standards.
- 6) That prior to issuance of this permit, the Applicant/Owner shall submit a Site-Specific Stormwater Plan (SSIP), conducted by a professional engineer that provides recommendations on managing stormwater flows, that are in accordance with the Springbank Master Drainage Plan. The SSIP shall include a revised grading plan that delineates the proposed area to be graded and identifies pre-development and post-development grades that is stamped and verified by a professional engineer for conformance with the subdivision stormwater management report (Osprey Engineering Inc., April 5, 2017).

Permanent:

- 7) That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address, in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the dwelling unit located on the subject site, to facilitate accurate emergency response.

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- 8) That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance or Occupancy condition shall be implemented and adhered to in perpetuity including any recommendations of the SSIP and Grading plan.
 - 9) That it shall be the responsibility of the Applicant/Owners to ensure the fill has been placed in a safe manner that does not cause slope stability issues, slumping, or any other related safety issues.
 - 10) That no topsoil shall be removed from the site. All topsoil shall be retained on-site and shall be seeded after building construction is complete, as part of site restoration.
 - 11) That the Applicant/Owners shall ensure no organic material is buried and capped in a manner that will cause methane gas related issues.
 - 12) That the Applicant/Owners shall take effective measures to control dust on the parcel so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity.
 - 13) That the Applicant/Owners shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
 - 14) That upon request of the County, the Applicant/Owner shall submit as-built grading survey, to confirm that post grades align with final grades as approved with the application.

Advisory:

- 15) That a Building Permit and subtrade permits shall be obtained through Building Services, for the construction of the dwelling, single detached on the subject property.
- 16) That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act [*Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017*].
- 17) That all construction and building materials shall be maintained on site in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 18) That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 19) That if the development authorized by this Development Permit is not commenced with reasonable diligence within twelve (12) months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
- 20) That if this Development Permit is not issued by JULY 31, 2020, or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Note: The Applicant/Owner shall be responsible for all Alberta Environment approvals/compensation if any wetland is impacted by the placement of the fill.

Carried

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2020-02-12-07 (D-5)

Division 3 – Development Item – Accessory Building with Relaxations

File: PRDP20194359 (4619131)

MOVED by Member Schule that Development Permit Application PRDP20194359 be approved with the conditions noted in the Development Permit Report attached:

Description:

- 1) That an accessory building (oversized garage) may be constructed on the subject land in general accordance with the site plan and drawings submitted with the application and the conditions set below.
 - a) That the maximum building area for the proposed accessory building (oversized garage) is relaxed from 80.00 sq. m (861.11 sq. ft.) to 149.34 sq. m (1,607.50 sq. ft.).
- 2) That the total building area for all accessory buildings is relaxed from 120.00 sq. m (1,291.67 sq. ft.) to 149.34 sq. m (1,607.50 sq. ft.).

Prior to Issuance:

- 3) That prior to issuance of this permit, Development Permit for the dwelling, single detached under PRDP20194357, shall be issued.
- 4) That prior to issuance of this permit, the Applicant/Owner shall submit a Deep Fill Report, prepared by a qualified professional, for any grade areas where the depth change exceeds 1.20 m (3.94 ft.), in accordance with County Servicing Standards.
- 5) That prior to issuance of this permit, the Applicant/Owner shall provide a Site-Specific Stormwater Plan (SSIP), conducted by a professional engineer that provides recommendations on managing stormwater flows that is in accordance with the Springbank Master Drainage Plan. The SSIP shall include a revised grading plan that delineates the proposed area to be graded and identifies pre-development and post-development grades that is stamped and verified by a professional engineer for conformance with the subdivision stormwater management report (Osprey Engineering Inc., April 5, 2017).

Permanent:

- 6) That the accessory building shall not be used for commercial purposes at any time, except for the Home-Based Business, Type I.
- 7) That the accessory building shall not be used for residential occupancy at any time.
- 8) That the exterior siding and roofing materials of the proposed accessory shall be similar to the existing dwelling, single-detached.
- 9) That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance or Occupancy condition shall be implemented and adhered to in perpetuity.
- 10) That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance or Occupancy condition shall be implemented and adhered to in perpetuity including any recommendations of the SSIP and Grading plan.

Advisory:

- 11) That during construction, the County's Noise Control Bylaw C-5772-2003 shall be adhered to at all times.

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- 12) That during construction, all construction and building materials shall be maintained onsite in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
 - 13) That a Building Permit and Sub-trade permits shall be obtained through Building Services, prior to any construction taking place.
 - a) That final occupancy for the proposed accessory building (oversized garage) shall not be granted prior to the issuance of final occupancy of the dwelling, single detached.
 - 14) That any other government permits, approvals, or compliances are the sole responsibility of the Applicant.
 - 15) That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
 - 16) That if this Development Permit is not issued by JULY 31, 2020, or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Note: The Applicant/Owner shall be responsible for all Alberta Environment approvals/compensation if any wetland is impacted by the placement of the fill.

Carried

2020-02-12-08 (D-6)

Division 2 – Development Item – Single Detached Dwelling, Accessory Building, and Side Yard Setback
File: PRDP20194661 (5705069)

MOVED by Member McKylor that Development Permit Application PRDP20194661 be approved with the suggested conditions noted in the staff report:

Description:

- 1) That the minimum side yard setback requirement for the existing dwelling, single detached, in accordance with the Real Property Report, as prepared by Lovse Surveys Ltd.; File #1907015RPR, dated October 16, 2019, is relaxed from 1.52 (4.98 ft.) to 1.47 m (4.82 ft.).
- 2) That the minimum side yard setback requirement for the accessory building (garage), in accordance with the Real Property Report, as prepared by Lovse Surveys Ltd.; File #1907015RPR, dated October 16, 2019, is relaxed from 1.52 (4.99 ft.) to 1.44 m (4.72 ft.).

Advisory:

- 3) That the Applicant/Owner is advised to contact Building Services, to discuss the requirements of a Building Permit, to upgrade the fire protection measures of the cantilever, as per sentence 9.10.15.5.7 of the National Building Code 2019 AE.
- 4) That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

Carried

The Chair called for a recess at 9:54 a.m. and called the meeting back to order at 10:01 a.m with all previously mentioned members present.

ROCKY VIEW COUNTY
MUNICIPAL PLANNING COMMISSION MEETING MINUTES
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2020-02-12-09 (D-7)

Division 8 – Development Item – Home-Based Business, Type II, For a Yoga Studio

File: PRDP20194584 (5735070)

Presenter: The applicant, Rod Potrie of Planning Protocol Inc.

MOVED by Member Schule that Development Permit Application PRDP20194584 be approved with the suggested conditions noted in the staff report:

Description:

- 1) That a Home-Based Business, Type II, for a Yoga Studio may operate on the subject parcel in accordance with the approved Site Plan and submitted application.

Prior to Issuance

- 2) That prior to issuance of this permit, the Applicant/Owner shall provide the proposed signage details to the county's satisfaction.

Permanent:

- 3) That an employee in this Home-Based Business, Type II is a person who attends the property more than once in a seven-day period for business purposes.
- 4) That the operation of this Home-Based Business shall be secondary to the residential use of the subject parcel.
- 5) That the Home-Based Business, Type II shall not change the residential character and external appearance of the land and buildings.
- 6) That the operation of this Home-Based Business, Type II shall not generate excessive or unacceptable increases in traffic within the neighbourhood or immediate area.
- 7) That the Home-Based Business, Type II shall not generate noise, smoke, steam, odour, dust, fumes, exhaust, vibration, heat, glare, or refuse matter considered offensive or excessive by the Development Authority, and at all times the privacy of the adjacent resident dwellings shall be preserved. The Home-Based Business, Type II use shall not in the opinion of the Development Authority, unduly offend or otherwise interfere with neighbouring or adjacent residents.
- 8) That the Home-Based Business shall be limited to the dwelling, accessory building and the outside area.
- 9) That all vehicles, trailers, or equipment that is used in the Home-Based Business, Type II shall be kept within the dwelling, accessory building, or storage area.
- 10) That no off-site advertisement signage associated with the Home-Based Business shall be permitted.

Advisory:

- 11) That all other government compliances and approvals are the sole responsibility of the Applicant/Owner.
- 12) That if this Development Permit is not issued by June 30, 2020 or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.
- 13) That this Development Permit shall be valid until January 28, 2021

Carried

ROCKY VIEW COUNTY
MUNICIPAL PLANNING COMMISSION MEETING MINUTES
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2020-02-12-10 (D-8)

Division 7 – Development Item – Home-Base Business, Type II, For a Construction Company

File: PRDP20194254 (6518007)

MOVED by Member Boehlke that condition 13 for development permit PRDP20194254 as noted in the development permit report be amended to be valid until December 19, 2025.

Carried

MOVED by Member Boehlke that Development Permit Application PRDP20194254 be approved with the amended conditions noted in the Development Permit Report attached:

Description:

- 1) That a Home-Based Business, Type II, for a concrete construction company (storage and parking only) may continue to operate on the subject parcel in accordance with the approved plans.

Permanent:

- 2) That the number of non-resident employees shall not exceed two (2) at any time.
 - a) That an employee in this Home-Based Business is a person who attends on the property more than once in a seven (7) day period for business purposes.
- 3) That the operation of this Home-Based Business may generate up to a maximum of four (4) business-related visits per day.
- 4) That the operation of this Home-Based Business shall be secondary to the residential use of the subject parcel.
- 5) That the Home-Based Business shall not change the residential character and external appearance of the land and buildings.
- 6) That the operation of this Home-Based Business shall not generate excessive or unacceptable increases in traffic within the neighbourhood or immediate area.
- 7) That the Home-Based Business shall not generate noise, smoke, steam, odour, dust, fumes, exhaust, vibration, heat, glare, or refuse matter considered offensive or excessive by the Development Authority and at all times the privacy of the adjacent residential dwellings shall be preserved and the Home-Based Business use shall not, in the opinion of the Development Authority, unduly offend or otherwise interfere with neighbouring or adjacent residents.
- 8) That the Home-Based Business shall be limited to the accessory building and the outside storage area.
- 9) That all outside storage that is a part of the Home-Based Business, Type II shall be completely screened from adjacent lands, shall meet the minimum setback requirements for buildings, and shall not exceed 162.00 sq. m. (1,740.00 sq. ft.).
- 10) That all vehicles, trailers, or equipment that are used in the Home-Based Business shall be kept within a building or the storage area in accordance with the approved Site Plan.
- 11) That there shall be no signage, exterior display or advertisement of goods or services discernible from the outside of the building.
- 12) That no off-site advertisement signage associated with the Home-Based Business shall be permitted.
- 13) That this Development Permit shall be valid until December 19, 2025.

ROCKY VIEW COUNTY
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Advisory:

- 14) That it is advised, Sunset Ridge Drive includes a road ban of 90% year-round and 75% during Spring (March to June). The Applicant/Owner shall adhere to Road Ban restrictions for any vehicles or equipment related to the Home-Based Business.
- 15) That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
- 16) That the County's Unsightly Bylaw C-7690-2017 and County's Noise Bylaw C-5772-2003 shall be adhered to at all times.

Carried

2020-02-12-11 (D-9)

Division 5 – Development Item – Home-Based Business, Type II, For an Automobile Repair Shop and Setback Relaxation

File: PRDP20194329

MOVED by Member McKylor that the Commission move into closed session at 10:12 a.m. to deliberate development permit application PRDP20194329 pursuant to section 197(2.1) of the *Municipal Government Act* and section 24 (advice from officials) of the *Freedom of Information and Protection of Privacy Act*.

Carried

The Commission held the closed session with the following people in attendance:

Rocky View County: M. Wilson, Manager, Planning and Development Services

MOVED by Member McKylor that the Commission move into open session at 10:27 a.m.

Carried

MOVED by Member McKylor that condition 3 for development permit PRDP20194329 as noted in the development permit report be amended to generate up to a maximum of 16 business-related visits per day.

Carried

MOVED by Member McKylor that Development Permit Application PRDP20194329 be approved with the amended conditions noted in the Development Permit Report, attached:

Description:

- 1) That a Home-Based Business, Type II, for an automobile repair shop and relaxation of the outside storage minimum setback requirement may continue to operate on the subject parcel in accordance with the approved application plans.

Permanent:

- 2) That the number of non-resident employees shall not exceed three (2) at any time.
 - a) That an employee in this Home-Based Business is a person who attends on the property more than once in a seven (7) day period for business purposes.
- 3) That the operation of this Home-Based Business may generate up to a maximum of sixteen (16) business-related visits per day.

ROCKY VIEW COUNTY
MUNICIPAL PLANNING COMMISSION MEETING MINUTES
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-
- 4) That the operation of this Home-Based Business shall be secondary to the residential use of the subject parcel.
 - 5) That the Home-Based Business shall not change the residential character and external appearance of the land and buildings.
 - 6) That the operation of this Home-Based Business shall not generate excessive or unacceptable increases in traffic within the neighbourhood or immediate area.
 - 7) That the Home-Based Business shall not generate noise, smoke, steam, odour, dust, fumes, exhaust, vibration, heat, glare, or refuse matter considered offensive or excessive by the Development Authority and at all times the privacy of the adjacent residential dwellings shall be preserved and the Home-Based Business use shall not, in the opinion of the Development Authority, unduly offend or otherwise interfere with neighbouring or adjacent residents.
 - 8) That the Home-Based Business shall be limited to the dwelling, accessory building and the outside storage area.
 - 9) That all outside storage that is a part of the Home-Based Business, Type II shall be adequately screened from adjacent lands, and shall not exceed 376.26 sq. m. (4,050.00 sq. ft.).
 - a) That the minimum outside storage area setback requirement, along the west property line, is relaxed from 15.00 m (49.21 ft) to 0.00 m (0.00 ft).
 - b) Additional screening requirements may be required to be implemented upon request from County and/or reviewed at the time of permit renewal.
 - 10) That all vehicles, equipment, or materials that are used in the Home-Based Business shall be kept within a building or the defined storage area, in accordance with the approved Site Plan.
 - 11) That there shall be no signage, exterior display or advertisement of goods or services discernible from the outside of the building.
 - 12) That no off-site advertisement signage associated with the Home-Based Business shall be permitted.
 - 13) That this Development Permit shall be valid until December 14, 2023.

Advisory:

- 14) That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
- 15) That a Building Permit shall be obtained through Building Services for all Accessory Buildings on the subject parcel.
- 16) That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.

Carried

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Adjournment

MOVED by Member McKlylor that the February 12, 2020 Municipal Planning Commission meeting be adjourned at 10:30 a.m.

Carried

Chair or Vice Chair

Chief Administrative Officer or Designate

PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision Authority
DIVISION: 08
SUBJECT: Subdivision Item: Residential Subdivision

DATE: March 9, 2020
APPLICATION: PL20190098

APPLICATION: To create a ± 1.60 hectare (± 3.95 acre) parcel with a ± 2.82 hectare (± 6.97 acre) remainder.

GENERAL LOCATION: Located approximately 0.41 km (1.4 mile) north of Twp. Rd. 262 and on the west side of Poplar Hill Drive, approximately 3.35 miles northwest of the city of Calgary.

LAND USE DESIGNATION: Residential Two District (R-2)

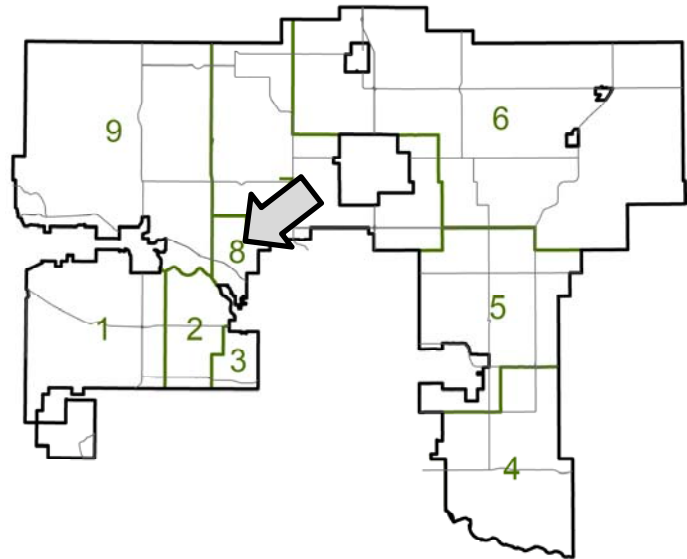
ADMINISTRATION RECOMMENDATION:

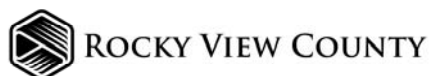
Administration recommends refusal in accordance with Option #3.

OPTIONS:

- Option #1: THAT Subdivision Application PL20190098 be approved with the conditions noted in Appendix 'B'.
- Option #2: THAT Subdivision Application PL20190098 be approved with the conditions noted in Appendix 'C'.
- Option #3: THAT Subdivision Application PL20190098 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:





APPLICANT: Robyn Weiss & Barrie Barbor

OWNER: Barrie Donald Barbor & Robyn Elaine Weiss

APPLICATION EVALUATION:

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS:	TECHNICAL REPORTS SUBMITTED:
<ul style="list-style-type: none"> • <i>Municipal Government Act</i>; • Subdivision and Development Regulations; • Municipal Development Plan; • Bearspaw Area Structure Plan; • Land Use Bylaw; and • County Servicing Standards. 	<ul style="list-style-type: none"> • Level 3 PSTS prepared by Osprey Engineering Inc. (July 18, 2019); • Letter from Rocky View Water Co-op (July 15, 2019); • Storm Drainage Report prepared by Osprey Engineering Inc. (July 18, 2019);

The subject lands are included in the Bearspaw ASP where infill development is generally supported. The lands are identified in Figure 3: Concept Plans as Development Priority Area 1 which recommend Concept Plans.

The proposal is consistent with the ASP with the exception of the minimum parcel size of 4.0 acres as the proposed lot is 3.95 acres (parcel size will be reduced by the required road dedication).

Therefore, the proposed subdivision is not consistent with the BASP, and there are technical challenges presented. Administration does not support the application for the following reasons:

1. A conceptual scheme has not been submitted as required for parcels less than 4.0 acres in size per policy 8.1.20;
2. Lot 2 is proposed as a land-locked parcel without both legal and physical access as required by the Subdivision and Development Regulations and County Servicing Standards.

Payments and Levies

Reserves and applicable levies are outstanding.

APPLICABLE FEE/LEVY	AMOUNT OWING
<i>TRANSPORTATION OFFSITE LEVY</i> [Base = \$4,595/ac x 10.92 ac = \$50,177.40]	\$50,177.40
<i>MUNICIPAL RESERVE (\$/ACRE)</i> \$51,739.93 per acre according to the appraisal completed by Abe Evaluations (2013) Ltd. dated August 19, 2019	\$56,500.00

Accessibility to a Road:

Access is currently provided to Lot 2 via a shared paved approach off Poplar Hill Drive. There is an existing Easement and Access Right-of-Way Plan [151 147 380] registered on title.

Lot 1 as proposed does not have physical access to a County road, it would be a land-locked parcel.



As both legal and physical access are required in accordance with the Subdivision and Development Regulations and County Servicing Standards; if Municipal Planning Commission wishes to approve the application, Administration recommends dedication and construction of a new County road off Poplar Hill Drive (Option #1).

There is currently a Road Acquisition Agreement [151 147 379] registered on title for both the subject panhandle and the panhandle to the north (Lot 14, Block 9, Plan 1511599) such that the lands may be acquired by the County for the sum of \$1 for construction of a public road to provide access to future parcels.

As a condition of subdivision approval, the Applicant/Owner would be required to enter into a Development Agreement with the County pursuant to Section 655 of the Municipal Government Act for construction of a new internal road system from Poplar Hill Drive west to the subject lands (approximately 400 m in length) to a Country Residential (400.4) standard complete with cul-de-sac bulb.

The Applicant has indicated that access to the proposed Lot 1 would be provided through the existing panhandle with registration of an access easement (Option #2). If Council wishes to pursue Option 2, Administration recommends that a ± 12.5 m wide road acquisition is registered on proposed Lot 2, extending west from the existing road acquisition agreement to the western boundary of Lot 2.

This would partially utilize the existing road acquisition agreement and provide the potential for the future construction of a public road, if the 19.7 acre lot to the south is to be developed.

Servicing

The existing home (Lot 2) is serviced by an existing Private Septic System. The Applicant provided a Level 3 PSTS Assessment for the proposed Lot 1, which indicates that the soil is suitable for a treatment mound and treatment field system receiving secondary treated effluent.

As Lot 1 is less than 4 acres in size, County Policy 449 requires a Decentralized or Regional Wastewater Treatment System rather than a standard PSTS. As the connection to a Decentralized or Regional Wastewater Treatment System is not possible, a Packaged Sewage Treatment Plant is therefore required for Lot 1 along with a Deferred Servicing Agreement for connection to a decentralized or regional system once available.

As a condition of subdivision, the Applicant/Owner is to enter into a Site Improvements / Services Agreement with the County, which shall be registered on title of Lot 1.

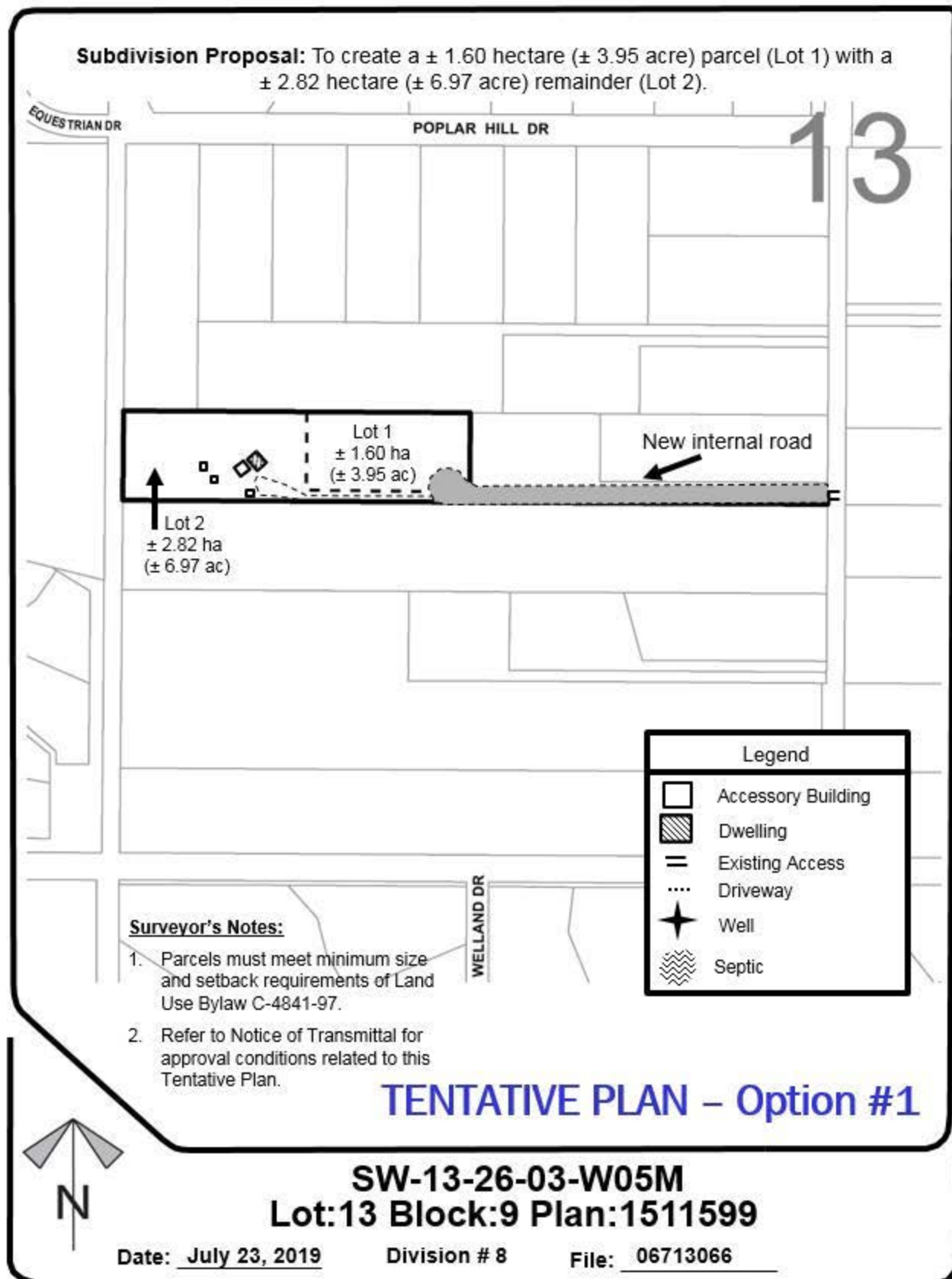
As a condition of subdivision, the Applicant/Owner shall enter into a Deferred Services Agreement with the County for connection of the proposed lots to a regional or decentralized wastewater system once available.

The existing home (Lot 2) is currently serviced by the Rocky View Water Co-op and the Applicant has provided a letter from Rocky View Water Co-op indicating that capacity is available to service the proposed Lot 1.

As a condition of subdivision, the Applicant/Owner is required to provide confirmation of tie-in to the Rocky View Water Co-op potable water distribution system for Lot 1.



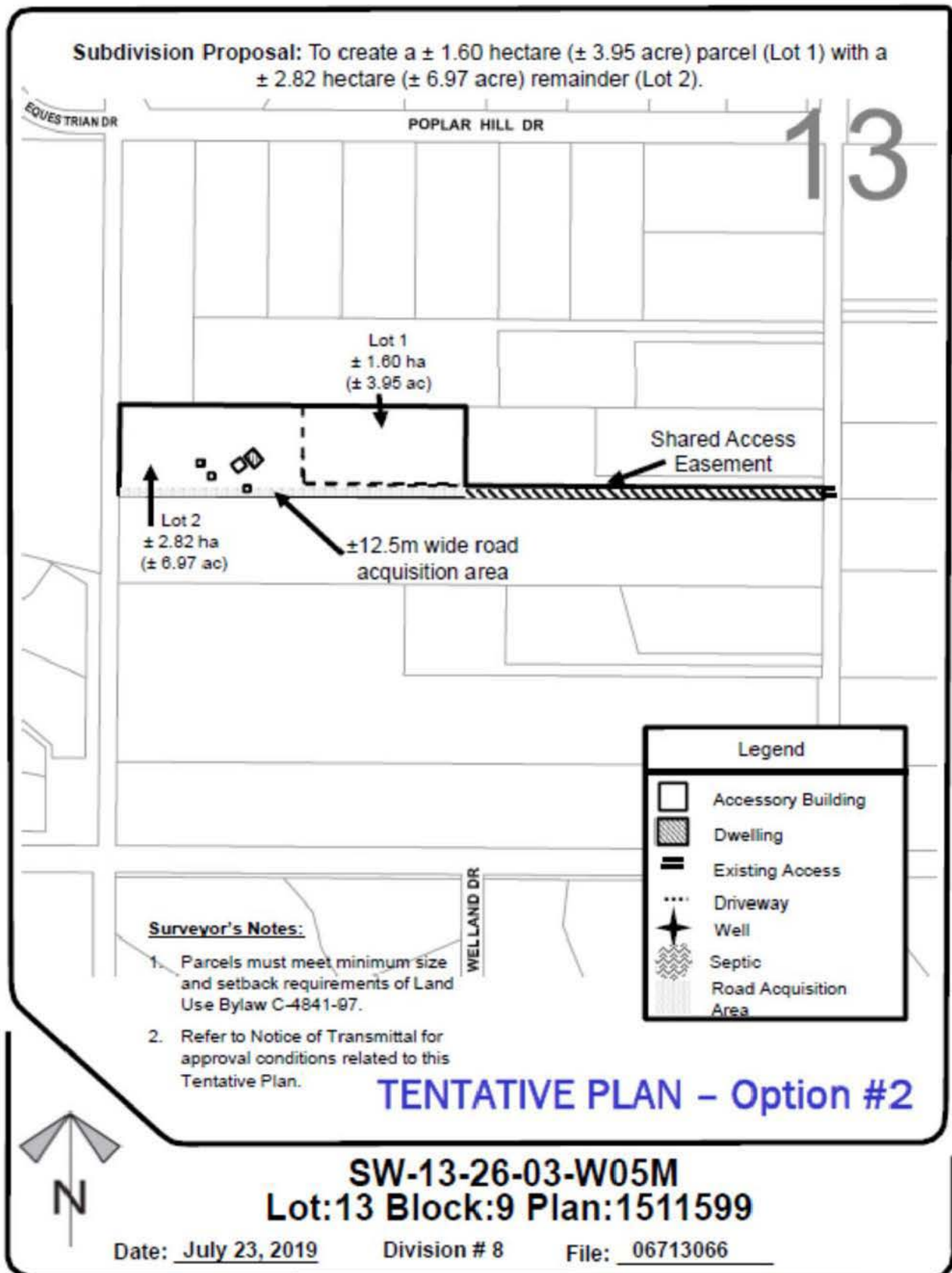
Tentative Plan – Option #1





ROCKY VIEW COUNTY

Tentative Plan – Option #2



CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended for refusal.

Respectfully submitted,

Concurrence,

“Theresa Cochran”

“Al Hoggan”

Executive Director
Community Development Services

Chief Administrative Officer

JA/lt

APPENDICES:

APPENDIX ‘A’: Maps and Other Information

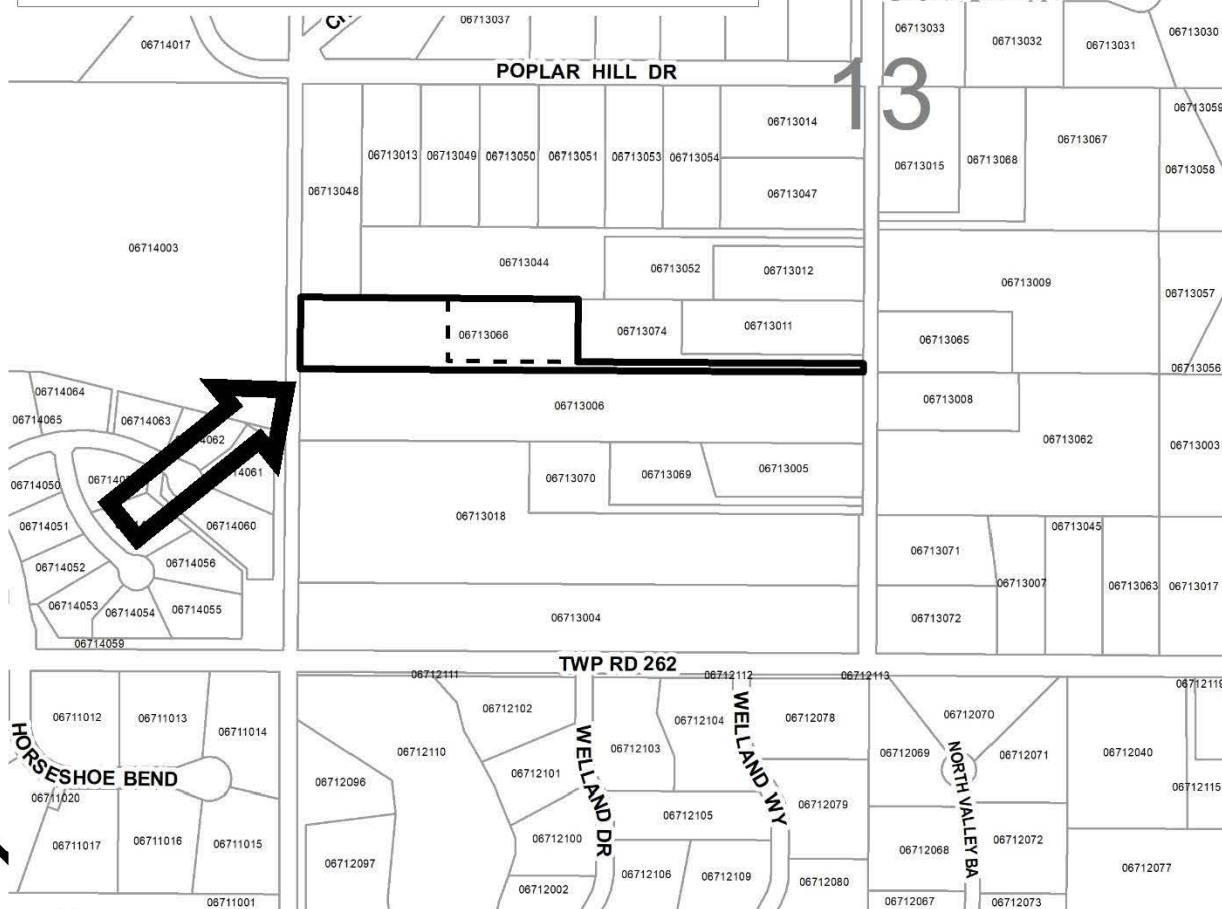
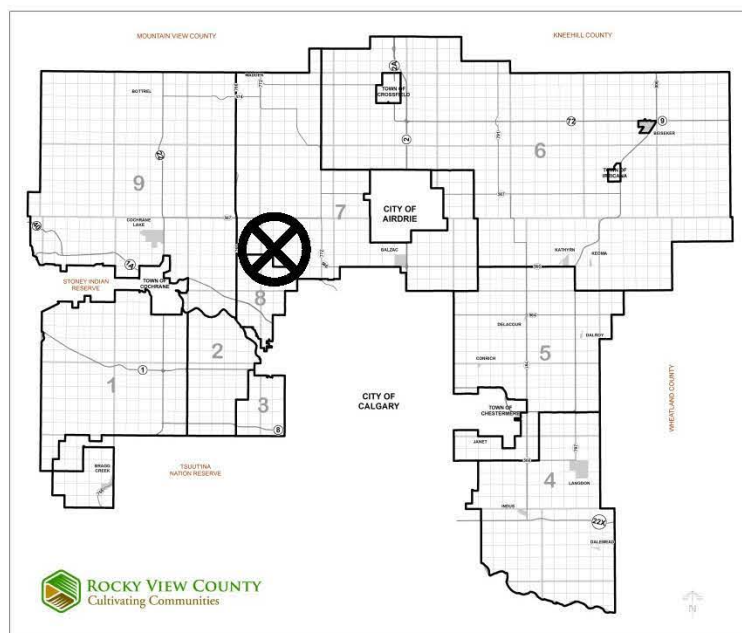
APPENDIX ‘B’: Approval Conditions – Option #1

APPENDIX ‘C’: Approval Conditions – Option #2

APPENDIX ‘D’: Letters

APPENDIX 'A': MAPS AND OTHER INFORMATION

DATE APPLICATION RECEIVED: July 19, 2019	DATE DEEMED COMPLETE: August 30, 2019
GROSS AREA: ± 4.42 hectares (± 10.92 acres)	LEGAL DESCRIPTION: Lot 13, Block 9, Plan 1511599, SW-13-26-03-W05M
APPEAL BOARD: Subdivision and Development Appeal Board	
HISTORY: June 15, 2015 Plan 1511599 was registered to create one (1) new parcel with a 10.92 acre remainder (subject lands). January 18, 1994 The Bearspaw Area Structure Plan (Bylaw C-4129-1993) was adopted by Council.	
PUBLIC & AGENCY SUBMISSIONS: The application was circulated to one hundred sixty nine (169) adjacent landowners to which no responses were received. The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.	



LOCATION PLAN

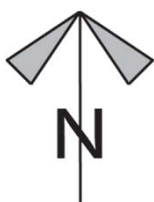
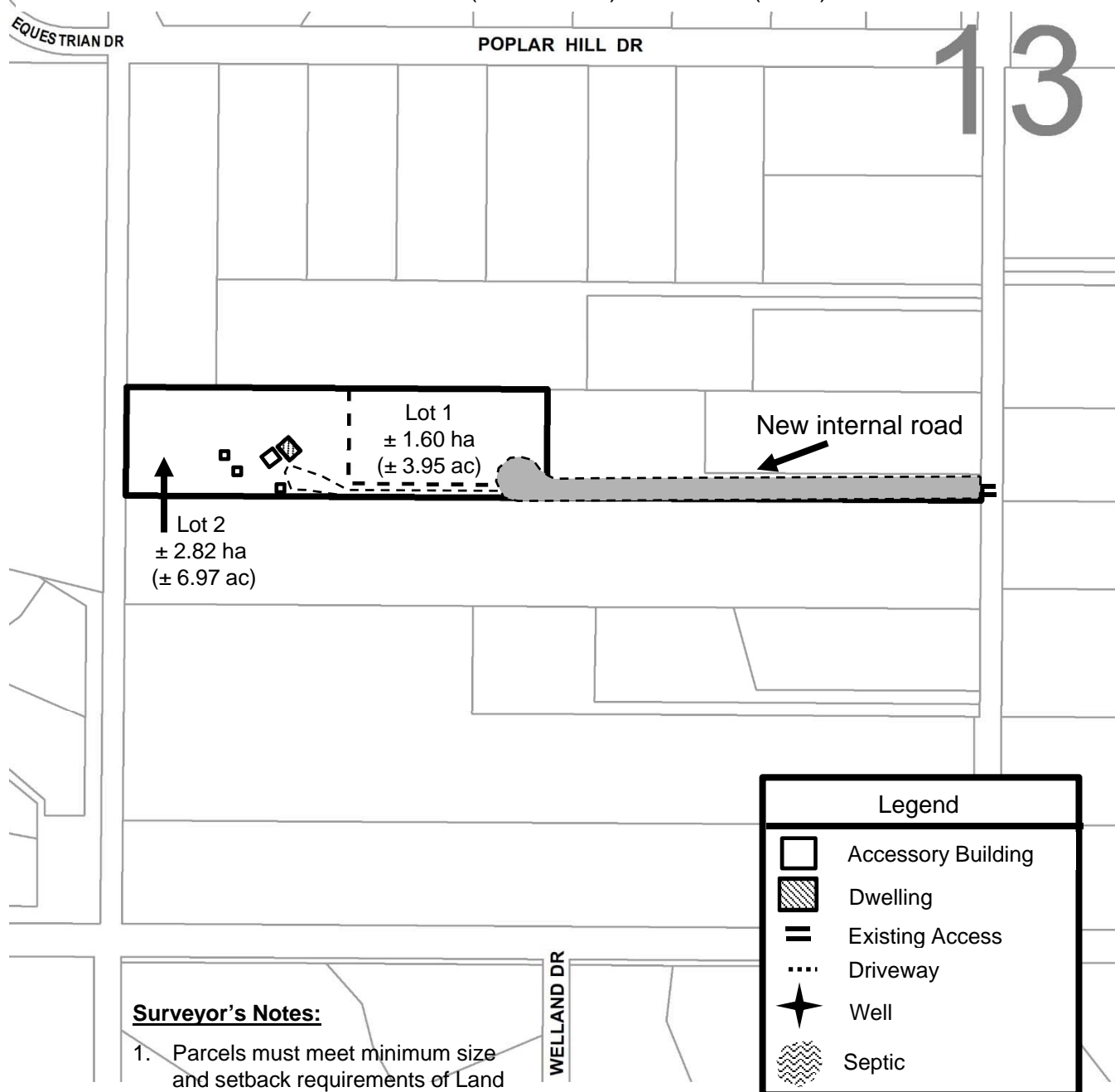
SW-13-26-03-W05M
Lot:13 Block:9 Plan:1511599

Date: July 23, 2019

Division # 8

File: 06713066

Subdivision Proposal: To create a ± 1.60 hectare (± 3.95 acre) parcel (Lot 1) with a ± 2.82 hectare (± 6.97 acre) remainder (Lot 2).

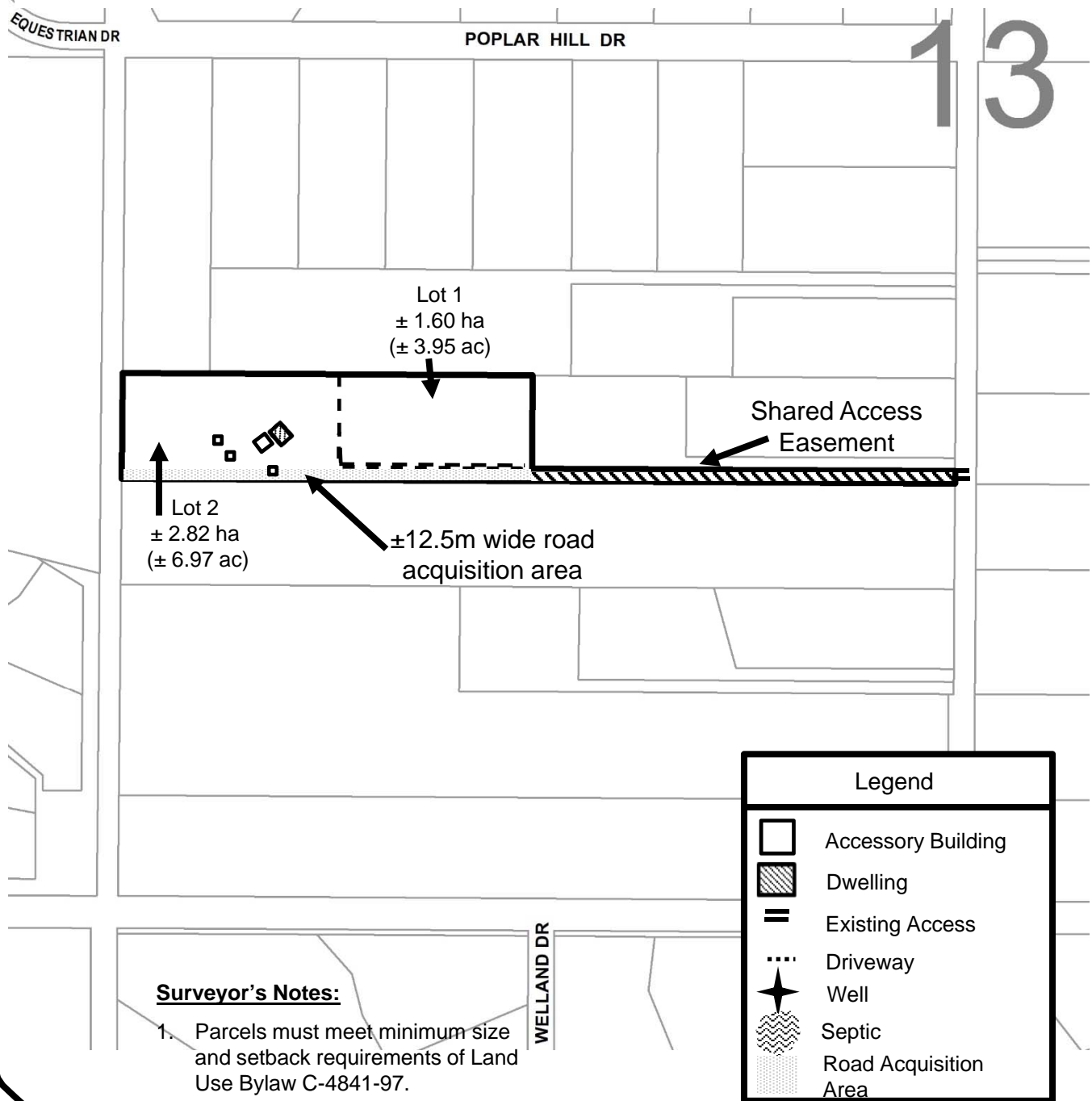


Date: July 23, 2019

Division # 8

File: 06713066

Subdivision Proposal: To create a ± 1.60 hectare (± 3.95 acre) parcel (Lot 1) with a ± 2.82 hectare (± 6.97 acre) remainder (Lot 2).



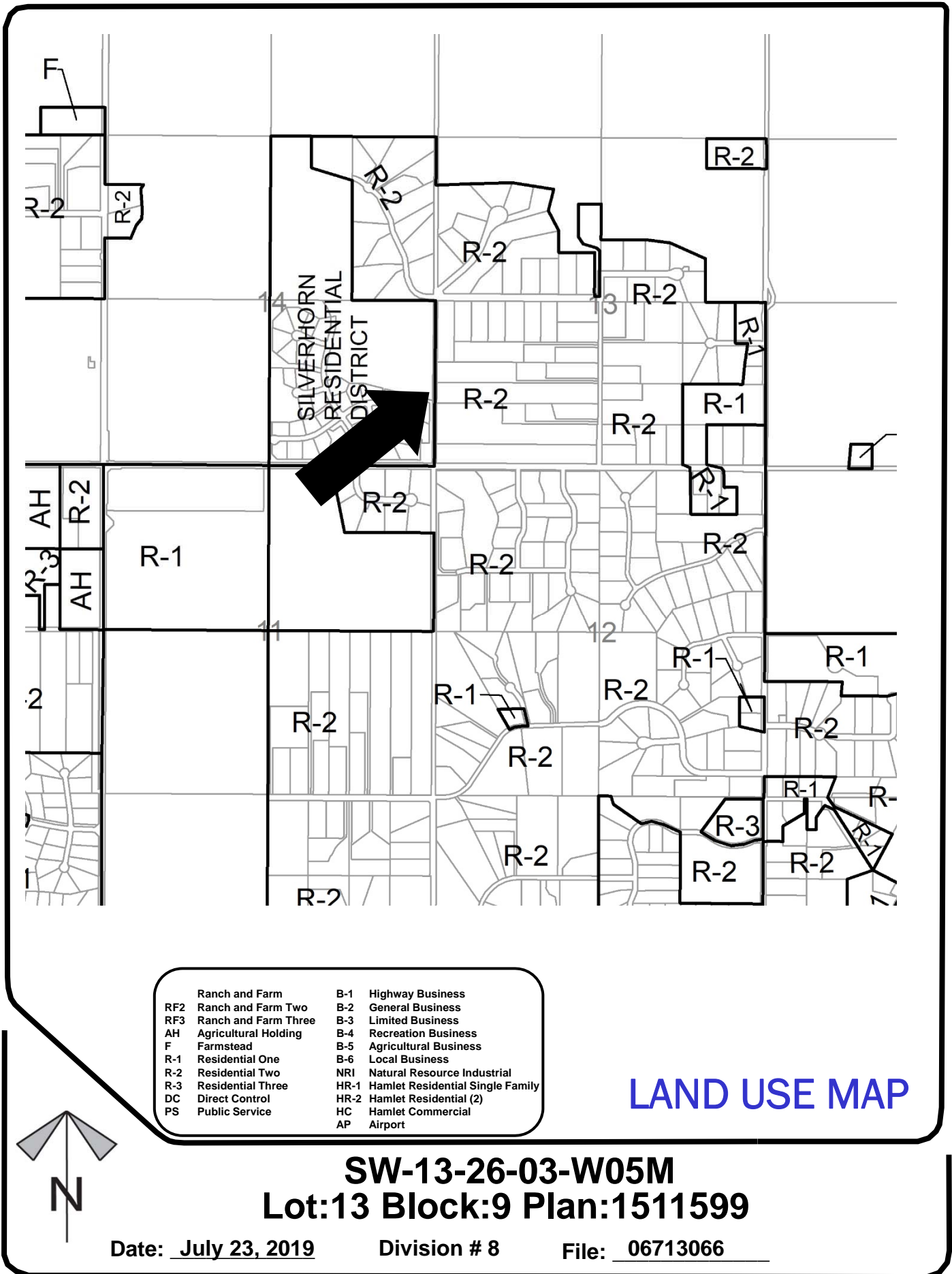
TENTATIVE PLAN – Option #2

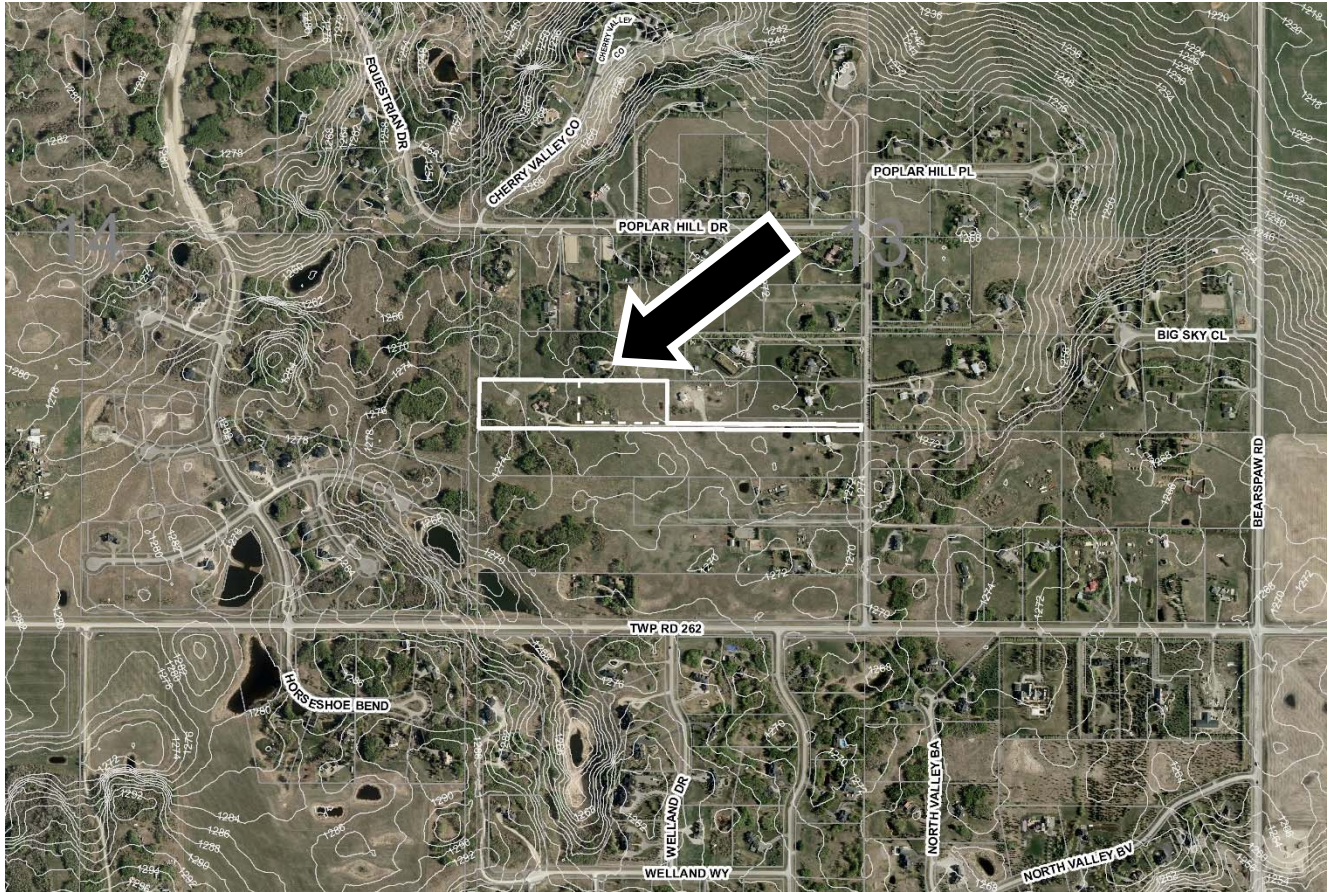
SW-13-26-03-W05M
Lot:13 Block:9 Plan:1511599

Date: July 23, 2019

Division # 8

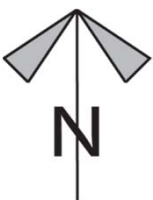
File: 06713066





Contours are generated using 10m grid points, and depict general topographic features of the area. Detail accuracy at a local scale cannot be guaranteed. They are included for reference use only.

TOPOGRAPHY
Contour Interval 2 M



SW-13-26-03-W05M
Lot:13 Block:9 Plan:1511599

Date: July 23, 2019

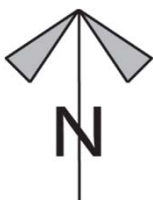
Division # 8

File: 06713066



Note: Post processing of raw aerial
photography may cause varying degrees
of visual distortion at the local level.

AIR PHOTO
Spring 2018

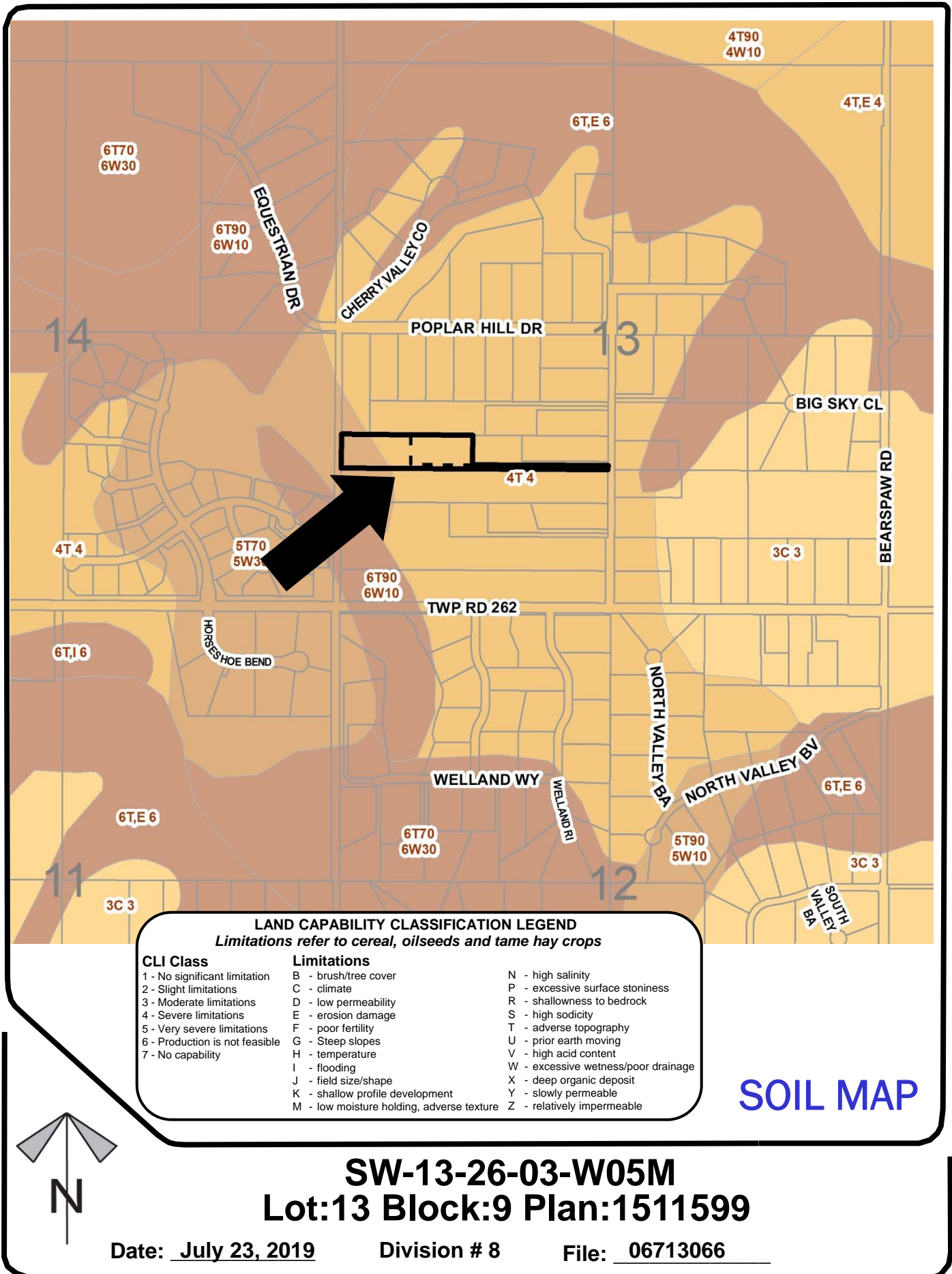


SW-13-26-03-W05M
Lot:13 Block:9 Plan:1511599

Date: July 23, 2019

Division # 8

File: 06713066





TWP RD 262

WELLAND WY

12

WOODLAND HT

Legend – Plan numbers

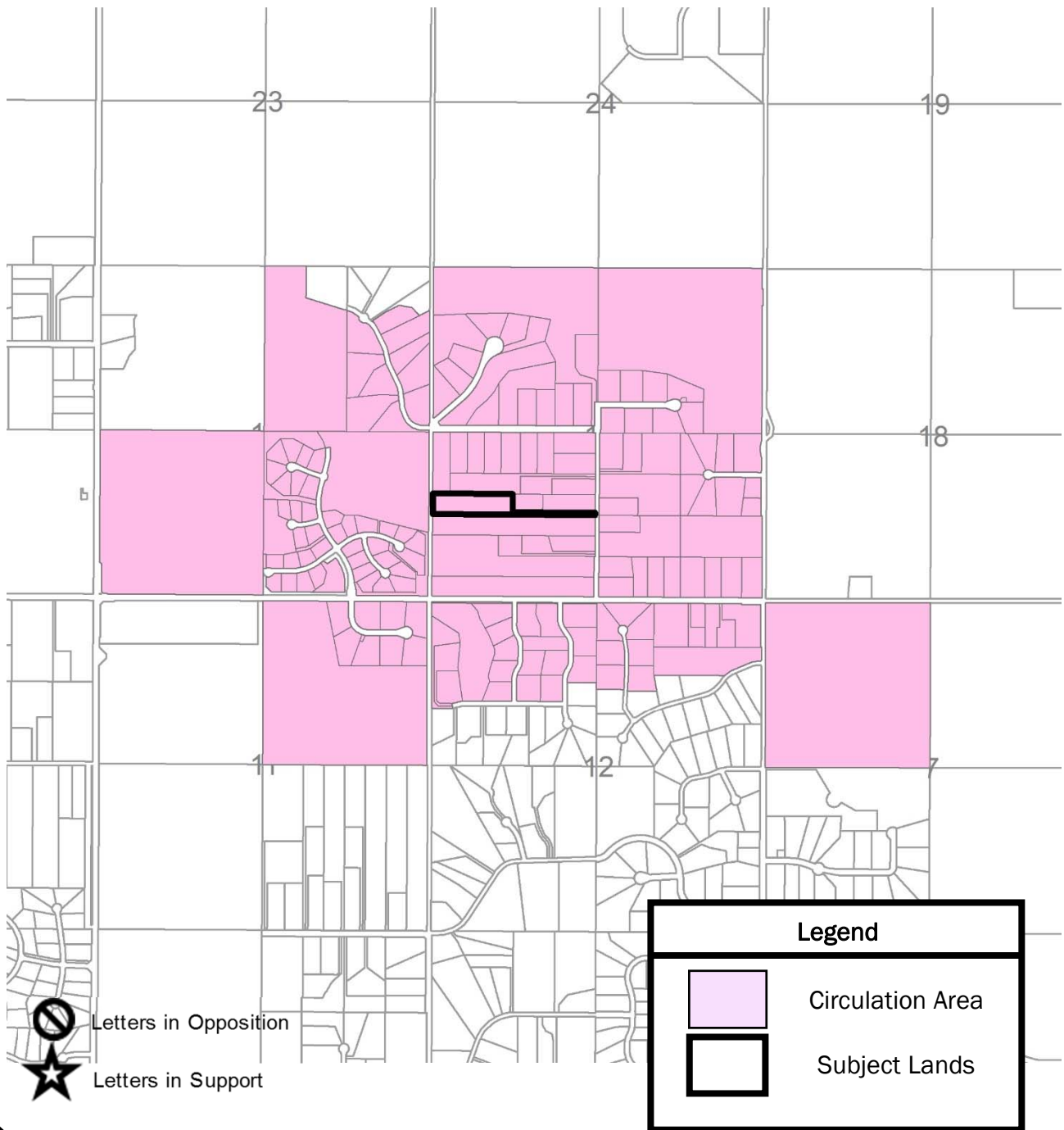
- First two numbers of the Plan Number indicate the year of subdivision registration.
- Plan numbers that include letters were registered before 1973 and do not reference a year

SW-13-26-03-W05M
Lot:13 Block:9 Plan:1511599

Date: July 23, 2019

Division # 8

File: 06713066



LANDOWNER CIRCULATION AREA

SW-13-26-03-W05M
Lot:13 Block:9 Plan:1511599

Date: July 23, 2019

Division # 8

File: 06713066



APPENDIX 'B': APPROVAL CONDITIONS [Option #1]

- A. However, should the Subdivision Authority wish to approve the application, the written decision of the Subdivision Authority must include the reasons for the decision, including an indication of how the Subdivision Authority has considered submissions made by adjacent landowners and the matters listed in Section 7 of the Subdivision and Development Regulation. The following reasons are to be provided:
- 1.
 - 2.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Transportation & Access

- 2) The Applicant/Owner shall enter into a Development Agreement with the County for:
 - a) Design and construction of a paved Country Residential (400.4) internal road from Poplar hill drive to site access for Lot 1 in accordance with the County Servicing Standards and the approved Tentative plan including:
 - i. cul-de-sac bulb;
 - ii. paved approaches to each new lot;
 - iii. ditches; and
 - iv. signage
 - b) Obtaining approval for a road name by way of application to, and consultation with, the County;
 - c) Design and construction of the necessary stormwater management infrastructure to service the proposed subdivision in accordance with the recommendations of the approved Stormwater Management Plan, including the registration of any overland drainage easements and/or restrictive covenants as determined by the Stormwater Management Plan;
 - d) Removal and reclamation of the existing approach, as shown on the approved Tentative Plan;
 - e) Installation of power, natural gas, and all other shallow utilities;



ROCKY VIEW COUNTY

- f) Dedication of necessary easements and rights-of-way for utility line assignments;
 - g) Submission of the geotechnical report for the internal road construction and implementation of the recommendations and findings of the geotechnical report in accordance with County's Servicing Standards;
 - h) Submission of the Construction Management Plan and Weed Management Plan for the internal road construction and implementation of the recommendations of the Construction Management Plan and Weed Management Plan in accordance with County's Servicing Standards.
 - i) Submission of an Erosion and Sediment Control (ESC) plan for the construction of the internal road and implementation of the ESC measures during the construction of road infrastructures.
- 3) That the existing Easement and Access Right-of-Way Plan [151 147 380] shall be discharged.
 - 4) The County shall enter into an Infrastructure Cost Recovery Agreement with the Owner to determine the proportionate recovery of infrastructure money spent by the Owner to construct municipal infrastructure that will also provide benefit to other lands.

Servicing

- 5) The Owner is to provide confirmation of tie-in for connection to Rocky View Water Co-op, an Alberta Environment licensed piped water supplier, for Lot 1, as shown on the Approved Tentative Plan. This includes providing information regarding:
 - i. Confirmation from the water supplier that an adequate and continuous piped water supply is available for the proposed Lot 1;
 - ii. Documentation proving that water supply has been purchased and secured for proposed Lot 1;
 - iii. Documentation proving that water supply infrastructure requirements, including servicing to the property, have been installed, or installation is secured between the developer and water supplier, to the satisfaction of the water supplier and the County.
- 6) The Owner is to enter into a Site Improvements / Services Agreement with the County for Lot 1 and shall include the following:
 - o For the construction of a Packaged Sewage Treatment System which meet Bureau de Normalisation du Quebec (BNQ) standards for treatment
 - o In accordance with the Level 3 PSTS Assessment prepared by Osprey Engineering Inc. (May 27, 2019).
- 7) The Owner is to enter into a Deferred Services Agreement with the County to be registered on title for each proposed Lot(s) 1 and 2, indicating:
 - i. Each future Lot Owner shall connect the proposed lots to a regional or decentralized wastewater and stormwater systems once available;

Payments and Levies

- 8) The Applicant/Owner shall pay the Transportation Off-Site Levy in accordance with Bylaw C-7356-2014 prior to subdivision endorsement. The County shall calculate the total amount owing from the total gross acreage of the Lands to be subdivided as shown on the Plan of Survey.
- 9) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one (1) new lot.



ROCKY VIEW COUNTY

Municipal Reserve

- 10) The provision of Reserve in the amount of 10 percent of the gross area of Lots 1 and 2 as determined by the Plan of Survey, is to be provided by payment of cash-in-lieu in accordance with the per acre value listed in the land appraisal prepared by Abe Evaluations (2013) Ltd. file number 19R243, dated August 19, 2019, dated July 13, 2019 pursuant to Section 666(3) of the *Municipal Government Act*.

Taxes

- 11) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw

APPENDIX 'C': APPROVAL CONDITIONS [Option #2]

- B. However, should the Subdivision Authority wish to approve the application, the written decision of the Subdivision Authority must include the reasons for the decision, including an indication of how the Subdivision Authority has considered submissions made by adjacent landowners and the matters listed in Section 7 of the Subdivision and Development Regulation. The following reasons are to be provided:
- 1.
 - 2.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Transportation & Access

- 2) That the existing Easement and Access Right-of-Way Plan [151 147 380] shall be updated to include provisions for access to Lot 1.
- 3) The Owner is to enter into a Road Acquisition Agreement with the County, to be registered by caveat on the title of Lot 2, to serve as notice that those lands are intended for future development as a County road, as per the approved Tentative Plan. The Agreement shall include:
 - a. The provision of road acquisition ± 390 metres in length and ± 12.5 metres wide (± 1.89 ac) to extend west from the existing Road Acquisition Area [Agreement 151 147 379] to the road allowance on the western boundary of Lot 2;
 - b. Provisions for the removal of any existing structures within the acquisition area at the time of construction of the road; and,
 - c. That land is to be purchased for \$1 by the County.

Servicing

- 4) The Owner is to provide confirmation of tie-in for connection to Rocky View Water Co-op, an Alberta Environment licensed piped water supplier, for Lot 1, as shown on the Approved Tentative Plan. This includes providing information regarding:



ROCKY VIEW COUNTY

- iv. Confirmation from the water supplier that an adequate and continuous piped water supply is available for the proposed Lot 1;
 - v. Documentation proving that water supply has been purchased and secured for proposed Lot 1;
 - vi. Documentation proving that water supply infrastructure requirements, including servicing to the property, have been installed, or installation is secured between the developer and water supplier, to the satisfaction of the water supplier and the County.
- 5) The Owner is to enter into a Site Improvements / Services Agreement with the County for Lot 1 and shall include the following:
- o For the construction of a Packaged Sewage Treatment System which meet Bureau de Normalisation du Quebec (BNQ) standards for treatment.
 - o In accordance with the Level 3 PSTS Assessment prepared by Osprey Engineering Inc. (May 27, 2019).
- 6) The Owner is to enter into a Deferred Services Agreement with the County to be registered on title for each proposed Lot(s) 1 and 2, indicating:
- ii. Each future Lot Owner shall connect the proposed lots to a regional or decentralized wastewater and stormwater systems once available;

Payments and Levies

- 7) The Applicant/Owner shall pay the Transportation Off-Site Levy in accordance with Bylaw C-7356-2014 prior to subdivision endorsement. The County shall calculate the total amount owing from the total gross acreage of the Lands to be subdivided as shown on the Plan of Survey.
- 8) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of one (1) new lot.

Municipal Reserve

- 9) The provision of Reserve in the amount of 10 percent of the gross area of Lots 1 and 2 as determined by the Plan of Survey, is to be provided by payment of cash-in-lieu in accordance with the per acre value listed in the land appraisal prepared by Abe Evaluations (2013) Ltd. file number 19R243, dated August 19, 2019, dated July 13, 2019 pursuant to Section 666(3) of the *Municipal Government Act*.

Taxes

- 10) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw

Robyn Weiss
262067 Poplar Hill Dr.
Calgary (Bears paw)
T3R 1C7

Application #- PL 20190098

January 22, 2020

Dear Ms. Cochran,

This letter is to appeal to the decision to refuse the proposed subdivision, plan :PL20190098 submitted July 2019.

We, Robyn Weiss and Donald Barbor the applicants have lived at our address for the past 6 years. We previously made a successful subdivision application and completion on June 15, 2015. This 3.98 acre parcel was permitted as it was the first lot off of our existing driveway which is considered a panhandle. The lot was successfully sold, and a home was built providing the County with subsequent residential tax revenue as well as the fees and levies that were part of the application process.

Historically the configuration of the 20 acres parcels in our area have been extremely difficult to develop. As they are so long and narrow (lovingly referred to as spaghetti 20's) a land owner needs to work with their neighbor or own two parcels to be able to create a cul de sac configuration (so not a panhandle with lots coming off of a drive that must go down the entire length of the parcel).

Our small part of the Bears paw Area Structure Plan is sadly not an area that will receive future development and infrastructure. Currently the area off of RR 262 and Poplar Hill Dr looks messy, disorganized, unkept and disunified. There are too many individual landowners to hope that a developer would be able to purchase enough property to remedy the issues. As the 20 acres paralleling us was purchased and a conceptual scheme and development application was submitted by the new owners, we had several meetings to try to be able to work together to be able to conceptualize a cul de sac configuration. The new owner has also applied for R1 as he would like to have 7 or 8 lots as well as build a road on his property that parallels our drive which is already wide enough to become a municipal County road. These neighbors do not understand the limitations of developing within the constraints set out by Subdivision Authority. Their conceptual scheme does not make sense. It has also been challenging to meet with them as English is not their first language and it would appear that they believe that we are trying to take advantage of them rather than combine our resources to attain positive results.

I must also add that I do understand that panhandles are not the best way to go and properties are considered land locked, but we also know that this is only a concept that is considered to alleviate piece meal development and constricted accesses. The parcel that we have applied to

subdivide will not be any more land locked with a paved access than a gravel one. After exhaustive discussions with neighbors, county planners and real estate experts I do not believe that our particular application will in anyway interfere with future development of the immediate area, or any future infrastructure. I am asking the Rocky View Municipal Council to seriously think about the future development of our small piece of Bearspaw to consider future development and to re-consider some of the approval conditions that impede smaller landowners to progress with development the best way we can. I also understand that this is a case by case land issue.

We have occurred a significant expense in trying to develop in a way that adds to our district. It would not be in anyway feasible or cost effective to develop our current internal road to municipal standards in order to sell one lot.

Thank you for your consideration in dealing with this appeal. I am also submitting a request to speak to Council.

Sincerely,
Robyn Weiss

PLANNING AND DEVELOPMENT SERVICES

TO: Subdivision Authority

DATE: February 11, 2020

DIVISION: 2

APPLICATION: PL20190003

SUBJECT: Subdivision Item: Harmony Stage 3, Phase 11 multi-lots subdivision

APPLICATION:

To create 129 residential lots ranging from ± 393.60 sq. m to ± 714.19 sq. m in size, one Open Space lots ($\pm 10,744$ sq. m in size), and one Municipal Reserve lot ($\pm 46,239$ sq. m in size).

GENERAL LOCATION: Located in the Hamlet of Harmony.

LAND USE DESIGNATION: Direct Control District (DC-129)

ADMINISTRATION RECOMMENDATION:

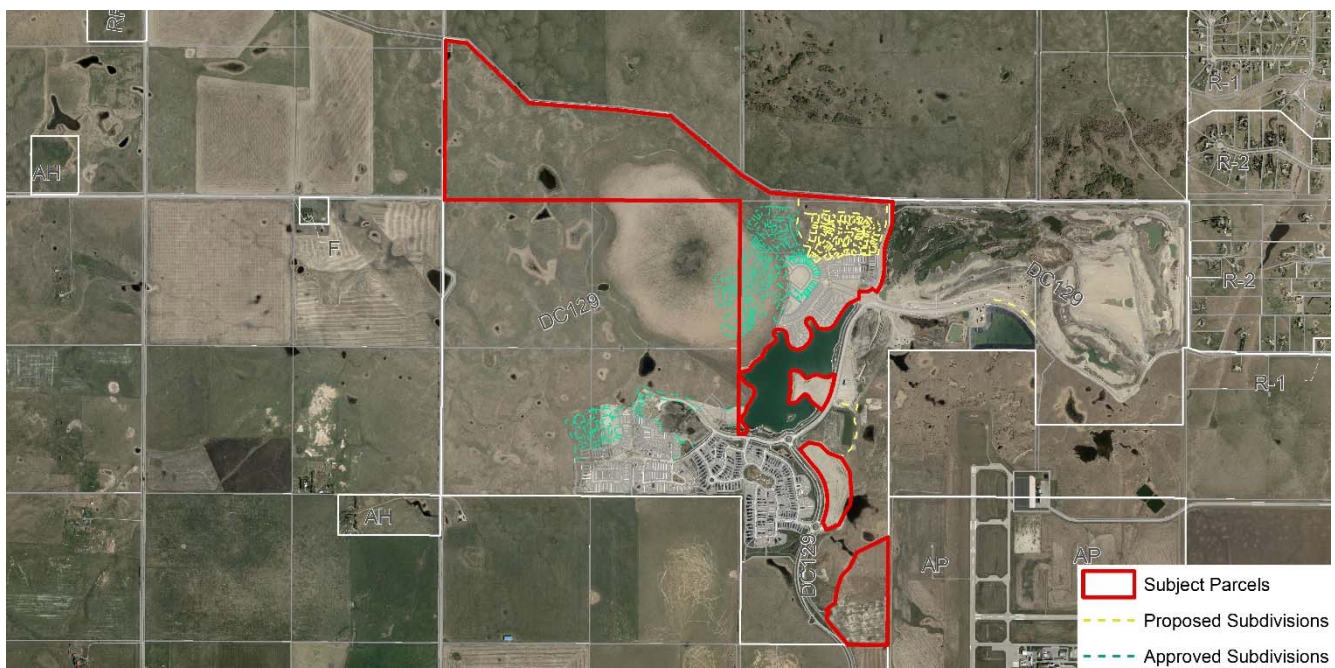
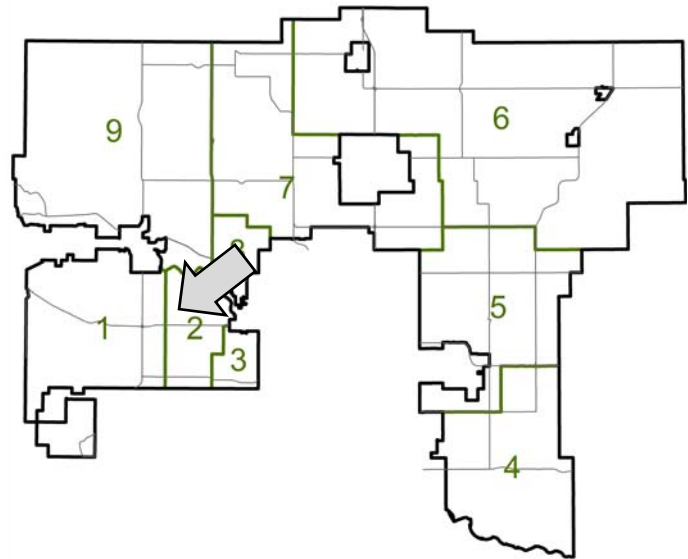
Administration recommends approval in accordance with Option #1.

OPTIONS:

Option #1: THAT Subdivision Application PL20190003 be approved with the conditions noted in Appendix 'B'.

Option #2: THAT Subdivision Application PL20190003 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Johnson Kwan/ Noor Mirza –Planning and Development Services



APPLICANT: Stantec Geomatics Ltd. (Mark Woychuk)

OWNER: Harmony Developments Inc.

APPLICATION EVALUATION:

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS:	TECHNICAL REPORTS SUBMITTED:
<ul style="list-style-type: none"> • <i>Municipal Government Act;</i> • Subdivision and Development Regulations; • Municipal Development Plan; • Harmony Conceptual Scheme; • Land Use Bylaw; and • County Servicing Standards. 	<ul style="list-style-type: none"> • Letter Confirmation for Water Treatment and Wastewater Treatment Facilities Capacities (Coriz Utilities, August 28, 2017) • Stage 1 Stormwater Master Drainage Plan report (Urban Systems, September 2008) • Geotechnical Evaluation (McIntosh Lalani Engineering Ltd., June 2000) • Traffic Impact Assessment (Urban Systems, February 2016) • Biophysical Impact Assessment and Environmental Protection Plan (Urban Systems, March 2006) • Phase 1 Environmental Site Assessment (Pinchin Environmental, May 2014)

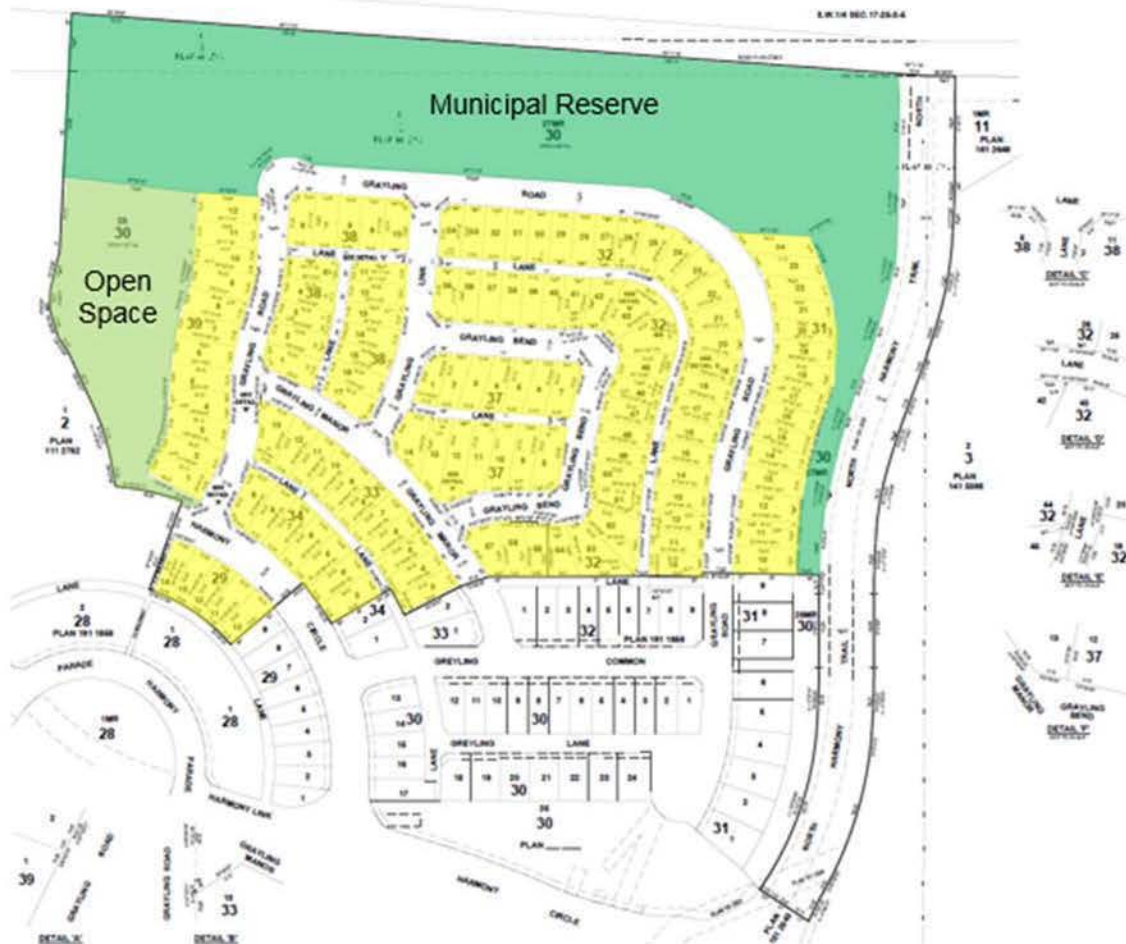
ESTIAMTED LEVY	AMOUNT OWING
<p><i>TRANSPORTATION OFFSITE LEVY</i></p> <p>Base Levy is \$4595 x 39.61 acres = \$182,007.95</p> <p>Special Levy is \$11,380 x 39.61 acres = \$ 450,761.80</p>	<p>\$ 632,769.75</p>



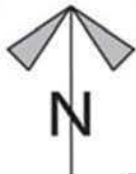
ROCKY VIEW COUNTY

Tentative Plan

Subdivision Proposal: To create 129 residential lots ranging from ± 393.60 sq. m to ± 714.19 sq. m in size, one Open Space lots ($\pm 10,744$ sq. m in size), and one Municipal Reserve lot ($\pm 46,239$ sq. m in size).

Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

TENTATIVE PLAN

W-08-25-03-W05M
Lot:1 Block:2 Plan:1112762

Date: February 12, 2020 Division # 2

File: 05708082/ 05718002



CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended for approval.

Respectfully submitted,

Concurrence,

"Theresa Cochran"

"Al Hoggan"

Executive Director
Community Development Services

Chief Administrative Officer

JKwan/llt

APPENDICES:

APPENDIX 'A': Maps and Other Information

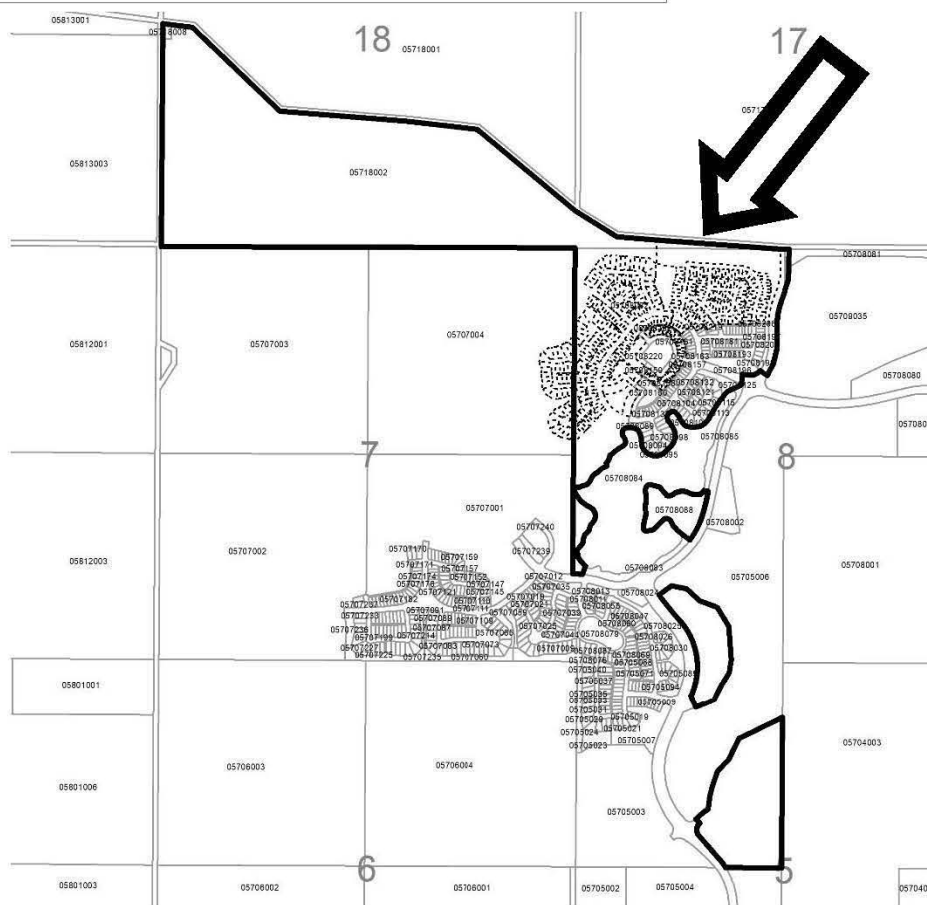
APPENDIX 'B': Approval Conditions

APPENDIX 'C': Letters



APPENDIX 'A': MAPS AND OTHER INFORMATION

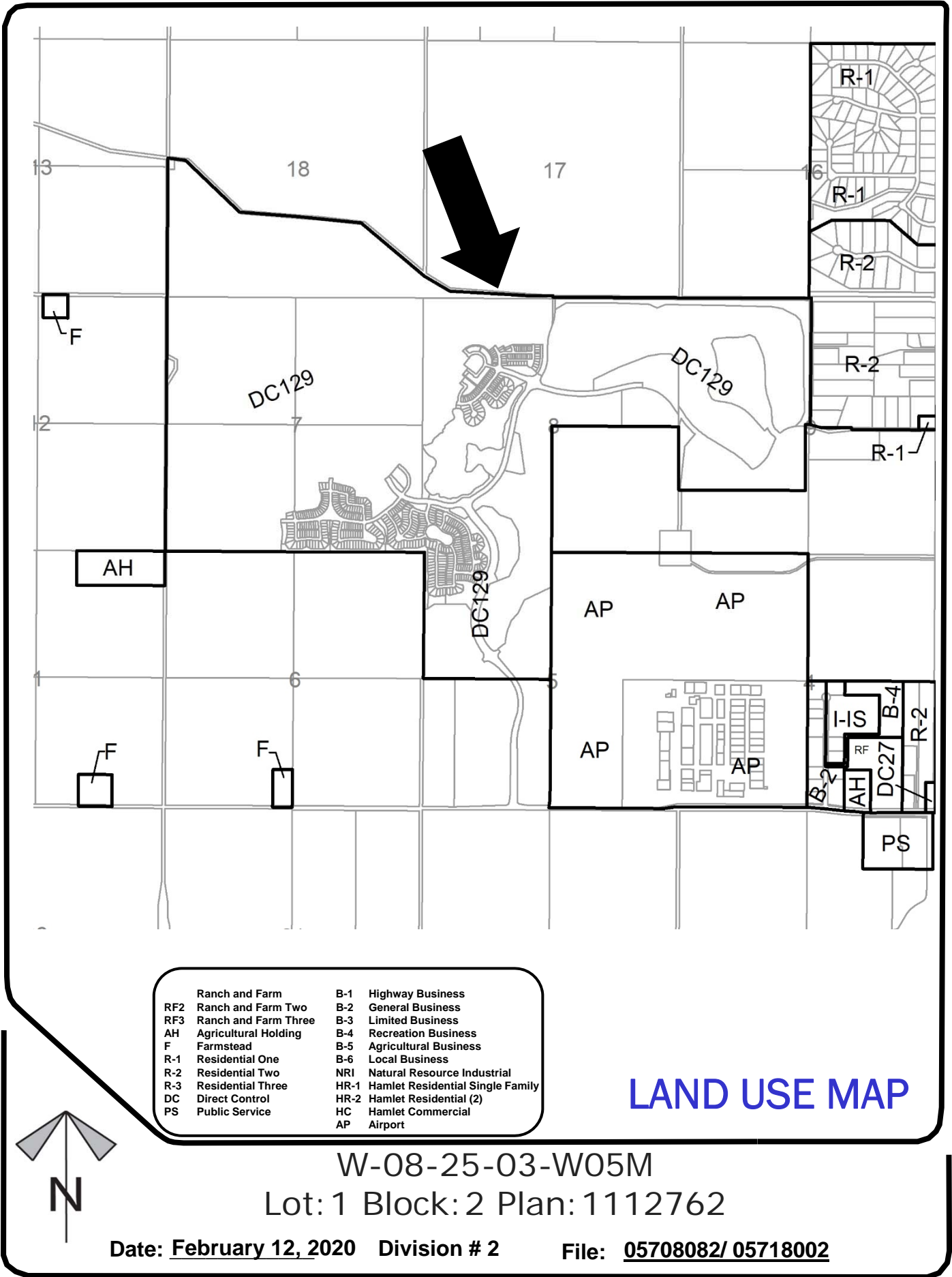
DATE APPLICATION RECEIVED: January 3, 2019	DATE DEEMED COMPLETE: February 6, 2020
GROSS AREA: ± 323.39 acres	LEGAL DESCRIPTION: Lot 1, Block 2, Plan 1112762 within W-08-25-03-W05M and Lot 1, Block 1, Plan 1112762 within SW-18-25-03-W05M
APPEAL BOARD: Municipal Government Board.	
HISTORY: September 19, 2019 Subdivision Plan No. 1911856 was registered for Phase 10 to create 119 single detached residential lots, four (4) townhome lots, two (2) Municipal Reserve (MR) lots, seven (7) Open Space lots, a Beach Club/Multi-Family lot, an internal road/walkway network, and a remainder parcel.	
PUBLIC & AGENCY SUBMISSIONS: The application was circulated to 184 adjacent landowners. No letters in support/opposition were received. The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.	



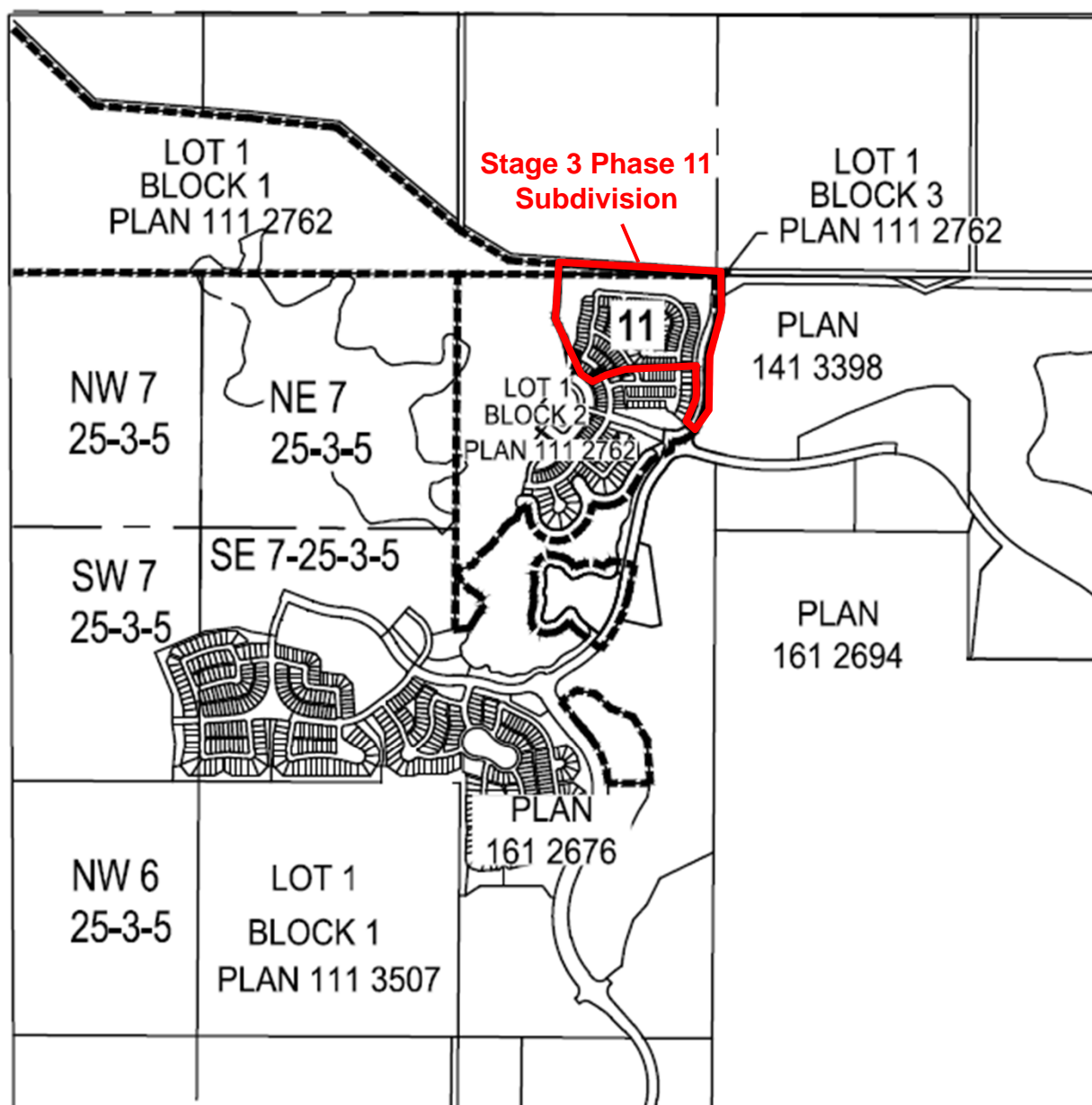
W-08-25-03-W05M

Date: February 12, 2020 Division # 2

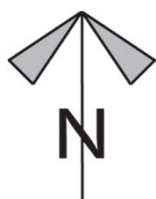
File: 05708082/ 05718002



Subdivision Proposal: To create 129 residential lots ranging from ± 393.60 sq. m to ± 714.19 sq. m in size, one Open Space lots ($\pm 10,744$ sq. m in size), and one Municipal Reserve lot (± 46.239 sq. m in size).



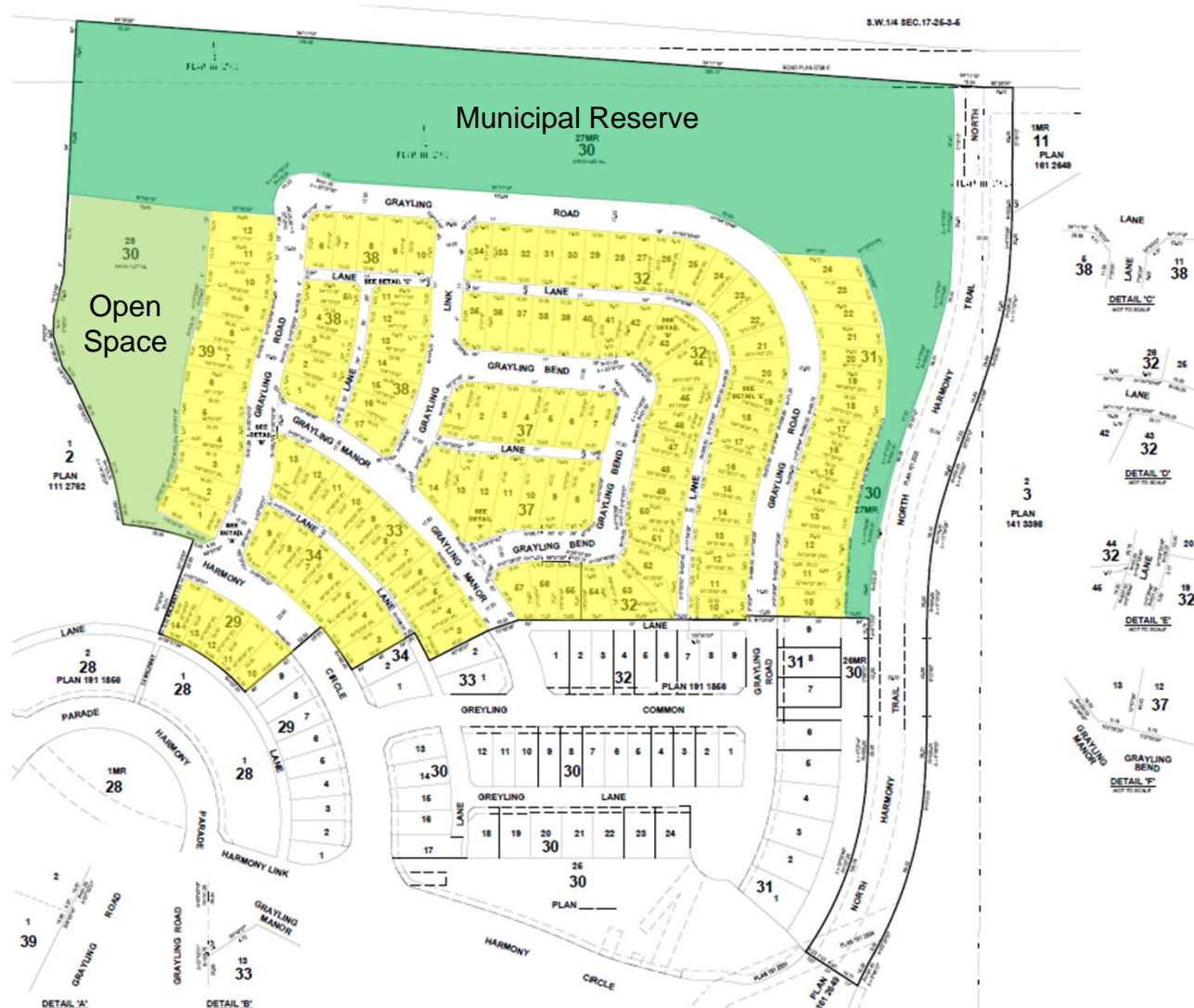
REFERENCE MAP



W-08-25-03-W05M
Lot: 1 Block: 2 Plan: 1112762

Date: February 12, 2020 Division # 2 File: 05708082/ 05718002

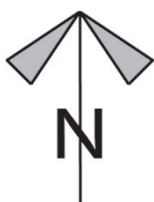
Subdivision Proposal: To create 129 residential lots ranging from ± 393.60 sq. m to ± 714.19 sq. m in size, one Open Space lots ($\pm 10,744$ sq. m in size), and one Municipal Reserve lot ($\pm 46,239$ sq. m in size).



Surveyor's Notes:

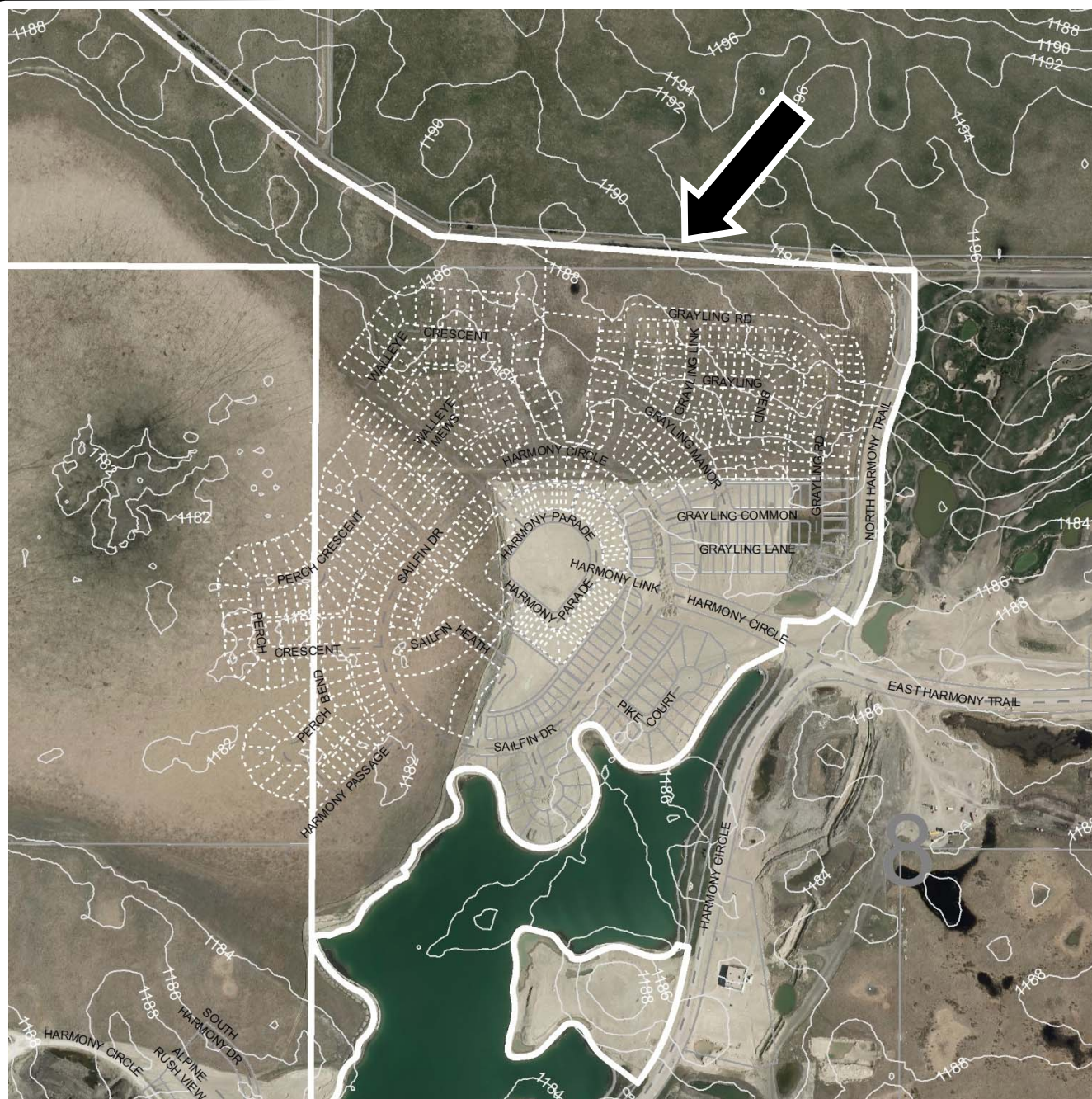
1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

TENTATIVE PLAN



W-08-25-03-W05M
Lot: 1 Block: 2 Plan: 1112762

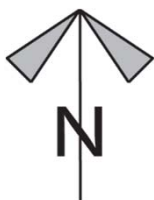
Date: February 12, 2020 Division # 2 File: 05708082/ 05718002



Contours are generated using 10m grid points, and depict general topographic features of the area. Detail accuracy at a local scale cannot be guaranteed. They are included for reference use only.

TOPOGRAPHY

Contour Interval 2 M



W-08-25-03-W05M
Lot: 1 Block: 2 Plan: 1112762

Date: February 12, 2020 Division # 2

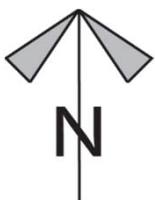
File: 05708082/ 05718002



Note: Post processing of raw aerial
photography may cause varying degrees
of visual distortion at the local level.

AIR PHOTO

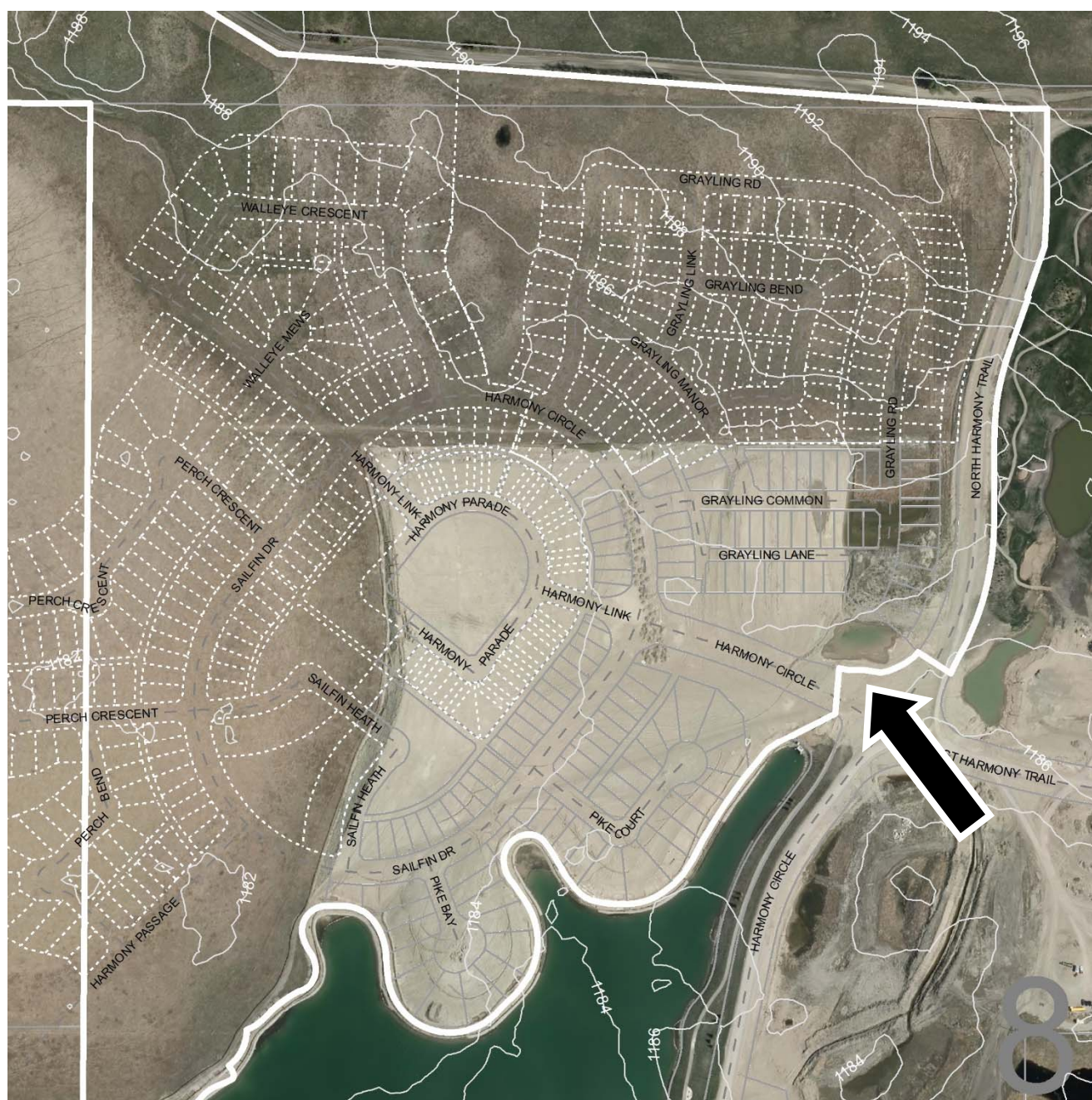
Spring 2018



W-08-25-03-W05M
Lot: 1 Block: 2 Plan: 1112762

Date: February 12, 2020 Division # 2

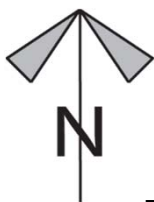
File: 05708082/ 05718002



Contours are generated using 10m grid points, and depict general topographic features of the area. Detail accuracy at a local scale cannot be guaranteed. They are included for reference use only.

TOPOGRAPHY

Contour Interval 2 M



W-08-25-03-W05M
Lot: 1 Block: 2 Plan: 1112762

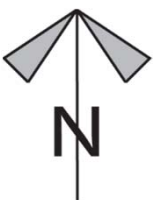
Date: February 12, 2020 **Division #** 2 **File:** 05708082/ 05718002



Note: Post processing of raw aerial
photography may cause varying degrees
of visual distortion at the local level.

AIR PHOTO

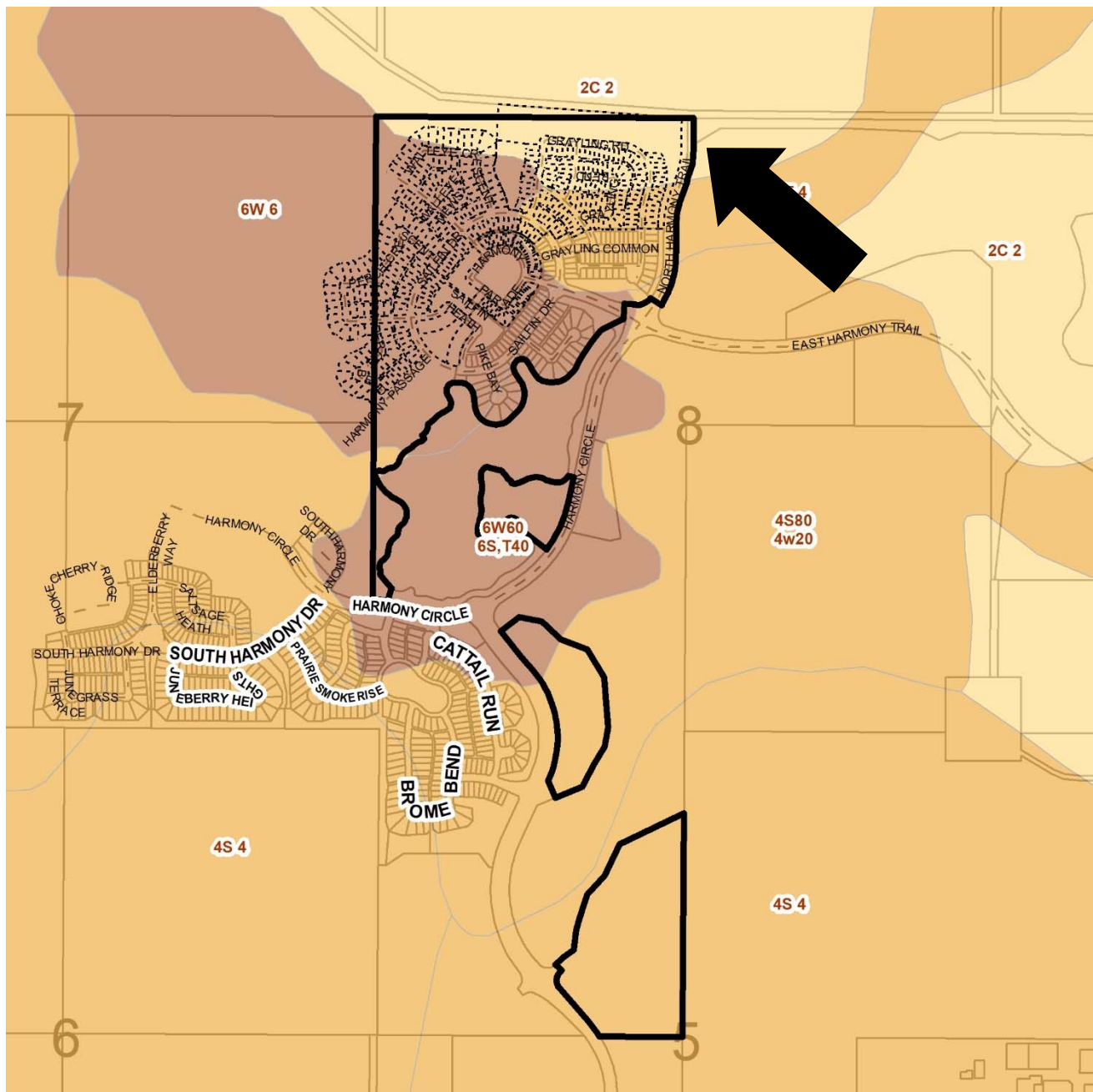
Spring 2018



W-08-25-03-W05M
Lot: 1 Block: 2 Plan: 1112762

Date: February 12, 2020 Division # 2

File: 05708082/ 05718002



LAND CAPABILITY CLASSIFICATION LEGEND
Limitations refer to cereal, oilseeds and tame hay crops

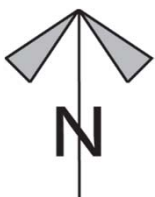
CLI Class

- 1 - No significant limitation
- 2 - Slight limitations
- 3 - Moderate limitations
- 4 - Severe limitations
- 5 - Very severe limitations
- 6 - Production is not feasible
- 7 - No capability

Limitations

- B - brush/tree cover
- C - climate
- D - low permeability
- E - erosion damage
- F - poor fertility
- G - Steep slopes
- H - temperature
- I - flooding
- J - field size/shape
- K - shallow profile development
- M - low moisture holding, adverse texture
- N - high salinity
- P - excessive surface stoniness
- R - shallowness to bedrock
- S - high sodicity
- T - adverse topography
- U - prior earth moving
- V - high acid content
- W - excessive wetness/poor drainage
- X - deep organic deposit
- Y - slowly permeable
- Z - relatively impermeable

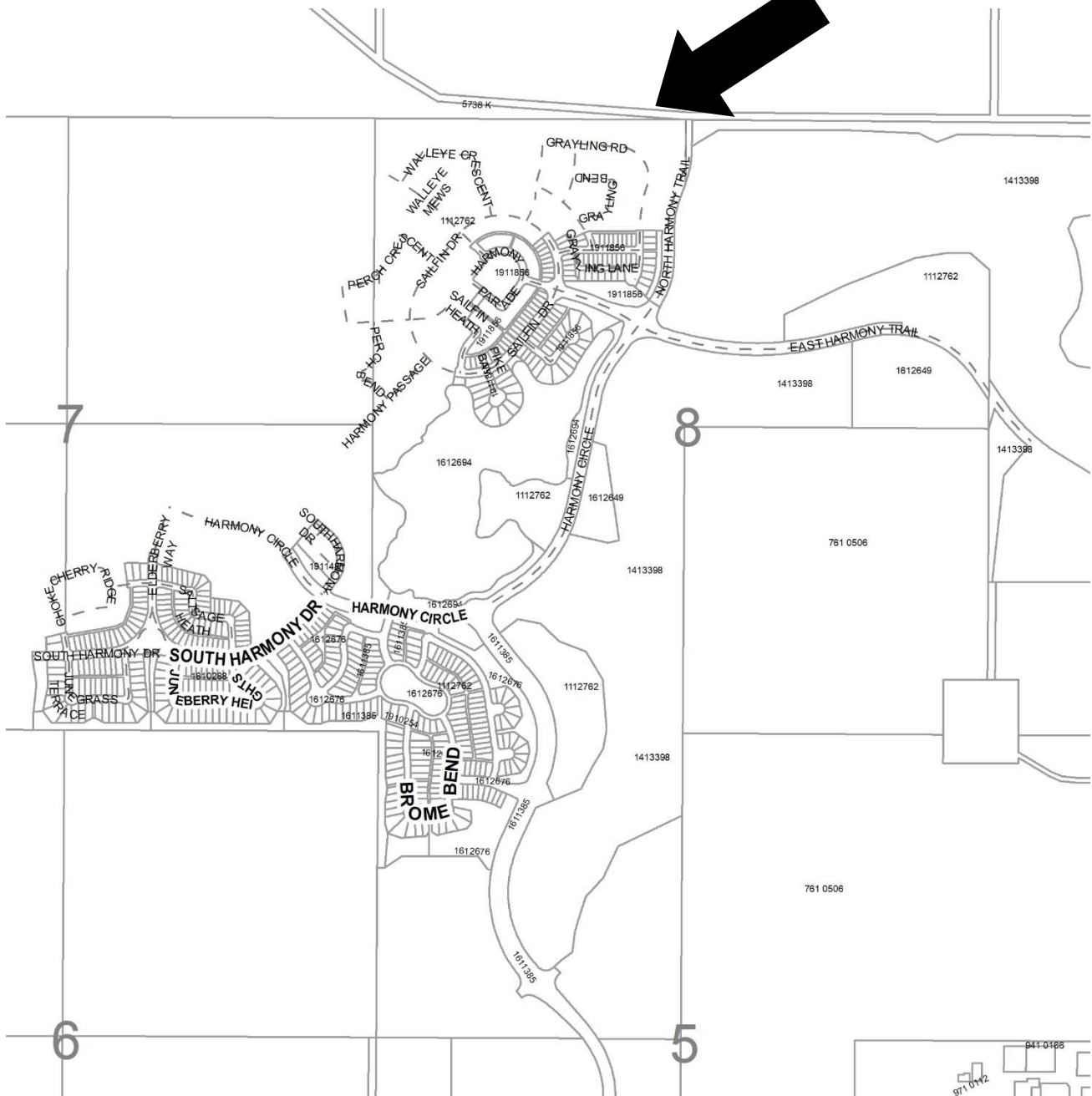
SOIL MAP



W-08-25-03-W05M
Lot: 1 Block: 2 Plan: 1112762

Date: February 12, 2020 Division # 2

File: 05708082/ 05718002



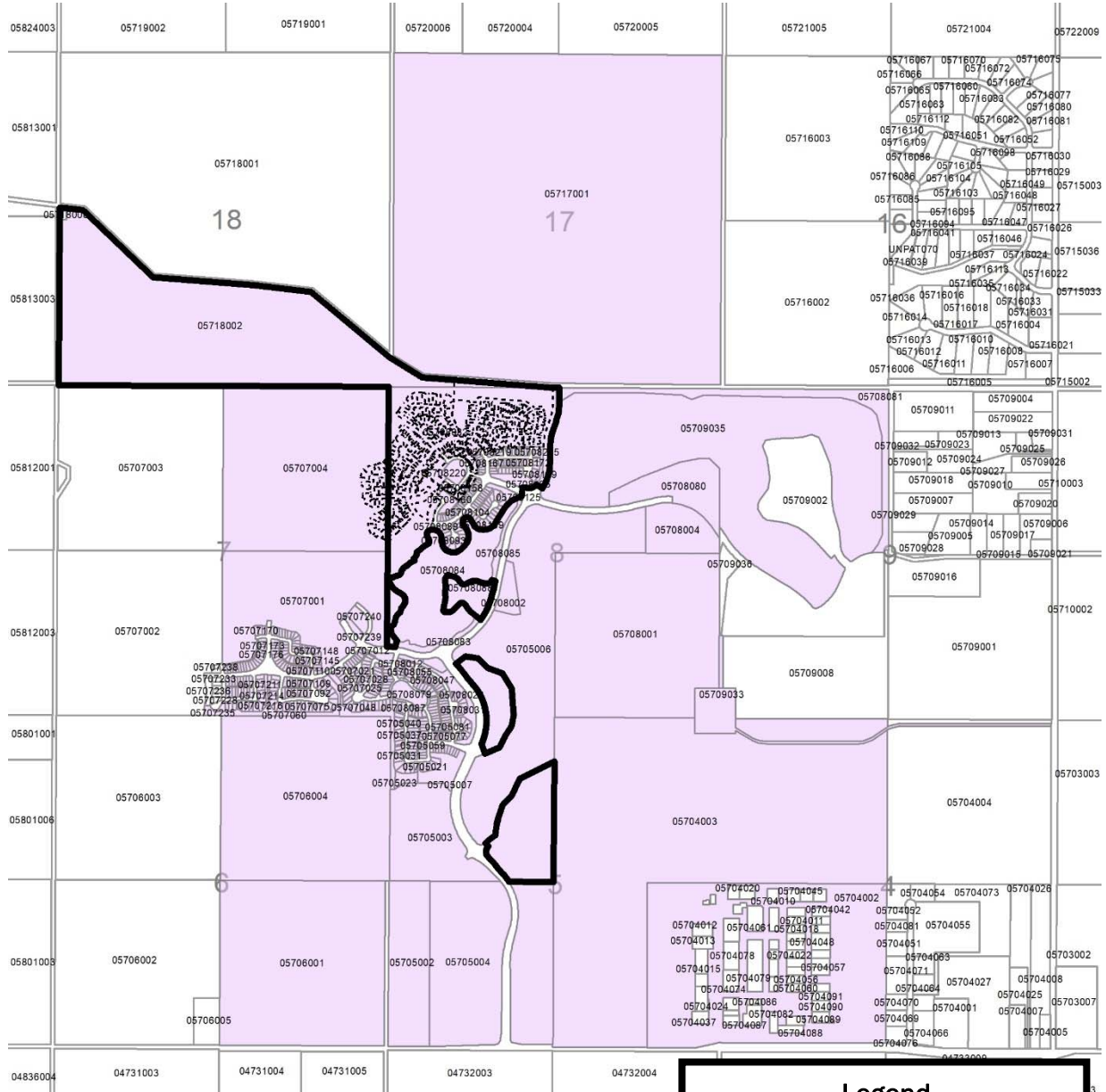
Legend – Plan numbers

- First two numbers of the Plan Number indicate the year of subdivision registration.
- Plan numbers that include letters were registered before 1973 and do not reference a year

HISTORIC SUBDIVISION MAP

W-08-25-03-W05M
Lot: 1 Block: 2 Plan: 1112762

Date: February 12, 2020 Division # 2 File: 05708082/ 05718002

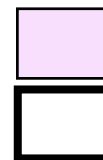


Letters in Opposition



Letters in Support

Legend



Circulation Area

Subject Lands

LANDOWNER CIRCULATION AREA

W-08-25-03-W05M
Lot: 1 Block: 2 Plan: 1112762

Date: February 12, 2020 Division # 2

File: 05708082/ 05718002

APPENDIX 'B': APPROVAL CONDITIONS

- A. The application to create 129 residential lots ranging from ± 393.60 sq. m to ± 714.19 sq. m in size, one Open Space lots ($\pm 10,744$ sq. m in size), and one Municipal Reserve lot ($\pm 46,239$ sq. m in size) at Lot 1, Block 2, Plan 1112762 within W-08-25-03-W05M and Lot 1, Block 1, Plan 1112762 within SW-18-28-03-W05M having been evaluated in terms of Section 654 of the *Municipal Government Act* and Section 7 & 14 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is approved as per the Tentative Plan for the reasons listed below:
1. The application is consistent with the Statutory Policy;
 2. The subject lands hold the appropriate land use designation;
 3. The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Survey Plans

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the *Municipal Government Act*, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Development Agreement

- 2) The Owner is to enter into a Special Improvement Development Agreement and be responsible for the approvals, design, upgrading, right-of-way acquisition and construction for all off-site infrastructure related to:
 - i. Expansion of the Harmony Potable Water Treatment Plant in accordance with the approved Water Servicing Analysis;
 - ii. Installation of the Harmony Lake System's Bow River Outlet Pipeline in accordance with the Harmony Stage 3 Master Drainage Plan; and
 - iii. Design and construction of a Secondary Public Access to Harmony in accordance with updated Traffic Impact Assessment;
- 3) The Owner is to enter into a Development Agreement pursuant to Section 655 of the *Municipal Government Act* in accordance with the approved tentative plan and shall include the following infrastructure and improvements:
 - i. Design and construction of an internal public road system in accordance with an approved Traffic Impact Assessment and as shown in the Tentative Plan, with associated infrastructure which includes the following:

- (a) necessary easements;
 - (b) sidewalks;
 - (c) dark sky street lighting;
 - (d) signage;
- ii. Design and construction of Landscaping features for all public pathways, and public roadways and open space, in accordance with the approved Landscaping Plan;
- iii. Construction of a piped potable water and raw water distribution system as required (including the registration of necessary easements), connection to the potable water treatment plant, and service connections to each lot;
- iv. Construction of a piped sanitary collection system (including the registration of necessary easements), connection to the wastewater treatment plant, and service connections to each lot;
- v. Construction of a fire suppression and distribution system designed to meet minimum fire flows as per County Standards and Bylaws;
- vi. Construction and implementation of stormwater management facilities and piped stormwater collection system in accordance with the recommendations of the approved Stormwater Management Plan, and the registration of any overland drainage easements and/or restrictive covenants, as determined by the Stormwater Management Plan, all to the satisfaction of the County and Alberta Environment and Parks;
- vii. Design and construction of landscaping features for all Municipal Reserve Lots, public pathways and public roadways, Owners Association of Harmony open space, all in accordance with an approved Landscaping Plan;
- viii. Implementation of the recommendations of the Construction Management Plan and Weed Management Plan;
- ix. Implementation of the revised Water and Wastewater Franchise Agreement with Harmony Advanced Water Systems Corporation (HAWSCO), as amended;
- x. Dedication of necessary easements and right of ways for utility line assignments;
- xi. Mailboxes are to be located in consultation with Canada Post;
- xii. Installation of power, natural gas and telephone lines;
- xiii. Implementation of the recommendations of the Construction Management Plan;
- xiv. Implementation of the recommendations of the Geotechnical Report;
- xv. Implementation of the recommendations of the Biophysical Impact Assessment and/or Wetland Impact Assessment;
- xvi. Alberta Environment approvals are required for disturbance to any onsite wetlands, prior to signing of the Development Agreement.
- xvii. Payment of any applicable off-site levies, at the then applicable rates, as of the date of the Development Agreement.
- xviii. The construction of any oversized or excess capacity infrastructure, roads and/or services benefitting the Owner's lands and development and other lands.



As contemplated by and in accordance with Section 650, 655, 651 and 648 of the *Municipal Government Act* and Council policies respecting infrastructure and cost recovery.

Transportation and Access

- 4) The Owner shall provide an update to the Harmony Traffic Impact Assessment to reflect current on-site and off-site development and network conditions, detailing the related required improvements to both the internal and external public road network, to the County's satisfaction:
 - i. The Owner shall enter into a Development Agreement with the County, addressing the design and construction of the required improvements, if the recommendations of the Traffic Impact Assessment identify improvements are required.
- 5) The Owner shall obtain approval for road naming by way of application to, and consultation with, the County.

Site Servicing

- 6) The Owner is to provide a detailed water servicing analysis for potable water, raw water irrigation, and fire suppression, building off of the Franchise Agreement and the Integrated Water Systems Master Plan, to determine:
 - i. Pipe type and sizes;
 - ii. Water treatment plant capacity and reservoir storage requirements.
- 7) The Owner is to provide confirmation of the tie-in for connections to HAWSCO, an Alberta Environment licensed piped water supplier, for lots, as shown on the approved Tentative Plan. This includes providing the following information:
 - i. Confirmation from the water supplier that an adequate and continuous piped water supply is available for the proposed new lots;
 - ii. Documentation proving that water supply has been purchased for proposed lots;
 - iii. Documentation proving all necessary paperwork has been completed, to the County's satisfaction;
- 8) The Owner is to provide detailed construction drawings, based on the potable water servicing study, for a water distribution and fire suppression system (including the registration of necessary easements), connection to the water treatment plant, and service connections to each lot;
- 9) The Owner is to provide a detailed sanitary servicing study in support of Phase 11, building off of the Franchise Agreement and the Integrated Water Systems Master Plan, to determine:
 - i. Pipe type and sizes;
 - ii. Number of lift stations, if applicable; and
 - iii. Wastewater Treatment Plant capacity, and treated effluent storage/disposal requirements.
- 10) The Owner is to provide confirmation of the tie-in for connections to HAWSCO, an Alberta Environment licensed piped waste-water supplier, for lots, as shown on the approved Tentative Plan. This includes providing for the following information:
 - i. Confirmation from the wastewater utility supplier that adequate capacity has been allocated and reserved for the proposed new lots;



- ii. Documentation proving that water supply has been purchased for proposed lots;
 - iii. Documentation proving that wastewater supply infrastructure requirements, including servicing to the property, have been installed, or that installation is secured between the developer and wastewater utility, to the satisfaction of the waste-water utility and the County;
 - iv. Documentation proving all necessary paperwork has been completed.
- 11) The Owner is to provide detailed construction drawings, based on the approved sanitary servicing study, for a sanitary collection system (including the registration of necessary easements), connection to the wastewater treatment plant, and service connections to each lot;

Developability

- 12) The Owner shall submit an updated Geotechnical Investigation and a Deep Fill Report (for areas where fill exceeds 1.2 m in depth) in accordance with the Rocky View County 2013 Servicing Standards to verify the site is suitable for the proposed buildings, site works, and utilities.
- 13) The Owner is to provide and implement a Stormwater Management Plan that meets the requirements outlined in the Springbank Master Drainage Plan, the Integrated Water Systems Master Plan, and the Stage 3 Master Drainage Plan. Implementation of the Stormwater Management Plan shall include:
- i. Registration of any required easements and/or utility rights-of-way
 - ii. Provision of necessary approvals and compensation to Alberta Environment and Parks for wetland loss and mitigation; and
 - iii. Provision of necessary Alberta Environment and Parks registration documentation and approvals for the stormwater infrastructure system.
 - iv. The Owner shall enter into a Development Agreement with the County should the Stormwater Management Plan indicated that improvements are required.

Municipal Reserves

- 14) The provision of Reserve is to be provided by the dedication of Lot 27 MR (\pm 37,823 sq. m in size), to be determined by a Plan of Survey, with respect to Lot 1, Block 2, Plan 1112762 within W-08-25-03-W05M as indicated on the Approved Tentative Plan:
- i. Municipal Reserve dedication outstanding on Lot 1, Block 2, Plan 1112762 within W-08-25-03-W05M is to be deferred by Caveat pursuant to Section 669 of the *Municipal Government Act*.
- 15) The Owner is to provide a Landscaping Plan for all Municipal Reserves, public pathways, public road rights-of-way, and Owners Association of Harmony open space, in accordance with Direct Control Bylaw and the Harmony Conceptual Scheme and Stage 3 Neighbourhood Plan:
- i. Development of the approved Landscaping Plans shall be included within the requirements of the Development Agreement.

Homeowners Association

- 16) The Owner shall legally amend the existing Owners' Association of Harmony (OAH), and an encumbrance or instrument shall be concurrently registered against the title of each new lot created, requiring that each individual Lot Owner is a member of the Home Owners' Association;



- i. The HOA/LOA agreement shall specify the future maintenance obligations of the Homeowners' Association for public and Owners Association of Harmony lands for public and private parks, open spaces, and other amenity lands including on-site pathways, community landscaping, residential solid waste collection, stormwater facilities located on private lands, and other features associated with these lands.

Architectural Controls

- 17) The Owner shall prepare and register a Restrictive Covenant on the title of each new lot created, requiring that each Lot Owner be subject to the development's Architectural Controls.

Solid Waste Management Plan

- 18) The Owner is to provide and implement a Waste Management Strategy that will outline the responsibility of the Developer and/or Homeowners' Association for management of solid waste.

Cost Recovery

- 19) The County will enter into an Infrastructure Cost Recovery Agreement with the Owner to determine the proportionate recovery of infrastructure money spent by the Owner to construct municipal infrastructure that will consequently provide benefit to other lands.

Site Construction

- 20) The Owner is to provide a Construction Management Plan that is to include, but not be limited to, noise, sedimentation and erosion control, traffic accommodation, construction waste management, and construction management details. Specific other requirements include:
 - i. Weed management during the construction phases of the project;
 - ii. Erosion and sedimentation control measures;
 - iii. Dust control measures;
 - iv. Best management practices;
 - v. Implementation of the Construction Management Plan recommendations will be ensured through the Development Agreement.
- 21) The Owner shall submit a full Erosion and Sediment Control Plan and Report in accordance with the County's Servicing Standards.
- 22) The Owner is to provide an Emergency Response Plan that is to include firefighting procedures, evacuation measures, containment of hazardous spills, and aircraft incidents, to the satisfaction of the County.
- 23) The Owner shall register a caveat on all titles, to the satisfaction of the County, indicating the presence of the Springbank Airport and associated aircraft noise to alert landowners to the presence of the teaching airport and associated impacts.

Payments and Levies

- 24) The Owner is to provide payment of the Transportation Off-Site Levy (including the Base Levy and the Special Area Levy) in accordance with the Transportation Off-Site Bylaw C-7356-2014 prior to entering into the Development Agreement. The County shall calculate the total amount owing from the total gross acreage of the lands to be subdivided, as shown on the plan of survey.



ROCKY VIEW COUNTY

- 25) The Owner shall pay the County Subdivision Endorsement fee, in accordance with the Master Rates Bylaw, for the creation of 132 new lots.

Taxes

- 26) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

- 1) Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw



ROCKY VIEW COUNTY

APPENDIX 'C': LETTERS

No letters received.

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: March 10, 2020

DIVISION: 04

APPLICATION: PL20180108

SUBJECT: Subdivision Item: Langdon East Conceptual Scheme – Direct Control 97

APPLICATION: To create fourteen lots, ± 0.086 hectares (± 0.21 acres) to ± 0.113 hectares (± 0.28 acres) in size, with a ± 22.85 hectare (± 56.47 acre) remainder.

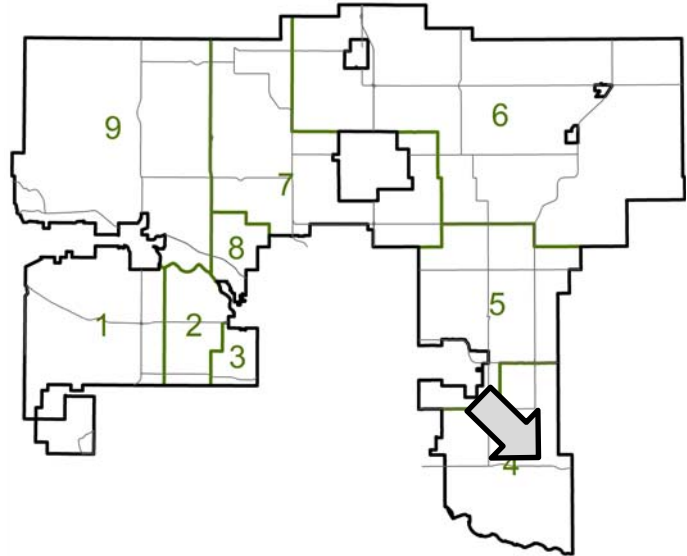
GENERAL LOCATION: Located on the east side of the Hamlet of Langdon.

LAND USE DESIGNATION: Direct Control District 97

ADMINISTRATION RECOMMENDATION:

Administration recommends Option 1 should Municipal Planning Commission be satisfied with the reduced wastewater facility setback.

Administration recommends Option #2 should Municipal Planning Commission not be satisfied with the reduced wastewater facility setback.



OPTIONS:

Option #1: THAT Subdivision Application PL20180108 be approved with the conditions noted in Appendix 'B'.

Option #2: THAT Subdivision Application PL20180108 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Stefan Kunz and Prabh Sodhi, Planning and Development Services



APPLICANT: Tronnes Geomatics

OWNER: 1518372 Alberta Ltd. / DJ WILL HOLDINGS LIMITED.

APPLICATION EVALUATION:

The application was evaluated based on the technical reports submitted with the application and the applicable policies and regulations.

APPLICABLE POLICY AND REGULATIONS:	TECHNICAL REPORTS SUBMITTED:
<ul style="list-style-type: none"> Langdon Area Structure Plan Langdon East Conceptual Scheme Direct Control District 97 	<ul style="list-style-type: none"> Qualitative Odor Assessment (January 2017) Geotechnical Evaluation (December 2015) Preliminary Subdivision Design Drawings – Hanson Park Phase 3A (July 2018)

APPLICABLE FEE/LEVY	AMOUNT OWING
<i>Transportation Offsite Levy</i>	\$15,122
<i>Storm Water Offsite Levy</i>	\$17,836
<i>Wastewater Offsite Levy</i>	\$173,327 (plus interest)

Wastewater Treatment Setback Requirements

The subdivision proposal does not align with the Subdivision and Development Regulations provided in the Municipal Government Act. Section 12 (2) (a) of the regulation requires a 300 metre setback from an existing wastewater facility to a residential use. Approval of the proposal would allow for the creation of 13 residential parcels within 300 metres of the Langdon Wastewater Treatment Facility. There is a risk that the setback relaxation may impact the future operation and expansion of the wastewater facility. County Operations has assessed this risk and determined that relaxation request may proceed at the discretion of the Subdivision Authority.

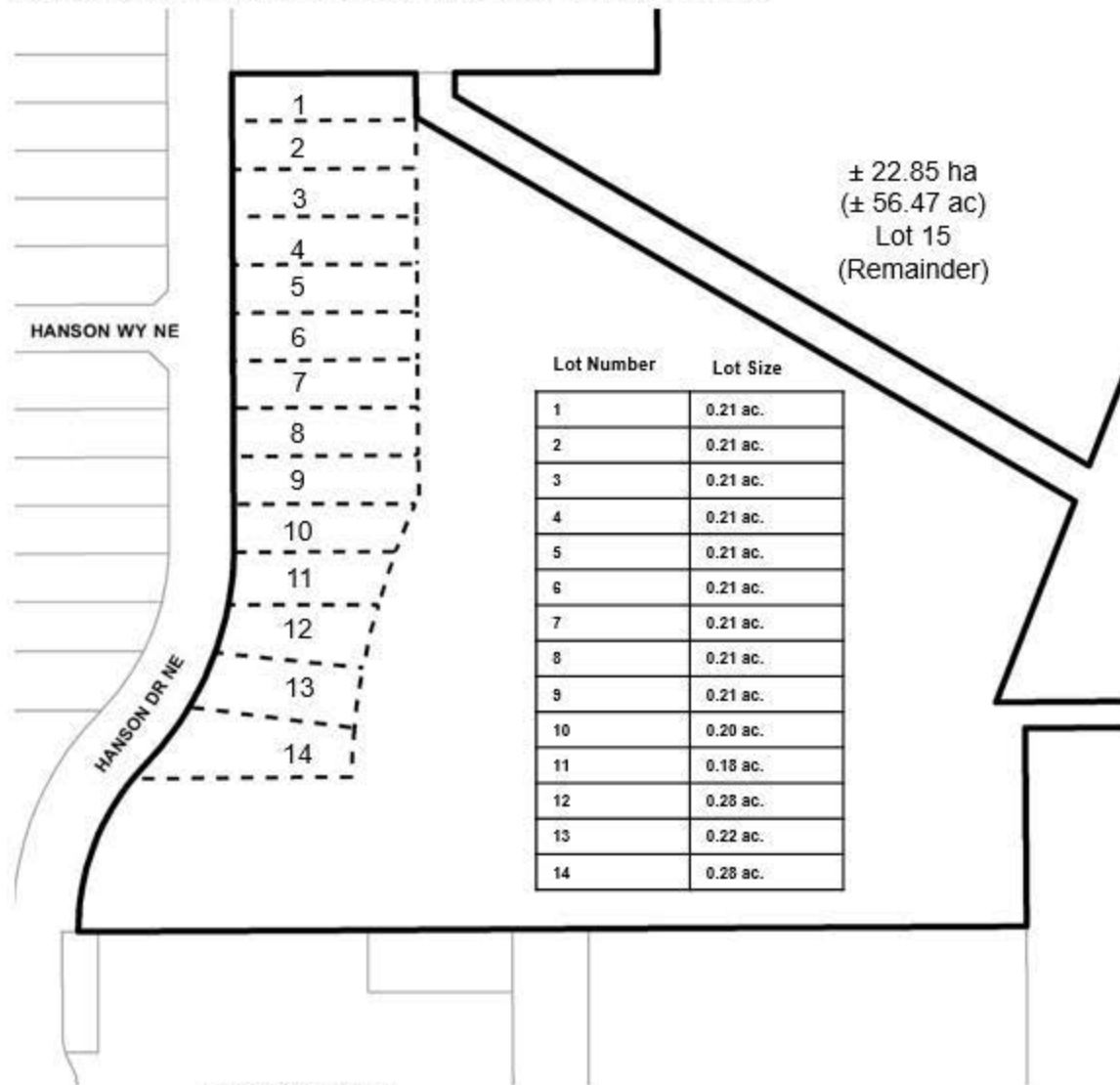
In accordance with Section 12 (5), as the lands are within 300 metres of the “working area” of the Langdon Wastewater Treatment Facility, written consent of the Deputy Minister of Environment and Sustainable Resource Development would be required should this application be approved. Should the application be approved, Administration would submit a letter to the Minister requesting the relaxation on the Applicant’s behalf.

Additionally, the Langdon East Conceptual Scheme (Policy 6.1.3) similarly requires that residential land uses shall be setback 300 metres from the existing waste water treatment facility as per the Alberta Environment regulations.

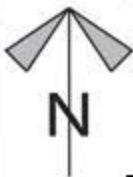


Tentative Plan

Subdivision Proposal: To implement Phase 2 of the Langdon East Conceptual Scheme to create fourteen (14) lots, ± 0.086 hectares (± 0.21 acres) to ± 0.113 hectares (± 0.28 acres) in size, with a ± 22.85 hectare (± 56.47 acre) remainder.

**Surveyor's Notes:**

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

TENTATIVE PLAN

NE-23-23-27-W04M

Date: June 04, 2019Division # 4File: 03223004



CONCLUSION:

Subject to the proposed conditions of approval, the application is recommended for Option #2.

Respectfully submitted,

Concurrence,

"Theresa Cochran"

"Al Hoggan"

Executive Director
Community Development Services

Chief Administrative Officer

SK/llt

APPENDICES:

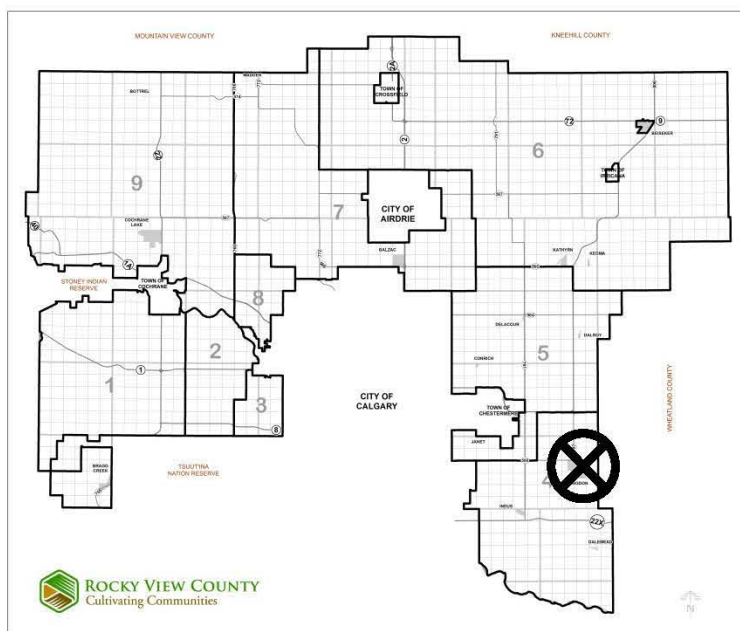
APPENDIX 'A': Maps and Other Information

APPENDIX 'B': Approval Conditions

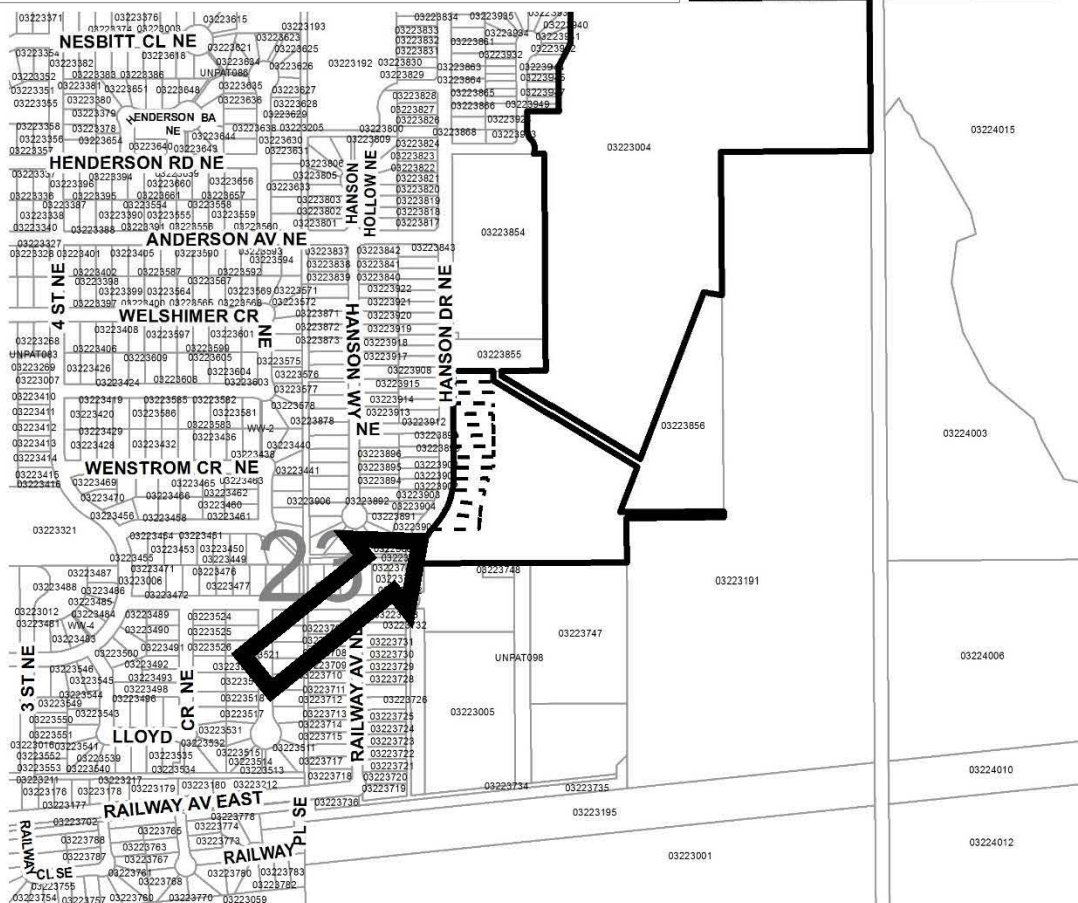
APPENDIX 'C': Letters

APPENDIX 'A': MAPS AND OTHER INFORMATION

DATE APPLICATION RECEIVED: September 5, 2018	DATE DEEMED COMPLETE: April 26, 2019
GROSS AREA: ± 24.18 hectares (± 59.72 acres)	LEGAL DESCRIPTION: NE-23-23-27-W4M
APPEAL BOARD: Municipal Government Board	
HISTORY: 2006 – 2013 Phase 1, portions of Phase 2, Phase 3 and Phase 4 were developed. 2005 Council adopted the Langdon East Conceptual Scheme and redesignated the subject lands to Direct Control District (DC-97) NE-23-23-27-W4M. Gross area is ± 120.62 acres.	
PUBLIC & AGENCY SUBMISSIONS: The application was circulated to 772 adjacent landowners. No letters in response were received. The application was also circulated to a number of internal and external agencies and, where appropriate, conditions of approval have been proposed based on these comments.	



ROCKY VIEW COUNTY
Cultivating Communities



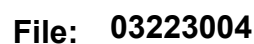
LOCATION PLAN

NE-23-23-27-W04M

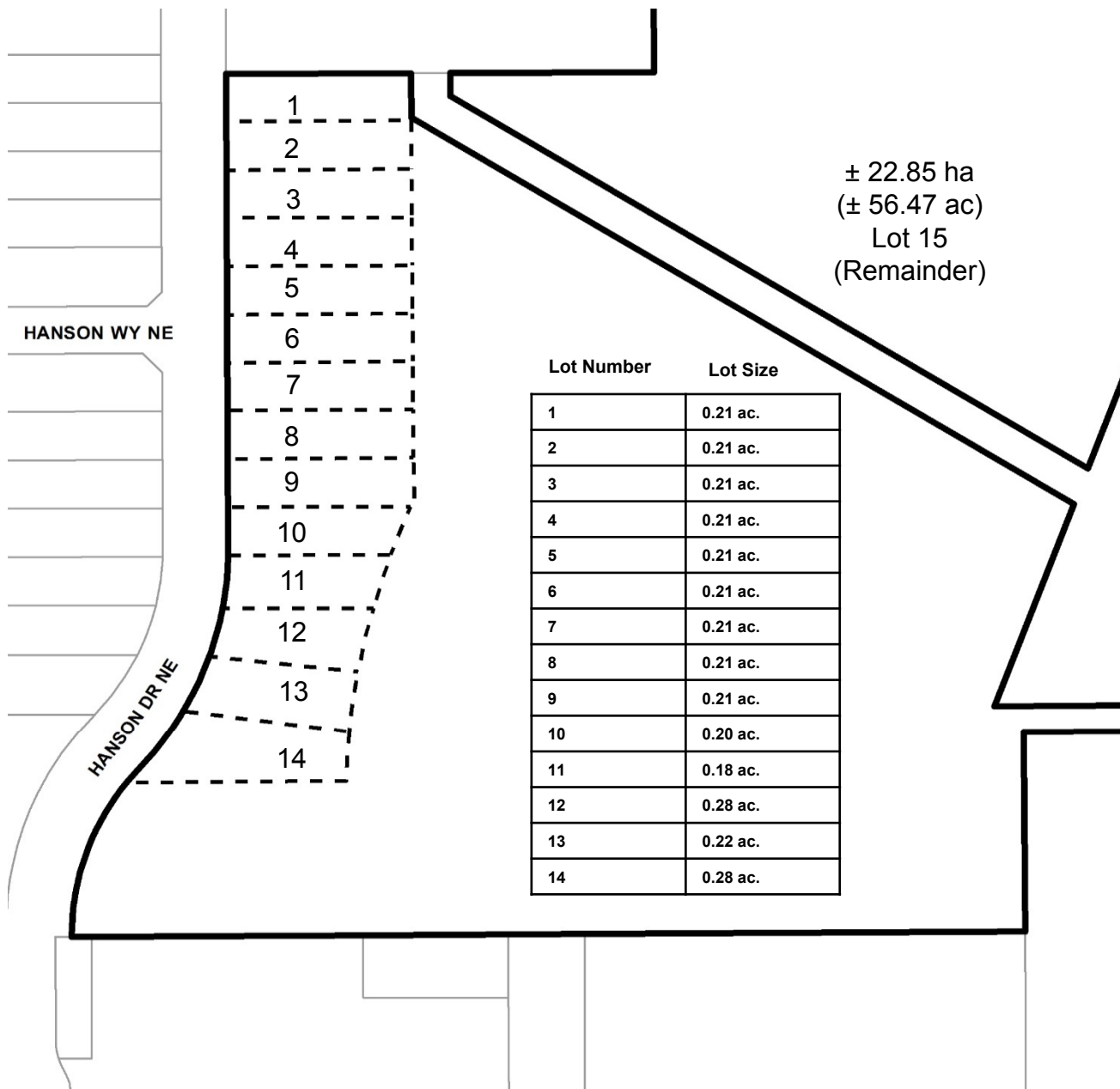
Date: June 04, 2019

Division # 4

File: 03223004



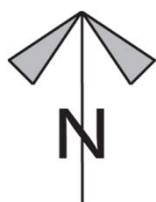
Subdivision Proposal: To implement Phase 2 of the Langdon East Conceptual Scheme to create fourteen (14) lots, ± 0.086 hectares (± 0.21 acres) to ± 0.113 hectares (± 0.28 acres) in size, with a ± 22.85 hectare (± 56.47 acre) remainder.



Surveyor's Notes:

1. Parcels must meet minimum size and setback requirements of Land Use Bylaw C-4841-97.
2. Refer to Notice of Transmittal for approval conditions related to this Tentative Plan.

TENTATIVE PLAN

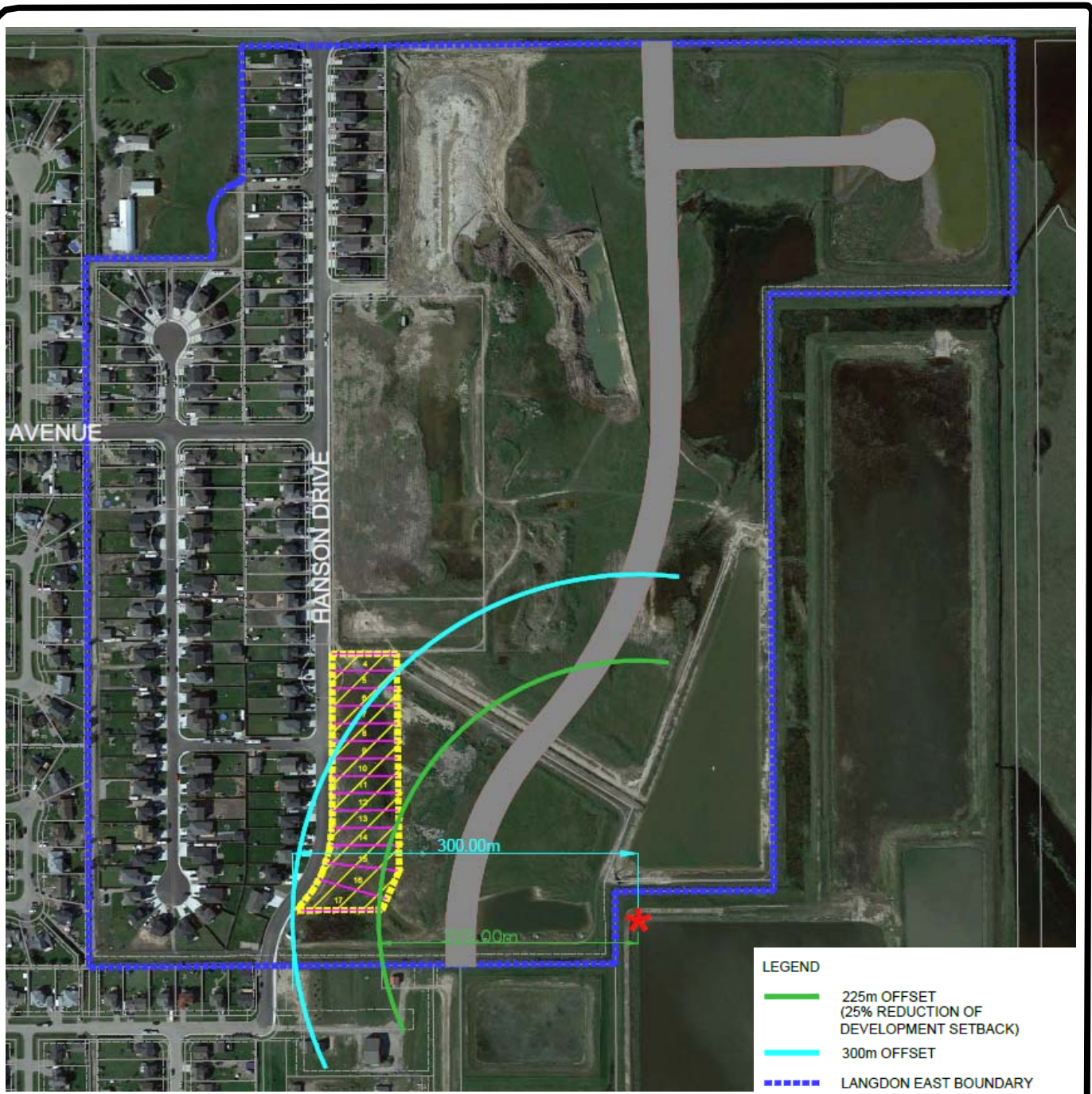


NE-23-23-27-W04M

Date: June 04, 2019

Division # 4

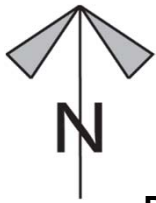
File: 03223004



- LEGEND
- 225m OFFSET
(25% REDUCTION OF
DEVELOPMENT SETBACK)
 - 300m OFFSET
 - LANGDON EAST BOUNDARY
 - PROPOSED LOTS
 - WASTEWATER
INFRASTRUCTURE WORKING
AREA BOUNDARY

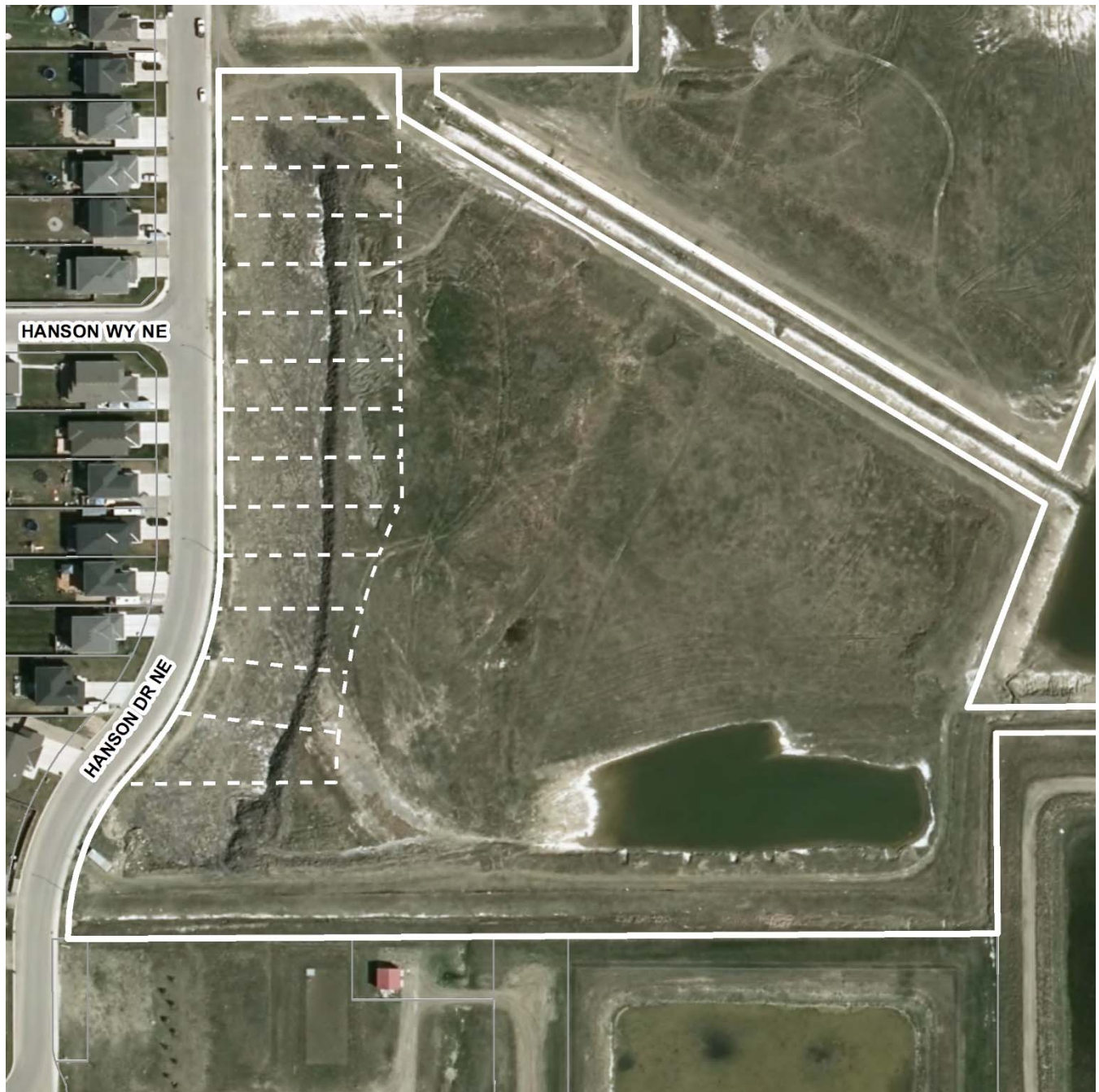
Note: Parcels were adjusted
from this configuration in
order to accommodate 225m
setback.

**DEVELOPMENT SETBACK – LANGDON
WASTE WATER TREATMENT FACILITY**



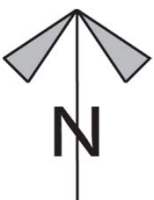
NE-23-23-27-W04M

Date: June 04, 2019 Division # 4 File: 03223004



Note: Post processing of raw aerial
photography may cause varying degrees
of visual distortion at the local level.

AIR PHOTO
Spring 2018

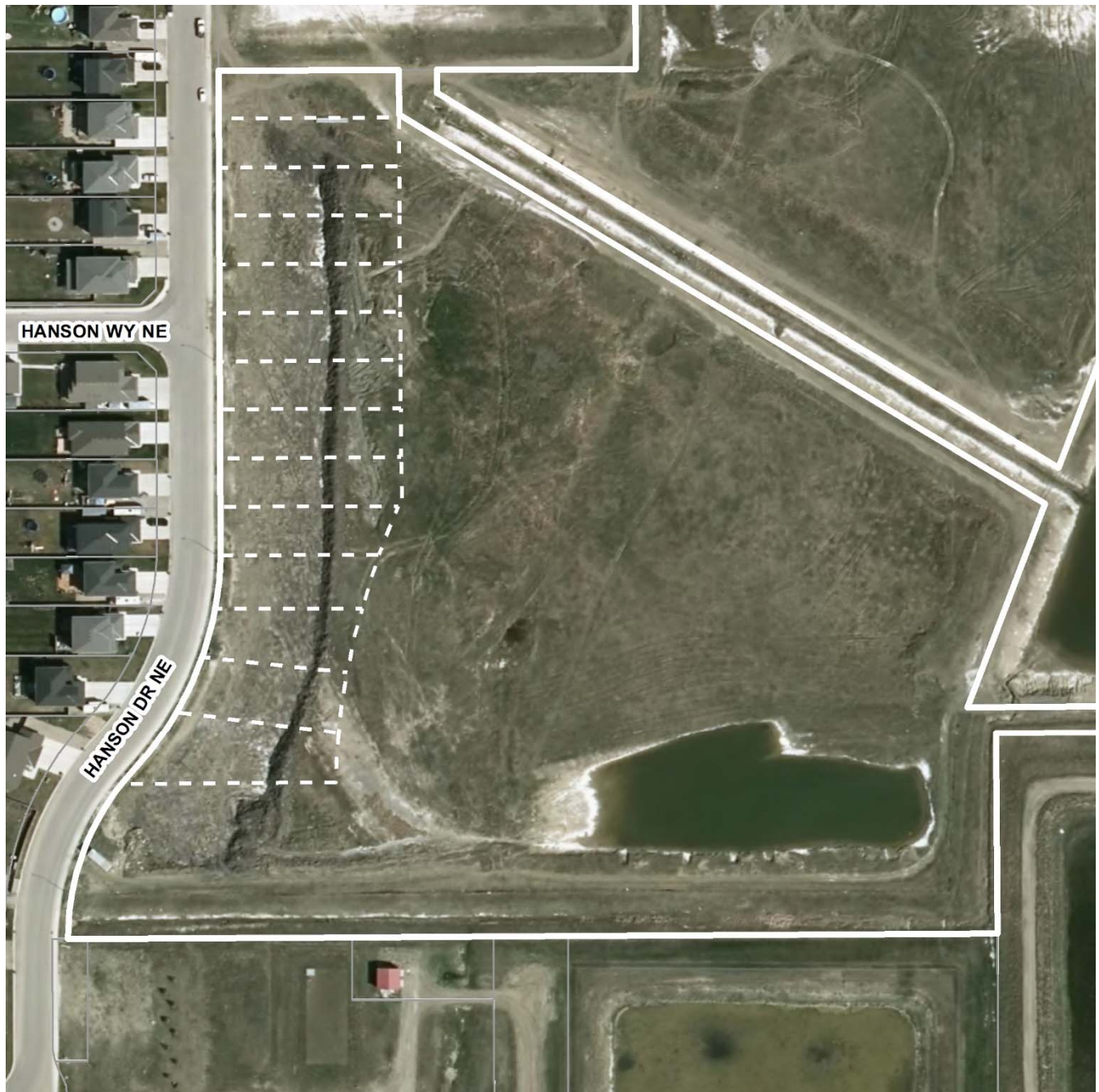


NE-23-23-27-W04M

Date: June 04, 2019

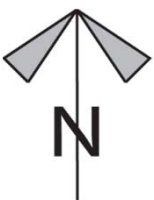
Division # 4

File: 03223004



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AIR PHOTO
Spring 2018



NE-23-23-27-W04M

Date: June 04, 2019

Division # 4

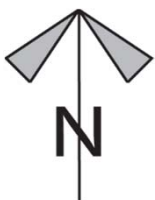
File: 03223004



Contours are generated using 10m grid points, and depict general topographic features of the area. Detail accuracy at a local scale cannot be guaranteed. They are included for reference use only.

TOPOGRAPHY

Contour Interval 2 M

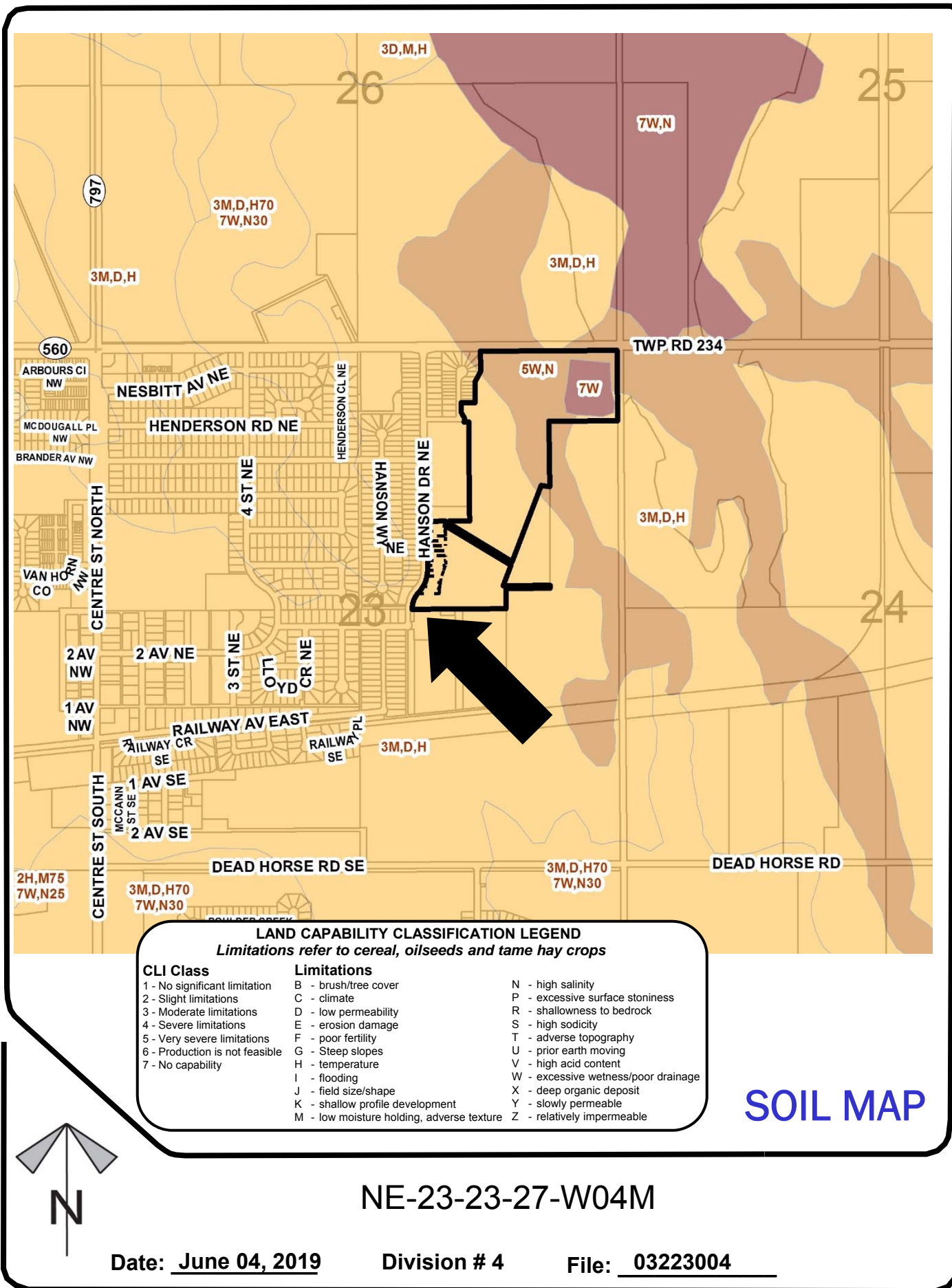


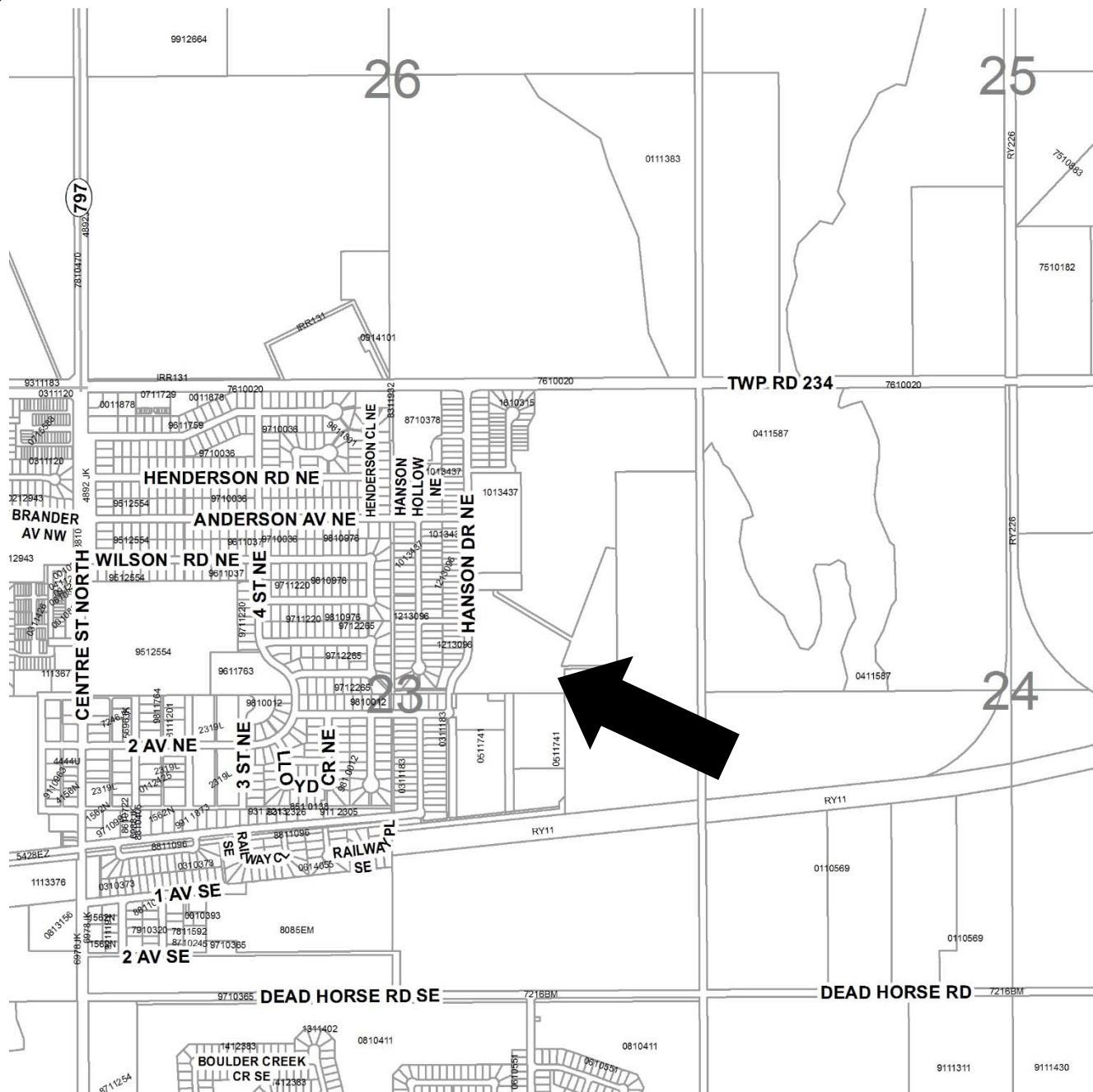
NE-23-23-27-W04M

Date: June 04, 2019

Division # 4

File: 03223004





Legend – Plan numbers

- First two numbers of the Plan Number indicate the year of subdivision registration.
- Plan numbers that include letters were registered before 1973 and do not reference a year

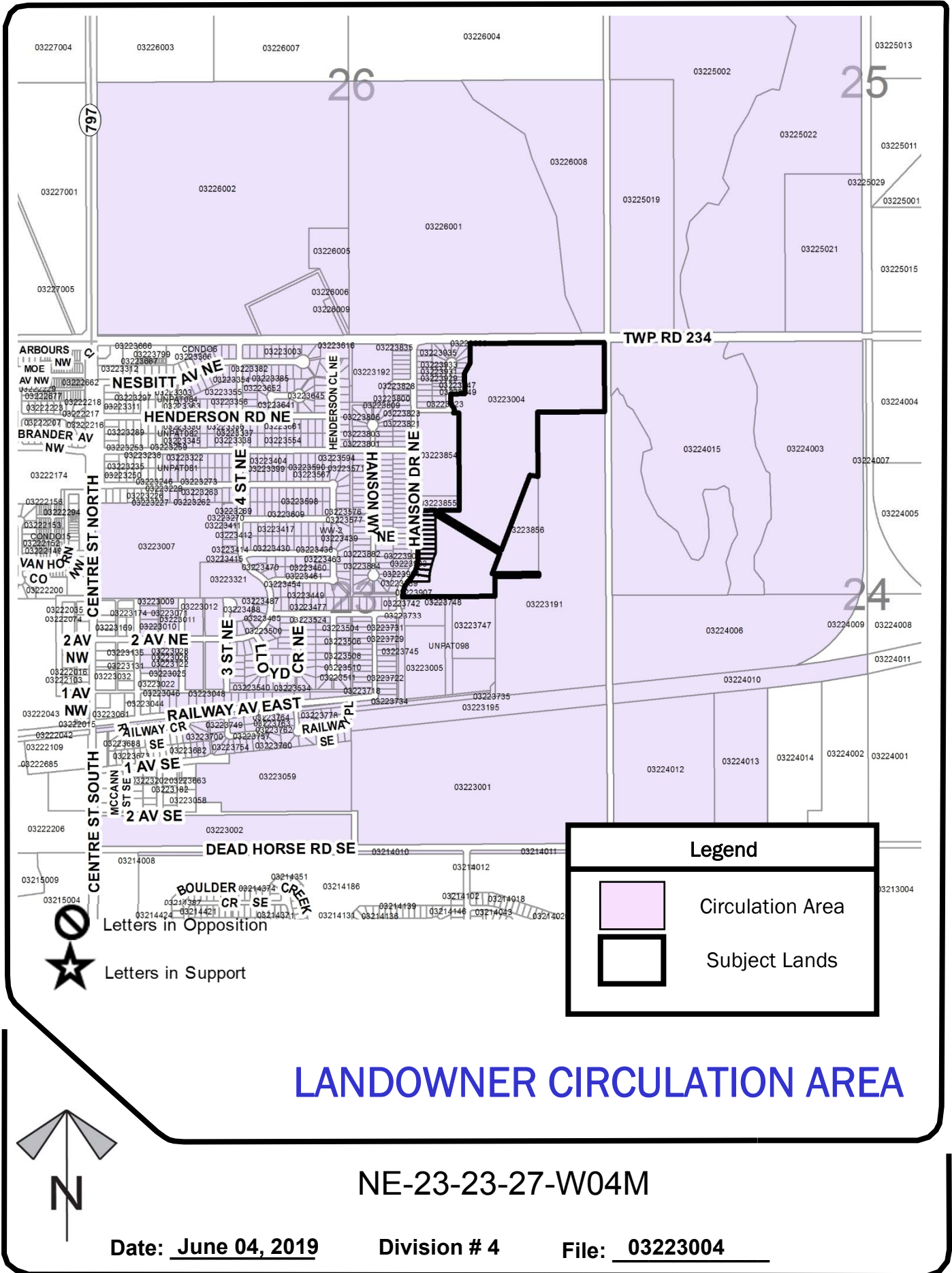
HISTORIC SUBDIVISION MAP

NE-23-23-27-W04M

Date: June 04, 2019

Division # 4

File: 03223004



APPENDIX 'B': APPROVAL CONDITIONS

- A. The application to create create fourteen lots, ± 0.086 hectares (± 0.21 acres) to ± 0.113 hectares (± 0.28 acres) in size, with a ± 22.85 hectare (± 56.47 acre) remainder at NE-23-23-27-W4M, having been evaluated in terms of Section 654 of the *Municipal Government Act* and Sections 7 and 12 of the Subdivision and Development Regulations, and having considered adjacent landowner submissions, is approved as per the Tentative Plan for the reasons listed below:
1. Section 12 (2) (a) of the Subdivision and Development Regulations and Policy 6.1.3 of the Langdon East Conceptual Scheme are relaxed from 300 m to 225 m subject to Alberta Environment and Sustainable Resource Development confirmation;
 2. The subject lands hold the appropriate land use designation;
 3. The technical aspects of the subdivision proposal have been considered and are further addressed through the conditional approval requirements.
- B. The Applicant/Owner is required, at their expense, to complete all conditions attached to and forming part of this conditional subdivision approval prior to Rocky View County (the County) authorizing final subdivision endorsement. This requires submitting all documentation required to demonstrate each specific condition has been met, or agreements (and necessary securities) have been provided to ensure the conditions will be met, in accordance with all County Policies, Standards, and Procedures, to the satisfaction of the County, and any other additional party named within a specific condition. Technical reports required to be submitted as part of the conditions must be prepared by a qualified professional, licensed to practice in the province of Alberta within the appropriate field of practice. The conditions of this subdivision approval do not absolve an Applicant/Owner from ensuring all permits, licenses, or approvals required by Federal, Provincial, or other jurisdictions are obtained.
- C. Further, in accordance with Section 654 and 655 of the *Municipal Government Act*, the application shall be approved subject to the following conditions of approval:

Plan of Subdivision

- 1) Subdivision is to be effected by a Plan of Survey, pursuant to Section 657 of the Municipal Government Act, or such other means satisfactory to the Registrar of the South Alberta Land Titles District.

Development Agreement

- 2) The Owner is to enter into a Development Agreement for provision of the following infrastructure and improvements:
 - a) Implementation of the recommendations of the examined Building Grade Plan;
 - b) Verification of the installation of the necessary water and wastewater service stubs to each of the proposed lots;
 - c) Installation of any necessary fire hydrants to support the proposed lots (if required);
 - d) Mailbox locations are to be located in consultation with Canada Post to the satisfaction of the County;
 - e) Construction of all necessary storm water management infrastructure in accordance with the recommendations of the approved storm water Management Plan and the registration of any overland drainage easements and/or restrictive covenants as determined by the Stormwater Management Plan;
 - f) Implementation of the recommendations of the approved ESC Plan;



- g) Implementation of the recommendations of the approved Construction Management Plan; and
- h) Verification of the installation of power, natural gas, and telephone lines.

Site Servicing

- 3) The Owner is to provide confirmation of the tie-in for connection to Langdon Waterworks Ltd. for Lots 1 – 14 (inclusive), as shows on the Approved Tentative Plan. This includes providing the following information:
 - a) Confirmation from Langdon Water Works that adequate and continuous piped water supply is available for proposed Lots 1 – 14 (inclusive).
 - b) Documentation proving that water supply has been purchased for proposed Lots 1 – 14 (inclusive).
 - c) Documentation showing that all necessary water infrastructure will be installed and that the water supplier has approved the associated plans and specifications (Development Service Agreement).

Developability

- 4) The Owner is to provide and implement a Stormwater Management Plan, which meets the requirements of the Stormwater Management Plan for the Langdon East Development. Implementation of the Stormwater Management Plan shall include:
 - a) Identify all necessary infrastructure required to support the proposed subdivision (to be constructed under the Development Agreement);
 - b) Identify any necessary easements and/or utility rights-of-way; and
 - c) Meet the requirements of the Stormwater Management Report for the Hanson Park development and County Servicing Standards

Site Construction

- 5) The Owner is to provide a Construction Management Plan that is to include, but not be limited to, noise, sedimentation and erosion control, construction waste management, firefighting procedures, evacuation plan, hazardous material containment, traffic accommodation, management of stormwater during construction, weed control, construction, and management details.
- 6) The Owner is to provide an erosion and sediment control plan (ESC), prepared by a qualified professional, identifying ESC measures to be taken during construction and to protect the onsite wetlands and municipal infrastructure. The drawings and plans shall be in accordance with the requirements of the County's Servicing Standards and best management practices

Payments and Levies

- 7) The Owner shall pay the County subdivision endorsement fee, in accordance with the Master Rates Bylaw, for the creation of 14 new lots.
- 8) The Owner shall pay the Transportation Off-Site Levy (TOL) in accordance with Bylaw C-7356-2014 prior to subdivision endorsement. The County shall calculate the total amount owing:
 - a) From the total gross acreage of Lots 1 – 14 (inclusive) as shown on the Plan of Survey.
- 9) The Owner shall provide payment of the Stormwater Off-Site Levy, in accordance with Bylaw C-7535-2015 prior to subdivision endorsement:



- a) The Stormwater Off-Site Levy shall be applicable on Lots 1 – 14 (inclusive) as shown on the Plan of Survey.
- 10) The Owner shall pay the Wastewater Off-Site Levy, in accordance with Bylaw C-7273-2013, for the total wastewater capacity required to support the proposed subdivision for Lots 1 – 14 (inclusive), prior to subdivision endorsement. The County shall assess the available capacity of the Langdon Waste Water Treatment Facility when the Wastewater Off-Site Levy has been paid by the Applicant. In the event that the Langdon facility does not have sufficient capacity to service the development at the time, the Applicant shall be required to enter into an agreement with the County to pay for the actual costs for the required upgrades to the plants described in Schedule "C-1" of the Rocky View County Bylaw No. C-7273-2013, inclusive of excess capacity within the Stage 1 upgrades (the "Excess Capacity"). The Applicant would be eligible to receive appropriate cost recoveries for the amounts paid in respect to the creation of the Excess Capacity from which other lands will benefit when those benefitting lands are developed or subdivided.

Municipal Reserves

- 11) Reserves owing on the subject lands as per Deferred Reserve Caveat 121277397, are to be deferred by Caveat to the remainder of the lands pursuant to Section 669(2) of the *Municipal Government Act*.

Architectural Controls

- 12) The Owner shall prepare and register a Restrictive Covenant on the title of each new lot created, requiring that each Lot Owner be subject to the development's Architectural Controls in accordance with Section 7 (Urban Design) of the Langdon East Conceptual Scheme (Bylaw C-6135-2005) and the Langdon Area Structure Plan (Bylaw C-5049-99).
- 13) The Owner shall prepare and register a caveat on the title of each new lot, indicating the proximity of the wastewater treatment facility and advising of the relaxation of the 300 metre setback requirement.

Taxes

- 14) All taxes owing up to and including the year in which subdivision is to be registered are to be paid to Rocky View County prior to signing the final documents pursuant to Section 654(1) of the *Municipal Government Act*.

D. SUBDIVISION AUTHORITY DIRECTION:

1. Prior to final endorsement of the subdivision, the Planning Department is directed to present the Applicant/Owners with a Voluntary Recreation Contribution Form and ask them if they will contribute to the Fund in accordance with the contributions prescribed in the Master Rates Bylaw
2. The Subdivision Authority hereby requests Alberta Environment to consider a variance to Section 12(2) and (4), of the Subdivision and Development Regulations, and to grant a minimum setback of:
 - a. 225.00 m (from 300 m) from the wastewater treatment facility to the nearest future residential lot.



APPENDIX 'C': LETTERS

NO LETTERS RECEIVED

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: March 9, 2020

DIVISION: 07

APPLICATION: PRDP20194585

SUBJECT: Development Item: Truck Trailer Service Facility & Outdoor Storage, Truck Trailer

APPLICATION: Truck trailer service and Outdoor storage, truck trailer, construction of a principal office/shop building for a transportation company

GENERAL LOCATION: Located at the northeast junction of Rge. Rd. 291 and High Plains Rd.

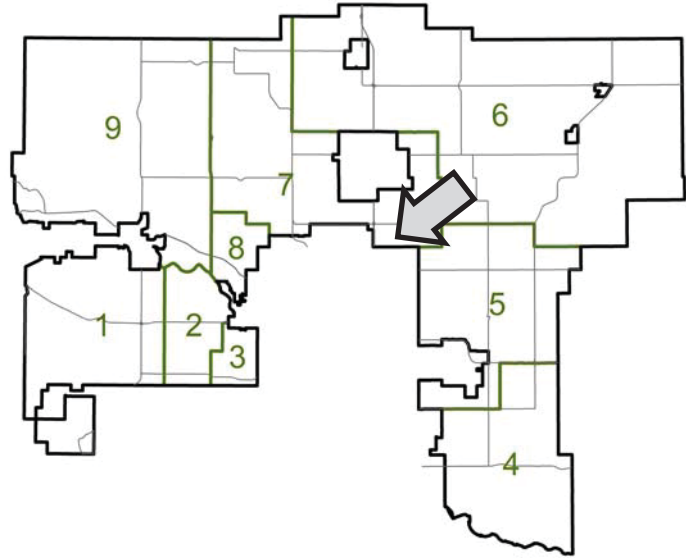
LAND USE DESIGNATION: Industrial-Industrial Activity District (I-IA)

ADMINISTRATION RECOMMENDATION: Administration recommends approval in accordance with Option #1.

OPTIONS:

Option #1: THAT Development Permit Application PRDP20194585 be approved with the conditions noted in the report.

Option #2: THAT Development Permit Application PRDP20194585 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Stefan Kunz – Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: December 19, 2019	File: 06401123
Application: PRDP20194585	Applicant/Owner: Scott's Builders (Derrick Bentley) / 1405275 AB Ltd.
Legal Description: Lot 28, Block 1, Plan 2010202, NW-1-26-29-W04M	General Location: Located at the northeast junction of Rge. Rd. 291 and High Plains Rd.
Land Use Designation: Industrial-Industrial Activity District (I-IA)	Gross Area: ±3.04 hectares (± 7.50 acres)
File Manager: Stefan Kunz	Division: 07

PROPOSAL:

The proposal is for construction Truck trailer service and Outdoor storage, truck trailer, construction of a principal office/shop building for a transportation company and signage

The primary purpose of the facility is the outdoor storage of trucks and trailers. Space is available for 54 tractors and 164 trailers. Minor repairs will also be undertaken onsite, but the facility is not equipped for major repairs. The facility will be open 24 hours a day, with approximately 150 vehicle trips per day expected. The facility will employ 10 employees total, 5 in the shop and 5 in the office.

The facility features one building housing the shop and office, and an outdoor storage area.

Building Details

- Building Area
 - Shop – 777.60 sq. m (8,370.00 sq. ft.)
 - Office – 668.90 sq. m (7,200.00 sq. ft.)
 - Total – 1,446.50 sq. m (15,570.00 sq. ft.)
- Setbacks
 - I-IA Minimum Requirements (m):
 - All setbacks – 15.00
 - Proposed (m):
 - Front – 37.73
 - West Side – 38.55
 - East Side – 60.78
 - Rear – 124.35
- Height
 - I-IA Minimum Requirements
 - 20.00 m (65.62 ft.)
 - Proposed:
 - 9.14 m (30.00 ft.)

Building Design:

- According to Section 4.4.3 of the Balzac East Area Structure Plan, the design and character of any business development must be acceptable to County having due regard for any adjacent impacts and general amenities of the area
 - Building Rendering were not submitted with the application and will be requested;
- According to High Plains Stage 1 Outline Plan, buildings will be oriented so that the main building entrance will face the public road that provides direct access to same. The design of building facades facing the public roads will incorporate variations in finish and colour, roofline offsets, and pedestrian scaling techniques designed to visually break the building mass and provide a high quality appearance.
 - The building is oriented to face the public road and provide direct access to the site;
 - Building Renderings were submitted and compliant with the CS policies

Landscaping

- *Section 26.11 (c) of the Land Use Bylaw & High Plains Stage 1 Outline Plan: a minimum of 10.00% of the development area shall be landscaped*
 - **Required:** 2,832.80 sq. m
 - **Proposed:**
 - Landscaping is provided on the west and south sides of the site.
 - The proposed landscaping area is approximately 5,133.00 sq. m, which meets the Land Use Bylaw requirement.
- *According to Section 4.4.3 d xii of the Balzac East Area Structure Plan: The required number of trees is one tree per 45.00 sq. m (495.14 sq. ft.).*
 - **Required:** 63 trees
 - $\{(2,832.80 \text{ sq. m} / 45.00 \text{ sq. m}) * 1.00 \text{ trees} = 62.95 \text{ trees}\}$
 - **Proposed:**
 - 59 trees are existing, meaning 4 new trees are required. The applicant has proposed an additional 7 trees be planted, for a total of 66 trees.
 - *Section 26.3: The proportion of deciduous to coniferous trees shall be approximately 60:40 and the Applicant may substitute up to 50.00% of the required number of trees with shrubs at a ratio of 3 shrubs to 1 tree for deciduous and 4 shrubs to 1 tree for coniferous.*
 - 47 deciduous, 19 coniferous
- *Section 26.11 (d): A landscaped strip of at least 4.00 m is required in front yards and side yards adjacent to a road.*
 - **Required:** 4.00 m (13.12 ft.)
 - **Proposed:** At least 10.00 m on both south and west side yards has been provided.

Parking

- *Section 30.1 (b): The minimum number of off-street vehicle, motor parking stalls required for each use class is specified in the Parking Schedule (Schedule 5).*
 - *Schedule 5 – General Industrial*
 - Warehouse (shop) – 1.00 stalls per 100.00 sq. m (1,076.40 sq. ft.) of gross floor area



- Office – 3.4.00 stalls per 100.00 sq. m (1,076.40 sq. ft.) of gross floor area
- Section 30.1 (c), if a fractional number is yielded, the required number of stalls shall be the next highest whole number.

Parking Stall Numbers:

- **Required:** 31 stalls total
 - Shop – $777.60 \text{ sq. m} / 100.00 \text{ sq. m} = 7.78$ stalls
 - Office – $668.90 \text{ sq. m} / 100.00 \text{ sq. m} * 3.4 = 22.74$ stalls
- **Proposed:**
 - 33 (plus 2 barrier free)
- Section 30.1 (k)(i) – Parking Stall Width:
 - Required: 2.59 m (8.50 ft.)
 - Proposed: 3.04 m (10.00 ft.)
- Section 30.1 (k)(i) – Stall Length:
 - Required: 5.48 m (17.98 ft.)
 - Proposed: 6.09 m (19.98 ft.)
- Section 30.1 (l) – Drive Aisle Width:
 - Required: 6.99 m (22.96 ft.)
 - Proposed: 9.09 m (29.82 ft.)

Signage

- According to Section 4.4.3 b of the Balzac East Area Structure Plan, the size and placement of all signage shall be considered an integral part of site development and Signage Plan shall be submitted to the Municipality upon application for a Development and be in accordance with the Land Use Bylaw or special district provisions prepared for the site. Temporary signage is not permitted with the exception of temporary signs required during development or building construction.
- According to the High Plains Stage 1 Outline Plan, lot and building signage will include high quality materials with a design that is compatible with each building façade treatment. The size and placement of all signage must be in accordance with the requirements of the County's Land Use Bylaw. No back-lit signage will be permitted within the Stage 1 Outline Plan area.
 - Two 4.00 m x 1.3 m fascia signs are proposed to be located on the south and west elevations of the building. Further details are required at building permit stage.

Lighting

- The applicant provided a lighting plan in accordance with Section 4.4.3 c of the Balzac East Area Structure Plan. This requires that all on-site lighting shall be located, oriented, and shielded to prevent adverse effects on adjacent properties and to protect the safe and efficient function of the Calgary International Airport, Highway 2 and Highway 566.
- According to the High Plains Stage 1 Outline Plan, exterior lighting within each business lot will considered "dark sky" principles in order to minimize light pollution. Lighting fixtures will include full cut-offs to direct light downward and prevent light spillage.
 - The submitted lighting plan models comply with the County's dark sky requirements;

Fencing

- According to the High Plains Stage 1 Outline Plan, fencing at the front of buildings will be discouraged. The applicant has proposed fencing around the storage area, but not in front of the building or parking area. If required for visual screening and/or security purposes, it will include a low-scale, decorative design and be located behind street-oriented landscaping in accordance with the requirements of the County's Land Use Bylaw.
- Perimeter fencing along the side & rear property boundaries will be utilized to provide screening that reduces negative visual impacts of outdoor storage and large scale parking when viewed from public roads and adjacent parcels. All fencing will include a design with high quality materials that will require limited maintenance
- The Applicant proposed a 2.44 m high chain link fence along all side of the development. The east and north property lines have sections of existing galvanized chain link fence. The applicant has proposed to continue this along these property lines, and add screening slats. Fencing along public roadways, to the south and west, is adjacent to the proposed trees, which will provide screening to the site. Fences in these areas will be black chain link.

STATUTORY PLANS:

- County Plan
- City of Calgary/Rocky View County Intermunicipal Development Plan (IDP)
- Land Use Bylaw
- Balzac East Area Structure Plan (ASP)
- High Plains Industrial Park Conceptual Scheme (CS) – Stage 1
 - The subject land is located within Cell 'C' – General Industrial Land Use Area of the High Plains Industrial Park Conceptual Scheme. According to the Conceptual Scheme (Section 3.2), this area will accommodate a wide range of general industrial development.
 - The subject land is located within the Stage 1 High Plains outline plan. According to the outline plan, a restrictive covenant referencing the architectural guidelines will be registered as an encumbrance on each title with specific development criteria enforced by a Business Lot Owner's Association to be referred to as the High Plains Development Association (HPDA).
 - The Applicant provided a confirmation from the Owner's Association in approval of the proposed building design.

INSPECTOR'S COMMENTS:

- January 22, 2020
 - No activity at time of inspection
 - Does not appear to have any recent stockpiling or ground moved
 - Some historic stockpiling on northwest side of parcel
 - No equipment or supplies visible
 - Appears to have two utility markers
 - Appears to have snow clearance and piling on north side of parcel
 - No other concerns

CIRCULATIONS:Alberta Transportation (January 13, 2020)

- In reviewing the application, the proposed development does not fall within the control distance of a provincial highway as outlined in the Highways Development and Protection Act / Regulation, and will not require a roadside development permit from Alberta Transportation.
- The department does expect that the municipality will mitigate the impacts of traffic generated by developments approved on the local road connection to the highway system, pursuant to Policy 7 of the Provincial Land Use Policies and Section 648(2)(c.2) of the *Municipal Government Act*.

Building Services, Rocky View County (January 28, 2020)

- Advisory Condition - Provide 3.2.2 Building Code Classification at BP application.
- Advisory Condition – Water Supply design for fire-fighting must conform to article 3.2.5.7. ABC 2014.
- Advisory Condition - Provide Hydrant to Siamese dimension, and Siamese to principal entrance, the hydrant location depends on the 3.2.2 classification.
- Advisory Condition – Provide Access Routes design as per article 3.2.5.6., including centerline turning radius and clear widths.
- Advisory Condition – Barrier- free parking spaces must conform to Table 3.8.2.5. and be based on the number of stalls required by the Development Permit. – 3 stalls are required.

City of Calgary (NA)

- No comment received.

Development Compliance, Rocky View County (January 8, 2020)

- Recommend that all on site lighting be dark sky;
- As vehicle washing may occur on site, recommend measures be applied to mitigate any contamination of adjacent wetland and storm water ponds;
- As this will be a 24 hour operation, recommend noise control measures be applied to mitigate any negative impact to neighbouring or residential properties.

Planning and Development Services - Engineering, Rocky View County (February 5, 2020)**General:**

- That prior to issuance, the applicant is required to pay the development application engineering review fee in accordance with the Master Rates Bylaw.
- The applicant will be responsible for all required payments of 3rd party reviews and/or inspections as per the Master Rates Bylaw.
- That prior to occupancy, the applicant shall contact Utility Operations for an inspection of the water meter, sanitary sewer service connection, and the sanitary test manhole.
- As a permanent condition, that if the facility changes commercial usage, the owner shall submit to the County a revised description of process and subsequent water and wastewater requirements.
- As a permanent condition, that this facility shall be subject to water usage/wastewater monitoring by Utility Operations, in order to ensure compliance with Bylaw C-7662-2017, as amended.



- We note that the bulk of the infrastructure required to service this lot was constructed under Phase 1 of the High Plains Development. We understand all phase 1 development agreement obligations have received FAC from the County and are managed/operated by the County.

Geotechnical:

- That prior to issuance, a Geotechnical Investigation in accordance with the Rocky View County 2013 Servicing Standards is required to verify the site is suitable for the proposed buildings, site works, and deep utilities. For areas (if any) with greater than 1.2 m of fill a Deep Fill report is required.

Transportation:

- County records indicate that payment of the Transportation Offsite Levy has been previously provided for these lands under subdivision file PL20190066.
- That prior to issuance, if site final grading activities require the import or export of soil, the applicant shall enter into a Road Use Agreement with the County regarding use of the County's road system to haul soil off site or onto the site.
- That prior to issuance, the applicant shall provide a letter prepared by a transportation engineer to address if the analysis and traffic volumes in the Balzac Global TIA report (December 2010, as amended) for these lands meet the criteria for the development. If updates to reflect revisions are required to the Balzac Global TIA report, this will be at the applicant's expense. The letter will also need to address if the proposed development is in accordance with the High Plains Industrial Park Traffic Impact Assessment, if not, a TIA will be required for the site to address the potential for off-site impacts.
 - If the recommendations of the Traffic Impact Assessment require off-site improvements, then a Development Agreement shall be entered into.
- That site parking be provided to the satisfaction of the development authority. As an advisory condition it is noted that parking is not permitted on the adjacent public road network.
- That prior to issuance, the applicant shall submit an access management plan in accordance with the County's 2013 Servicing Standards and Access Management Procedure 410.

Sanitary/Waste Water:

- County records indicate this parcel was allocated a sanitary servicing capacity of 1.56m³/day (ADF) at the time of subdivision.
- That prior to issuance, the applicant shall confirm and demonstrate calculations for water and waste water usage for the development on the parcel to support the below noted service agreement. If expected demands exceed the 1.56 m³/day already purchased for this lot, the owner will be required to purchase additional capacity in accordance with Bylaw C-7857-2019, as amended.
- That prior to occupancy the owner is to enter into a Customer Service Agreement for wastewater use on the subject lands.
 - Should the applicant's use require additional servicing capacity then the applicant will be required to provide payment for that additional capacity in accordance with the Master Rates Bylaw C-7857-2019, as amended.
- That prior to issuance, the applicant shall submit a detailed site wastewater servicing design that will tie into the offsite High Plains Industrial Park wastewater system.
- That prior to issuance, the applicant shall submit a design drawing showing the location of sanitary sewer service connection and test manhole on the site for review and approval by



Utility Operations. Note, the test manhole shall be located in an area easily accessible for the purposes of sampling and inspections. Please ensure that there is no conflict with shallow utilities and the manhole should not be located within any parking area. As an advisory note, should the test manhole be located within private property an access easement will be required for monitoring and testing purposes.

- As a permanent condition, connections to existing sanitary mains is not permitted without the authorization of Rocky View County's Utility Operations.
- Prior to occupancy, Rocky View County requires as-built drawings certified by a professional engineer licensed to practice in the Province of Alberta. The as-built drawings shall include verification of as-built sanitary infrastructure.

Water Supply and Waterworks:

- County records indicate this parcel was allocated a potable water servicing capacity of 1.56m³/day (ADD) at the time of subdivision.
- That prior to issuance, the applicant shall confirm and demonstrate calculations for water and waste water usage for the development on the parcel to support the below noted service agreement. If expected demands exceed the 1.56 m³/day already purchased for this lot, the owner will be required to purchase additional capacity in accordance with Bylaw C-7857-2019, as amended.
- That prior to occupancy the owner is to enter into a Customer Service Agreement for potable water use on the subject lands.
 - Should the applicant's use require additional servicing capacity then the applicant will be required to provide payment for that additional capacity in accordance with the Master Rates Bylaw C-7857-2019, as amended.
- That prior to issuance the applicant shall submit a detailed site water servicing design, including adequate fire protection, for the proposed development in accordance with the County Servicing Standards, County Bylaws as amended, that will tie into the High Plains Industrial Park potable water system. The design shall address the need for a pressure reducing valve and backflow preventer and if required, shall be installed and an inspection report for the back flow preventer shall be sent to the County's Utility Operations.
- As a permanent condition, connections to existing water mains is not permitted without the authorization of Rocky View County's Utility Operations.
- Prior to occupancy, Rocky View County requires as-built drawings certified by a professional engineer licensed to practice in the Province of Alberta. The as-built drawings shall include verification of as-built water infrastructure.
- As an advisory condition, no potable water can be used for irrigation purposes, outside hose bibs are not permitted.
- That prior to issuance, the applicant shall be required to pay the County for the supply and installation of a water meter and remote transmitter unit. The water meter shall be sized based on calculations to be provided by the applicant.
- As a permanent condition, the lot shall obtain potable water from the East Balzac Water Distribution system.

Storm Water Management:

- Prior to issuance, the applicant shall submit a site-specific stormwater implementation plan (SSIP) for the subject lands in accordance to the High Plains Stormwater Management Plan and provide for any necessary easements and right-of-ways for drainage. The plan must include but



not be limited to details regarding any on-site retention, stormwater flow rates offsite into storm sewers/swales and storage volumes. The set of drawings shall also include proposed finished surface/grading plan (corner lot grades).

- As a permanent condition, the Development Permit be structured such that it is an ongoing requirement (in perpetuity) of the Development Permit that the Owner operate the site in accordance with the approved SSIP.
- The applicant is responsible for any related EPEA (and if necessary, Water Act) approvals for the on-site stormwater infrastructure.
- The plan shall address the need for an oil/grit separator.
- That prior to issuance the owner/applicant shall submit a sediment and erosion control plan and report in accordance with County Servicing Standards. We note for the applicants benefit that as this site is greater than 2ha a full report is required.
- That prior to issuance, the applicant shall submit a detailed site grading plan.
- Prior to occupancy, Rocky View County requires as-built drawings certified by a professional engineer licensed to practice in the Province of Alberta. The as-built drawings shall include verification of as-built pond volumes, liner verification, inverts and any other information that is relevant to SWMP. Following receiving the as-built drawings from the consulting engineer, Rocky View County shall complete an inspection of the site to verify stormwater infrastructure has been completed as per the stamped “examined drawings”.

Transportation Services, Rocky View County (NA)

- No comment received.

OPTIONS:

Option 1: (this would allow the development to proceed)

APPROVAL, subject to the following conditions:

Description:

- 1) That Truck trailer service and Outdoor storage, truck trailer, construction of a principal office/shop building for a transportation company may take place on the subject site in accordance with the drawings as submitted with the application, and includes:
 - i) Construction of a Shop/Office with a floor area of approximately 1,446.50 sq. m (15,570.00 sq. ft.);
 - ii) Outside Storage, as per the approved site plan;
 - iii) Overheight perimeter fencing that is approximately 2.44 m (8.00 ft.) in height;
 - iv) One Fascia Signage, details to be submitted at time of installation.

Prior to Issuance:

- 2) That prior to issuance of this permit, the Applicant/Owner shall confirm acceptance or refusal to participate in the Voluntary Recreation Contribution for Community Recreation Funding on the form provided by the County. If accepted, the contribution is calculated at \$800.00 per acre.

Geotechnical Studies

- 3) That prior to issuance of this permit, the Applicant/Owner shall submit a Geotechnical Investigation in accordance with the County’s Servicing Standards, to verify the site is suitable for the proposed buildings, site works, and deep utilities.
 - i) For areas (if any) with greater than 1.2 m of fill a Deep Fill report is required.



- 4) That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - i) Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

Access and Transportation

- 5) That prior to issuance of this permit, the Applicant/Owner shall submit a letter prepared by a transportation engineer to address if the analysis and traffic volumes in the Balzac Global Traffic Impact Assessment (TIA) report (December 2010, as amended) for these lands meet the criteria for the development.
 - i) If updates to reflect revisions are required to the Balzac Global TIA report, this will be at the Applicant/Owner's expense. The letter shall also address if the proposed development is in accordance with the High Plains Industrial Park Traffic Impact Assessment, if not, a TIA will be required for the site to address the potential for off-site impacts.
 - ii) If the recommendations of the Traffic Impact Assessment require off-site improvements, then a Development Agreement with the County shall be entered into.
- 6) That prior to issuance of this permit, the Applicant/Owner shall submit an access management plan in accordance with the County's Servicing Standards and Access Management Procedure 410.

Servicing

- 7) That prior to issuance of this permit, the Applicant/Owner shall submit a Demand Analysis that confirms and demonstrates calculations for water and waste water usage for the development for purposes the below noted customer service agreement.
 - i) Should the Applicant/Owner require additional servicing capacity (exceeding 1.53 m3/day) then the Applicant/Owner will be required to provide payment for additional capacity in accordance with the Master Rates Bylaw C-7551-2018, as amended.
- 8) That prior to issuance of this permit, the Applicant/Owner shall submit a detailed site wastewater servicing design, to the satisfaction of the County, that will tie into the High Plains Industrial Park wastewater system, in accordance with County Servicing Standards.
- 9) That prior to issuance of this permit, the Applicant/Owner shall submit a design drawing showing the location of sanitary sewer service connection and test manhole on the site for review, in accordance with County Servicing Standards.
 - i) Note, the test manhole shall be located in an area easily accessible for the purposes of sampling and inspections. Please ensure that there is no conflict with shallow utilities and the manhole should not be located within any parking area.
- 10) That prior to issuance of this permit, the Applicant/Owner shall submit a detailed site water servicing design, including adequate fire protection, for the proposed development in accordance with County Servicing Standards, County Bylaws as amended, that will tie into the High Plains Industrial Park potable water system.
 - i) The design shall address the need for a pressure reducing valve and backflow preventer and if required, shall be installed and an inspection report for the back flow preventer shall be sent to the County's Utility Operations.



- 11) That prior to issuance of this permit, the Applicant/Owner shall be required to pay the County for the supply and installation of a water meter and remote transmitter unit. The water meter shall be sized based on calculations to be provided by the Applicant/Owner.

Stormwater Management

- 12) That prior to issuance of this permit, the Applicant/Owner shall submit a site-specific stormwater implementation plan (SSIP) for the subject lands in accordance to the High Plains Stormwater Management Plan and provide for any necessary easements and right-of-ways for drainage. The plan shall include but not be limited to details regarding any on-site retention, stormwater flow rates offsite into storm sewers/swales and storage volumes. The set of drawings shall also include proposed finished surface/grading plan (corner lot grades) and the plan shall address the need for an oil/grit separator.
- 13) That prior to issuance of this permit, the Applicant/Owner shall submit a sediment and erosion control plan and report in accordance with County Servicing Standards.

Note: This site will be greater than 2ha, a full report is required.

- 14) That prior to issuance of this permit, the Applicant/Owner shall submit a detailed site grading plan, in accordance with County Servicing Standards.

Prior to Occupancy:

Landscaping

- 15) That all landscaping and final site surfaces shall be in place prior to occupancy of the site.
 - i) That should permission for occupancy of the site and/or buildings be requested during the months of October through May inclusive, occupancy shall be allowed without landscaping and final site surface completion provided that an Irrevocable Letter of Credit in the amount of 150.00% of the total cost of completing all the landscaping and final site surfaces required, shall be placed with Rocky View County to guarantee the works shall be completed by the 30th day of June immediately thereafter.

Servicing

- 16) That prior to occupancy, the Applicant/Owner shall contact County Utility Operations for an inspection of the water meter, sanitary sewer service connection, and the sanitary test manhole. Connection to the County's water and wastewater services shall be in accordance with the Water and Wastewater Utilities Bylaw C-7662-2017 as amended, which includes a requirement for an Oil/Grit interceptor for the wash bay and a sanitary sewer sampling manhole.
- 17) That prior to occupancy and prior to connecting to the offsite waste water main, the Applicant/Owner shall enter into a Customer Service Agreement for water & wastewater service to the subject lands. The agreement will reflect the total capacity allocation required to accommodate the proposed development. If additional capacity is required, the additional capacity must be purchased prior to occupancy.
- 18) That prior to occupancy, the Applicant/Owner shall submit as-built drawings certified by a professional engineer licensed to practice in the Province of Alberta to the County's satisfaction. The as-built drawings shall include verification of as-built water infrastructure, verification of as-built sanitary infrastructure; and verification of as-built stormwater pond volumes, liner verification, inverts and any other information that is relevant to Stormwater Management Plan.
 - i) Following receiving the as-built drawings from the consulting engineer, the County shall complete an inspection of the site to verify stormwater infrastructure has been completed as per the stamped "examined drawings".

Permanent:

- 19) That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the principal commercial use located on the subject site, to facilitate accurate emergency response.
- 20) That if the facility changes commercial usage, the Applicant/Owner shall submit to the County a revised description of process and subsequent water and wastewater requirements.
- 21) That this facility shall be subject to water usage/wastewater monitoring by Utility Operations, in order to ensure compliance with Bylaw C-5083-99 and C-7273-2103, as amended.
- 22) That connections to existing water mains and sanitary mains is not permitted without the authorization of Rocky View County's Utility Operations.
- 23) That no potable water will be used for irrigation purposes, outside hose bibs are not permitted.
- 24) That the lot shall obtain potable water from the East Balzac Water Distribution system.
- 25) That should the test manhole be located within private property, an access easement shall be required to be registered on title, for both properties, for monitoring and testing purposes.
- 26) That if any grading activities are to occur on site and require the import or export of fill, the Applicant/Owner shall contact Rocky View County Road Operations with haul details to determine if a Road Use Agreement is required for use of the County road system for hauling of fill material onto the property.
- 27) That prior to the installation of any approaches, the Applicant/Owner shall submit a Road Approach Application through the County's Road Operations department.
- 28) That during construction, the dust control shall be maintained on the site and that the Applicant/Owner shall take whatever means necessary to keep visible dust from blowing onto adjacent lands.
- 29) That during construction, any fill being added or removed from the site shall be hauled off in a covered trailer/truck that will prevent blowing of dust/small rocks onto the road or issues with other vehicles on the road.
- 30) That the entire site shall be maintained in a neat and orderly manner at all times, and all waste material shall be deposited and confined in an appropriate enclosure. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways.
- 31) That any future tenants or signage will require separate Development Permit approval. All signage shall be in accordance with Section 35 of the Land Use Bylaw.
- 32) That the garbage containers shall be screened from view from all adjacent properties and public thoroughfares. The garbage and waste shall be stored in weatherproof and animal proof containers and be in a location easily accessible to containerized garbage pickup.
- 33) That a minimum of thirty-one (31) parking stalls and one (1) loading bay shall be maintained on site at all times in accordance with the approved Parking Plan. There shall be no parking on the adjacent public road network.
- 34) That all landscaping shall be in accordance with the approved Landscape Plan.
- 35) That no outdoor display areas, storage areas, parking or marshalling yards shall be allowed within landscaped yards.
- 36) That the quality and extent of the landscaping shall be maintained over the life of the development and any deceased vegetation shall be replaced within 30 days or before June 30th of the next growing season. That no potable water shall be used for landscaping or irrigation



purposes. Water for irrigation and landscaping shall only be supplied by the re-use of stormwater.

- 37) That water conservation strategies shall be implemented and maintained at all times.
- 38) That all on site lighting shall be "dark sky", and all private lighting including site security lighting and parking area lighting, shall be designed to conserve energy, reduce glare, and reduce up light. All developments shall demonstrate a lighting design that reduces the extent of spill-over glare and eliminates glare as viewed from nearby residential properties.
- 39) That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance or Occupancy condition shall be implemented and adhered to in perpetuity including the .required SSIP.

Advisory:

- 40) The Applicant/Owner shall be responsible for all required payments of 3rd party reviews and/or inspections as per the Master Rates Bylaw.

Note: For any 3rd party review work completed prior to Issuance of the Development Permit, the invoices shall be paid prior to the Development Permit being issued. For any work completed after Permit issuance, the invoices shall be paid as per the required deadline.

- 41) That the subject development shall conform to the County's Noise Bylaw C-5773-2003 in perpetuity.
- 42) That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act [Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].
- 43) That a Building Permit and applicable sub-trade permits shall be obtained prior to any construction taking place using the Commercial Checklist requirements and shall include a 3.2.2. Building Code Classification

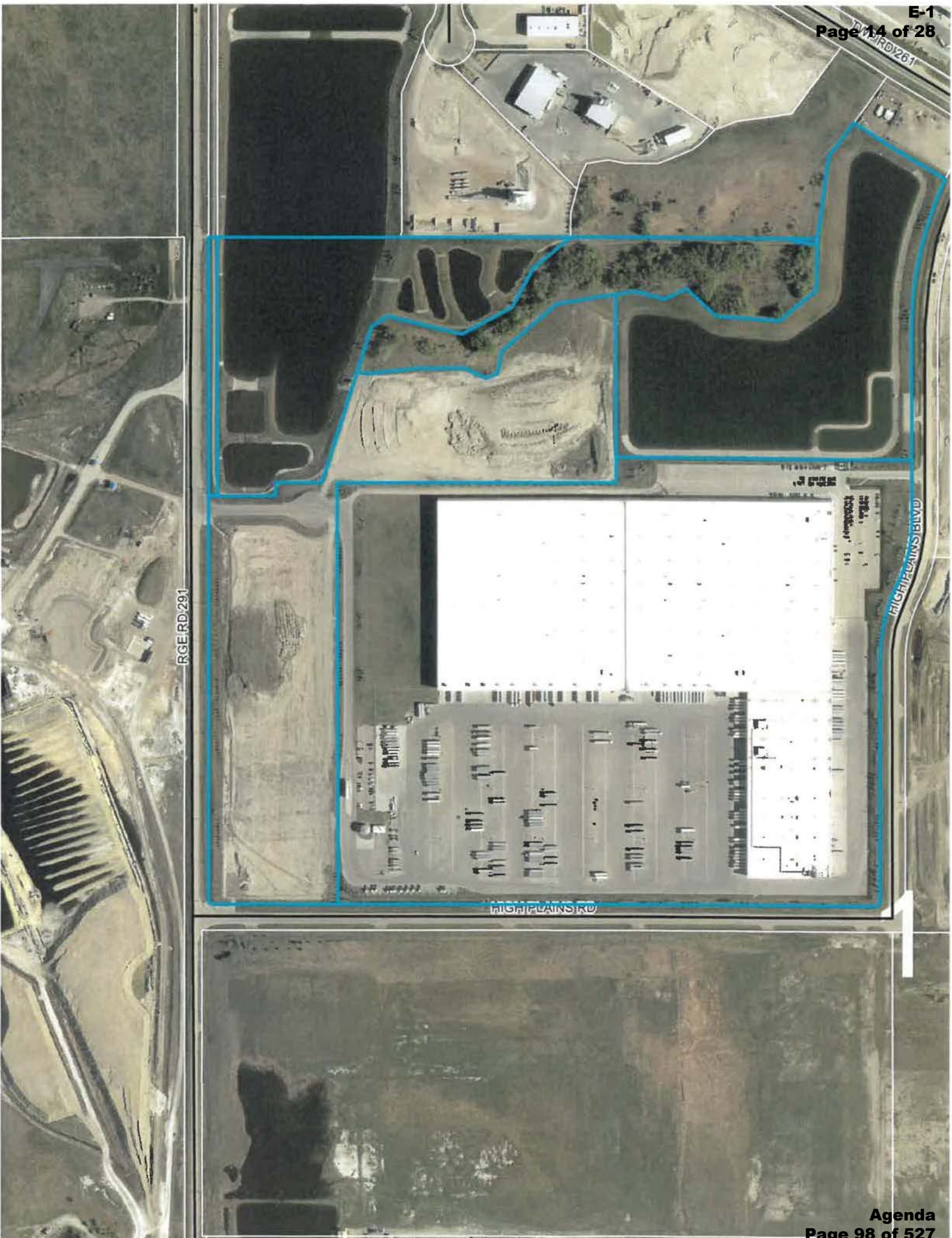
Note: That the building shall conform to the National Energy Code 2017, with documentation/design provided at the Building Permit stage.

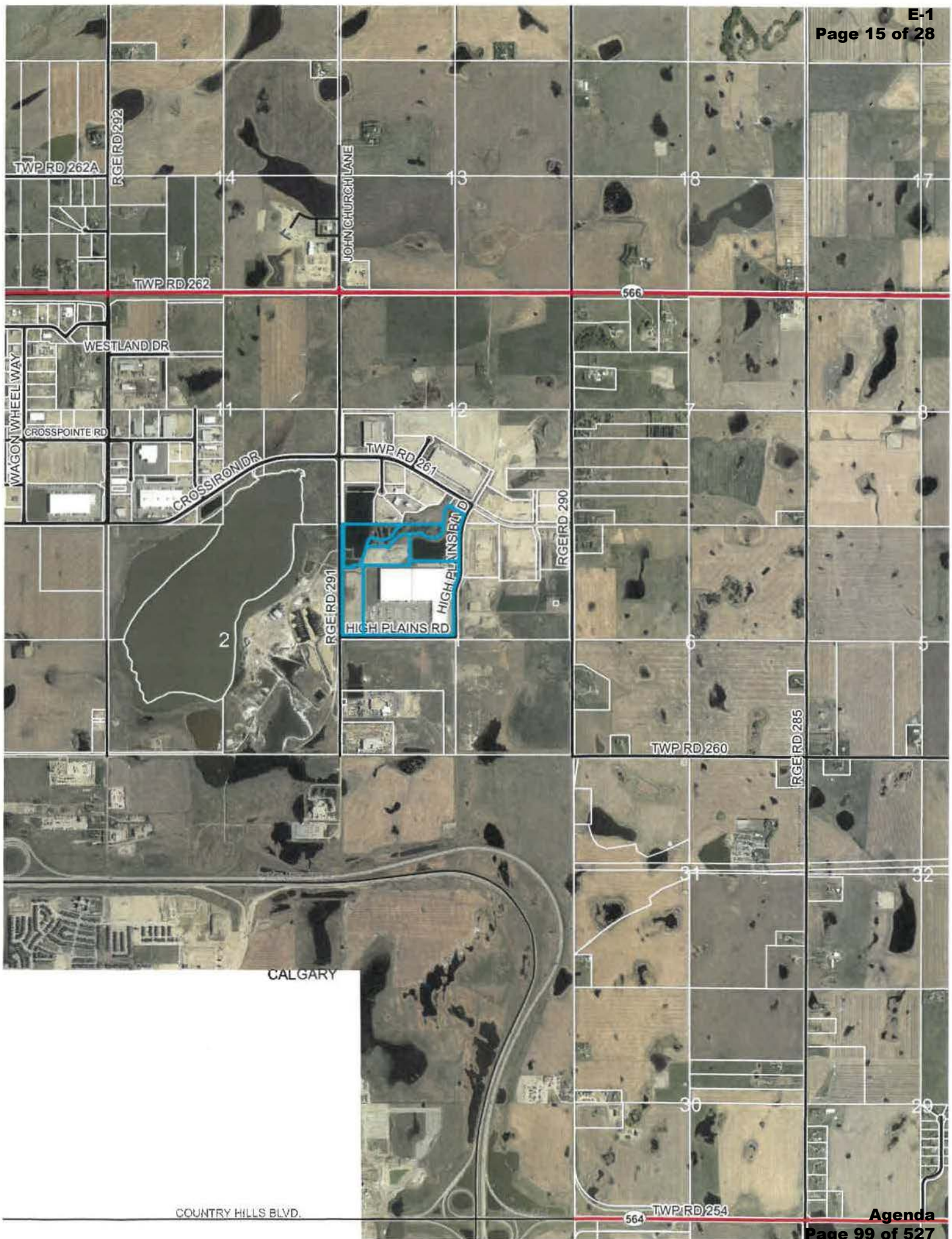
- 44) That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 45) That if the development authorized by the Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
- 46) That if this Development Permit is not issued by **October 31, 2020** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.







20194585

APPLICATION FOR COMMERCIAL/OFFICE/INDUSTRIAL DEVELOPMENT PERMITS

FOR OFFICE USE ONLY E-1

Page 16 of 28

Fee Submitted \$2,150.00	File Number 06401017
Date of Receipt 12/19/2019	Receipt # 2019023120

Name of Applicant Derrick Bentley Email [REDACTED]
Mailing Address [REDACTED] Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]
For Agents please supply Business/Agency/ Organization Name Scott Builders Inc
Registered Owner (if not applicant) 1405275 Alberta Ltd
Mailing Address #18, 11410 27 Street SE Calgary, Alberta
Postal Code T2Z 3R6
Telephone (B) 403-723-9107 (H) [REDACTED] Fax [REDACTED]

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the NW ¼ Section 1 Township 26 Range 29 West of 4th Meridian
b) Being all / parts of Lot [REDACTED] Block [REDACTED] Registered Plan Number [REDACTED]
c) Municipal Address N/A
d) Existing Land Use Designation 1-1A Parcel Size 30.5 Division [REDACTED]

2. APPLICATION FOR

NEW COMMERCIAL TRUCKING FACILITY

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property (s)? Yes [REDACTED] No X
b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes X No [REDACTED]
(Sour Gas facility means well, pipeline or plant)
c) Is there an abandoned oil or gas well or pipeline on the property? Yes [REDACTED] No X
d) Does the site have direct access to a developed Municipal Road? YES
e) Has the Design Guidelines checklist been completed? Yes X No [REDACTED]
f) Has supplementary information been provided? (photos, sketches written descriptions etc.) Yes X No [REDACTED]
g) Details of additional information [REDACTED]

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I Derrick Bentley hereby certify that [REDACTED] I am the registered owner
(Full Name in Block Capitals)

X I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

Affix Corporate Seal
here if owner is listed
as a named or
numbered company

Applicant's Signature [Signature] Owner's Signature SEE LETTER OF AUTHORIZATION

Date 12/19/2019

PLEASE SEE REVERSE

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, **Derrick Bentley**, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.



Signature

Date

FOR OFFICE USE ONLY

Application: _____

General Location: _____

History – Caravan Group of Companies was started in 1997 by three owners, John Iwaniura, Bob Workun and Steve Merena. Together, they formed one of Canada's premiere, privately owned, cross border transportation carriers. From Truckload and LTL to logistics and warehousing, we are your Dependable Transportation Services Since 1997.

Our team of transportation professionals works with you to ensure seamless freight movements, on time, every time. Our dedication to you is first and foremost. We deliver leading service for both your domestic and cross border freight. Our goal is to provide your cargo a level of service that is unparalleled in reliability and dependability.

The benefits of shipping with Caravan:

- ✔ Full Truckload (FTL)
- ✔ Less than truckload (LTL)
- ✔ Temperature Controlled
- ✔ Just in time (JIT)
- ✔ Warehousing
- ✔ Logistics design & planning
- ✔ Computerized dispatch
- ✔ Qualcomm Satellite equipped fleet
- ✔ Dedicated Fleet Operations
- ✔ Cross-docking
- ✔ 24/7 Availability
- ✔ North America wide
- ✔ Complete EDI capabilities

Caravan is cross border transportation carrier which will employ 10 employees at this facility, 5 people in the office and 5 people in the shop. The facility will be 24 hour with approximately 150 trucks coming and going each day. The yard will provide parking for 52 tractors and 164 trailers. Minor repairs to trucks and trailers will occur on the premises but any major repairs will happen offsite. Washing of trucks is not anticipated at this time but may in the future.



High Plains Lot Owners Association

December 12th, 2019

Scott Builders Inc.
1224 – 34 Avenue NE
Calgary, Alberta
T2E 6L9

ATTENTION: Derrick Bentley, Business Development Manager

Dear Derrick,

RE: Caravan Development Permit Application at High Plains Industrial Park

Thank you for submitting for Architectural Design Guidelines Review. The High Plains Lot Owners Association (HPLOA), by way of the High Plains Industrial Park Conceptual Scheme, must be circulated on all Development Permits (DPs) effecting the quarter sections within the industrial park.

HPLOA has an obligation to the lot owners of High Plains Industrial Park to uphold the architectural standard that has been set from the park's inception. In addition, HPLOA also has an obligation to ensure all DPs are thoroughly reviewed for off-site impacts and global park concerns.

We have reviewed the submission for the proposed building and site layout in compliance with the High Plains Industrial Park Phase 1 Design Guidelines. Your submission has been approved contingent on your commitment to the following:

- Any damage caused to the existing landscaping, trees or vegetation due to construction and grading into the easement must be repaired at the expense of the Lot Owner.
- Any damage or adjustments caused to the existing irrigation system must be repaired and completed at the expense of the Lot Owner. These repairs will maintain the integrity of the system throughout the park. All repairs must be approved and completed by HIG Irrigation Projects to ensure compliance.

Should you have any questions regarding this letter please contact Evan Perry at 403-723-9107.

Sincerely,

Evan Perry

18 – 11410 27th Street SE Calgary, AB T2Z 3R6

TO: IBI GROUP

FROM: ALTA Production

03:04MST

Page 2/14



CERTIFIED COPY OF
CERTIFICATE OF TITLE

LINC SHORT LEGAL
0038 552 460 2010202;1;28

S

TITLE NUMBER: 201 018 451
SUBDIVISION PLAN
DATE: 27/01/2020

AT THE TIME OF THIS CERTIFICATION

1405275 ALBERTA LTD.
OF 18,11410 27 STREET SE
CALGARY
ALBERTA T2Z 3R6

IS THE OWNER OF AN ESTATE IN FEE SIMPLE
OF AND IN

PLAN 2010202
BLOCK 1
LOT 28
EXCEPTING THEREOUT ALL MINES AND MINERALS

SUBJECT TO THE ENCUMBRANCES, LIENS AND INTERESTS NOTIFIED BY MEMORANDUM UNDER-
WRITTEN OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
111 293 347	10/11/2011	UTILITY RIGHT OF WAY GRANTEE - FORTISALBERTA INC. GRANTEE - TELUS COMMUNICATIONS INC GRANTEE - ROCKY VIEW COUNTY. GRANTEE - HIGH PLAINS LOT OWNERS ASSOCIATION. GRANTEE - SHAW CABLESYSTEMS LIMITED. AS TO PORTION OR PLAN:1113258
111 293 354	10/11/2011	EASEMENT AS TO PORTION OR PLAN:1113261 OVER AND FOR BENEFIT OF - SEE INSTRUMENT
111 294 152	14/11/2011	RESTRICTIVE COVENANT
111 294 153	14/11/2011	ENCUMBRANCE ENCUMBRANCEE - HIGH PLAINS LOT OWNERS ASSOCIATION. 209,10836 24 STREET S.E CALGARY ALBERTA
121 109 000	08/05/2012	MORTGAGE MORTGAGEE - CANADIAN WESTERN BANK. 606-4TH STREET SW CALGARY ALBERTA T2P2V1 ORIGINAL PRINCIPAL AMOUNT: \$5,270,000

(CONTINUED)

TO: IBI GROUP

FROM: ALTA Production

03:04MST

Page 3/14

PAGE 2

CERTIFIED COPY OF
CERTIFICATE OF TITLE

SHORT LEGAL 2010202;1;28
NAME 1405275 ALBERTA LTD.
NUMBER 201 018 451

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
121 109 001	08/05/2012	CAVEAT RE : ASSIGNMENT OF RENTS AND LEASES CAVEATOR - CANADIAN WESTERN BANK. 606-4TH STREET SW CALGARY ALBERTA T2P1T1 AGENT - GARY J COCHRANE
181 001 638	04/01/2018	CAVEAT RE : RESTRICTIVE COVENANT
201 011 517	16/01/2020	UTILITY RIGHT OF WAY GRANTEE - ATCO GAS AND PIPELINES LTD. AS TO PORTION OR PLAN:PORTION
201 018 491	27/01/2020	UTILITY RIGHT OF WAY GRANTEE - HIGH PLAINS LOT OWNERS ASSOCIATION. GRANTEE - 1405275 ALBERTA LTD. AS TO PORTION OR PLAN:2010205

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF
THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 27 DAY OF JANUARY ,2020



SUPPLEMENTARY INFORMATION

MUNICIPALITY: ROCKY VIEW COUNTY
REFERENCE NUMBER:
111 294 391
AREA:
3.034 HECTARES (7.5 ACRES) MORE OR LESS
ATS REFERENCE:
4;29;26;1;NW
TOTAL INSTRUMENTS: 009


December 5th, 2019

ROCKY VIEW COUNTY
262075 Rocky View Point
Rocky View County, Alberta
T4A 0X2

LETTER OF AUTHORIZATION

1405275 Alberta Ltd. hereby authorizes **Scott Builders Inc.** to submit for a Development Permit Application within the subject Property: legally described as: NW; Section 1, Township 26, Range 29, West of the 4th Meridian.

Yours truly,


1405275 Alberta Ltd.
Name: *Adrian Munro*
Title: *President*

SEAL



Owner

CARAVAN GROUP

260190 High Plains Road
Rocky View County, AB

DRAWING INDEX

ARCHITECTURAL

STRUCTURAL

MECHANICAL

ELECTRICAL

CIVIL

LANDSCAPE

- DP 1.0 SITE PLAN AND STATISTICS
- DP 1.1 SITE DETAILS
- DP 1.2 LANDSCAPE PLAN
- DP 2.1 FLOOR PLANS
- DP 3.0 ELEVATIONS

ARCHITECT

STRUCTURAL CONSULTANT

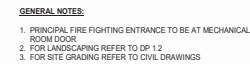
MECHANICAL CONSULTANT

ELECTRICAL CONSULTANT

TENDER SET NUMBER

KUMLIN | SULLIVAN
ARCHITECTURE STUDIO LTD.
310, 5819 2ND STREET SW, CALGARY, ALBERTA T2H 0H9
PHONE: (403) 283-8361 FAX: (403) 252-7877

191413 CARAVAN GROUP



DRAWN BY: Author
DATE: Issue Date
SUBMIT DATE: As indicated
SCALE: 171176
FILE:

Agenda
08 of 527



Lead # **DP-1.1**

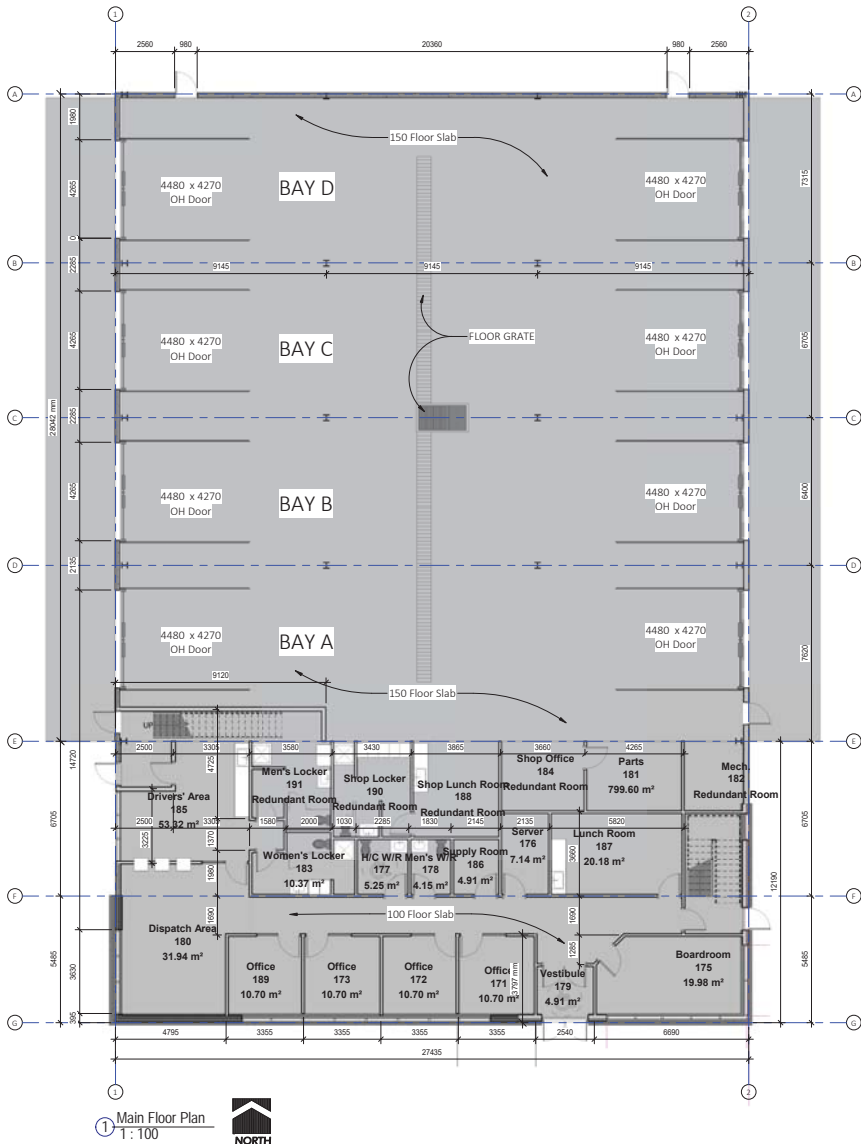


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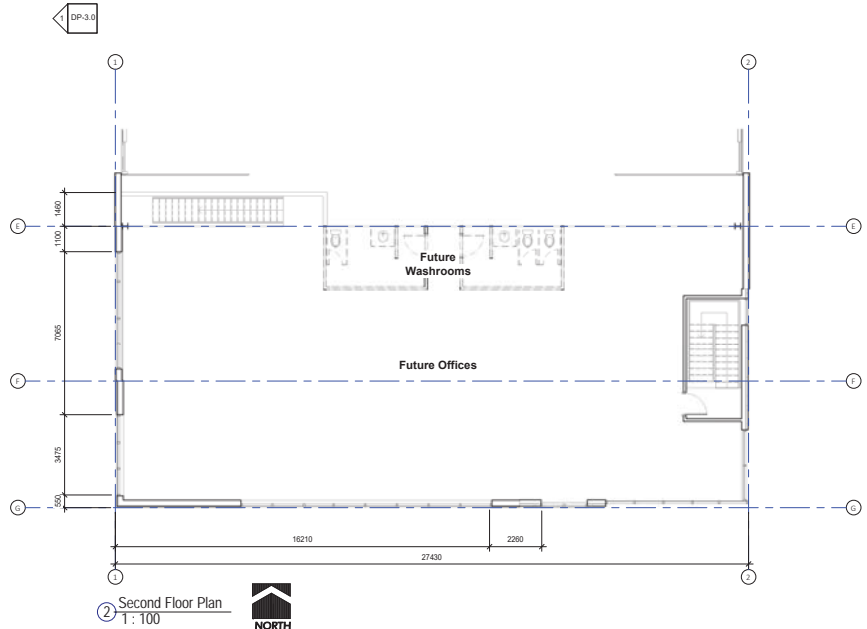
Page 110 of 527

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1 Main Floor Plan
1 : 100



2 Second Floor Plan
1 : 100



REVISIONS

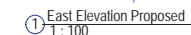
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CARAVAN GROUP

KUMLIN SULLIVAN
ARCHITECTURE STUDIO LTD.
30-5810 - 7 STREET SW - CALGARY, ALBERTA T2H 0K3
PHONE: (403) 253-6361 FAX: (403) 252-7677

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191413 DP-2.1



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PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: March 9, 2020

DIVISION: 07

APPLICATION: PRDP20194292

SUBJECT: Development Item: Commercial Principal Building

APPLICATION: construction of a principal building, including an office and warehouse/shop, for a construction company and outside storage.

GENERAL LOCATION: located approximately 1.21 km (3.4 mile) south of Hwy. 566 and 0.81 km (1/2) west of Rge. Rd. 292

LAND USE DESIGNATION: Direct Control District 99, Cell C

ADMINISTRATION RECOMMENDATION: Administration recommends APPROVAL in accordance with Option #1

OPTIONS:

Option #1: THAT Development Permit Application PRDP20194292 be approved with the conditions noted within the report

Option #2: THAT Development Permit Application PRDP20194292 be refused as per the reasons noted within the report

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Jacqueline Targett – Planning & Development Services

DEVELOPMENT PERMIT REPORT

Application Date: November 22, 2019	File: 06410051
Application: PRDP20194292	Applicant/Owner: Jonathan Mosher
Legal Description: Lot 7, Block 3, Plan 1611832, SE-10-26-29-W04M	General Location: located approximately 1.21 km (3.4 mile) south of Hwy. 566 and 0.81 km (1/2) west of Rge. Rd. 292
Land Use Designation: DC-99, Cell C	Gross Area: 1.46 hectares (3.61 acres)
File Manager: Jacqueline Targett	Division: 07

PROPOSAL:

The proposal is for the General Industry, Type II, construction of a principal building, including an office and warehouse/shop, for a construction company and outside storage.

The subject site is undeveloped and includes double frontage along Crosspointe Road and Wagon Wheel Way. The application is proposing three new approaches, two off Crosspointe Road and one off Wagon Wheel Way.

The application falls under the Direct Control District 99 (DC 99), in Development Cell C, and has been evaluated under the DC 99 regulations and the Land Use Bylaw C-4841-97. General Industry, Type II is a listed use under DC 99; as per Section 1.4.0, the Development Officer shall consider and decide on applications for development permits for listed uses in each development cell.

The building will be occupied by a construction company specializing in underground construction. The company operates Monday to Friday, 9:00 a.m. to 5:00 p.m.

Setbacks and Building Dimensions

Site area:

- 3.61 acres (14,609.15 sq. m) [157,251.58 sq. ft.]

Building size:

- Building Footprint: 1,580.59 sq. m (17,013.33 sq. ft.).
 - Total Office area: 484.40 sq. m (5,214.03 sq. ft.)
 - Total Warehouse area: 1,114.80 sq. m (11,999.60 sq. ft.)

Section 3.12.1 (DC-99) – Maximum building height (principal building):

- **Required:** 20.00 m (65.62 ft.)
- **Proposed:** 9.55 m (31.33 ft.)

Section 3.13.0 (DC-99) – Minimum setback for all buildings:

- **Required:** 10.00 m (32.91 ft.)
 - Front: 23.41 m (76.83 ft.)
 - Side: 14.93 m (48.99 ft.) / Well away
 - Rear: Well away

Section 3.14.0 (DC-99) – Site coverage:

- **Required:** 40.00%
- **Proposed:** 25.28% {1,580.59 sq. m / 14,609.15 sq. m = 10.81%}

Building Design & Site Layout

The Ham East Conceptual Scheme (CS) Special Architectural Guidelines under Section 3.8, for properties abutting Range Road 292.

- All buildings shall be of high quality industrial and commercial building standards, utilizing materials to create a variety of façades.*
 - The proposed building is including highly durable materials including two stucco colours, two different cladding colours, manufactured stone, concrete panels and metal roofing. The exterior colours have not been identified.
 - There is contrast in material placement and mixture of materials
- Each development shall incorporate highly durable materials into the façade. This is to aid in maintaining a professional look and well cared for building façades.*
 - See above;
- Within any single site, materials must be consistent on all façades, with emphasis on design and detail on façades visible to the street and adjacent buildings.*
 - The proposed materials are utilized through the exterior building façade;
- The primary building on each site will have a clearly defined main entrance.*
 - The primary entrance of the building is on the north elevation and is clearly identified
- Roof top treatments are required to provide screening that encloses mechanical and/or electrical equipment, and may make use of roof top gardens and/or provide a pitched roof.*
 - The subject building is not proposing any roof top or mechanical units.

Landscaping

Landscaping guidelines are detailed within Section 3.9 of the Ham CS, Section 3.8.0 of the DC 99, Section 4.4.3 of the Balzac East Area Structure Plan (ASP) and Section 26 of the Land Use Bylaw (LUB).

Section 4.4.3 (d) (iii) (ASP)

- **Required:** 10% landscaping = 1,460.92 sq. m [14,609.16 sq. m x 10%]
- **Proposed:** Not identified;

Section 4.4.3 (d) (x) (BASP):

The required number of trees is one tree/shrub per 45.00 sq. m (484.38 sq. ft.).

- **Required:** 32 trees/shrub
 - 3.61 acres * 43,560 sq. ft. / acre
 - = [(15,725.21 sq. ft. / 484.38 sq. ft.) * 1.00 trees/shrubs] = 32.4 trees/shrub
- **Proposed:** 42 trees

Section 4.4.3 (d) (xii) (BEASP):

Of the required number of trees/shrubs, 50.00% of the mixture shall be trees.

- **Required:** 16 trees minimum
 - $32 \text{ trees/shrubs} * 0.50 = 16 \text{ trees}$
- **Proposed:** 42 trees

Section 4.4.3 (d) (xiii) (BESP):

Coniferous trees shall comprise a minimum portion of one-third of all trees planted.

- **Required:** 11 coniferous trees
 - $32 \text{ trees} * (0.33) = 10.56 [11] \text{ coniferous trees}$
- **Proposed:** 18

Section 4.4.3 (d) (xiv) (BESP):

The minimum size for deciduous trees shall be 50 mm (2.00 inches).

- **Required:** 50 mm (2.00 inches)
- **Proposed:** 50 mm (2.00 inches) + 85mm (3.34 inches)

Section 4.4.3 (d) (xv) (BEASP):

The minimum size for small coniferous trees shall be a height of 2.00 m (6.50 ft.).

- **Required:** 2.00 m (6.50 ft.)
- **Proposed:** 2.00 m (6.50 ft.) + 3.00 m (9.84 m)

Section 4.4.3 (d) (xvi) (BEASP):

Shrubs shall be a minimum height or spread of 600.00 mm (23.62 inches) at the time of planting.

- **Required:** 600.00 mm (23.62 inches) height or spread
- **Proposed:** 600.00 mm (23.62 inches) height and spread

Section 4.4.3 (d) (viii) (BEASP):

Landscaped areas should be provided within front yard setback areas, side yards between the front and rear of the principal building when they are not proposed for vehicular movement and located within a strip adjacent to the front of the principal building. Landscaping required for screening purposes should utilize mature or large-growth varieties of trees, plants, and/or shrubs.

Policy 3.9.4 (CS)

A Minimum 3.00 m (9.84 ft) landscaped setback shall be provided between the front of any primary building and adjoining parking lot area. No outdoor display, storage, operation yards, or parking may be located in this area. This area shall consist of low scale foundation and accent planting.

- A 6.00 m (19.68 ft.) landscaped strip is located along the north and east property lines, within the setback areas. Along the strips, trees/shrubs have been proposed. The landscaped strips will be seeded with native grasses.
- The front-west and rear of the principal building is proposed for the large truck vehicular movement and do not require landscaped areas. The front-east portion and east of the principal building is proposed for employee/visitor vehicular movement.

- There is hard landscaping located at the front of the building by concrete curbs + building apron;

Parking

Parking Stalls

Parking has been proposed along the northeast corner of the area being developed. The parking area is outlined with 6.00 inch curbs, includes a landscaped area of bark chips and shrubbery abutting the curb. Additional parking, with landscaping, has been proposed along the east property line.

Parking stalls have been evaluated using the *General Industrial + Office* requirements under Schedule 5 of the Land Use Bylaw, that being 1 stall per 100 sq. m (1,076.40 sq. ft.) [General Industrial] + 3.4 stalls per 100 sq. m (1,076.40 sq ft) [Office].

{1,114.80 sq. m * (1 stall / 100.00 sq. m) = 11.148}

{484.40 sq. m * (3.4 stall / 100.00 sq. m) = 16.469}

27.6176 stalls

- **Required:** 28 stalls, including 3 barrier free stalls
- **Proposed:** 69 stalls, including 2 barrier free stalls

Parking Stall Dimensions:

Stall Width:

- **Required:** 2.59 m (8.50 ft.)
- **Proposed:** 2.80 m (9.18 ft.)

Stall Length:

- **Required:** 5.48 m (17.98 ft.)
- **Proposed:** 5.50 m (18.04 ft.)

Isle Width:

- **Required:** 6.99 m (22.96 ft.)
- **Proposed (northeast corner):** 12.78 m (41.95 ft.);
- **Proposed (east):** 7.02 m (23.03 ft.)

Barrier Free Parking Stall Dimensions:

*In accordance with the Alberta Building Code:

- **Required:** 2.40 m (7.87 ft.)
- **Proposed:** >2.40 m (7.87 ft.) including mirror access isle

Loading Bays

Loading bays have been proposed along the south end and east side of the building.

Loading bays have been evaluated under the *Industrial* requirement under Schedule 6 of the Land Use Bylaw that being 1.00 loading space per 1,900 sq. m or fraction thereof. This building would require a total of one loading spaces {(1,580.59 sq. m * [1.00 loading space / 1,900 sq. m]) = 0.83 loading spaces}. The site, in its entirety, proposed 12 loading stalls.

As per Section 30.2 (g), loading spaces shall not be less than 4.00 m (13.12 ft.) in width. All loading spaces exceed the minimum requirement.

Outside Storage:

The subject property is not proposing Outside Storage of any product. All products will be stored within the warehouse area. The Outside Storage area will be utilizing for truck movements onsite. There may be some limited storage, located adjacent to the building, within the north-east portion of the outside storage area.

Lighting:

Policy 3.11.1 (CS)

All lighting in the Ham East Conceptual Scheme Plan Area shall conform to the lighting guidelines contained in the Ham East Conceptual Scheme.

Policy 3.11.2 (CS)

All lighting shall be subject to approval as part of a Development Permit, and shall be located in accordance with a comprehensive lighting package prepared for the lot and building.

- Site lighting or any wall mounted lighting has not been identified with the application.

Signage

Policy 3.12.1 (CS)

All signage in the Ham East Conceptual Scheme Plan Area shall conform to the signage guidelines contained in the Ham East Conceptual Scheme and the Municipal District of Rocky view Land Use bylaw as amended.

- Signage has not been proposed for the application;

Fencing

4.4.3 (h) (ASP)

Fencing In order to avoid the unnecessary use of fencing, which could lead to visually unattractive street design within the industrial areas, the use of fencing on any site should not be permitted, other than for required screening of outside storage, garbage or equipment or for security purposes, provided it is adjacent to the side or rear of buildings.

3.13 (CS)

Policy 3.13.1 All fencing in the Ham East Conceptual Scheme Plan Area shall conform to the fencing guidelines contained in the Ham East Conceptual Scheme.

- The application is proposing a 2.0 m (6.56 ft.) barbwire top, chainlink perimeter fence along the truck entrance points and outside storage area;
- There is no fencing proposed along the primary façade area and parking area;
- The fence will include gates at the truck entrance points;
- Landscaping will help lessen the impact of the security fencing;

STATUTORY PLANS:

The subject land falls within the ASP and CS as noted above. The relevant portions of both documents have been documented throughout the report.

INSPECTOR'S COMMENTS:

Inspection: January 22, 2020

- No activity @ time of inspection
- No signage
- No equipment or materials onsite
- No concerns

CIRCULATIONS:Building Services Review (January 6, 2020)

- Advisory Condition - Provide Hydrant to Siamese dimension, and Siamese connection to the principal entrance. Must conform to article 3.2.5.15.
- Advisory Condition – Provide Access Routes design as per article 3.2.5.6., including centerline turning radius and clear widths.
- Advisory Condition – 3 barrier- free parking stalls are required based on the 28 required parking spaces, must conform to Table 3.8.2.5.
- Advisory Condition - Buildings shall conform to the National Building Code 2019 AE and National Energy Code 2017, with documentation/design at Building Permit stage.

Development Compliance Officer Review

- No response was received at the time of this report;

Engineering Services Review (Jan 15, 2020)**General:**

- That prior to issuance, the applicant is required to pay the development application engineering review fee in accordance with the Master Rates Bylaw.
- The applicant will be responsible for all required payments of 3rd party reviews and/or inspections as per the Master Rates Bylaw.
- That prior to occupancy, the applicant shall contact Utility Operations for an inspection of the water meter, sanitary sewer service connection, and the sanitary test manhole.
- As a permanent condition, that if the facility changes commercial usage, the owner shall submit to the County a revised description of process and subsequent water and wastewater requirements.
- As a permanent condition, that this facility shall be subject to water usage/wastewater monitoring by Utility Operations, in order to ensure compliance with Bylaw C-7662-2017, as amended.

Geotechnical:

- That prior to issuance, a Geotechnical Investigation in accordance with the Rocky View County 2013 Servicing Standards is required to verify the site is suitable for the proposed buildings, site

works, and deep utilities. For any areas with greater than 1.2 m of fill a Deep Fill report is required.

Transportation:

- County records indicate the Transportation Offsite Levy has been previously paid for this parcel under subdivision file #2010-RV-197.
- That prior to issuance, the applicant shall provide a letter prepared by a transportation engineer to address if the analysis and traffic volumes in the Balzac Global TIA report (December 2010, as amended) for these lands meet the criteria for the development. If updates to reflect revisions are required to the Balzac Global TIA report, this will be at the applicant's expense. The letter will also need to address if the proposed development is in accordance with the "Crosspointe Industrial Park Traffic Impact Assessment", if not, a TIA will be required for the site to address the potential for off-site impacts.
 - If the recommendations of the Traffic Impact Assessment require off-site improvements, then a Development Agreement shall be entered into to implement those improvements at the expense of the developer.
- That prior to issuance, the applicant shall submit an access management plan in accordance with the County's 2013 Servicing Standards and Access Management Procedure 410.
- That prior to issuance, if site final grading activities require the import or export of soil, the applicant shall enter into a Road Use Agreement with the County regarding use of the County's road system to haul soil off site or onto the site.

Sanitary/Waste Water:

- County records indicated the subject parcel has been allocated a total sanitary sewer servicing capacity of 2.07m³/day ADD at the time of subdivision.
- That prior to issuance, the applicant shall confirm and demonstrate calculations for water and waste water usage for the development on the parcel to support the below noted service agreement. If expected demands exceed the 2.07m³/day already purchased for this lot, the owner will be required to purchase additional capacity in accordance with Bylaw C-7857-2019, as amended.
- That prior to occupancy the owner is to enter into a Customer Service Agreement for wastewater use on the subject lands.
 - Should the applicant's use require additional servicing capacity then the applicant will be required to provide payment for that additional capacity in accordance with the Master Rates Bylaw C-7857-2019, as amended.
- That prior to issuance, the applicant shall submit a detailed site wastewater servicing design which will tie into the County's East Balzac wastewater collection system.
- That prior to issuance, the applicant shall submit a design drawing showing the location of sanitary sewer service connection and test manhole on the site for review and approval by Utility Operations. Note, the test manhole shall be located in an area easily accessible for the purposes of sampling and inspections. Please ensure that there is no conflict with shallow utilities and the manhole should not be located within any parking area. As an advisory note, should the test manhole be located within private property an access easement will be required for monitoring and testing purposes.

- As a permanent condition, connections to existing sanitary mains is not permitted without the authorization of Rocky View County's Utility Operations.
- Prior to occupancy, Rocky View County requires as-built drawings certified by a professional engineer licensed to practice in the Province of Alberta. The as-built drawings shall include verification of as-built sanitary infrastructure.

Water Supply and Waterworks:

- County records indicate the subject parcel has been allocated a potable water servicing capacity of 2.07m³/day ADD at the time of subdivision.
- That prior to issuance, the applicant shall confirm and demonstrate calculations for water and waste water usage for the development on the parcel to support the below noted service agreement. If expected demands exceed the 2.07m³/day already purchased for these lots, the owner will be required to purchase additional capacity in accordance with Bylaw C-7857-2019, as amended.
- That prior to occupancy the owner is to enter into a Customer Service Agreement for potable water use on the subject lands.
 - Should the applicant's use require additional servicing capacity then the applicant will be required to provide payment for that additional capacity in accordance with the Master Rates Bylaw C-7857-2019, as amended.
- That prior to issuance the applicant shall submit a detailed site water servicing design, including adequate fire protection, for the proposed development in accordance with the County Servicing Standards, which will tie into the East Balzac potable water system. The design shall address the need for a pressure reducing valve and backflow preventer and if required, shall be installed and an inspection report for the back flow preventer shall be sent to the County's Utility Operations.
- As a permanent condition, connections to existing water mains is not permitted without the authorization of Rocky View County's Utility Operations.
- Prior to occupancy, Rocky View County requires as-built drawings certified by a professional engineer licensed to practice in the Province of Alberta. The as-built drawings shall include verification of as-built water infrastructure.
- As an advisory condition, no potable water will be used for irrigation purposes; outside hose bibs are not permitted.
- That prior to issuance, the applicant shall be required to pay the County for the supply and installation of a water meter and remote transmitter unit. The water meter shall be sized based on calculations to be provided by the applicant.
- As a permanent condition, the lot shall obtain potable water from the East Balzac Water Distribution system.

Storm Water Management:

- Prior to issuance, the applicant shall submit a site-specific stormwater implementation plan for the subject lands in accordance with the Crosspointe Industrial Park Stormwater Management Plan and provide for any necessary easements and right-of-ways for drainage. The plan must include but not be limited to details regarding any on-site retention, stormwater flow rates offsite into storm sewers/swales and storage volumes. The set of drawings shall also include proposed finished surface/grading plan (corner lot grades).



- As a permanent condition, the Development Permit be structured such that it is an ongoing requirement (in perpetuity) of the Development Permit that the Owner operate the site in accordance with the approved SWMP.
- The applicant is responsible for any related EPEA (and if necessary, Water Act) approvals for the on-site stormwater infrastructure.
- The plan shall address the need for an oil/grit separator.
- That the owner/applicant shall submit sediment and erosion control plans in accordance with County Servicing Standards. As this site is smaller than 2ha a full report is not required.
- That prior to issuance, the applicant shall submit a site grading plan.
- Prior to occupancy, Rocky View County requires as-built drawings certified by a professional engineer licensed to practice in the Province of Alberta. The as-built drawings shall include verification of as-built pond volumes, liner verification, inverts and any other information that is relevant to SWMP. Following receiving the as-built drawings from the consulting engineer, Rocky View County shall complete an inspection of the site to verify stormwater infrastructure has been completed as per the stamped “examined drawings”.

Fire Services Review

- No response was received at the time of this report;

Transportation Services Review (February 5, 2020)

- Applicant to contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
- Site Grading is not to negatively impact existing surface drainage or direct additional surface drainage into adjacent County road allowance.
- Height and location of proposed sign are not to interfere with motorist sight lines along County roads.
- Any on site exterior lighting to be “dark sky” compliant.
- Applicant to be reminded staff and clientele parking is restricted to onsite only.
- Applicant to be reminded no business signage to be installed within the County Road Allowance
- Applicant to be reminded to adhere to the conditions identified within the County Noise Bylaw.
- Applicant to confirm NE Access meets standards for offset from intersection

Utility Services Review (February 10, 2020)

- Confirmation is required to ensure that the proposed development can be accommodated with the allocation of water and wastewater servicing capacity identified in the Cost Contribution and Capacity Allocation Agreement (CCCAA) in place for the subject parcel. If insufficient allocation is present in the CCCAA agreement, then additional capacity will have to be purchased.
- A Customer Service Agreement for Water and Wastewater Servicing between the owner and the County is required to be entered into prior to occupancy.

- Connection to County water and wastewater servicing to the proposed development in accordance with the County's Water and Wastewater Utilities Bylaw C-7662-2017 as amended, including the provision for:
 - A sanitary sewer test manhole.
 - A Grease/Grit Interceptor for the wash bay.
 - A Grease/Grit Interceptor for the shop area drain.

OPTIONS:

Option 1: (this would allow the development to proceed)

APPROVAL, subject to the following conditions:

Description:

1. That General Industry, Type II, construction of a principal building, including an office and warehouse/shop, for a construction company, may take place on the subject site in general accordance with the application drawings as prepared by Mermac Construction Ltd., Project Number 19-186, dated November 22, 2019, submitted with the application [as amended] and includes:
 - i. Office/Shop Building, approximately 1,580.60 sq. m (17,013.00 sq. ft.) in footprint;

Prior to Issuance:*Developability:*

2. That prior to issuance of this permit, the Applicant/Owner shall submit lighting details in accordance with the Land Use Bylaw (LUB) Section 27 and Ham East Conceptual Scheme (CS) Policy 3.11.1 & 2, to the satisfaction of the County.
3. That prior to issuance of this permit, the Applicant/Owner shall submit a revised landscape drawing, identifying the total landscape area for the development in accordance with Section 4.4.3(d)(iii) of the Balzac Area Structure Plan (ASP).
4. That prior to issuance of this permit, the Applicant/Owner shall revised Elevation drawings, identifying the proposed exterior facade colours, to the satisfaction of the County.
5. That prior to issuance of this permit, the Applicant/Owner(s) shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.
6. That prior to issuance of this permit, the Applicant/Owner shall submit a revised Parking Plan identifying the minimum barrier free parking stalls (three [3]), for the subject site, in accordance with Section 30 of the County's Land Use Bylaw and the current Alberta Building Code, to the satisfaction of the County.

Technical:

7. That prior to issuance of this permit, the Applicant/Owner shall submit a Geotechnical Investigation in accordance with the County's Servicing Standards, in order to verify that the site is suitable for the proposed buildings/structures, site works, and deep utilities.

- i. For areas with greater than 1.2 m of fill (if any), a Deep Fill report is required.
8. That prior to issuance of this permit, the Applicant/Owner shall submit a letter prepared by a transportation engineer to address if the analysis and traffic volumes in the Balzac Global TIA report (December 2010, as amended) for these lands meet the criteria for the development. If updates to reflect revisions are required to the Balzac Global TIA report, this will be at the applicant's expense. The letter shall also need to address if the proposed development is in accordance with the "Crosspointe Industrial Park Traffic Impact Assessment", if not, a TIA will be required for the site to address the potential for off-site impacts.
 - i. That if the recommendations of the Traffic Impact Assessment require off-site improvements, then a Development Agreement shall be entered into to implement those improvements at the expense of the developer.
9. That prior to issuance of this permit, the Applicant/Owner shall submit an access management plan in accordance with the County's Servicing Standards and Access Management Procedure 410.
10. That prior to issuance of this permit, the Applicant/Owner shall confirm and demonstrate calculations for water and waste water usage for the development on the parcel to support the below noted service agreement.
 - i. If expected demands exceed the 2.07m³/day already purchased for this lot, the Owner will be required to purchase additional capacity in accordance with Bylaw C-7857-2019, as amended.
11. That prior to issuance of this permit, the Applicant/Owner shall submit a detailed site wastewater servicing design which will tie into the County's East Balzac wastewater collection system, to the satisfaction of the County.
12. That prior to issuance of this permit, the Applicant/Owner shall submit a design drawing showing the location of sanitary sewer service connection and test manhole on the site for review and approval by Utility Operations. *Note, the test manhole shall be located in an area easily accessible for the purposes of sampling and inspections. Please ensure that there is no conflict with shallow utilities and the manhole should not be located within any parking area. If the test manhole be located within private property an access easement will be required to be registered for monitoring and testing purposes.*
13. That prior to issuance of this permit, the Applicant/Owner shall submit a detailed site water servicing design, including adequate fire protection, for the proposed development in accordance with the County Servicing Standards, which will tie into the East Balzac potable water system. The design shall address the need for a pressure reducing valve and backflow preventer and if required, shall be installed and an inspection report for the back flow preventer shall be sent to the County's Utility Operations.
14. That prior to issuance of this permit, the Applicant/Owner shall submit payment to the County for the supply and installation of a water meter and remote transmitter unit. The water meter shall be sized based on calculations to be provided by the Applicant/Owner.
15. That prior to issuance of this permit, the Applicant/Owner shall submit a site-specific stormwater implementation plan for the subject lands in accordance with the Crosspointe Industrial Park Stormwater Management Plan and provide for any necessary easements and right-of-ways for drainage. The plan shall include but not be limited to details regarding any on-site retention, stormwater flow rates offsite into storm sewers/swales and storage volumes. The set of drawings shall also include proposed finished surface/grading plan (corner lot grades) and also address the need for an oil/grit separator.

16. That prior to issuance of this permit, the Applicant/Owner shall submit sediment and erosion control plans in accordance with County Servicing Standards. *Note, as this site is smaller than 2.0 ha, a full report is not required.*
17. That prior to issuance of this permit, the Applicant/Owner shall submit a site grading plan, in accordance with County Servicing Standards.

Prior to Occupancy:

18. That prior to site occupancy, all landscaping, parking and final site surfacing shall be completed in accordance with the approved plan and shall be in place prior to occupancy of the site and/or buildings.
 - i. That should permission for occupancy of the site and/or buildings be requested during the months of October through May inclusive, occupancy shall be allowed without landscaping and final site surface completion provided that an Irrevocable Letter of Credit in the amount of 150% of the total cost of completing all the landscaping and final site surfaces required, shall be placed with Rocky View County to guarantee the works shall be completed by the 30th day of June immediately thereafter.
19. That prior to site occupancy, the Applicant/Owner shall contact and obtain signoff from County Utility Operations for an inspection of the water meter, sanitary sewer service connection, and the sanitary test manhole.
20. That prior to site occupancy, the Applicant/Owner shall submit as-built drawings, certified by a professional engineer licensed to practice in the Province of Alberta. The as-built drawings shall include verification of as-built surface works, sanitary infrastructure, water infrastructure, storm-water infrastructure, pond volumes, liner verification, inverts and any other information that is relevant to SWMP onsite for the subject Building.
 - i. Following receiving the as-built drawings from the consulting engineer, the County shall complete an inspection of the site to verify stormwater infrastructure has been completed as per the stamped "examined drawings".
21. That prior to site occupancy, the Owner shall enter into a Customer Service Agreement for water & wastewater use on the subject lands.
 - i. That should the Applicant's/Owner's use require additional servicing capacity then the Applicant/Owner will be required to provide payment for that additional capacity in accordance with the Master Rates Bylaw C-7857-2019, as amended.

Permanent:

22. That any future signage will require separate Development Permit approval.
23. That the site shall be maintained in a neat and orderly fashion at all times.
24. That the minimum required parking stalls and loading bays shall be maintained at all times, in general accordance with the approved Site Plan.
25. There shall be no business or customer parking along the adjacent County road allowance at any time.
26. That all constructed approaches shall be in accordance with County Servicing Standards.
27. That any topsoil/dirt removed from the site shall be hauled off in a covered trailer/truck which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.

28. That dust control shall be maintained on the site at all times, existing fire hydrants shall not be used as a source of water for dust control; and the Applicant/Owner shall take whatever means necessary to keep visible dust from blowing onto adjacent lands.
29. That the subject lot shall obtain water from the East Balzac Water Distribution system.
30. That if the facility changes commercial usage, the owner shall submit to the County a revised description of process and subsequent water and wastewater requirements.
31. That this facility shall be subject to water usage/wastewater monitoring by Utility Operations, in order to ensure compliance with Bylaw C-5083-99 and C-7273-2013, as amended.
32. That connection to existing sanitary mains, waste mains, and water mains shall not be permitted without the authorization of Rocky View County's Utility Operations.
33. That the subject lot shall obtain sanitary servicing connections that will discharge through to the Rocky View Wastewater Transmission Main.
34. That the site shall be developed in accordance with the approved landscape plan.
35. That the Applicant/Owner shall be responsible for irrigation and maintenance of all landscaped areas including the replacement of any deceased trees, shrubs or plants within 30 days or by June 30th of the next growing season.
36. That the garbage and waste material on site shall be stored in weatherproof and animal-proof containers located within buildings or adjacent to the side or rear of buildings and must be screened from view from all adjacent properties and Highway.
37. That any outside storage for the business shall be kept within the building or immediately adjacent to the building, within the open outside storage area.
38. That no potable water shall be used for irrigation purposes or for the cleaning of exterior surfaces of the building or hard surfaced areas.
39. That there shall be no hose bibs installed on the exterior of the building.
40. That any future tenants shall require Development Permits for use and signage.
41. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for each dwelling unit located on the subject site, to facilitate accurate emergency response.
42. That all on site Lighting, once approved, shall be "dark sky" and all private lighting including site security lighting and parking area lighting should be designed to conserve energy, reduce glare and reduce uplight. All development will be required to demonstrate lighting design that reduces the extent of spill-over glare and eliminates glare as viewed from nearby residential properties.
43. That any plan, technical submission, agreement, or other matter submitted and approved as part of this Development Permit application or submitted in response to a Prior to Issuance or Occupancy condition and shall be implemented and adhered to in perpetuity, including the onsite Stormwater Management Plan.

Advisory:

44. That the subject development shall conform to the County's Noise Bylaw C-5773-2003 in perpetuity.
45. That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act [*Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017*].

46. That the Applicant/Owner shall be responsible for all required payments of 3rd party reviews and/or inspections as per the Master Rates Bylaw.

Note: For any 3rd party review work completed prior to Issuance of the Development Permit, the invoices shall be paid prior to the Development Permit being issued. For any work completed after Permit issuance but before Permit Occupancy, the invoices shall be paid prior to Development Occupancy.

47. That a Building Permit and all applicable sub-trade permits shall be obtained, through Building Services, prior to any construction taking place, using the Commercial/Industrial checklist and shall include:

- i. A 3.2.2. Building Code Analysis;
- ii. A dimensioned site plan with dimensions to the hydrant locations, Siamese connection/front entry (if applicable), Access route design and water supply;

Note: The Development shall conform to the National Energy Code 2011 and any Acoustical Requirements of the Alberta Building Code.

48. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
49. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
50. That if the Development Permit is not issued by **DECEMBER 31, 2020** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Note: The Applicant/Owner shall be responsible for all Alberta Environment and Park (AEP) approvals for any impact to any wetland areas from the proposed development.

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.

10

CROSSPOINTE RD

WAGON WHEEL WY

CROSSPOINTE DR





APPLICATION FOR COMMERCIAL/OFFICE/INDUSTRIAL DEVELOPMENT PERMITS

Fee Submitted \$3230.60	File Number 064/0051
Date of Receipt Nov 22/19.	Receipt # 2019022879

Name of Applicant Jonathan Mosher Email [REDACTED]
Mailing Address [REDACTED] Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]
For Agents please supply Business/Agency/ Organization Name Mermac Construction Ltd.
Registered Owner (if not applicant) 2212442 Alberta Ltd.
Mailing Address 635 35 Avenue NE, Calgary AB
Postal Code T2E 2L2
Telephone (B) 403 - 277 - 9555 (H) [REDACTED] Fax 403 - 457 - 0500

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the SE $\frac{1}{4}$ Section 10 Township 26 Range 29 West of 4 Meridian
b) Being all / parts of Lot 7 Block 3 Registered Plan Number 1611832
c) Municipal Address No Municipal Address
d) Existing Land Use Designation DC99 (B-BC) Parcel Size 3.61 Acres Division 07

2. APPLICATION FOR

Proposed Shop and Office New Construction of Commercial Building

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property (s)? Yes [REDACTED] No ☒
b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes [REDACTED] No ☒
(Sour Gas facility means well, pipeline or plant)
c) Is there an abandoned oil or gas well or pipeline on the property? Yes [REDACTED] No ☒
d) Does the site have direct access to a developed Municipal Road? Yes, Crosspointe Rd and Wagon Wheel Way
e) Has the Design Guidelines checklist been completed? Yes [REDACTED] No ☒
f) Has supplementary information been provided? (photos, sketches written descriptions etc.) Yes ☒ No [REDACTED]
g) Details of additional information [REDACTED]

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I JONATHAN MOSHER hereby certify that [REDACTED] I am the registered owner
(Full Name in Block Capitals)

☒ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

Applicant's Signature [Signature] Owner's Signature [REDACTED]

Date Nov 22, 2019

PLEASE SEE REVERSE

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, JONATHAN MOSHER, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


Signature

Nov 22, 2019
Date

FOR OFFICE USE ONLY

Application: _____

General Location: _____

Written Description for PRD20194292



Lot Info

Land use designation: DC-99 (B-BC BUSINESS - BUSINESS CAMPUS)

Location: SE-10-26-29-W04M

Parcel Size: 14609.15m², 1.46ha, 3.61 Acres

Business Info

Type of Business: A Construction Company specializing in underground construction.

Days of Operation: Monday - Friday

Employee Hours: 9:00 AM – 5:00 PM

Building Info

Description: Proposed Two-Story Building with a mix use of a Office and General Industrial. It consists of 484.4m² of Office between two floors and 1114.8m² General Industrial with a small storage mezzanine.

Building size: 64821 [212' – 8"] x 24384 [80' – 0"]

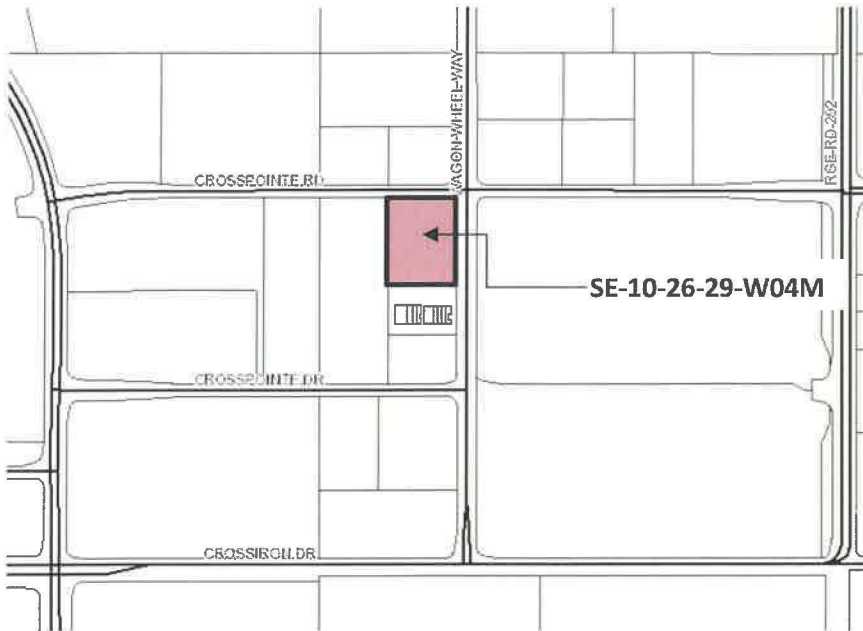
Building Height: 9551 [31'-4"]

Building Footprint: 1580.6m² [17013 ft²]

4799-68 Ave SE Calgary, AB T2C 5C1
(P) 403-720-8001 (F) 403-720-8122

Written Description for Proposed Development

Location: SE-10-26-29-W04M



Type of Development: A Two-Story Building with a mix use of a Office and General Industrial.

Type of Business: A Construction Company specializing in underground construction.

Days of Operation: Monday - Friday

Employee Hours: 9:00 AM – 5:00 PM



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0037 256 401 1611832;3;7 191 224 985

LEGAL DESCRIPTION
PLAN 1611832
BLOCK 3
LOT 7
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 1.459 HECTARES (3.61 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 4;29;26;10;SE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 161 176 065

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
191 224 985	05/11/2019	TRANSFER OF LAND	\$1,750,000	\$1,750,000

OWNERS

2212442 ALBERTA LTD.
OF 623-35 AVE NE
CALGARY
ALBERTA T2E 2L2

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
081 097 361	14/03/2008	CAVEAT RE : RESTRICTIVE COVENANT
131 287 622	07/11/2013	EASEMENT AS TO PORTION OR PLAN:1312966
141 301 663	06/11/2014	CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

191 224 985

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
--------	--------------	-------------

CAVEATOR - ROCKY VIEW COUNTY.
911 - 32ND AVENUE NE
CALGARY
ALBERTA T2E6X6

161 192 260 17/08/2016 MORTGAGE
MORTGAGEE - ALBERTA TREASURY BRANCHES.
3 FLR, 217-16 AVE NW
CALGARY
ALBERTA T2M0H5
ORIGINAL PRINCIPAL AMOUNT: \$450,000

171 219 684 02/10/2017 AMENDING AGREEMENT
AFFECTS INSTRUMENT: 161192260

191 224 986 05/11/2019 MORTGAGE
MORTGAGEE - THE BANK OF NOVA SCOTIA.
BUSINESS SERVICE CENTRE
4715 TAHOE BLVD.
MISSISSAUGA
ONTARIO L4W0B4
ORIGINAL PRINCIPAL AMOUNT: \$875,000

191 224 987 05/11/2019 CAVEAT
RE : ASSIGNMENT OF RENTS AND LEASES
CAVEATOR - THE BANK OF NOVA SCOTIA.
BUSINESS SERVICE CENTRE
4715 TAHOE BLVD.
MISSISSAUGA
ONTARIO L4W0B4
AGENT - JOSHUA N SWITZER

TOTAL INSTRUMENTS: 007

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 12 DAY OF
NOVEMBER, 2019 AT 10:57 A.M.

ORDER NUMBER: 38344973

CUSTOMER FILE NUMBER:

END OF CERTIFICATE



(CONTINUED)



Mermac Construction Ltd.
4789 - 68th Avenue S.E.
Calgary, Alberta T2C 5C1
Ph: (403) 720-8001 Fax: (403) 720-8122

DO NOT SCALE DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO MERMAC.

Site
Site Servicing
Structure
Mechanical
Electrical
LB CO SHOP/OFFICE
SE-10-26-29-W4M LOT 7, BLOCK 3, PLAN 1611832

REVISIONS:
ISSUED FOR DEVELOPMENT PERMIT 2019-11-22

Drawing Title:
PROJECT
INFORMATION, BYLAW
REVIEW, BUILDING
CODE REVIEW, SITE
PLAN

JOB NO. 2019-196
DATE: 11/22/2019 8:16:48 AM
DRAWN: JMT

DP-1

LBCO SHOP/OFFICE

ISSUED FOR DEVELOPMENT PERMIT



2 BLOCK PLAN
DP-1 N.T.S.



3 VINCINTY PLAN
DP-1 N.T.S.

CONSULTANTS

GENERAL CONTRACTOR

MEMAC CONSTRUCTION

4799 68 AVENUE SE
CALGARY, AB T2C 5C1
CONTACT: JONATHAN MOSHER
TELEPHONE: 403-720-8001 EXT. 230
FAX: 403-720-8122

DRAWING LIST

ARCHITECTURAL

- DP-1 PROJECT INFORMATION, BYLAW REVIEW, BUILDING CODE REVIEW, SITE PLAN
- DP-2 SITE DETAILS
- DP-3 MAIN FLOOR PLAN
- DP-4 SECOND FLOOR PLAN
- DP-5 ELEVATIONS, 3D VIEW

SURFACE LEGEND

ASPHALT W/ BASE MATERIALS SPEC'S
HEAVY DUTY
• 110mm (4" MIN)
• 20mm (3/4") CRUSH GRAVEL
• 300mm (12") CRUSH GRAVEL

RECYCLED ASPHALT YARD
TO SUPPORT 38.55k kg
• 150mm (6") RECYCLED ASPHALT
• 300mm (12") CRUSH GRAVEL
LIGHT DUTY
• 75mm (3" MIN)
• 20mm (3/4") CRUSH GRAVEL
• 250mm (10") CRUSH GRAVEL

LANDSCAPING
SOIL & IRRIGATION
TREES AND SHRUBS AS PER ATTACHED SPEC.

CONCRETE FLATWORK
CONCRETE BEDDING
• 100M CONCRETE (22 MPa) W/ 300M SLAB
• 10M REBAR (E-W - 400MM O.C.)
• 150MM COMPACTED (20MM CRUSH GRAVEL)

FINISHED CURBS
• FINISHED CURBS (150MM X 150MM AS PER DRAWING (22 MPa))

CITY DRIVEWAY
• CONCRETE CURB & GUTTER (14M LONG)

GRAVEL BEDDING
• 120MM BEDDING FINISH CONCRETE (22 MPa)
• 10M REBAR (E-W - 400MM O.C.)
• 150MM COMPACTOR (20MM CRUSH GRAVEL)

BYLAW REVIEW

APPLICABLE BYLAW: ROCKY VIEW
COUNTY LAND USE BYLAW C-4841-97

FLOOR AREA RATIO

ALLOW F.A.R.
PARCEL AREA = 1409.2 m²
BUILDING AREA = 478.60
PROPOSED F.A.R. = 1.5 ± 1.0

MOTOR VEHICLE STALL CALCULATION

3.4 STALLS PER 100 m² = 48.44 m² / 100 m² (3.4) = 14.47 STALLS
GENERAL INDUSTRIAL
1 STALL PER 200 m² = 11.14 m² / 100 m² = 5.57 STALLS
TOTAL PARKING STALLS REQUIRED = 48 STALLS (24 STALLS)
TOTAL PARKING STALLS PROVIDED = 48 STALLS (24 STALLS)

LANDSCAPING CALCULATION

SETBACK LANDSCAPING AREA REQUIRED: 1 TREE PER 400 m²
NORTH SETBACK AREA = 487.2 m² / 400 m² = 1.22 TREES
EAST SETBACK AREA = 771.3 m² / 400 m² = 1.93 TREES
SOUTH SETBACK AREA = 403.2 m² / 400 m² = 1.01 TREES
WEST SETBACK AREA = 786.7 m² / 400 m² = 1.97 TREES
TOTAL NUMBER OF TREES = 4.13 TREES

A RATIO TO 40:60 FOR DECIDUOUS TO CONIFEROUS
TOTAL NUMBER OF TREES = 40 TREES
1.3 FOR DECIDUOUS TREES AND
1.4 FOR CONIFEROUS TREES
DECIDUOUS TREES = 12 TREES (4) = 18 TREES AND 24 SHRUBS
CONIFEROUS TREES = 24 TREES (4) = 18 TREES AND 24 SHRUBS

BUILDING CODE REVIEW

APPLICABLE BUILDING CODE:
ALBERTA BUILDING CODE 2014

MUNICIPAL ADDRESS

10 VANDERKAMP AVENUE, ROCKY VIEW COUNTY, AB

LEGAL DESCRIPTION

LEGAL: SE-10-26-29-W4M
LOT: 7
BLOCK: 3
PLAN: 1611832

LAND USE DESIGNATION

DC-PW (B+C) BUSINESS - BUSINESS CAMPUS
(ROCKY VIEW COUNTY LAND USE BYLAW C-4841-97)

PARCEL AREA

1409.15 m²
1.40 ACRES
3.61 ACRES

BUILDING AREA

MAIN FLOOR = 478.60 m² (17013 m²)
SECOND FLOOR = 478.60 m² (17013 m²)
TOTAL = 957.20 m² (23336 m²)

BUILDING TO CONFORM TO

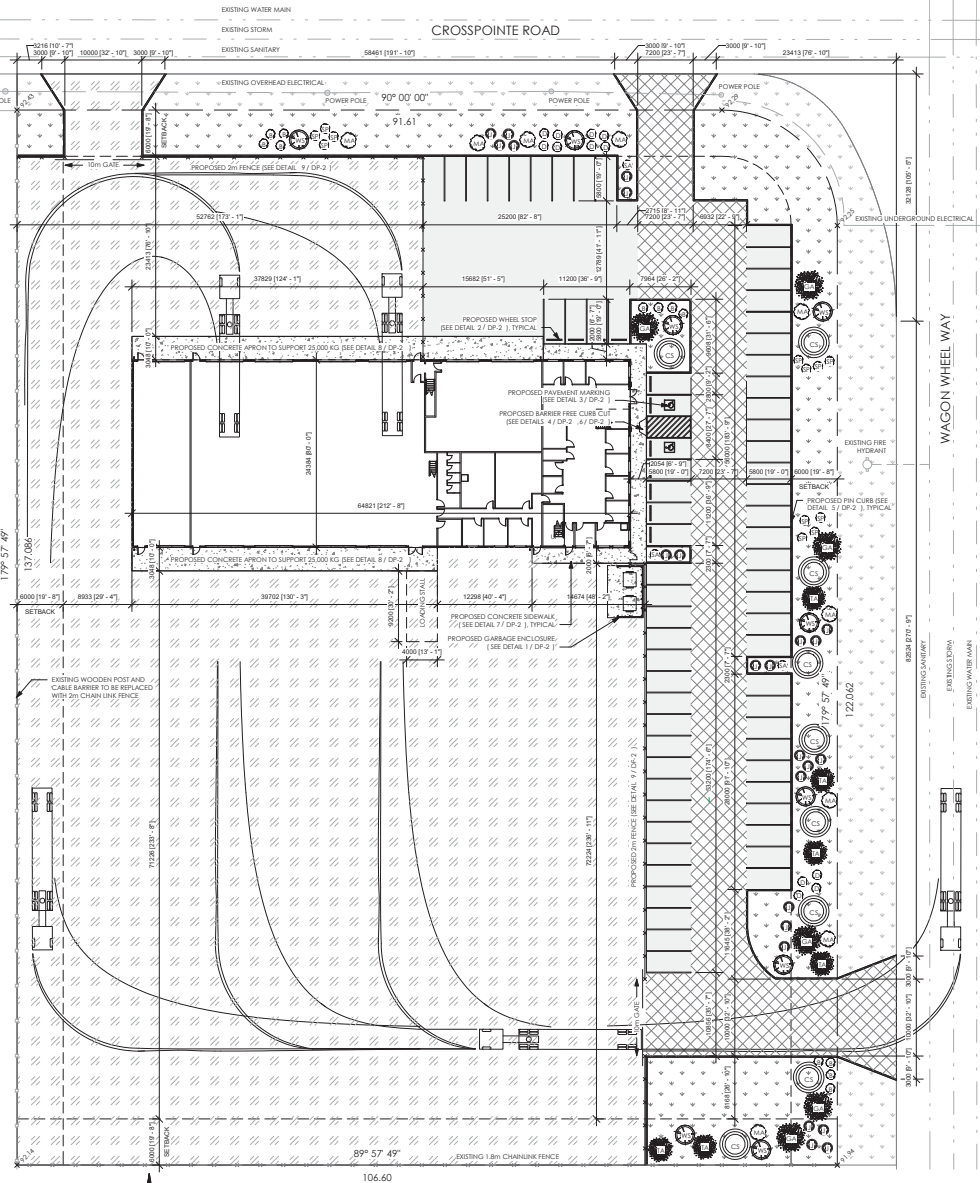
ALBC 2014, 3.2.2.7
SPRINKLED
TWO STOREY
FACING THREE STREETS

GROSS TENANT FLOOR AREAS

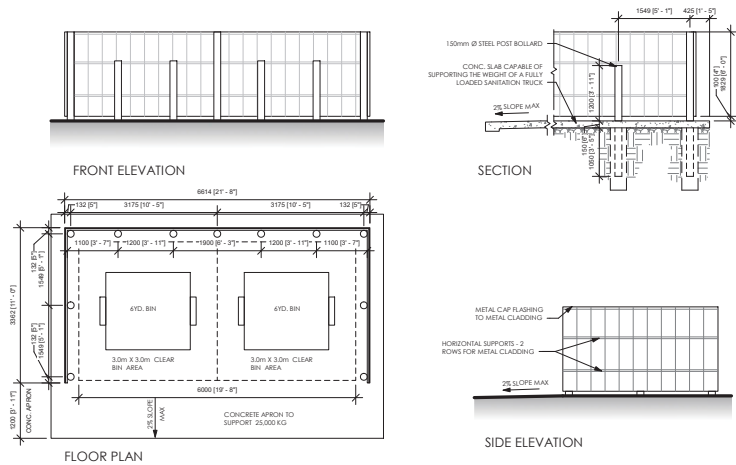
101 LOBBY	13.9 m ²	149 m ²
102 BOARDROOM	18.5 m ²	199 m ²
103 OFFICE	9.3 m ²	100 m ²
104 OFFICE	8.9 m ²	96 m ²
105 OPEN WORKSPACE	107.7 m ²	1139 m ²
107 OFFICE	10.2 m ²	110 m ²
108 OFFICE	9.3 m ²	100 m ²
109 OFFICE	10.2 m ²	110 m ²
110 OFFICE	9.3 m ²	100 m ²
111 KITCHEN	14.0 m ²	151 m ²
112 OFFICE	8.4 m ²	92 m ²
117 JAN. ROOM	4.9 m ²	52 m ²
118 FILE ROOM	10.3 m ²	111 m ²
120 OFFICE	11.4 m ²	125 m ²
121 PREDETERMINED AREA	40.3 m ²	455 m ²
122 OFFICE	11.4 m ²	125 m ²
123 LUNCHROOM / KITCHEN	32.8 m ²	353 m ²
124 OFFICE	10.5 m ²	113 m ²
129 SHOP	27.4 m ²	292 m ²
130 WASH BAY	18.4 m ²	198 m ²
202 OFFICE	10.3 m ²	111 m ²
203 OFFICE	11.0 m ²	118 m ²
204 OFFICE	12.4 m ²	133 m ²
205 OFFICE	12.4 m ²	133 m ²
206 OFFICE	10.4 m ²	112 m ²
211 OPEN WORKSPACE	10.0 m ²	108 m ²
212 OFFICE	10.0 m ²	108 m ²
213 OFFICE	10.1 m ²	109 m ²
214 OFFICE	10.1 m ²	109 m ²
215 OFFICE	10.1 m ²	109 m ²
216 BOARDROOM	28.4 m ²	304 m ²
220 STORAGE MEZZANINE	16.4 m ²	175 m ²

LANDSCAPE LEGEND

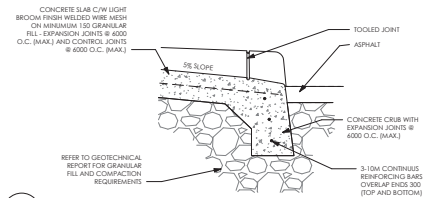
KEY	ITEM	QTY	CALIPER	HEIGHT	RATIO
DECIDUOUS TREES					
LA	GREEN ASH (FRAXINUS PENNISI/VANICA)	12	85mm		5/16
	TREMBLING ASPEN (POPOPULUS TREMLAIOIDES)	4			
SA	SWEDISH CONNAR ASPEN (POPOPULUS TREMLAIOIDES)	12	85mm		
	MODERN ASH (CORBUS AUCUPARIA)	3			
CONIFEROUS TREES					
18					4/15
LARGE CONIFEROUS TREES					
CS	COLORADO SPRUCE (PICEA PUNGENS)	9		3m	
SMALL CONIFEROUS TREES					
WS	WHITE SPRUCE (PICEA GLAUCA)	9		2m	
SHRUBS					
40					
DECIDUOUS SHRUBS					
D	DOGWOOD (CORNUS ALBA 'BUDS YELLOW')	36		400mm	4/15
SP	SPREA (SPREA BERTOLIANA 'TOR')	12			
B	BURBUSH (SYMPHORCARPOS OCCIDENTALS)	12			
CONIFEROUS TREES					
J	JUNIPER (JUNIPERUS HORIZONTALIS 'HUGHS')	24		400mm	4/15
NOTES:					
ALL SOFT SURFACE LANDSCAPED AREAS ARE IRRIGATED BY AN UNDERGROUND IRRIGATION SYSTEM					
PROPOSED GRADES AND THE SERVICE LOCATIONS ARE TYPICAL AND TO BE CONFIRMED UPON CITY/COUNTY APPROVED DSD					



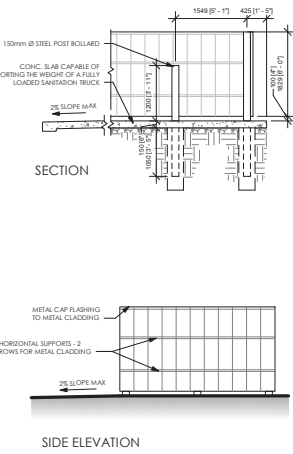
1 SITE PLAN
DP-1 1 : 300



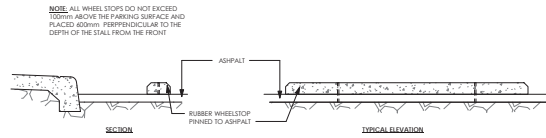
1 GARBAGE ENCLOSURE DETAILS
DP-2 1 : 50



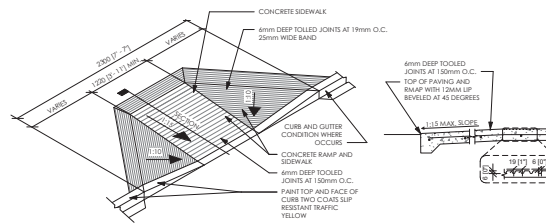
6	STANDARD BARRIER FEE ACCESSIBLE CURB DETAIL
DP-2	1 : 10



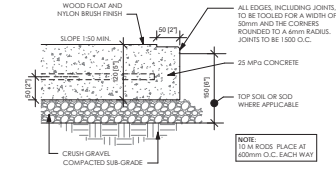
7	STANDARD SIDEWALK CURB DETAIL
DP-2	1 : 10



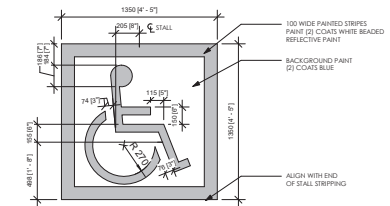
2 PRECAST WHEELSTOP DETAILS
DP-2 1 : 20



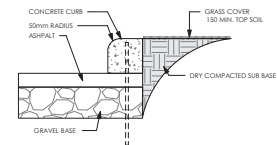
4 STANARD BARRIER FREE CURB CUT
DP-2 SCALE AS SHOWN



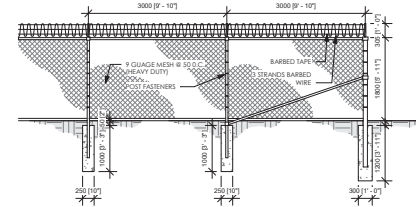
8	STANDARD CONC. APRON
DP-2	1 : 5



3	STANDARD BARRIER FREE STALL PAVEMENT MARKING
DP-2	1 : 20

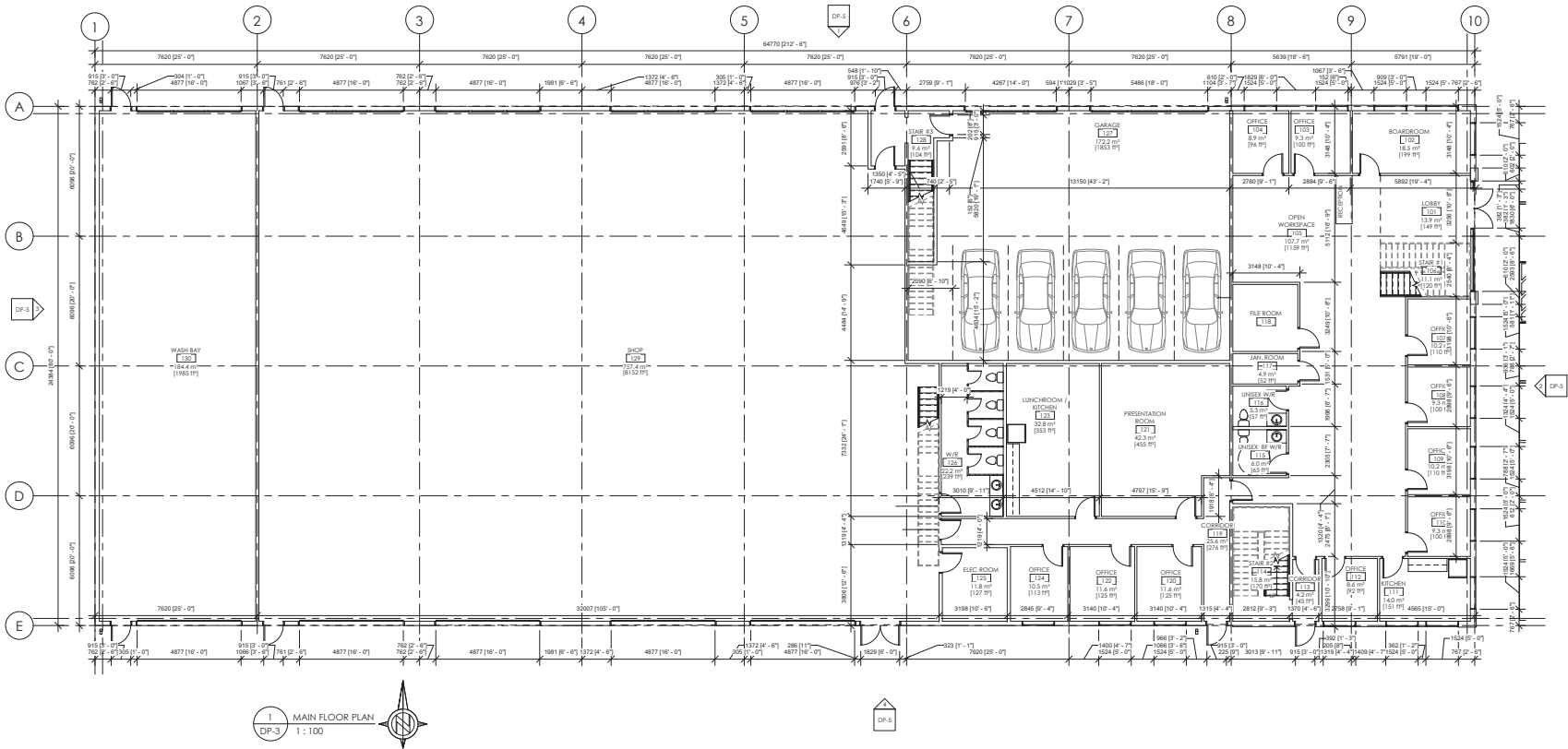


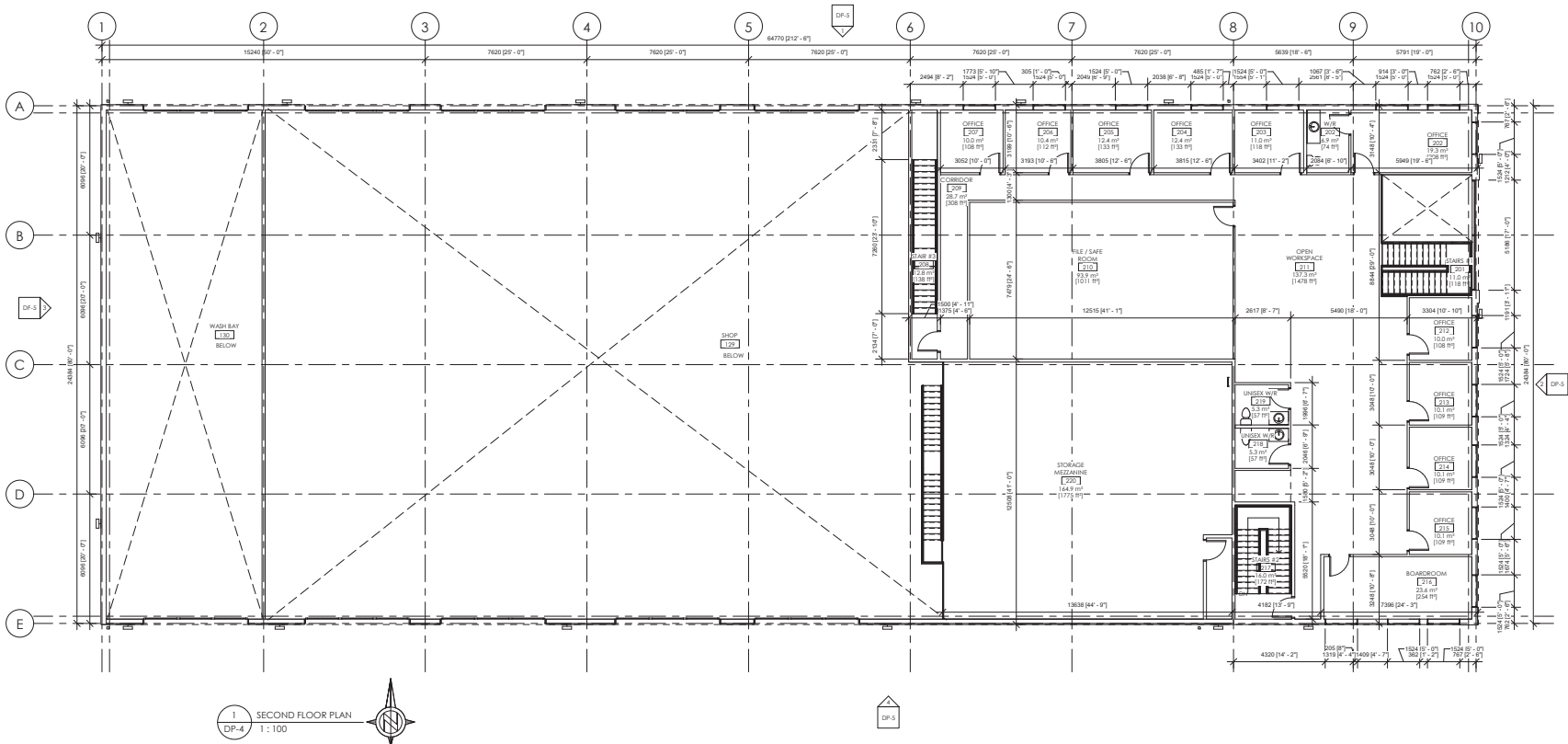
5 STANDARD CONC. PIN CURB DETAIL
DP-2 1:10



9
DP-2

TYPICAL FENCE DETAIL
1 : 50





DO NOT SCALE DRAWINGS. ANY DIMENSIONS ARE TO BE REPORTED TO MERMAC.

Mermac
Mermac Construction Ltd.
4759 - 68th Avenue S.E.
Calgary, Alberta T2C 5C1
Ph: (403) 725-8001 Fax: (403) 725-8122

Site Servicing:

Structural:

Mechanical:

Electrical:

**LBCO
SHOP/OFFICE**

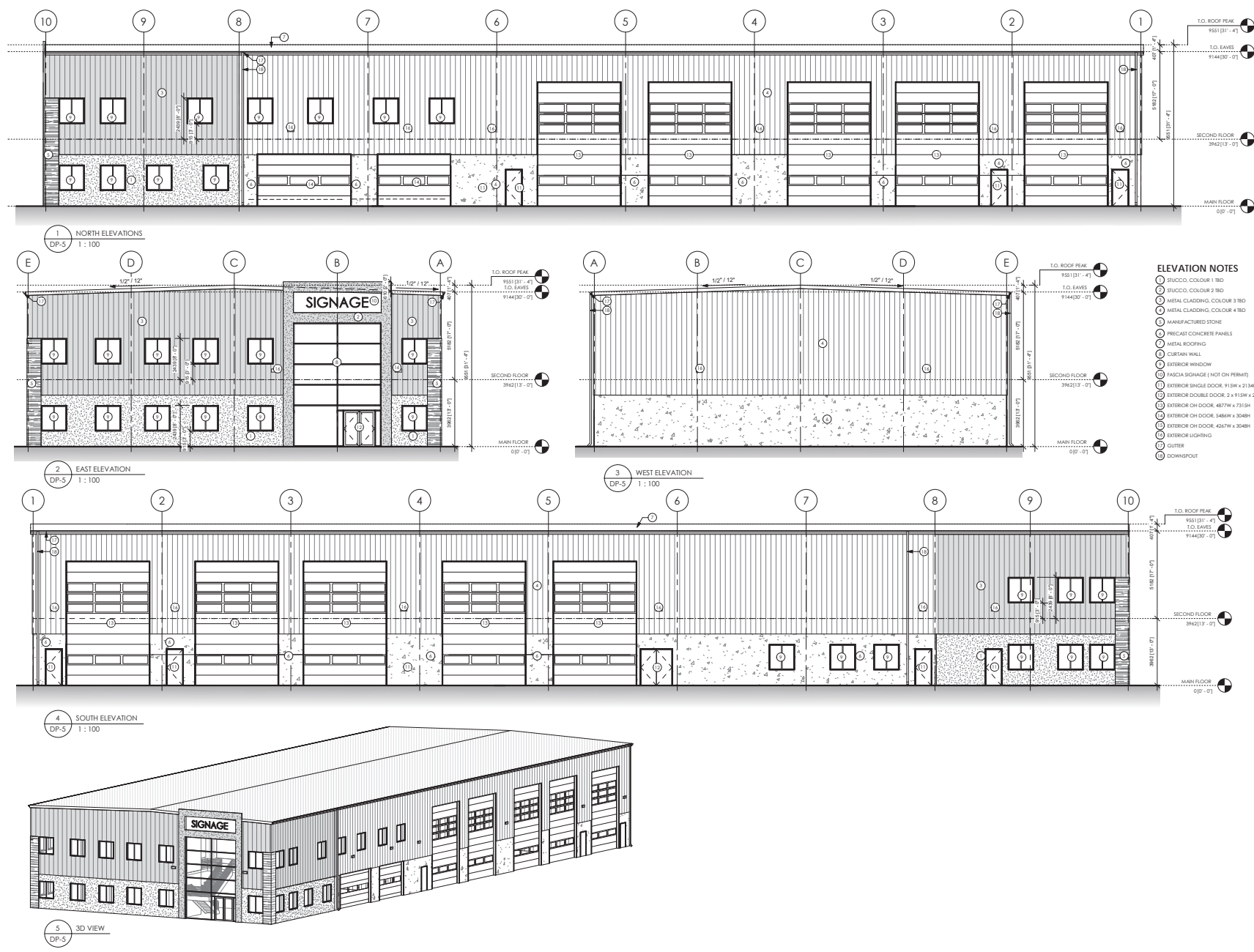
SE-10-26-29-W4M
LOT 7, BLOCK 3, PLAN 1611832

REVISIONS:
ISSUED FOR DEVELOPMENT PERMIT 2019-11-22

Drawing Title:
SECOND FLOOR PLAN

JOB NO. 2019-196
DATE: 11/22/2019 8:16:53 AM
DRAWN: J.M.

DP-4



Mermac
Mermac Construction Ltd.
4759 - 68th Avenue S.E.
Calgary, Alberta T2C 5C1
Ph: (403) 720-8001 Fax: (403) 720-8122

Site Servicing:

Structural:

Mechanical:

Electrical:

**LBCO
SHOP/OFFICE**

SE-10-26-29-W4M
LOT 7, BLOCK 3, PLAN 1611832

REVISIONS:
ISSUED FOR DEVELOPMENT PERMIT 2019-11-02

Drawing Title:
ELEVATIONS, 3D VIEW

JOB NO. 2019-196
DATE: 11/22/2019 8:16:58 AM
DRAWN: JH

DP-5

PLANNING & DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: March 9, 2020

DIVISION: 04

APPLICATION: PRDP20194153

SUBJECT: Development Item: General Industry, Type II

APPLICATION: General Industry, Type II, for a hydro-vac company, construction of a fabric structure for clay storage and drying, an office building, two (2) accessory buildings, relaxation of the minimum side yard setback requirement and signage

GENERAL LOCATION: Located approximately 0.41 km (1/4 mile) south of Twp. Rd. 230 and 0.41 km (1/4 mile) west of Rge. Rd. 280

LAND USE DESIGNATION: Industrial - Industrial Activity District (I-IA)

ADMINISTRATION RECOMMENDATION:

Administration recommends approval in accordance with Option #1.

OPTIONS:

Option #1: THAT Development Permit Application PRDP20194153 be approved with the conditions noted in the report.

Option #2: THAT Development Permit Application PRDP20194153 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Jessica Anderson – Planning & Development Services

DEVELOPMENT PERMIT REPORT

Application Date: November 14, 2019	File: 02336015
Application: PRDP20194153	Applicant/Owner: Ricklan Construction Ltd (Tom Lanz)
Legal Description: Lot 11, Block 2, Plan 1510565, NE-36-22-28-W04M	General Location: located approximately 0.41 km (1/4 mile) south of Twp. Rd. 230 and 0.41 km (1/4 mile) west of Rge. Rd. 280
Land Use Designation: Industrial - Industrial Activity (I-IA)	Gross Area: ± 2.10 hectares (± 5.19 acres)
File Manager: Jessica Anderson	Division: 04

PROPOSAL:

The proposal is for the General Industry, Type II, for a hydro-vac company, construction of a fabric structure for clay storage and drying, an office building, two (2) accessory buildings, relaxation of the minimum side yard setback requirement and signage

Land Use Bylaw Section 75 Industrial – Industrial Activity District:

- The subject land is designated as Industrial – Industrial Activity District. *General Industry Type II* is a permitted use.

GENERAL INDUSTRY means the following activities:

- (a) the processing of raw, value added, or finished materials;
- (b) the manufacturing or assembling of goods, products, or equipment;
- (c) the cleaning, servicing, repairing or testing of materials, goods and equipment normally associated with industrial or commercial businesses or cleaning, servicing and repair operations to goods and equipment associated with personal or household use, where such operations have impacts that would make them incompatible in non-industrial districts;
- (d) the storage or transshipping of materials, goods and equipment, including petrochemical products and supplies;
- (e) the training of personnel in general industrial operations; and
- (f) It may include any indoor display, office, technical or administrative support areas, or any sales operation accessory to the general industrial uses, but does not include Cannabis Cultivation or Cannabis Facility.

GENERAL INDUSTRY TYPE II means those developments in which all or a portion of the activities and uses are carried on outdoors, without any significant nuisance or environmental factors such as noise, appearance, or odour, extending beyond the boundaries of the site. Any development where the risk of interfering with the amenity of adjacent or nearby sites, because of the nature of the site, materials or processes, cannot be successfully mitigated shall be considered a General Industry Type III.

GENERAL INDUSTRY TYPE III means those developments that may have an effect on the safety, use, amenity, or enjoyment of adjacent or nearby sites due to appearance, noise, odour, emission



of contaminants, fire or explosive hazards, or dangerous goods, but does not include Cannabis Cultivation or Cannabis Facility;

- Based on information provided with the application, the storage of hydro-vac materials will be stored indoor during the drying process.
- The wet clay materials are unloaded inside the building from the hydro-vac trucks and then the material is spread and dried.
- All incoming material is tested to confirm no contamination is present
- The facility is not occupied with the exception of the loader operator.
- There is no combustible content within the structure
- The facility does not create any garbage (i.e. no packaging or pallets, etc.)
- Based on the information provided it does not appear that there would be any dust, odour or offsite impacts causing significant nuisance or environmental impact so General Industry, Type II appears to be the appropriate use.

Building Size:

The proposed development is a fabric structure for drying hydro-vac materials.

- the proposed fabric structure is approximately 3,593.50 sq. m (38,680.10 sq. ft.) in size;
- the existing office is approximately 136.17 sq. m (14,65.70 sq. ft.) in size;
- two boiler enclosures which may or may not be connected to the fabric structure through roof or foundation both approximately 7.43 sq. m. (80.00 sq. ft.) in area;
 - If connected the boiler structures will be considered as part of the fabric structure, but where it is to be determined at BP stage these will be included in the approval in case they are separate.

Per the Application:

- The structure provided for this facility is a fabric tent structure.
- Material is dumped in one end of the structure and spread the length of the facility with a loader.
- The facility is divided into two bays to achieve dryness at various times.
- The concrete slab is sloped to a trench removing excess water from the clay and onto a sump.
- The sump water is drained by Hydrovac truck and hauled off site.
- The concrete slab is heated with in-floor boiler heat to ensure the product does not freeze to the floor in the winter months. The boilers are housed in small self-contained structures independent of the tent structure.
- The tent structure is **not heated**, only ventilated with wall mounted intake and exhaust fans.
- Due to the nature of the use inside the tent structure, the building is not sprinkled and is considered extremely low fire hazard.

Setbacks & Height:

Section 75.6 Minimum & Maximum Requirements

- Required on all sides 15.00 m (49.21 ft.)

- *Front yard setback (east property line):*
 - Proposed (tent structure): Well away
 - Proposed (office trailer): 15.80 m (51.84 ft.);
- *Side yard setback (north/south):*
 - Proposed (tent structure): 40.21m (131.92 ft.); 14.044 m (46.06 ft.);
 - ◆ This is a variance request of 6.4%. As per Section 12.2 of the Land Use Bylaw, the Development Authority may apply variance discretion if appropriate. As the variance is minor in nature and would not appear to impact adjacent properties, the request is viewed appropriate.
 - Proposed (office trailer): 7.73 m (25.36 ft.); / Well away
 - ◆ This is a variance request of 48.46%. As per Section 12.2 of the Land Use Bylaw, the Development Authority may apply variance discretion if appropriate. As the location of the existing trailer is similar, no complaints have been registered, and the site location is appropriate for site operations and logistics, the variance is as appropriate.
- *Rear yard setback (west):*
 - Proposed (tent structure): 17.30 m (56.75 ft.)
 - Proposed (office trailer): Well away

Section 75.7 Building Height

- *Maximum of 20.00 m (65.62 ft.).*
 - Proposed (tent structure): 17.10 m (56.10 ft.)
 - Proposed (office trailer): <3.04 m (<10.00 ft.)

Visual Impacts and Screening:

Section 25.4 Building Materials and Appearance (Land Use Bylaw)

- (e) *Facades of buildings, which exceed 31 meters, measured horizontally and facing public roadways shall incorporate visual and physical characteristics to add visual interest, by including at least three of the following architectural elements:*
 - (i) *Colour change;*
 - (ii) *Texture change;*
 - (iii) *Material module change; or*
 - (iv) *Expression of architectural or structural bay through a change in plane such as an offset, reveal, or projecting ribs or recesses extending at least 20% of the length and 3% of the depth of the façade.*

6.2 Building & Development Architectural Controls (CS) *“Building massing design along the fronts of buildings shall incorporate different materials and colours, offsets, and provide pedestrian scaling devices.”*

- There is one facade facing the public roadways:
 - East elevation facing Fulton Drive (39.62 m in length) (Job No. 19-236, DP1 of 4) includes a peaked roof and expression change through a projection structure (boiler enclosure). There are no color changes proposed.



- The other elevations are not facing a public roadway.
- This in addition to the landscaping proposed in the front yard adjacent to the roadway will help to soft the façade and create interest.

Section 25.4 *Visual Impacts and Screening*

- (g) (ii) and (iv) outside storage areas, garbage, waste, and waste handling and collection areas shall be enclosed from view or screened to soften the visual impact on adjacent or proximal sites, roadways, and public thoroughfares.
- There are no proposed garbage and waste handling collection areas; however, a condition will be added to ensure any are screened appropriately.

Landscaping

Section 26 *Landscaping*

26.11 (c) *a minimum of 10% of the site area shall be landscaped.*

- The subject parcel is ± 5.19 acres (± 21,003.18 sq. m) in size; therefore, the landscaping requirements are as follows:
 - $21,003.18 \text{ sq. m} \times 10\% = 2,100.32 \text{ sq. m.}$ of landscaping required and / 46.00 sq. m = 45.66 (46 trees [28 deciduous & 18 coniferous])
 - The applicant is proposing a soft landscaping area of 7,446.91 sq. m, which does meet the minimum landscaping requirement (Job No. 19-236, DP1 of 4).
- In accordance with Section 26.5 of the Land Use Bylaw, the number of trees required may be determined on the basis of a minimum of one tree for each 46.00 sq. m (495.14 sq. ft.) of any required yard or setback at grade, or as required pursuant to a landscaping plan as a condition of a Development Permit.
 - The required landscaped area is 2,100.32 sq. m. Therefore, a minimum of 46 trees is required.
- In accordance with Section 26.3 (b) of the Land Use Bylaw, the proportion of deciduous to evergreen trees shall be 60:40;
 - Existing trees (*Trees required shall be at least 4.50 cm (1.77 in.) calliper for deciduous trees, and at least 2.00 m (6.56 ft.) in height for evergreen trees*)
 - ** existing tree sizes not given so counted as 1:1.
 - Existing deciduous trees: 8 / 20 trees remaining
 - Existing coniferous trees: 7 / 11 trees remaining
 - If substituting 50% shrubs:
 - ◆ 10 deciduous trees required
 - ◆ 6 coniferous trees required
 - ◆ 30 deciduous shrubs (3:1)
 - ◆ 20 coniferous shrubs (4:1)
 - Size of plantings: 60 cm which is acceptable for both coniferous and deciduous shrubs
 - ◆ Evergreen trees: 3 m in height – acceptable
 - ◆ Coniferous trees: 7.50 cm caliper – acceptable



- In accordance with Section 26.11 (d) of the Land Use Bylaw, a landscaped strip of at least 4.00 m width shall be provided in front yards and side yards adjacent to a road.
 - The proposed Site Plan shows natural grass area along the north and south boundaries, but not along the rear. The rear does not face a roadway so this is acceptable.

Parking

- In accordance with Schedule 5 of the Land Use Bylaw:
 - a minimum of 3.4 parking spaces per 100 sq. m gross floor area be provided for Offices, Business.
 - The gross floor area of the proposed Office building is 136.17 sq. m (1,465.72 sq. ft.); therefore, a minimum of 5 parking spaces are required for the office portion;
 - a minimum of 1 parking space per 100 sq. m gross floor area be provided for General Industrial development.
 - The gross floor area of the warehouse is listed as 3,593.50 sq. m (38,680.11 sq. ft.) for the warehouse portion; therefore, a minimum of 36 parking spaces is required for the warehouse portion;
 - Altogether, a minimum of 41 parking spaces is required for the proposed development, including 2 barrier free stalls. The applicant proposed a total of 2 parking spaces, which is in not compliance with the parking requirement. Accessible parking stall dimensions shall be in compliance with the Alberta Building Code requirement
 - The size of the two stalls proposed is: 5.48 m x 2.60 m which meets the LUB provisions
 - **An updated parking plan is required to demonstrate the appropriate number of stalls or an acceptable Parking Assessment.**

Lighting

- In accordance with Section 27.2 (a) (i) of the Land Use Bylaw, all development shall use full cut-off (shielded) outdoor light fixture that direct the light downward:
 - No lighting details submitted with the application.
 - **A lighting plan shall be submitted for review and approval prior to issuance.**

Signage

- The applicant has not proposed any signage; however, one fascia sign will be approved subject to details being provided. **A condition of approval will approve one fascia sign with details to be provided and approved prior to installation.**

Fencing

- The applicant is including a 1.8 m (5.90 ft.) chain-link perimeter fence has been provided, for site security purposes.
- In the Fulton CS, Section 6.2 Building & Development Controls, *"Fencing at the front of buildings is discouraged. When it is required it will be low scale and decorative in design and located behind streetscape landscaping"*
 - The existing perimeter fencing was previously approved on site, for security purposes. As this application is requesting to maintain the perimeter fencing for the same reasons, the Development Authority views this request as acceptable.

STATUTORY PLANS:

This property falls under the Fulton Industrial Park Conceptual Scheme. The application is generally in compliance with the Conceptual Scheme policies; however, this plan does not provide specific guidance on the nature of this application with the exception of the following provisions:

Policy 6.2.1 The County's Commercial, Office and Industrial Design Guidelines should be considered in building and development plans.

- Noted above.

Policy 6.2.2 A Lot Owners Association or designated committee will be responsible for reviewing building and site design plans and providing recommendations to the County.

- Noted as a prior to issuance condition.

INSPECTOR'S COMMENTS:

No inspection completed at the time this report was prepared.

CIRCULATIONS:Alberta Transportation (February 4, 2020)

Alberta Transportation has no comments or concerns with respect to this application as it falls outside of the limits established in the Highways Development and Protection Regulation.

Building Services Review (December 30, 2019)

No objection to Fabric Structure, Office Building, and two Accessory Buildings, subject to BP. Spatial separation calculations must be indicated on the drawings as per Subsection 9.10.14. Boiler Enclosures can be part of the Fabric Structure if structurally connected by Roof or Foundation. If not they are considered separate buildings and Spatial Separations between buildings will apply. Fabric must conform to ULC-S109 standard. Submit specifications at BP application.

Development Compliance Officer Review (December 11, 2019)

- That noise and dust control measures be required;
- That applicant be required to provide an adequate storm water management plan as the area has several wetlands;
- That all lighting be in compliance with Section 27 of the County Land Use Bylaw; and
- That all signage be in compliance with Section 35 of the County Land Use Bylaw.

Planning and Development Services - Engineering Review (January 13, 2020)**General:**

- The review of this file is based upon the application submitted. These conditions/recommendations may be subject to change to ensure best practices and procedures.
- As per the application, the applicant is proposing construction of a fabric structure for clay storage and drying, an office building, two (2) accessory buildings and signage.
- As the subject land is located within the boundaries of the Fulton Industrial Park Conceptual Scheme (2008-RV-296), the applicant is required to adhere to policies set in the same.



- Prior to DP issuance, the applicant shall be required to provide a Construction Management Plan to address dust control, noise, truck routes, access to the site, and potential for interference with nearby residences.
- Prior to DP issuance, the applicant shall be required to submit an emergency management plan as per the conceptual scheme to the satisfaction of the county.

Geotechnical:

- As per GIS contour information, no steep slopes are observed.
- Geotechnical reports were submitted as part of the subdivision application for Fulton Industrial Park (2013-RV-029). As a permanent condition, the applicant shall adhere to the recommendations as per these reports.

Transportation:

- Access to the subject lands is via an existing approach off Fulton Dr.
- TOL has previously been collected for this site (2013RV029).
- As the subject land is within 1.6 km of Highway 22X, prior to issuance of the DP, the applicant will be required to obtain clearance from AT for the proposed development.
- Prior to issuance, the applicant is required to contact county road operations to confirm if a road use agreement is required for construction activities.
- The applicant expects 8 trips per day. No significant increase in traffic on the road network is expected from the proposed development.

Sanitary/Waste Water:

- The applicant confirmed that sewage shall be collected in the small holding pumpout tank for the office trailer. No sewage tank is required in the storage tent.
- Engineering has no requirements at this time.

Water Supply And Waterworks:

- The applicant confirmed that the only water supply is a small 100 gal potable water tank in the office trailer. No water is required in the storage tent.
- Engineering has no requirements at this time.

Storm Water Management:

- As per GIS review, an existing dry pond is located on the south east corner of the subject lands.
- Prior to DP issuance, applicant shall be required to provide a Site-Specific Stormwater Management Plan (SSIP) completed by a professional Engineer. The SSIP shall addresses conveyance, storage, treatment (if required) and potential reuse of stormwater for the proposed development as per county servicing standards, Fulton Stage 1 Storm water management report and in accordance with the Conceptual Scheme.
 - Prior to DP issuance, the applicant is required to register an overland drainage ROW and associated plan for all identified storm water infrastructure as per the approved SSIP.
 - Prior to occupancy of the proposed building, the applicant is required to provide as-built drawings of the onsite stormwater management facilities. Once received, the County shall perform an inspection of the proposed stormwater management facilities ensuring the proposed facilities were constructed as per the approved designs.
 - As a permanent condition, the applicant is required to operate and maintain the onsite stormwater management facilities in accordance with the approved site specific stormwater management plan prepared for the development



- Prior to DP issuance, applicant shall be required to provide an erosion and sediment control plan completed by a professional Engineer as per county servicing standards and in accordance with the Conceptual Scheme. The ESC plan shall ensure that all disturbed areas and the areas surrounding them are protected by controlling or preventing erosion and sedimentation.

Environmental:

- Engineering has no requirements at this time.
- No environmental constraints are present on site.

Operations Division Review (December 19, 2019)

Utility Services: No Concerns.

Transportation Services:

- Applicant to contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
- Any on site exterior lighting to be “dark sky” compliant.
- Applicant to be reminded staff and clientele parking is restricted to onsite only.
- Applicant to be reminded no business signage to be installed within the County Road Allowance.
- Applicant to be reminded to adhere to the conditions identified within the County Noise Bylaw.

OPTIONS:

Option #1 (this would grant the requested business)

APPROVAL, subject to the following conditions:

Description:

1. That General Industry, Type II, for a hydro-vac company may take place in general accordance with the submitted and amended drawings prepared by Rick Balbi Architect Ltd., drawings D1 to D4, dated October 2, 2019, as submitted with the application, and includes the following:
 - i. Construction of a fabric structure, approximately 3,593.50 sq. m (38,680.10 sq. ft.) in size;
 - ii. Placement of an office trailer, approximately 136.17 sq. m (14,65.70 sq. ft.) in size;
 - iii. Construction of two accessory buildings (boiler enclosures), each approximately 7.43 sq. m. (80.00 sq. ft.) in area;
 - iv. Limited outdoor storage; and,
 - v. Installation of one (1) fascia sign; details are to be submitted and approved by the County prior to installation.
2. That the minimum rear yard setback requirement for the fabric structure is relaxed from **15.00 m (49.21 ft.) to 14.04 m (46.06 ft.)**.
3. That the minimum side yard setback requirement for the office trailer is relaxed from **15.00 m (49.21 ft.) to 7.73 m (25.36 ft.)**.

Prior to Issuance:*Payments and Levies:*

4. That prior to issuance of this permit, the Applicant/Owner shall confirm acceptance or refusal to participate in the Voluntary Recreation Contribution for Community Recreation Funding on the form provided by the county and that the contribution, if accepted, is \$4,152.00 calculated at \$800.00 per acre for 5.19 acres.

Site Developability:

5. That prior to issuance of this permit, the Applicant/Owner shall submit a revised Parking Plan, in accordance with Section 30 of the Land Use Bylaw, to include:
 - i. A minimum required 41 parking stalls, including two (2) barrier free stalls;
 - ii. Parking stall dimensions and isle width;
 - iii. Barrier-free access aisle, signage and identification requirements; and,
 - iv. Alternatively, the Applicant/Owner may submit a Parking Assessment, prepared by a qualified person, in accordance with Section 30.1(f) of the Land Use Bylaw, to document the parking demand and supply characteristics associated with the proposed development.

Note: The Development Authority shall not be bound by any recommendations of such Parking Assessment.

6. That prior to issuance of this permit, the Applicant/Owner shall submit a Lighting Plan, in accordance with Section 27 of the Land Use Bylaw and the Fulton Industrial Conceptual Scheme, detailing the proposed building and site lighting for the development. The lighting plan shall be compliant with the County's dark sky lighting regulations, conserve energy, reduce glare and minimize light trespass onto surrounding properties.
7. That prior to issuance of this permit, the Applicant/owner shall submit a revised Site Plan, identifying any required outdoor storage areas onsite, if required, to the satisfaction of the County.
8. That prior to issuance of this permit, the Applicant/Owner shall submit a Construction Management Plan to address dust control, noise, truck routes, access to the site, and potential for interference with nearby residences, to the satisfaction of the County.
9. That prior to issuance of this permit, the Applicant/Owner shall submit an Emergency Management Plan as per the Fulton Industrial Conceptual Scheme, to the satisfaction of the County.

Transportation:

10. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations to discuss haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions
 - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

Stormwater:

11. That prior to issuance of this permit, the Applicant/Owner shall submit a Site-Specific Stormwater Management Plan (SSIP) completed by a professional Engineer. The SSIP shall addresses conveyance, storage, treatment (if required) and potential reuse of stormwater for the proposed development as per county servicing standards, Fulton Stage 1 Storm water management report and in accordance with the Conceptual Scheme.
 - i. If required, the Applicant shall register an overland drainage ROW and associated plan for all identified storm water infrastructure as per the approved SSIP.
12. That prior to issuance of this permit, the Applicant/Owner shall submit an Erosion and Sediment Control plan (ESC), completed by a professional Engineer, in accordance with County Servicing Standards and in accordance with the Fulton Industrial Conceptual Scheme. The ESC plan shall ensure that all disturbed areas and the areas surrounding them are protected by controlling or preventing erosion and sedimentation.

Other:

13. That prior to issuance of this permit, the Applicant/Owner shall submit confirmation of acceptance of the building and site design plans by the Lot Owners Association or designated committee for the Fulton Industrial development.

Prior to Occupancy

14. That prior to site occupancy, the Applicant/Owner shall submit Built to Design Certificates and as-built drawings, certified by a professional engineer. The as-built drawings shall include: verification of as-built on-site stormwater management facilities, and any other information that is relevant to the SSIP, to the satisfaction of the County.
 - i. Following receiving the as-built drawings from the consulting engineer, the County shall complete an inspection of the site to verify stormwater has been completed as per the approved designs.
15. That all landscaping and final site surfaces shall be in place prior to occupancy of the site.
 - i. That should permission for occupancy of the site be requested during the months of October through May inclusive, occupancy may be allowed without landscaping and final site surface completion provided that an Irrevocable Letter of Credit in the amount of 150.00% of the total cost of completing all the landscaping and final site surfaces shall be placed with Rocky View County to guarantee the works shall be completed by the 30th day of June immediately thereafter.

Permanent:

16. That any plan, technical submission, agreement, matter, or understanding submitted and approved as part of the application, in response to a Prior to Issuance or Occupancy condition, shall be implemented and adhered to in perpetuity including:
 - i. Approved Geotechnical Reports submitted as part of the subdivision application for Fulton Industrial Park (2013-RV-029);
 - ii. Operation and maintenance of the on-site stormwater management facilities in accordance with the approved site specific stormwater management plan prepared for the development;
17. That all development shall be in accordance with Fulton Industrial Conceptual Scheme.

18. That sanitary sewage shall be contained in pump out tanks and transported off-site to an approved waste water receiving facility for disposal.
19. That potable water shall be supplied via water cistern utilizing a trucked service.
20. That all landscaping shall be in accordance with the amended Landscape Plan. Vegetation types should be selected to endure the required storm water irrigation from May to September.
21. That no potable water shall be used for landscaping or irrigation purposes. Water for irrigation and landscaping shall only be supplied by the re-use of stormwater.
22. That the Applicant/Owner shall be responsible for irrigation and maintenance of all landscaped area including the replacement of any deceased trees, shrubs or plants within 30 days or by June 30th of the next growing season.
23. That water conservation strategies shall be implemented and maintained at all times.
24. That all outside storage of materials, products and equipment shall be limited to the area(s) indicated on the approved site plan.
25. That the entire site shall be maintained in a neat and orderly manner at all times to the satisfaction of the Development Officer.
26. That no outdoor display areas, storage areas, parking, or marshalling yards shall be allowed within landscaped yards.
27. That all on site Lighting shall be “dark sky”, and all private lighting, including site security lighting and parking area lighting, shall be designed to conserve energy, reduce glare, and reduce uplight. All development shall be required to demonstrate lighting design that reduces the extent of spill-over glare and eliminates glare as viewed from nearby residential properties.
28. That the garbage container shall be screened from view from all adjacent properties and public thoroughfares, in accordance with the submitted site plan. The garbage and waste material on site shall be stored in weatherproof and animal-proof containers located within buildings or adjacent to the side or rear of buildings.
29. That it is the Applicant/Owner’s responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for the principal building located on the subject site, to facilitate accurate emergency response.
30. That all signage shall be kept in a safe, clean, and tidy condition at all times.
31. That no temporary signs shall be place on the site at any time except any temporary signs required during development or building construction.
32. That any future business signage shall require a separate Development Permit approval and shall adhere to all applicable approved County policies.
33. That 41 parking stalls including 2 barrier free stalls shall be maintained on site at all times, or as determined by an approved Parking Assessment, to the satisfaction of the County.
34. There shall be no parking of any kind along the adjacent County Road System.
35. That dust control shall be maintained on the site during construction, and that the developer shall take whatever means necessary to keep visible dust from blowing onto adjacent lands.

Advisory:

36. That the site shall conform to the County’s Noise Bylaw C-5773-2003 in perpetuity.



37. That the site shall remain free of restricted and noxious weeds and maintained in accordance with the Alberta Weed Control Act [Statutes of Alberta, 2008 Chapter W-5.1, December 2017].
38. That during construction, all construction and building materials shall be maintained onsite, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
39. That a Building Permit and all applicable sub-trade permits shall be obtained, through Building Services, prior to any construction taking place, using the Commercial/Industrial checklist and shall include:
 - i. Spatial separation calculations must be indicated on the drawings as per Subsection 9.10.14; and,
 - ii. Fabric must conform to ULC-S109 standard.

Note: The Development shall conform to the National Energy Code 2011, NFPA 1141, and any requirements of the Alberta Building Code.

40. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
41. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
42. That if this Development Permit is not issued by **AUGUST 31, 2020**, or by an approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Note: The Applicant/Owner shall be responsible for all Alberta Environment and Park (AEP) approvals for any on-site stormwater infrastructure.

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.



FULTON DR

FULTON DR





ROCKY VIEW COUNTY
Cultivating Communities

20194153

APPLICATION FOR COMMERCIAL/OFFICE/INDUSTRIAL DEVELOPMENT PERMITS

FOR OFFICE USE ONLY	
Fee Submitted <u>\$5258.5</u>	File Number <u>02336015</u>
Date of Receipt <u>NOV 14/19</u>	Receipt # <u>2019 022768</u>

Name of Applicant Tom LANZ / Ricklan Construction Email tlanz@ricklan.com
Mailing Address 298 INITIATIVE AVE SE

Postal Code T3S 0B7
Telephone (B) 403-620-5057 (H) _____ Fax _____

For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) 4146345 ALBERTA INC

Mailing Address 200 - 2500 - 107th AVE SE

Postal Code T2Z 3R7

Telephone (B) _____ (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the NE ¼ Section 36 Township 22 Range 28 West of 4 Meridian
b) Being all / parts of Lot 11 Block 2 Registered Plan Number 1510565
c) Municipal Address #11 FULTON DRIVE, INDUS
d) Existing Land Use Designation I-1A Parcel Size 5.19 acres Division _____

2. APPLICATION FOR

TENT STRUCTURE COVERING CLAY STORAGE, TRUCK SCALE & ADMINISTRATION BLDG, 2 SMALL SHEDS TO HOUSE BOILERS

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property (s)? Yes _____ No ☒
b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No ☒
(Sour Gas facility means well, pipeline or plant)
c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No ☒
d) Does the site have direct access to a developed Municipal Road? FULTON DRIVE
e) Has the Design Guidelines checklist been completed? Yes ☒ No _____
f) Has supplementary information been provided? (photos, sketches written descriptions etc.) Yes ☒ No _____
g) Details of additional information _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I Tom LANZ hereby certify that _____ I am the registered owner
(Full Name in Block Capitals)

☒ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

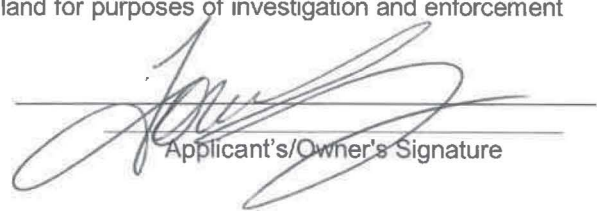
Applicant's Signature _____ Owner's Signature _____

Date Nov 14/19 _____

PLEASE SEE REVERSE

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.


Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Tom Law / Ricklin Construction hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

 Signature NOV 14 / 19 Date

FOR OFFICE USE ONLY

Application: _____

General Location: _____

RICKLAN



CONSTRUCTION LTD.

298 Initiative Ave S.E.
Calgary, AB T3S 0B7
Phone: (403) 236-7621
Fax: (03) 236-5522
Email: tlanz@ricklan.com
Web: www.ricklan.com

September 19, 2019

Rocky View County

Planning Services

911 - 32 Ave N.E.

Calgary, Alberta T2E 6X6

Re: Development Permit Project Information

Lot 11, Block 2, Plan 1510565

#11 Fulton Drive, Indus

Attention: Planning Department

Please find enclosed information relating to the proposed Development permit submission to support the application:

EXISTING SITE CONDITIONS

- The site has been improved with 2015 Development permit submission.
- The site is graded, graveled, fenced and landscaped.
- SWM plan was submitted and site graded accordingly in 2015.
- 10 m egress is constructed

NEW OCCUPYING BUSINESS

- The site is presently considered by a Hydrovac Company
- The site will house an administration trailer with one employee
- The administration facility will have sewer and water as part of the unit
- The intent of the building is to house wet clay materials from the Hydrovac trucks, store indoor in a drying process to remove some of the moisture
- When the material is at optimum dryness, the material is removed from site to end destination.



- The material is tested incoming to confirm no contamination
- This facility is not occupied with the exception of the loader operator when they are distributing the material in the facility
- The facility has no combustible products or content in the tent structure
- The facility does not create any garbage. (ie no packaging, pallets etc.)

STRUCTURE

- The structure provided for this facility is a fabric tent structure.
- Material is dumped in one end of the structure and spread the length of the facility with a loader.
- The facility is divided into two bays to achieve dryness at various times.
- The concrete slab is sloped to a trench removing excess water from the clay and onto a sump. The sump water is drained by Hydrovac truck and hauled off site.
- The concrete slab is heated with in-floor boiler heat to ensure the product does not freeze to the floor in the winter months. The boilers are housed in small self-contained structures independent of the tent structure.
- The tent structure is **not heated**, only ventilated with wall mounted intake and exhaust fans.
- Due to the nature of the use inside the tent structure, the building is not sprinkled and is considered extremely low fire hazard.

Should you require anything further please do not hesitate to contact me at 403-620-5057.

Sincerely,



Tom Lanz, C.E.T.
President
Ricklan Construction Ltd.
From Concept... to Creation!





LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0036 581 115 1510565;2;11 171 266 932 +1

LEGAL DESCRIPTION
PLAN 1510565
BLOCK 2
LOT 11
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 2.1 HECTARES (5.19 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 4;28;22;36;N

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 151 080 061 +1

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
171 266 932	24/11/2017	TRANSFER OF LAND		SEE INSTRUMENT

OWNERS

414635 ALBERTA LTD.
OF 200, 2500 - 107TH AVENUE S.E.
CALGARY
ALBERTA T2Z 3R7

ENCUMBRANCES, LIENS & INTERESTS		
REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
741 092 484	04/10/1974	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED.
151 065 377	05/03/2015	UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW COUNTY. AS TO PORTION OR PLAN:1510566 AS TO AREAS "A" & "B"

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
171 266 932 +1

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

151 065 381 05/03/2015 CAVEAT
RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL
GOVERNMENT ACT
CAVEATOR - ROCKY VIEW COUNTY.
911 - 32ND AVENUE NE
CALGARY
ALBERTA T2E6X6

151 065 382 05/03/2015 RESTRICTIVE COVENANT

151 065 383 05/03/2015 ENCUMBRANCE
ENCUMBRANCEE - RESLAND HOLDINGS INC.
BOX 66093 HERITAGE PO
EDMONTON
ALBERTA T6J6T4

191 104 177 03/06/2019 MORTGAGE
MORTGAGEE - ROYAL BANK OF CANADA.
36 YORK MILLS RD, 4TH FLR.
TORONTO
ONTARIO M2P0A4
ORIGINAL PRINCIPAL AMOUNT: \$3,500,000

TOTAL INSTRUMENTS: 006

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 14 DAY OF
NOVEMBER, 2019 AT 02:17 P.M.

ORDER NUMBER: 38363746

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).





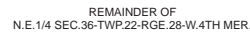
































LANDSCAPING																																																					
BETACKS & TREES or SHRUBS REQUIRED:				SHRUB REQUIREMENTS:		KEY		NEW ITEM		SIZE																																											
NORTH BETACK (15.0m) 1,263.23 sq m				* NUMBER OF EXISTING SHRUBS ON SITE: 23				LARGE CONIFEROUS TREES		3000mm height minimum																																											
WEST BETACK (15.0m) 1,184.22 sq m				* TOTAL SHRUBS SUBSTITUTING DECIDUOUS TREES (1 shrub per 1 tree): 42				LARGE DECIDUOUS TREES		minimum 7500mm height																																											
SOUTH BETACK (15.0m) 2,932.23 sq m				* TOTAL SHRUBS SUBSTITUTING CONIFEROUS TREES (4 shrubs per 1 tree): 40				Green Ash Red Oak Larch-Lane Willow Russian Olive																																													
EAST BETACK (15.0m) 1,184.22 sq m				TOTAL SHRUB REQUIRED: 82 ± 59																																																	
TOTAL LANDSCAPE AREA REQUIRED (10% OF TOTAL SITE AREA)																																																					
a 20,094.3 sq m, ± 10% area required: 2,099.43 sq m																																																					
TOTAL LANDSCAPE AREA PROVIDED: 7,446.34 sq m																																																					
LANDSCAPING & PLANTINGS PROVIDED:																																																					
TREES REQUIREMENTS:				<table><tr><th></th><th>Decid</th><th>Large Decid</th><th>Large Conif</th><th>Large Conif</th><th>Total</th><th>Shrubs</th></tr><tr><td>NORTH BETACK</td><td>5</td><td>0</td><td>0</td><td>1</td><td>1</td><td>7</td></tr><tr><td>WEST BETACK</td><td>5</td><td>0</td><td>0</td><td>0</td><td>0</td><td>10</td></tr><tr><td>SOUTH BETACK</td><td>5</td><td>0</td><td>0</td><td>0</td><td>0</td><td>10</td></tr><tr><td>EAST BETACK</td><td>5</td><td>0</td><td>0</td><td>1</td><td>1</td><td>40</td></tr><tr><td>TOTAL</td><td>0</td><td>0</td><td>0</td><td>0</td><td>0</td><td>59</td></tr></table>			Decid	Large Decid	Large Conif	Large Conif	Total	Shrubs	NORTH BETACK	5	0	0	1	1	7	WEST BETACK	5	0	0	0	0	10	SOUTH BETACK	5	0	0	0	0	10	EAST BETACK	5	0	0	1	1	40	TOTAL	0	0	0	0	0	59			DECIDUOUS SHRUBS - Sarcocornia - Delonix - Spirea - Forsythia - Potentilla - Pampas Grass		600mm height minimum	
	Decid	Large Decid	Large Conif	Large Conif	Total	Shrubs																																															
NORTH BETACK	5	0	0	1	1	7																																															
WEST BETACK	5	0	0	0	0	10																																															
SOUTH BETACK	5	0	0	0	0	10																																															
EAST BETACK	5	0	0	1	1	40																																															
TOTAL	0	0	0	0	0	59																																															
								CONIFEROUS SHRUBS - Juniper - Dwarf Mugo Pine		600mm spread minimum																																											
* EXISTING DECIDUOUS TREES ON SITE: 8		8																																																			
* EXISTING CONIFEROUS TREES ON SITE: 7		7																																																			
* TREE / AREA OF RECD LANDSCAPE AREA: 46 (low water used)		46																																																			
* TREES RECD W/ SHRUB SUBSTITUTION: 23 (50% of total tree requirement)		23																																																			
* CONIFEROUS TREES RECD (80% of total requirement): 19		19																																																			
* DECIDUOUS TREES RECD (40% of total requirement): 10 - 7 ± 3		10 - 7 ± 3																																																			

PLAN LEGEND

	RECYCLED GRAVEL OR PROPOSED GRAVEL		EXISTING CULVERT
	EXISTING LANDSCAPE AREA		EXISTING GRADE
	PROPOSED ASPHALT AREA		PROPOSED GRADE
	EXISTING OVER HEAD POWER LINE		EXISTING DECIDUOUS TREE (S)
	1.8m CHAIN LINK FENCE		EXISTING CONIFEROUS TREE (S)
	EXISTING ORANGE DITCH		EXISTING DOGWOOD / CORNUS ALBA SHRUB (S)
	OD MAJOR CONTOUR (SLDAR 1.0m INTERVAL)		EXISTING CONIFEROUS SHRUBS (S)
	OD MINOR CONTOUR (SLDAR 0.25m INTERVAL)		



SITE INFORMATION

LEGAL DESCRIPTION: ROCKY VIEW COUNTY, AB
LOT 111 BLOCK 2
PLAN 157 TWP.2
N. 1/2 SEC.36 T.22 R.92E 28.97 AC. 7/14 MTR.

SITE AREA: ± 20,964.3 sq.m. (± 225,980.9 sq.ft.)
(2.10 ha.)

ZONING: INDUSTRIAL ACTIVITY (I-A4)
COUNTY OF ROCKY VIEW

EXISTING BUILDING: ± 138.2 sq.m. (± 1,465.7 sq.ft.)

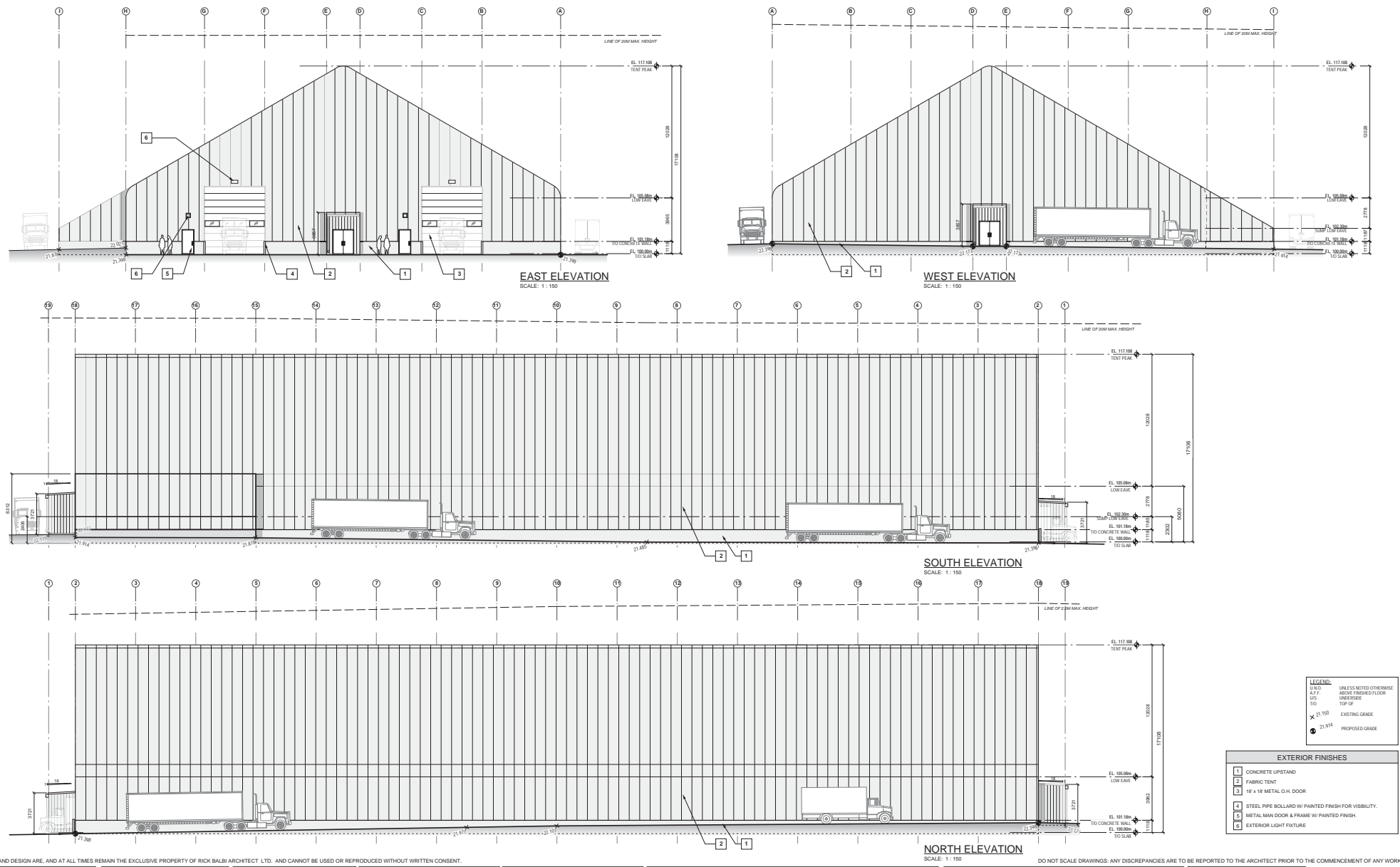
PROPOSED BUILDING: ± 3,593.5 sq.m. (± 38,680.1 sq.ft.)

FINAL SITE COVERAGE: ± 17.8%.

WASTE & RECYCLING

NO FACILITIES TO BE PROVIDED. THE ADMIN BUILDING WILL HAVE A DUMPSTER AND WILL MONITOR THE VEHICLE SCALE AND DO BOACBAT WORK IN THE TANK FOR SHORT TIMES TO MOVE SLOP AROUND IN THE LARGE BUILDING AS REQ'D.

THE NATURE OF THE USE OF THE SITE DOES NOT GENERATE WASTE MATERIALS. WASTY SOILS BROUGHT IN & DRY SOIL TAKEN OUT, ON A CONSTANT ROTATION.



THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF RICK BALBI ARCHITECT LTD. AND CANNOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

 RICKLAN CONSTRUCTION & TRADING LTD. 298 Initiative Avenue SE Calgary, Alberta T2S 0B7 Ph: (403) 236-7621 www.ricklan.com	 Rick Balbi Architect Ltd. #115-5917 - 11A Street S.W. Calgary, Alberta T2H 0C4 Ph: (403) 253-2853 Fax: (403) 253-3078 general@rabb.ca	Soil: Sewer/Mgmt. Structural:	Mechanical: Electrical:	Project: Proposed Fabric Structure for Ghost Rider Environmental Block 2, Lot 11 Rocky View County, Alberta	Revisions: OCT 2/19 ISSUED FOR DP	Drawing Title: Exterior Elevations	JOB No: 19-236 DATE: Oct 2, 2019 DRAWN: BJ
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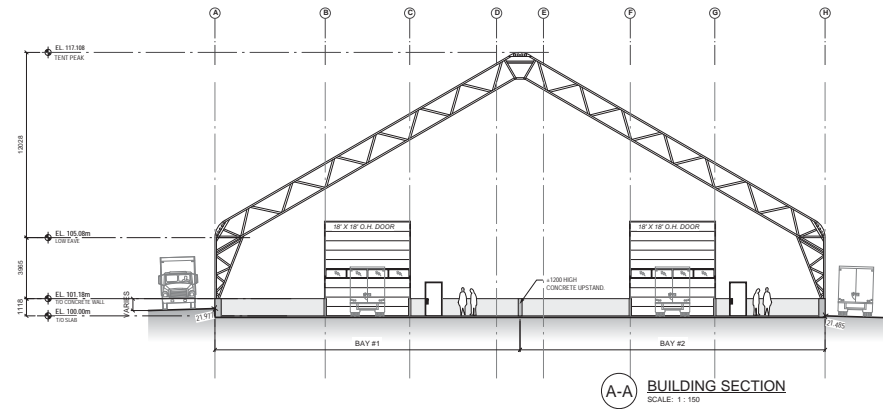
DO NOT SCALE DRAWINGS: ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK

DP3 of 4



JOB No. 19-236
DATE: Oct 2, 2019
DRAWN: DJ

DP2 of 4



RICKLAN



CONSTRUCTION LTD.

Ricklan Construction Ltd.
298 Initiative Avenue SE
Calgary, Alberta T3S 0B7
Ph: (403) 236 - 7621 www.ricklan.com


Rick Balbi Architect Ltd.
#15 - 5917 - 1st Avenue S.W.
Calgary, Alberta T2H 0G4
Ph: (403) 253 - 2853 Fax: (403) 253 - 3078
general@rbalbi.ca

Seal:

Stormwater Mgmt & Dry Hydrant Design:

Structural:

--	--

Project:

Proposed
Fabric Structure
for
Ghostrider Environmental
Block 2, Lot 11
Rocky View County , Alberta

Revisions:
OCT 2019 ISSUED FOR DP.

Drawing Title:

Section

JOB NO:	19-236
DATE:	Oct 2, 2019
DRAWN:	DJ

Sheet **DP4** of 4

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: March 9, 2020

DIVISION: 05

APPLICATION: PRDP20200020

SUBJECT: Development Item: General Industry, Type II

APPLICATION: General Industry, Type II (existing), construction of an accessory building (cold storage) [placed without permits]

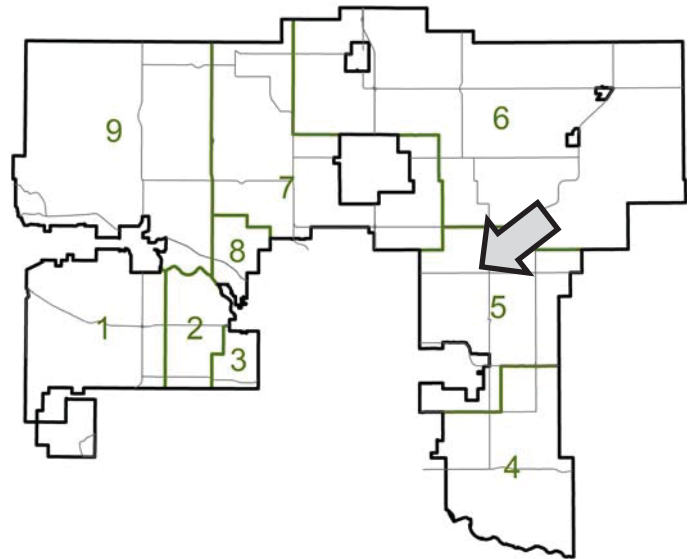
GENERAL LOCATION: Located at the southwest junction of Hwy. 564 and Rge. Rd. 282.

LAND USE DESIGNATION: Industrial-Industrial Activity (I-IA)

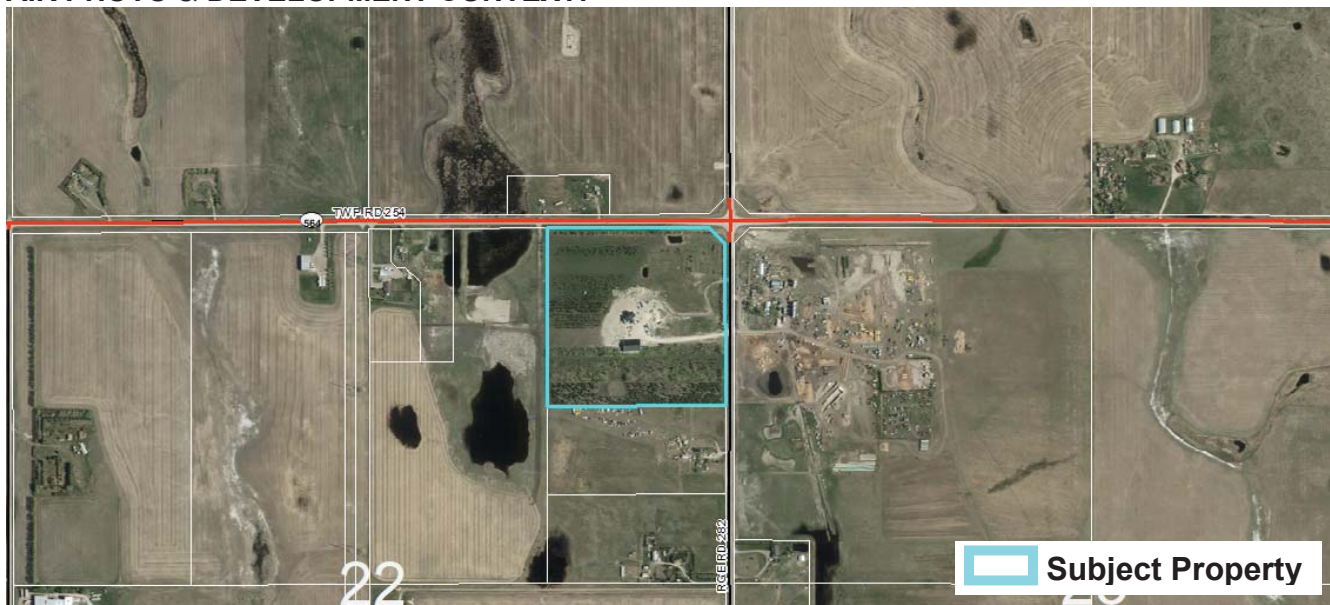
ADMINISTRATION RECOMMENDATION: Administration recommends approval in accordance with OPTION #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20200020 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20200020 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Christina Lombardo –Planning & Development Services

DEVELOPMENT PERMIT REPORT

Application Date: January 7, 2020	File: 05322009
Application: PRDP20200020	Applicant/Owner: Harpreet Dhaliwal / 1649653 Alberta Ltd.
Legal Description: NE-22-25-28-W04M	General Location: Located at the southwest junction of Hwy. 564 and Rge. Rd. 282
Land Use Designation: Industrial Activity (I-IA)	Gross Area: ± 15.92 hectares (± 39.34 acres)
File Manager: Christina Lombardo	Division: 05

PROPOSAL:

The proposal is for existing General Industry, Type II, for an accessory building (cold storage) [891.87 sq. m. (9,600.00 sq. ft.)], constructed without permits. Within the Industrial – Industrial Activity District, General Industry, Type II is a permitted use, however within Section 75.4, development permit applications are required for both permitted and discretionary uses.

The cold storage buildings is for overnight storage of construction equipment and vehicles related to an existing business on-site, A & G Construction, which has been issued under PRDP20161226. The Development Permit for A & G Construction was not completed and PRDP20173054 was applied for in July 2017. The prior to issuance conditions were not completed and the permit was closed in March 2019. Enforcement action concluded that the building was constructed on site and completed without Development or Building Permits.

The dwelling on the property will partially include a residential use as well as will partially be converted to an office. To date no Building Permit has been issued for the conversion.

Land Use Bylaw Requirements:

Section 75.2 Uses, Permitted

Accessory buildings

Section 75.4 Development Permit applications for both permitted and discretionary uses shall be evaluated in accordance with Section 12.

Section 75.6 Minimum Requirements

(b) Minimum Yard, Front for Buildings (east):

(i) 15.00 m (49.21 ft.)

- Proposed: 193.93 m (636.25 ft.)

(c) Minimum Yard, Side for Buildings (north/south):

(i) 15.00 m (49.21 ft.)

- Proposed (north): lots
- Proposed (south): 119.56 m (392.26 ft.)

(d) *Minimum Yard, Rear for Buildings (west):*

(i) *15.00 m (49.21 ft):*

- *Proposed: 169.15 m (554.95 ft.)*

Section 75.7 Building Height

(a) *Maximum of 20.00 m (65.62 ft)*

- *Proposed 9.45 m (31.00 ft)*

BUILDING DESIGN & SITE LAYOUT

SECTION 25 – Design, Character, and Appearance of Buildings and Structures

25.4 (b): The design, character, and appearance of all buildings shall be appropriate and compatible with the surrounding area and shall be constructed of durable materials designed to maintain the initial quality throughout the life of the project.

25.4 (d): The exterior design and finishing materials of all buildings shall be as shown on the approved plan and subject to the approval of the Development Authority.

- *The structure is a post frame building, with prefinished metal siding and roofing. Finishing colors were observed on site during site inspection and are compatible with the office/dwelling. Exterior finishing is observed as navy blue with white trim and six (6) commercial garage doors on north side of building.*

PARKING

SECTION 30 – Parking and Loading (Land Use Bylaw)

30.1 (b): The minimum number of off-street vehicle, motor parking stalls required for each use class is specified in the Parking Schedule (Schedule 5).

- *Schedule 5:*
 - *General Industrial: 1.00 stalls per 100.00 sq. m (1,076.4 sq. ft.) gross floor area*

30.1 (h): Parking stall for the disabled: (i) shall be provided in accordance with the Alberta Building Code; (ii) shall be designated as parking stall for the disabled using appropriate signage in accordance with Provincial standards; and (iii) shall be included in the calculation of the applicable minimum parking requirement.

30.2 (a): The number of off-street loading spaces required for each use class is specified in the Loading Schedule (Schedule 6).

- *Schedule 6:*

Industrial Uses: 1.00 loading space per 1,900.00 sq. m or fraction thereof.

Parking Stall Numbers/Dimensions:

- *Section 30.1(b): Number of parking stalls*
 - *Required: 9 stalls*
 - $\{(891.87 \text{ sq. m} * 1.00 \text{ stalls}) / 100.00 \text{ sq. m} = 8.92 \text{ stalls (9 stalls)}\}$
 - *Proposed: None*

- *Section 30.1 (k)(i) – Parking Stall Width:*
 - *Required: 2.59 m (8.50 ft.)*
 - *Proposed: Not identified*
- *Section 30.1 (k)(i) – Stall Length:*
 - *Required: 5.48 m (17.98 ft.)*
 - *Proposed: Not identified*
- *Section 30.1 (l) – Drive Aisle Width:*
 - *Required: 6.99 m (22.96 ft.)*
 - *Proposed: Not identified*
 - The Applicant/Owner will be required as a prior to issuance condition to submit a revised Parking Plan, identifying the number of parking stalls and dimensions, in accordance with Section 30 and Schedule 5 of the Land Use Bylaw.

Accessible Stall Numbers/Dimensions:

- *Stall Width (in accordance with Alberta Building Code 2014):*
 - *Required: One*
 - *Proposed: None*
- *Stall Width (in accordance with Alberta Building Code 2014):*
 - *Required: 2.40 m (7.87 ft.) with an access aisle 2.40 m (7.87 ft.) wide*
 - *Proposed: Not identified*
- *Section 30.1 (k)(i) – Stall Length:*
 - *Required: 5.48 m (17.98 ft.)*
 - *Proposed: Not identified*
 - The Applicant/Owner will be required as a prior to issuance condition to submit a revised Parking Plan, identifying the number, design, and dimensions in accordance with Alberta Building Code requirements.

Loading Spaces/Dimensions:

- *Section 30.2 (a) – Number of loading spaces*
 - *Required: 1 loading space*
 - $\{(891.87 \text{ sq. m} / 1,900.00 \text{ sq. m}) * 1 \text{ loading space} = 0.47 \text{ loading spaces}\}$
 - *Proposed: Appears to be six loading spaces from the elevation drawings*
- *Section 30.2 (g) – Loading Space Area:*
 - *Required: 28.00 sq. m (301.39 sq. ft.)*
 - *Proposed: Not identified*
- *Section 30.2 (g) – Loading Space Width:*
 - *Required: 4.00 m (13.12 ft.)*
 - *Proposed: Not identified*

- The Applicant will be required as a prior to issuance condition to submit a revised Parking Plan, identifying the number of loading spaces and dimensions in accordance with Section 30 and Schedule 6 of the Land Use Bylaw.

LANDSCAPING & SCREENING

Landscaping requirements were evaluated and approved under PRDP20161226. The property was previously a tree farm and has sufficient mature trees on the site to meet the landscaping requirements within the Land Use Bylaw. The property includes coniferous and deciduous trees around the entire perimeter of the site that provides screening of the outside storage area and the cold storage building along Highway 564 and Range Road 282. Around the perimeter, the property also has chain-link, security fencing.

LIGHTING

No mounted lights have been identified on the buildings and no pole lighting is identified throughout the site. A prior to issuance condition is included to confirm whether lighting is proposed for the development and if so, that lighting details be provided in accordance with Section 27 of the Land Use Bylaw. These details were not provided and therefore the condition was not met.

SIGNAGE

There is no signage proposed with this application.

PROPERTY HISTORY

Development Permits:

July 31, 2017: Development Permit PRDP20173054 was submitted for the construction of an accessory building (cold storage). Conditional approval was granted, however Prior to Issuance Conditions were not completed and the file expired and was Closed.

July 31, 2017: Development Permit PRDP20173055 submitted for the installation of one freestanding sign. Conditional approval was granted, however Prior to Issuance Conditions were not completed and the file expired and was Closed.

December 06, 2016: Development Permit PRDP20161226 conditionally approved for General Industry, Type II, for a construction and landscaping business and partial conversion of a dwelling, single detached to an office, outdoor storage and placement of clean fill for the construction of a berm was not completed and the file expired and was Closed

June 24, 1998: Development Permit 7793-98 issued for a tree farm.

Building Permits:

December 15, 2017: Building Permit PRBD20175274 for Cold Storage Accessory Building was cancelled and deemed incomplete until the issuance of the Development Permit.

December 12, 2015: Building Permit PRBD20143021 for changes to the exterior of the dwelling, single detached passed final inspection.

There are older building permits (2002-BP-15248, 1999-BP-13344, 1999-BP-12918, 1999-BP-12916, 1999-BP-12917, and 1998-BP-12385) related to work on the dwelling (including conversion of a farm building to a dwelling, single detached and exterior work).

Planning Applications:

July 14, 2015: (PL20140046) Redesignation of the subject land from Ranch and Farm District to Industrial – Industrial Activity District was approved by Council.

STATUTORY PLANS:

The subject land does not fall within any Statutory Plans and has been evaluated in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:

Inspection Date: February 5, 2020

- Cold storage building is as indicated in RPR
- Building itself has 6 Bays, with a fuel tank to the east of the storage building
- Residence/office is to the north with approx. 16 employee vehicles parked around the site, appears to be utilized as residence/dwelling and office
- Tree screening to the south
- No signage visible
- Main entrance is on south side of RR282, northern access does not appear to be used
- North-east of residence/office is approx. 7 C-Cans, various industrial vehicles and bobcats
- Several piles of fill scattered around the property on the north-east side of the parcel, some of this material is screened behind a concrete barrier

CIRCULATIONS: Requested comments by October 16, 2017

Alberta Transportation (January 14, 2020)

- The proposed development falls within the control distance of a provincial highway as outlined in the Highways Development and Protection Act / Regulation, and will require a roadside development permit from Alberta Transportation.
- It is noted that Permit 2511-1392 was issued to Wayne Thompson (A&G Construction) for the construction of a cold storage shop accessory building on September, 2017. This permit remains valid until there are changes on the permittee and/or the development.

ATCO Gas (January 14, 2020)

- No concerns

ATCO Transmission (January 15, 2020)

- No concerns

Building Services (January 28, 2020)

- Subject to Building Permit, Accessory Building Checklist is required
- Will require P.Eng field review letter if the inside of the building is covered

Development Compliance (January 10, 2020)

- Any outside lighting should comply with Dark Sky Policy
- Double Fees shall apply as this is a retrospective application due to enforcement action.

Planning and Development Services – Engineering (January 21, 2020)

General:

The review of this file is based upon the application submitted. These conditions/recommendations may be subject to change to ensure best practices and procedures.

Geotechnical:

Engineering has no requirements at this time.

Transportation:

The applicant received Permit 2511-1392 from Alberta Transportation for the construction of the cold storage building in 2017, as the lands are adjacent to Highway 564. There are no further requirements to contact Alberta Transportation for this application.

As part of DP20161226, the applicant upgraded Range Road 282 from Highway 564 to the site access. Engineering has no further requirements at this time.

As part of DP20161226, the TOL payment of \$12,636.25 was received as per the applicable TOL bylaw at the time. No further payment of TOL is required.

Sanitary/Waste Water:

As part of DP20161226, the applicant confirmed that there will be three employees on site at a time. As part of this application, the applicant shall confirm that the number of employees has not increased.

If the number of employees has increased, prior to issuance, the applicant is required to indicate the number of employees to use the residence, and the estimated wastewater to be produced to confirm if it meets the requirements of Alberta Standard of Practice (SOP) 2009 for wastewater effluent quantity and quality. It is the County's expectation that the quantity and quality of the effluent meets the requirements for typical residential applications.

- o This request and confirmation will be enforced under PRDP20161226.

Water Supply And Waterworks:

As part of DP20161226, the applicant drilled a new well to service the residence. At that time, the applicant indicated the well will be used primarily for household purposes, not commercial use.

As an advisory condition to DP, if a groundwater well is being used for commercial purposes, the applicant is required to obtain a commercial water license from AEP.

Stormwater Management: As part of DP20161226, the applicant submitted a Stormwater Management Report prepared by Sedulous Engineering dated September 28, 2016.

The report indicated that a stormwater pond be constructed in the NW corner of the site. At this time, Engineering is unable to confirm if the pond was constructed as part of PRDP20161226.

Prior to issuance, the applicant shall submit as-built drawings of the pond designed in the 2016 Stormwater Report prepared by Sedulous.

Environmental:

The County Wetland inventory shows that active wetlands exist on this property. The applicant will be responsible for obtaining the required approvals from AEP should any disturbance to wetlands be proposed.

Utility Services (January 10, 2020)

- No concerns.

OPTIONS:

Option 1: (this would allow the development to proceed)

APPROVAL, subject to the following conditions:

Description:

- 1) That an accessory building (cold storage), approximately 891.87 sq. m (9,600.00 sq. ft.) in size, related to the existing General Industry, Type II, may remain on-site in general accordance with the site plan and drawings submitted with the application and conditions herein.

Prior to Issuance:

- 2) That prior to issuance of this permit, the Applicant/Owner shall submit as-built drawings of the storm pond designed in the 2016 Stormwater Report prepared by Sedulous (approved under PRDP20161226), to the satisfaction of the County.
- 3) That prior to issuance of this permit, a revised Parking Plan shall be submitted and approved to the satisfaction of the Development Authority demonstrating:
 - i) The minimum number of parking stalls (9 parking stalls) and dimensions, in accordance with Section 30 and Schedule 5 of the Land Use Bylaw;
 - ii) The minimum number of loading spaces (1 loading space) and dimensions in accordance with Section 30 and Schedule 6 of the Land Use Bylaw; and
 - iii) The minimum number of accessible parking stalls (one accessible stall), design, and dimensions in accordance with Alberta Building Code requirements.
- 4) That prior to issuance of this permit, the Applicant/Owner shall provide confirmation of any lighting to be installed (mounted lights and/or freestanding lights). If lighting is to be installed, location and specifications shall be submitted in accordance with Section 27 of Land Use Bylaw C-4841-97 and approved to the satisfaction of the Development Authority.

Permanent:

- 5) That all conditions of approval for Development Permit PRDP20161226 shall remain in effect unless otherwise noted in this Development Permit approval.
- 6) That the entire site shall be maintained in a neat and orderly manner at all times and all garbage and waste material shall be deposited and be confined in weatherproof and animal-proof containers located within the building or adjacent to the side or rear of the building and screened from view from all adjacent properties and public thoroughfares. All waste material shall be regularly removed from the property to prevent any debris from blowing onto adjacent property or roadways.
- 7) That all on-site lighting shall be "dark sky" and all private lighting, including site security lighting and parking area lighting, shall be designed to conserve energy, reduce glare, and reduce uplight. All development shall be required to demonstrate lighting design that reduces the extent of spill-over glare and eliminates glare as viewed from nearby residential properties.

- 8) That a minimum of 9 parking stalls, 1 accessible stall, and 1 loading bays shall be maintained on-site at all times and that no parking shall be permitted on the adjacent County road system.
- 9) The exterior and finished façade of the accessory building (cold storage) shall be cohesive to the principal office exterior façade.
- 10) That any future signage shall require separate Development Permit approval and shall adhere to Section 35 of the Land Use Bylaw.
- 11) That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a prior to issuance or occupancy condition, shall be implemented and adhered to in perpetuity.

Advisory:

- 12) That a Building Permit shall be obtained through Building Services using the Commercial/Industrial Checklist requirements, including a 3.2.2 Building Classification.
- 13) That if groundwater is being used for commercial purposes, a Commercial Water license from Alberta Environment and Parks (AEP) is required, prior to operation.
- 14) That any other government permits, approvals, or compliances, including AEP, are the sole responsibility of the Applicant/Owners.
 - i) That the issued Roadside Development permit 2511-1392 through Alberta Transportation remains valid for this application.
- 15) That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the date of issue, the permit is deemed to be null unless an extension to this permit shall first have been granted by the Development Authority.
- 16) That if this Development Permit is not issued by **September 30, 2020** or the approved extension date then this approval is null and void and the Development Permit shall not be issued.

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.







ROCKY VIEW COUNTY
Cultivating Communities

20200020

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted \$530.00	File Number 05322001
Date of Receipt Jan 7, 2020	Receipt # 2020023114

Name of Applicant Harpreet Dhaliwal Email [REDACTED]
Mailing Address [REDACTED]

Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

For Agents please supply Business/Agency/ Organization Name Not Applicable

Registered Owner (if not applicant) 1649653 Alberta Inc. (Harmandeep Dhaliwal)

Mailing Address 34 Taralake Cape NE, Calgary, AB

Postal Code T3J 0J1
Telephone (B) 403 285 0742 (H) [REDACTED] Fax 403 984 8222

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the NE ¼ Section 22 Township 25 Range 28 West of 4 Meridian
b) Being all / parts of Lot _____ Block _____ Registered Plan Number _____
c) Municipal Address 253231 Range Road 282, Rocky View County AB
d) Existing Land Use Designation I-IA Parcel Size 40 Acrs Approximatly Division _____

2. APPLICATION FOR

Accessory Building (Cold storage) size 120'x80'

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ ☒ No _____
b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? ☒ Yes _____ No _____
(Sour Gas facility means well, pipeline or plant)
c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ ☒ No _____
d) Does the site have direct access to a developed Municipal Road? ☒ Yes _____ No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I Harpreet Dhaliwal hereby certify that _____ I am the registered owner
(Full Name in Block Capitals)

[Signature] I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

Applicant's Signature [Signature]
Date January 06, 2020

Owner's Signature [Signature]
Date January 06, 2020

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Harpreet Dhaliwal, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


Signature

January 06, 2020

Date



ROCKY VIEW COUNTY
Cultivating Communities

APPLICATION FOR AN ACCESSORY BUILDING

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date Received	Receipt #

Name of Applicant Harpreet Dhaliwal Email [REDACTED]
Mailing Address [REDACTED]
Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

1. DETAILS OF ACCESSORY BUILDING

	Bylaw	Proposed
Accessory building size maximum		120' x 80'
Accessory building height		20'
Number of existing accessory buildings on site		One
Total size of all accessory buildings		9600 SQFT

Description of Accessory Buildings:

- a) Building materials Steel Exterior
b) Exterior colour Green
c) Please include why relaxations for buildings are needed (location, storage needs, tidy property, etc.)
d) Date when building permits were issued for existing buildings NA
e) If no permits were issued - list age of buildings NA

2. DESCRIBE THE USE OF THE ACCESSORY BUILDING

Storage of material

3. ADDITIONAL REQUIREMENTS

The following items must be provided in addition to your application:

- ☒ Elevation drawing(s) / floor plan(s)
☒ Site plan(s) showing all dimensions and setbacks

Signature of Applicant [Signature] Date: January 06, 2020



ROCKY VIEW COUNTY

262075 Rocky View Point
Rocky View County, AB, T4A 0X2

403-230-1401
questions@rockyview.ca
www.rockyview.ca

LETTER OF AUTHORIZATION

I, (We) Harmandeep Dhaliwal being the owner (s) of
Lot _____ Block _____ Plan _____

Legal:

NW/NE/SE/SW Section 22 Township 25 Range 28 W 04 M

give Harpreet Dhaliwal permission to act on my
(our) behalf in applying for a Development Permit for the above subject property.

A handwritten signature in blue ink, appearing to read 'Harpreet Dhaliwal'.

(Harpreet Dhaliwal)

Signature

A handwritten signature in blue ink, appearing to read 'Harmandeep Dhaliwal'.

(Harmandeep Dhaliwal)

Signature

January 06, 2020

Date









LAND TITLE CERTIFICATE

S		
LINC	SHORT LEGAL	TITLE NUMBER
0025 732 777	4;28;25;22;;16	141 137 406

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 28 TOWNSHIP 25
SECTION 22
LEGAL SUBDIVISION 16 IN THE NORTH EAST QUARTER
CONTAINING 16.2 HECTARES (40 ACRES) MORE OR LESS
EXCEPTING THEREOUT:

PLAN	NUMBER	HECTARES	ACRES
ROAD	960LK	0.206	0.51
ROAD	9312314	0.061	0.151

EXCEPTING THEREOUT ALL MINES AND MINERALS
AND THE RIGHT TO WORK THE SAME

ESTATE: FEE SIMPLE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 101 233 237

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION

141 137 406	04/06/2014	TRANSFER OF LAND	\$910,000	SEE INSTRUMENT

OWNERS

1649653 ALBERTA INC.
OF 34 TARALAKE CAPE NE
CALGARY
ALBERTA T3J 0J1

ENCUMBRANCES, LIENS & INTERESTS		
REGISTRATION		
NUMBER	DATE (D/M/Y)	PARTICULARS

2943DF	.	RESTRICTIVE COVENANT
9046IU	20/05/1964	RESTRICTIVE COVENANT

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
141 137 406

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

941 291 089	10/11/1994	CAVEAT RE : EASEMENT CAVEATOR - HARVEST OPERATIONS CORP. ATTN: LAND MANAGER PO BOX 20006 CALGARY ALBERTA T2P4J2 (DATA UPDATED BY: TRANSFER OF CAVEAT 001327701) (DATA UPDATED BY: TRANSFER OF CAVEAT 111280322) (DATA UPDATED BY: CHANGE OF ADDRESS 121270911)
141 137 409	04/06/2014	MORTGAGE MORTGAGEE - AGRICULTURE FINANCIAL SERVICES CORPORATION. 4910-52 ST CAMROSE ALBERTA T4V2V4 ORIGINAL PRINCIPAL AMOUNT: \$200,000
141 293 908	29/10/2014	UTILITY RIGHT OF WAY GRANTEE - ATCO GAS AND PIPELINES LTD.
151 261 294	07/10/2015	MORTGAGE MORTGAGEE - SERVUS CREDIT UNION LTD. 151 KARL CLARK ROAD NW EDMONTON ALBERTA T6N1H5 ORIGINAL PRINCIPAL AMOUNT: \$1,000,000
151 261 295	07/10/2015	CAVEAT RE : ASSIGNMENT OF RENTS AND LEASES CAVEATOR - SERVUS CREDIT UNION LTD. 151 KARL CLARK ROAD NW EDMONTON ALBERTA T6N1H5 AGENT - LAWRENCE D LEON
151 261 296	07/10/2015	AMENDING AGREEMENT AMOUNT: \$275,000 AFFECTS INSTRUMENT: 141137409
151 261 297	07/10/2015	POSTPONEMENT OF MORT 141137409 TO MORT 151261294 CAVE 151261295

TOTAL INSTRUMENTS: 009

(CONTINUED)

PAGE 3
141 137 406

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 6 DAY OF
JANUARY, 2020 AT 06:10 P.M.

ORDER NUMBER: 38596278

CUSTOMER FILE NUMBER:

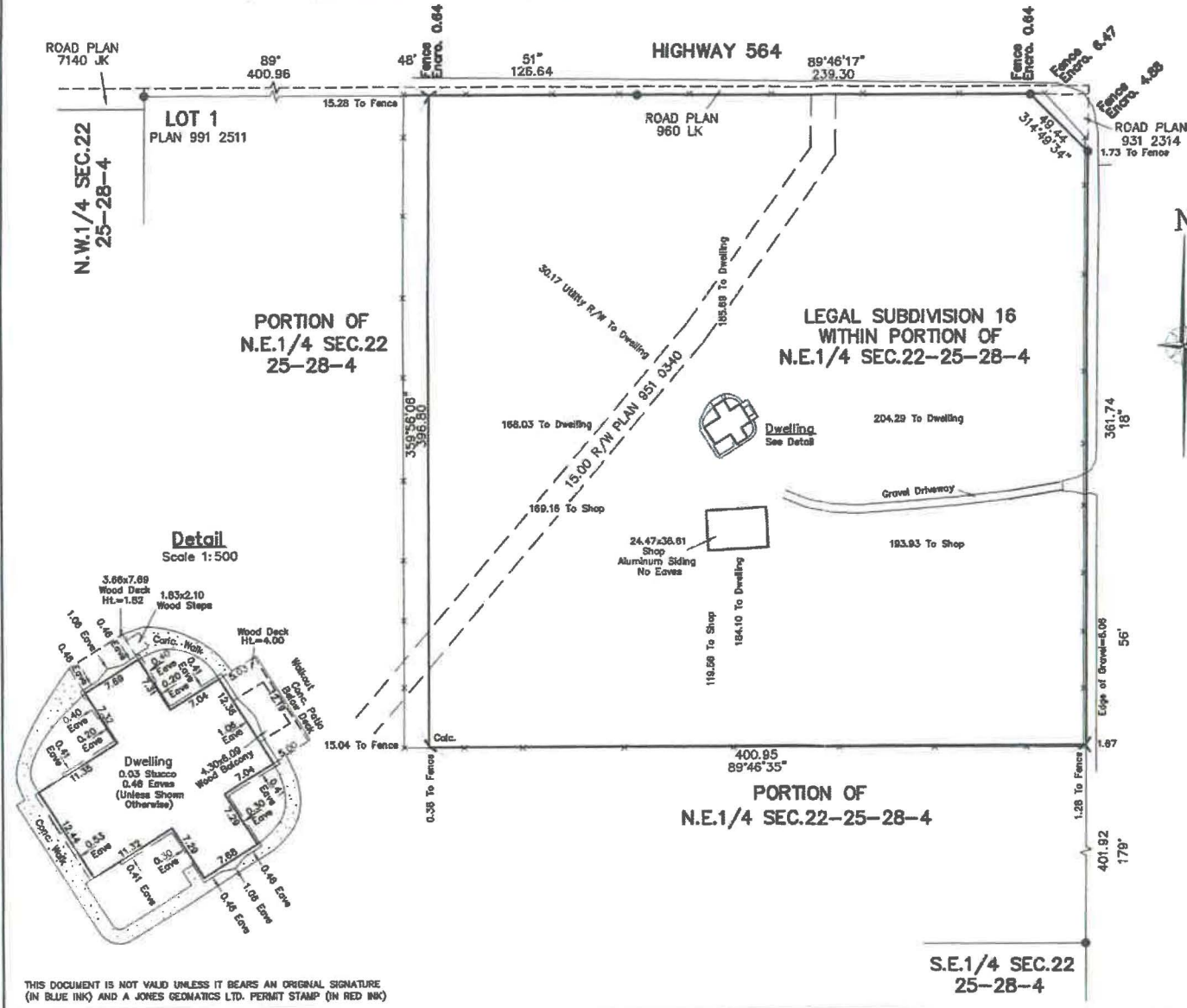


END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT



LEGAL DESCRIPTION:
LEGAL SUBDIVISION 16 IN THE
N.E.1/4 SEC.22, TWP.25, RGE.28, W.4thM.
EXCEPTING THEREOUT PLANS 960 LK AND 931 2314
MUNICIPAL ADDRESS:
253231 RANGE ROAD 282
ROCKY VIEW COUNTY, ALBERTA
CLIENT: HARPREET DHALIWA
SCALE = 1: 2500 metric
CERTIFICATION:

1. JEAN MATHIEU, ALBERTA LAND SURVEYOR, DO HEREBY CERTIFY THAT:
1. THE SURVEY REPRESENTED BY THIS PLAN IS TRUE AND CORRECT AND WAS MADE UNDER MY PERSONAL SUPERVISION.
2. THE SURVEY WAS MADE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE OF THE ALBERTA LAND SURVEYORS' ASSOCIATION. (MOVEABLE SHEDS NOT SHOWN)
3. THE SURVEY WAS COMPLETED ON THE 17TH DAY OF DECEMBER, 2019
4. THE IMPROVEMENTS AS SHOWN ON THIS PLAN ARE ENTIRELY WITHIN THE BOUNDARIES OF THE SUBJECT PROPERTY. (EXCEPT FENCE AS SHOWN)
5. NO VISIBLE ENCROACHMENTS EXIST ONTO THE SUBJECT PROPERTY FROM ANY IMPROVEMENT SITUATED ON AN ADJACENT PROPERTY.
6. NO VISIBLE ENCROACHMENTS EXIST ON REGISTERED EASEMENTS, RIGHTS-OF-WAY OR OTHER REGISTERED EASEMENTS AFFECTING THE THE EXTENT OF TITLE.

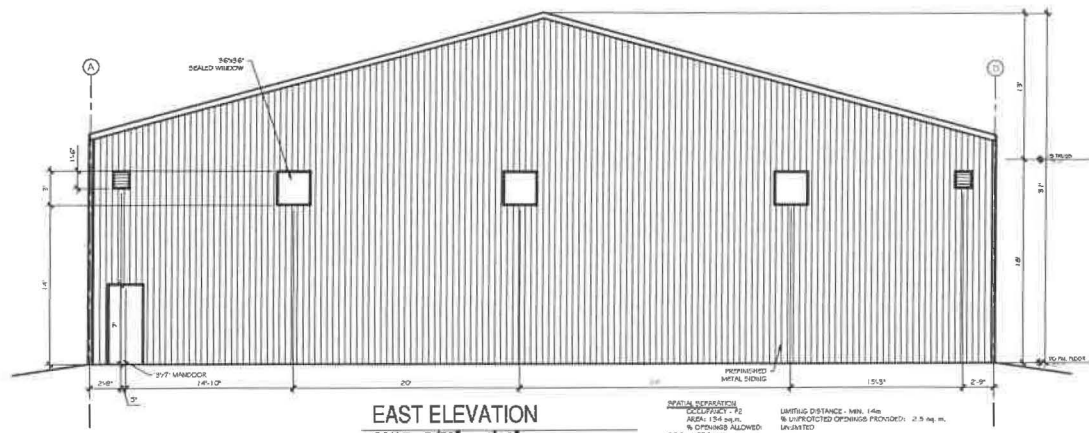
DATED THIS 20th DAY OF DECEMBER, 2019

JEAN MATHIEU, ALBERTA LAND SURVEYOR
C/O JONES GEOMATICS LTD., 2019

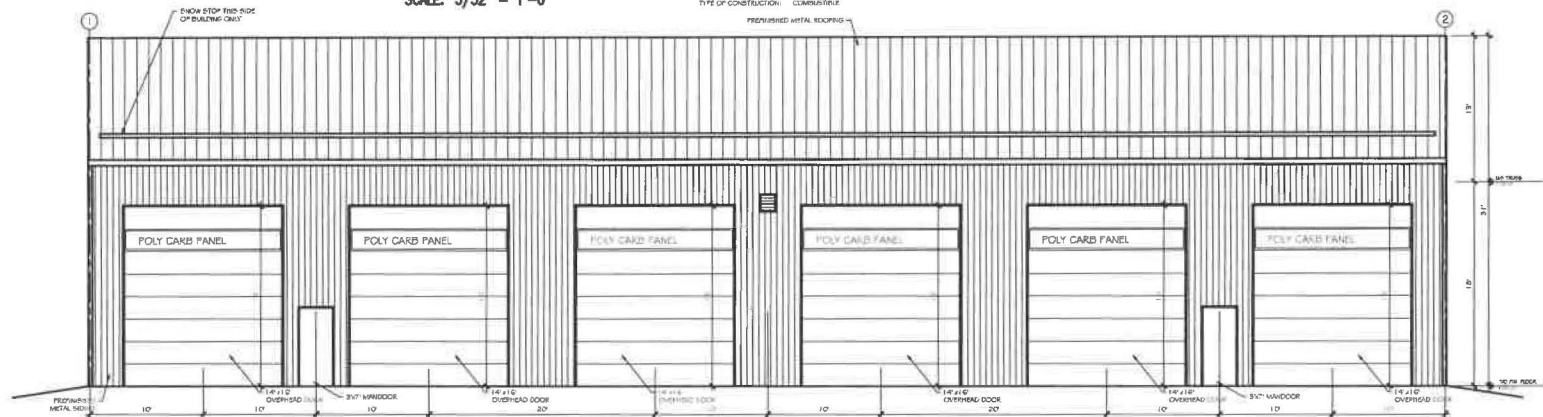
- NOTES:
1. DISTANCES ARE IN METRES.
 2. UNLESS OTHERWISE SPECIFIED, THE DIMENSIONS SHOWN RELATE TO PERPENDICULAR DISTANCES FROM PROPERTY BOUNDARIES TO FOUNDATION WALLS.
 3. ALL EAVES SHOWN ARE DIMENSIONED FROM FOUNDATION TO FASCIA.
 4. ALL FENCES SHOWN ARE WITHIN 0.2 METRES OF THE PROPERTY LINES UNLESS OTHERWISE NOTED.
 5. STATUTORY IRON POST FOUND THUS: ●
 6. FOUND NO MARK IS SHOWN THUS: Fd. No Mk.
 7. PROPERTY LINE IS SHOWN THUS: —
 8. FENCE LINE IS SHOWN THUS: —
 9. TITLE INFORMATION IS BASED ON CERTIFICATE OF TITLE No. 141 137 406, TITLE SEARCH DATED 17 /09/19
 10. PROPERTY IS SUBJECT TO THE FOLLOWING INSTRUMENTS:
-RESTRICTIVE COVENANT INST. No. 2843DF
-RESTRICTIVE COVENANT INST. No. 9048UJ
-EASEMENT INST. No. 941 291 089 (EASEMENT)
-UTILITY R/W INST. No. 141 283 908
PURPOSE:
THIS REPORT AND RELATED PLAN HAVE BEEN PREPARED FOR THE BENEFIT OF THE PROPERTY OWNER, SUBSEQUENT OWNERS AND ANY OF THEIR AGENTS FOR THE PURPOSE OF (A) LAND CONVEYANCE, SUPPORT OF A SUBDIVISION APPLICATION, A MORTGAGE APPLICATION, A SUBMITTAL TO THE MUNICIPALITY FOR A COMPLIANCE, CERTIFICATE, ETC.). COPYING IS PERMITTED ONLY FOR THE BENEFIT OF THESE PARTIES, AND ONLY IF THE PLAN REMAINS ATTACHED. WHERE APPLICABLE, REGISTERED EASEMENTS AND UTILITY RIGHTS OF WAY AFFECTING THE EXTENT OF THE PROPERTY HAVE BEEN SHOWN ON THE ATTACHED PLAN. UNLESS SHOWN OTHERWISE, PROPERTY CORNER MARKERS HAVE NOT BEEN PLACED DURING THE SURVEY FOR THIS REPORT. THE ATTACHED PLAN SHOULD NOT BE USED TO ESTABLISH BOUNDARIES DUE TO THE RISK OF MISINTERPRETATION OR MEASUREMENT ERROR BY THE USER. THE INFORMATION SHOWN ON THIS REAL PROPERTY REPORT REFLECTS THE STATUS OF THE PROPERTY AS OF THE DATE OF SURVEY ONLY. USERS ARE ENCOURAGED TO HAVE THE REAL PROPERTY REPORT UPDATED FOR FUTURE REQUIREMENTS.

Jones Geomatics Ltd.
Alberta Land Surveyor
20, 1232 44th Ave. N.E., Calgary, Alberta T2E 8L5
Ph. (403) 230-0778 Fax (403) 230-0714
E-mail: jonesgeo@telus.net
JR/JM/WD Job No. NP21501-15

THIS DOCUMENT IS NOT VALID UNLESS IT BEARS AN ORIGINAL SIGNATURE (IN BLUE INK) AND A JONES GEOMATICS LTD. PERMIT STAMP (IN RED INK)



EAST ELEVATION
SCALE: 3/32" = 1'-0"



NORTH ELEVATION
SCALE: 3/32" = 1'-0"



B. Apesland

PERMIT TO PRACTICE #: 12810
JULY 10, 2017

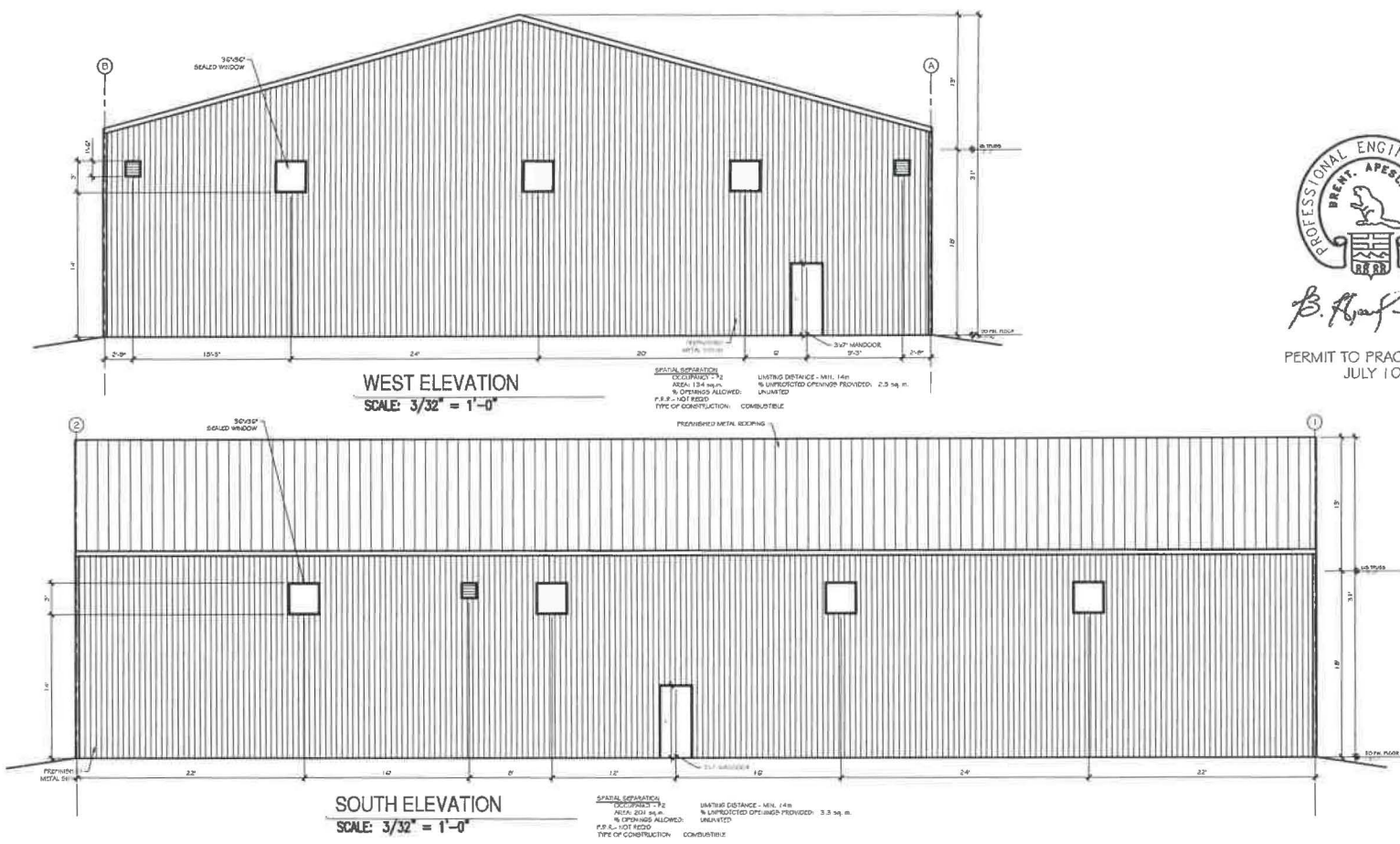
NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR
CHECKING THE DRAWINGS BEFORE
CONSTRUCTION HAS BEGUN AND FOR
ADVISING THE DESIGNER OF ANY NECESSARY
REVISIONS



DH
CONTRACT DRAFTING & DESIGN
3-11th Street NE
Lethbridge, Alberta
T1J 1G5
PH: (403) 936-8241
CELL: 403-936-8241

PROJECT: REMUDA BUILDING - DHALIWAL POST FRAME
NORTH AND EAST ELEVATIONS
DATE: JULY 2017
DRAWN BY: D.H.
SCALE: 3/32" = 1'-0"

DRAWING: A2
REVISION No. 0



B. Apesland

PERMIT TO PRACTICE #: 12810
JULY 10, 2017

NOTE:
THE CONTRACTOR IS RESPONSIBLE FOR
CHECKING THE DRAWINGS BEFORE
CONSTRUCTION HAS BEGUN AND FOR
ADVISING THE DESIGNER OF ANY NECESSARY
REVISIONS



DH
CONTRACT DRAFTING & DESIGN
3 - 11th Street N.E.
Langdon, Alberta
T1L 4G1 (403) 536-2541
email: dh@dhpersonals.ca

PROJECT: REMUDA BUILDING - DHALIWAL POST FRAME
SOUTH AND WEST ELEVATIONS

DATE: JULY 2017	DRAWN BY: DJH	SCALE: 3/32" = 1'-0"
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DRAWING: **A3**
REVISION NO.: **0**

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 07
SUBJECT: Development Item: Single-lot Regrading

DATE: March 9, 2020
APPLICATION: PRDP20193998

APPLICATION: Single-lot regrading and the placement of clean fill for agricultural purposes.

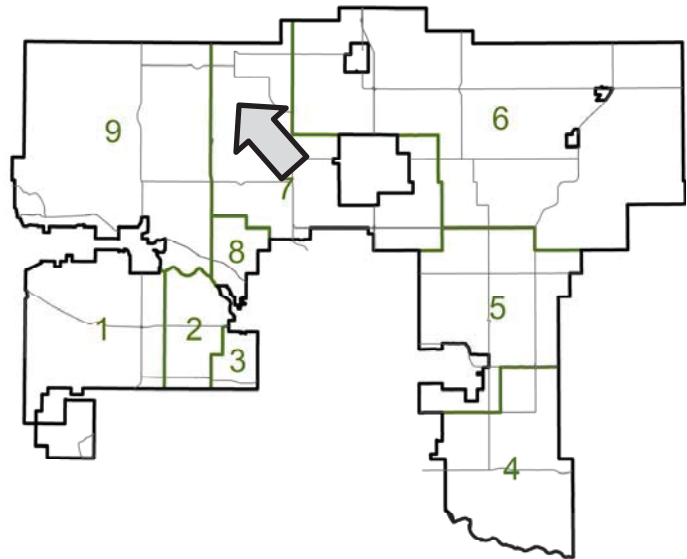
GENERAL LOCATION: Located approximately 0.80 km (1/2 mile) south of Twp. Rd. 282 and on the west side of Rge. Rd. 30

LAND USE DESIGNATION: Agricultural Holdings District (AH)

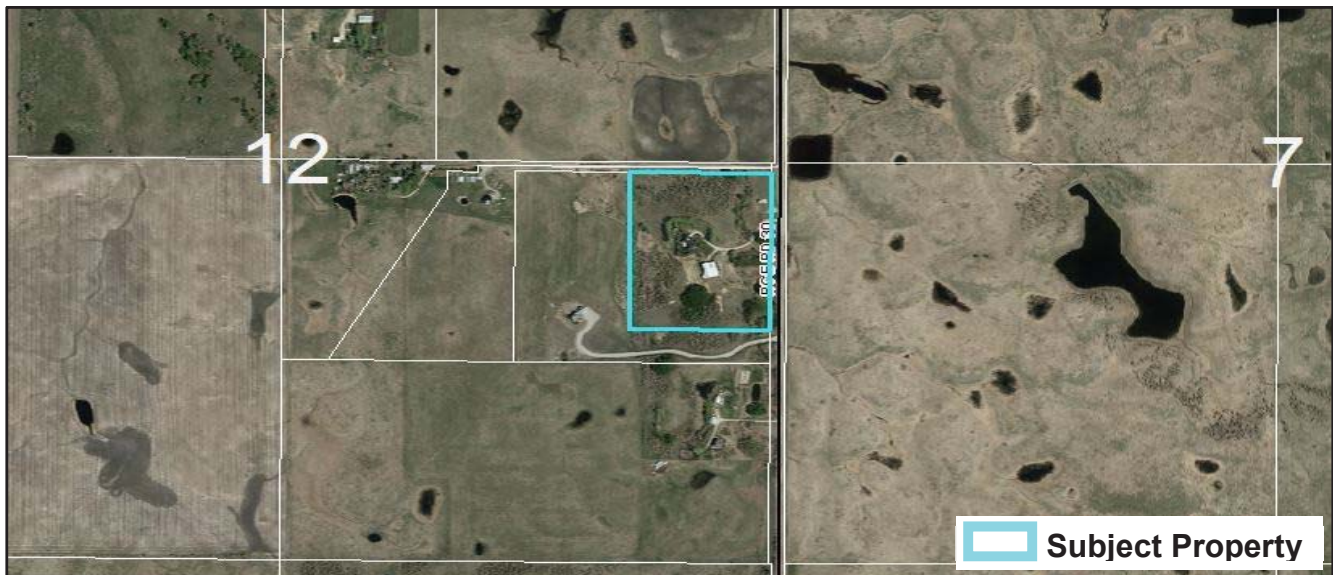
ADMINISTRATION RECOMMENDATION:
Administration recommends approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20193998 be approved with the conditions noted in the report.
- Option #2: THAT Development Permit Application PRDP20193998 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



DEVELOPMENT PERMIT REPORT

Application Date: November 4, 2019	File: 08712007
Application: PRDP20193998	Applicant/Owner: Beau Jousset
Legal Description: Block 1, Plan 9710558, SE-12-28-03-W05M	General Location: located approximately 0.80 km (1/2 mile) south of Twp. Rd. 282 and on the west side of Rge. Rd. 30
Land Use Designation: Agricultural Holdings District (AH)	Gross Area: ±7.28 hectares (±17.99 acres)
File Manager: Sandra Khouri	Division: 07

PROPOSAL:

The proposal is for the single-lot regrading and the placement of clean fill for agricultural purposes.

The intent of the proposal is to do some brush clearing and minor re-contouring on the west side of the property in order to make the land more suitable for cattle grazing.

The original site plan submitted with the application also included the expansion of a pond on the east side of the property to increase its capacity in order to prevent flooding of Range Road 30. Additionally, a privacy berm would be constructed along the east side of the pond from the excavated fill material. During the application review process Engineering determined that since the work was within a riparian protection area an Erosion and Sediment Control plan would be required prior to issuance of the permit. As such, the Applicant has decided to remove this portion of the work from the application.

The proposed work identified on this application includes the following:

- Re-contouring of an area south of the dwelling (approximately 39.05 m x 49.95 m) with a 7% slope.
- Excavation of a triangular area further south (approximately 21.19 m x 44.74 m) with a 3:1 slope.
- The total regrading area is approximately 2,780.00 sq. m.

Development Permit History:

2001-DP-9200	Private Riding Arena; issued April 4, 2001
--------------	--

STATUTORY PLANS:

The subject property is not located within any Area Structure Plan or Conceptual Scheme. As such, this application was evaluated in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:

January 07, 2020

- No obvious signs of work being commenced
- The existing pond is smaller than the proposed pond and at a low point
- Foliage and light brush impede the development from proceeding

CIRCULATIONS:Alberta Environment and Parks

No comments received.

Development Compliance Officer Review

Development Compliance has the following recommendations regarding this application:

- Recommend that noise control measures be required during excavation work;
- Recommend that applicant be required to provide a report from a qualified professional outlining pre and post work grades in order to confirm compliance with any approvals.

Development Compliance file related to application:

- File #DC201909-0132 – Concern received that excavation work was being done on the subject property without permits or approvals. Development Compliance investigated and determined that no permits were in place for filling/grading. Officer spoke with the land owner, who admitted to doing work to prepare an area of the property for livestock grazing. The owner was directed to apply for a development permit.

Agricultural Services

The fish pond noted in the application is classified as a wetland under the Alberta Merged Wetland Inventory. If the applicant intends to alter or fill in the wetland they will need to obtain the proper approvals from Alberta Environment. If possible, the berm should be located outside of the riparian area to minimize disturbance.

Transportation Services

Transportation Services has the following recommendations/advisories/comments regarding this application:

- Site Grading, fill placement, temporary stockpile placement and berm construction are not to negatively impact existing surface drainage or direct additional surface drainage into adjacent County road allowance.
- Height and location of proposed structure/berm/stockpile/sign are not to interfere with motorist sight lines along County roads.
- Applicant to confirm with AEP requirement for any approach permits to expand existing fish pond

Capital Project Management

No concerns.

Utility Services

No Concerns.

Planning and Development Services - Engineering**General:**

- The review of this file is based upon the application submitted. These conditions/recommendations may be subjected to change to ensure best practices and procedures.

Geotechnical:

- Applicant is proposing to re-grade the site for agricultural purposes.

- As a permanent condition, the applicant will be required to provide compaction testing results, prepared and provided by a qualified professional, for any areas of the site filled greater than 1.2m in depth.
- Engineering has no requirements at this time.

Transportation: Access to the parcel is provided off Range Road 30.

- This is unlikely to increase traffic on local road networks. Traffic Impact Assessment and TOL are not required.
- Engineering has no requirements at this time.

Sanitary/Waste Water:

- No information was provided.
- Engineering has no requirements at this time.

Water Supply and Waterworks:

- No information was provided.
- Engineering has no requirements at this time.

Storm Water Management:

- The proposed development involves excavation and re-contouring of the site.
- Prior to issuance, the applicant will be required to submit a site specific stormwater management (SSSM) memo, prepared by a qualified professional, assessing the post development site stormwater management to identify if there are off-site drainage impacts due to proposed development. The SSSM memo shall also assess and recommend if any stormwater management measures are required to be implemented due to the proposed development. If the findings of the plan require local improvements, SSSM memo should provide an onsite stormwater management strategy for the proposed development in accordance with the County Servicing Standards.
- As a permanent condition, the applicant is required to implement recommendations of the SSSM memo in accordance with the County's Servicing Standards.

Environmental:

- The County's GIS system shows a wetland and Beaverdam creek tributary on the east side of the parcel.
- Prior to issuance of this permit, the Applicant is required to submit an Erosion and Sediment Control plan prepared by a qualified professional, due to development's proximity to the environmental sensitive area.
- As per the revised application, there is no disturbance to the wetland and Beaverdam creek. As a permanent condition, any Alberta environment approvals for wetland/watercourse disturbance will be the sole responsibility of the applicant.

OPTIONS:

Option #1: (this would allow the development)

APPROVAL subject to the following conditions:

Description:

1. That single-lot regrading and the placement of clean fill for agricultural purposes with a total regrading area of approximately 2,780.00 sq. m. shall be permitted in general accordance with the approved drawings and the conditions of this permit including:

- i. Re-contouring and brush clearing in the area south of the dwelling, single detached (approximately $\pm 2,234.76$ sq. m in area with a 7% slope); and
- ii. Excavation of an area south of the dwelling, single detached (approximately ± 474.02 sq. m in area with a 3:1 slope).

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owners shall submit an Irrevocable Letter of Credit or Refundable Security, in the amount of \$5,000 per disturbed acre, to be deposited with the County to ensure that conditions of this permit are met. If conditions of this permit are not met, the County may use the funds, enter onto the described land, and carry out the work necessary to meet the conditions. *Note, the total disturbed area for the application is 0.69 acres.*
3. That prior to issuance of this permit, the Applicant/Owner shall submit an Erosion and Sediment Control (ESC) plan prepared by a qualified professional, due to development's proximity to the environmental sensitive area, in accordance with County Servicing Standards.
4. That prior to issuance of this permit, the Applicant/Owner shall submit a site-specific stormwater management (SSSM) memo, prepared by a qualified professional, assessing the post development site stormwater management to identify if there are off-site drainage impacts due to proposed development.
 - i. The SSSM memo shall also assess and recommend if any stormwater management measures are required to be implemented due to the proposed development. If the findings of the plan require local improvements, SSSM memo should provide an onsite stormwater management strategy for the proposed development in accordance with the County Servicing Standards.
5. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

Permanent:

6. That for all areas where over 1.2 m of fill is placed, the Applicant/Owner shall provide a Deep Fill Report, prepared by a qualified professional, providing the compaction testing of the fill and general recommendations for the suitability of different types of building foundations as there is potential that future landowners could construct a structure over the filled area.
7. That upon completion of the proposed development, the Applicant/Owner shall submit an as-built survey, confirming that the development proposal and post grades align with the supporting technical submissions for the file.
8. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition shall be implemented and adhered to in perpetuity, including the SSSM memo.
9. That the Applicant/Owner shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.

10. That the Applicant/Owner shall take effective measures to control dust in the regrading area of the subject property, so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity.
 - i. That if at any time the removal or handling of the fill creates a visible dust problem, the removal or handling of the fill shall cease immediately until remedial measures are taken.
11. That any material entering to or leaving from the site, shall be hauled on/off in a covered trailer/truck, which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.
12. That with the removal of any fill, the Applicant/Owner shall take whatever means necessary to avoid the transfer of dirt onto public roadways.
 - i. That the clean-up of any mud tracking and/or dirt that enters onto adjacent Highway and/or County roads during hauling shall be the responsibility and cost of the Applicant/Owner for clean-up.
13. That no topsoil shall be removed from the subject property.
14. That the fill shall not contain construction rubble or any hazardous substances, including but not limited to large concrete, rebar, asphalt, building materials, organic materials, or other metal.
15. That the entire site shall be maintained in a neat and orderly manner at all times to the satisfaction of the Development Authority.
16. That the proposed graded area, if possible, shall have a minimum of six inches of topsoil placed on top, which shall then be spread and seeded to native vegetation, farm crop, or landscaped, to the satisfaction of the County.

Advisory:

17. That the Applicant/Owner shall be responsible for weed control and shall adhere to the regulations in the Alberta Weed Control Act [Statutes of Alberta, 2008 Chapter W-5.1, December 2017] at all times.
18. That should there be any work to impact any wetlands, the Applicant/Owner shall obtain all Alberta Environment and Parks (AEP) approvals and permits for working in and/or near wetlands. A copy of all applicable AEP approvals or written verification from AEP that approvals are not required shall be provided before commencing any work.
19. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
20. That if the development authorized by this Development Permit is not completed within 12 months of the date of permit issuance, the permit is deemed to be null and void.
21. That if this Development Permit is not issued by **SEPTEMBER 30, 2020** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

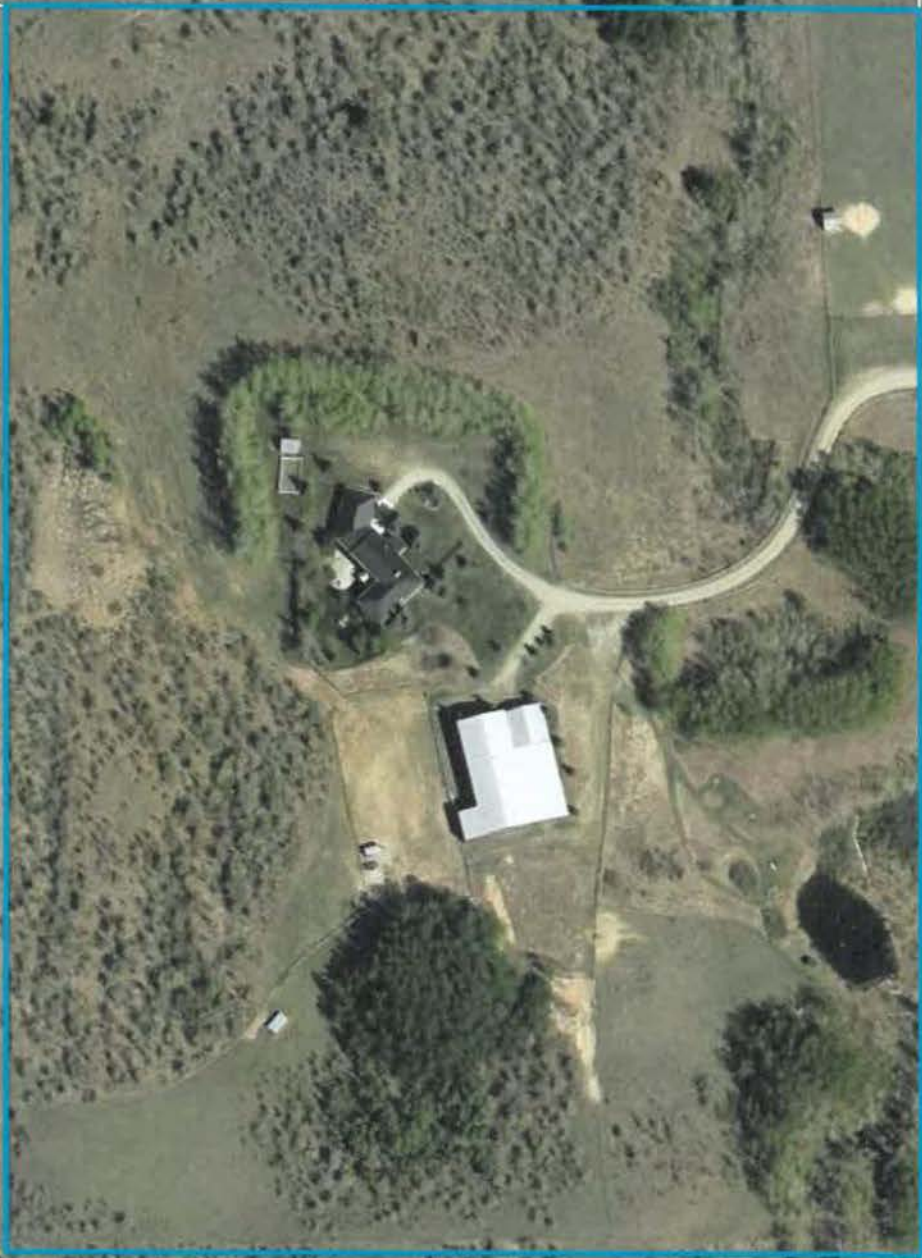
Note: That the Applicant/Owner shall be responsible for all Alberta Environment approvals/compensation as there may be wetlands on site that could be impacted by the proposed placement of topsoil.



Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.







ROCKY VIEW COUNTY
Cultivating Communities

20193998

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted \$265.00	File Number 08712007
Date of Receipt NOV 9/19	Receipt # 2019022652

Name of Applicant Beau Jossel Email [REDACTED]
Mailing Address [REDACTED]
Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]
For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) Wayne Porterfield
Mailing Address [REDACTED]
Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the SE $\frac{1}{4}$ Section 12 Township 28 Range 3 West of 5 Meridian
b) Being all / parts of Lot 1 Block 1 Registered Plan Number 9710558
c) Municipal Address 281111 Range Road 30, Madden Alberta
d) Existing Land Use Designation AH Parcel Size 18 Acres Division _____

2. APPLICATION FOR

Stripping, loading, site recontouring.

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No ✓
b) Is the proposed parcel within 1.5 kilometres of a sour gas facility?
(Sour Gas facility means well, pipeline or plant) Yes _____ No ✓
c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No ✓
d) Does the site have direct access to a developed Municipal Road? Yes ✓ No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I Beau Jossel hereby certify that _____ I am the registered owner
(Full Name in Block Capitals)

✓ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

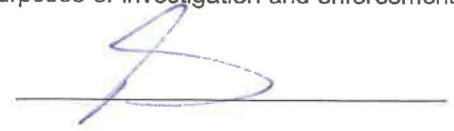
**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

Applicant's Signature [Signature]
Date Oct 24, 2019

Owner's Signature _____
Date _____

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Reaw Jousset, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


Signature

Oct 24, 2019
Date



STRIPPING, FILLING, EXCAVATION AND GRADING

FOR OFFICE USE ONLY	
Fee Submitted \$265.00	File Number 0871/2007
Date of Receipt Oct 25/19	Receipt #

Name of Applicant Brian Jousset

Address of Applicant [REDACTED]

Telephone (C) [REDACTED] (H) _____ (Fax) _____

1. NATURE OF THE APPLICATION

Type of application (Please check off all that apply):

- | | |
|--|---|
| <input type="checkbox"/> Site stripping | <input checked="" type="checkbox"/> Re-contouring |
| <input type="checkbox"/> Filling | <input type="checkbox"/> Stockpiling |
| <input type="checkbox"/> Excavation (including removal of topsoil) | <input type="checkbox"/> Construction of artificial water bodies and/or dugouts |
| <input type="checkbox"/> Grading | <input type="checkbox"/> Other _____ |

2. PURPOSE

What is the intent of the proposal? To clear brush and recontour a small section of land to improve grazing for cows.

Indicate the effect(s) on existing drainage patterns or environmentally sensitive areas (i.e. riparian, wetland, waterbodies) (if applicable) _____

None

☒ The fill does not contain construction rubble or any hazardous substances (please check)

3. TYPE

Height <u>0.50m</u> <u>3m</u>	Volume <u>1178.8 / 2682.75</u> meters cubed
Width <u>15.47m</u> <u>44.74m</u>	Truckload _____ (approximately)
Length <u>25.4m</u> <u>49.96m</u>	Slope Factor <u>77.</u> (if applicable)
Area <u>3280</u> <u>450 / 2780</u> square metres <u>m²</u>	

* Please show all measurements in detail on your site plan.

4. TERMS AND CONDITIONS

(a) General statement about conditions:

- The Development Authority may include any condition necessary to satisfy a Land Use Bylaw provision, a County Plan, Area Structure Plan, Conceptual Scheme, Master Site Development Plan policy and/or County Servicing Standard.
- Where on-site works are proposed the County may, by condition, require the provision of a Construction Management Plan and/or Stormwater Management Plan.
- The Development Authority may impose any condition to meet a requirement of the Municipal Government Act or Subdivision and Development Regulation.
- As a condition of development approval, the Development Authority may include the requirement to update technical reports submitted with the application.

5. The Development Authority shall impose relevant requirements for the payment of levies associated with Bylaws for transportation, wastewater, water supply and stormwater:
 - i. Transportation Offsite Levy Bylaw;
 - ii. Water and Wastewater Offsite Levy Bylaw; and
 - iii. Such other Bylaws as may be in force or come into force and be applicable to development or activities on or services provided to the subject land from time to time.
6. The Development Authority shall determine any oversizing requirements for services and infrastructure required to be constructed as part of the proposed development. The County will determine Cost Recovery arrangements through preparation and execution of documents prior to endorsement of a plan of survey for registration.

(b) *Technical reports* are defined as any report or any information regarding a matter identified in the Municipal Government Act, Subdivision and Development Regulations, Statutory Plan, County Policy, Servicing Standards or Bylaw.

(c) General statement about technical reports:

1. Additional technical reports may be required after the time of application, based upon the ongoing assessment of the application.

(e) All costs of development are borne by the landowner / applicant including, but not limited to, all on and off-site construction works, infrastructure development, securities, levies, contributions, additional fees associated the preparation and review of reports and technical assessments, endorsement fees imposed by the County, registration fees and such other costs as may be associated with the development of the land. Further, that it is the landowner / applicant responsibility to identify and consider all costs of development.

(f) The applicant and landowner acknowledge that not providing the information required in this form or failing to provide accurate information may prejudice the assessment of the application.

(g) The applicant and landowner acknowledge that the County including individual staff members have not provided an advisory role with respect to the preparation and making of this application and that the decision to make the application is entirely that of the applicant and landowner.

(h) It should be noted that while every effort is made to ensure the applicants are provided with clear information regarding the requirement for application, that over the course of the application assessment process, particularly following a full technical review and also following submissions from agencies, additional technical information may be required. In addition to the requirement for further technical information, further justification regarding the merits of a development proposal may also be required.

5. ADDITIONAL INFORMATION

I Beno Jossel hereby certify that
(Print Full Name)

☐ I am the registered owner

☒ I am authorized to act on behalf
of the registered owner

and that the information given on this form and the material provided with this application is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application for subdivision approval. Further, I have read, understood and accept the contents, statements and requirements contained and referenced in this document – **STRIPPING, FILLING, EXCAVATION AND GRADING.**

PLEASE PROVIDE ALL OF THE ABOVE INFORMATION. THANK YOU.

Beau Jousset

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

November 1, 2019

Rocky View County

Planning and Development Services
262075 Rocky View Point
Rocky View County, AB T4A 0X2

Dear **Rocky View County**:

Outlined below is the information related to the requested development, which has been divided into two sections.

The western portion of the property depicted as "Area of Re-Grading" consists mainly of brush clearing and land cultivation, however, due to the topography of the land some minor re-contouring is needed as shown in the attached cross section. The intent of the development is to make more productive use of the land for grazing cattle. This area will also serve as additional area for hay storage.

The second portion of the development consists of expanding the existing fish pond on the east end of the property. The intent is to increase capacity to prevent flooding of Range Road 30 during heavy rains

Material from the excavation will be used to construct a privacy berm along the east side of the pond.

Sincerely,

Beau Jousset

Sandra Khouri

From: Beau Jousset <beau@acreprime.ca>
Sent: Monday, January 27, 2020 8:36 AM
To: Sandra Khouri
Subject: RE: PRDP20193998 - File Update

Follow Up Flag: Follow up
Flag Status: Flagged

Categories: CityView Permitting Attachment

Sandra,

It may be best to remove the pond expansion from the permit as the additional requirements are not feasible at this point.

Thank you,

Beau Jousset
Construction Manager

-
beau@acreprime.ca
Office: 403-235-2222
Cell: 587-727-0065
Fax: 403-235-2228

234234 Wrangler Rd.
Rocky View County, AB T1X 05P
www.acreprime.ca

[OBJ]

YOU MUST READ THIS NOTICE

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From: SKhouri@rockyview.ca <SKhouri@rockyview.ca>
Sent: Friday, January 10, 2020 9:29 AM
To: beau@acreprime.ca
Subject: PRDP20193998 - File Update

Good morning Beau,

My name is Sandra Khouri and I am the Development Officer reviewing your development permit application for the lot regrading, pond expansion, and berm construction on your property. I have been in discussion with our Engineer regarding your proposal and there were a couple of concerns that were brought up that I wanted to discuss with you.

Our main concern is with regards to the pond expansion and berm. The pond is classified as a wetland by Alberta Environment and Parks (AEP) which means you are required to obtain their approval prior to the work being done. This approval, if granted, would likely include compensation to the province for the disturbance of a wetland. As the pond is within Provincial jurisdiction, it is your responsibility to obtain the AEP in addition to the development permit through the County. I wanted to make sure you were aware of this in advance, as obtaining AEP approval will likely take some time and money beyond what the County's permit process entails.

Also, just as an FYI if this permit were to be approved by the County, a condition of the permit would require you to provide an Erosion and Sediment Control plan prepared by an Engineer (due to the proximity of the grading works to the environmentally sensitive area) as well as a site specific stormwater memo, prepared by an Engineer (to identify any offsite drainage impacts that could arise as a result of the works). We need to ensure that any impacts to drainage are mitigated prior to the work commencing.

Secondly, a riparian protection buffer runs along the east side of your property and it covers the majority of the east side of the pond (the buffer is in yellow in the photo attached). Any development within the riparian buffer needs to prove that it will not impact the watercourse. Your proposed pond expansion and berm appear to be right within the protection area and also appear to be outside of your property boundaries (your site plan is also attached for reference). Would it be possible to redesign your proposal to have the work done on the west side of the pond so that it remains within your property boundaries? If not, I will need a revised site plan identifying that the works will occur entirely within your property boundaries.

Thank you and I look forward to your response!

SANDRA KHOURI

Development Officer | Planning and Development Services

ROCKY VIEW COUNTY

262075 Rocky View Point | Rocky View County | AB | T4A 0X2

Phone: 403-520-3934

skhouri@rockyview.ca | www.rockyview.ca

This e-mail, including any attachments, may contain information that is privileged and confidential. If you are not the intended recipient, any dissemination, distribution or copying of this information is prohibited and unlawful. If you received this communication in error, please reply immediately to let me know and then delete this e-mail. Thank you.



HISTORICAL LAND TITLE CERTIFICATE
CURRENT TITLE WITH HISTORICAL DATA

S
LINC SHORT LEGAL TITLE NUMBER
0027 013 085 9710558;1 111 108 527

LEGAL DESCRIPTION
PLAN 9710558
BLOCK 1
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 7.28 HECTARES (17.99 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5;3;28;12;SE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 061 140 418

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
111 108 527	04/05/2011	TRANSFER OF LAND	\$845,000	\$845,000

OWNERS

LAURA PORTERFIELD

AND

WAYNE PORTERFIELD

BOTH OF:

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
------------------------	--------------	-------------

751 085 051	12/08/1975	UTILITY RIGHT OF WAY GRANTEE - COCHRANE LAKE GAS CO-OP LTD.
-------------	------------	--

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
111 108 527

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
761 118 263	24/09/1976	CAVEAT RE : DEFERRED RESERVE CAVEATOR - THE CALGARY REGIONAL PLANNING COMMISSION.
111 108 528	04/05/2011	MORTGAGE MORTGAGEE - THE BANK OF NOVA SCOTIA. 102, 304 MAIN ST PO BOX 3009 AIRDRIE ALBERTA T4B3C3 ORIGINAL PRINCIPAL AMOUNT: \$500,000
111 230 840	09/09/2011	MORTGAGE MORTGAGEE - AGRICULTURE FINANCIAL SERVICES CORPORATION. 4910 52 ST, BOX 5000 STN. MAIN CAMROSE ALBERTA T4V4E8 ORIGINAL PRINCIPAL AMOUNT: \$325,000
121 067 289	21/03/2012	AMENDING AGREEMENT AMOUNT: \$375,000 AFFECTS INSTRUMENT: 111230840
121 297 718	14/11/2012	AMENDING AGREEMENT AMOUNT: \$425,000 AFFECTS INSTRUMENT: 111230840
141 099 597	29/04/2014	DISCHARGE OF MORTGAGE 111230840 AND AMENDING AGREEMENT 121067289 AND AMENDING AGREEMENT 121297718

TOTAL INSTRUMENTS: 007

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 4 DAY OF
OCTOBER, 2019 AT 03:08 P.M.

ORDER NUMBER: 38134395

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

(CONTINUED)

PAGE 3
111 108 527

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

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ROCKY VIEW COUNTY

262075 Rocky View Point
Rocky View County, AB, T4A 0X2

403-230-1401
questions@rockyview.ca
www.rockyview.ca

LETTER OF AUTHORIZATION

I, (We) WAYNE PORTERFIELD being the owner (s) of
Lot 1 Block 1 Plan 9710558

Legal:

NW/NE/SE/SW Section 12 Township 28 Range 3 W 5 M

give Beau Jousset permission to act on my
(our) behalf in applying for a Development Permit for the above subject property.

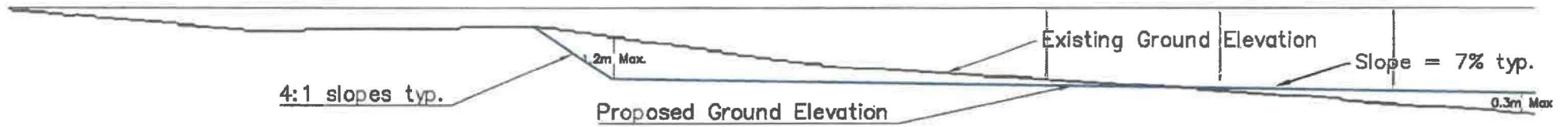
Signature

Signature

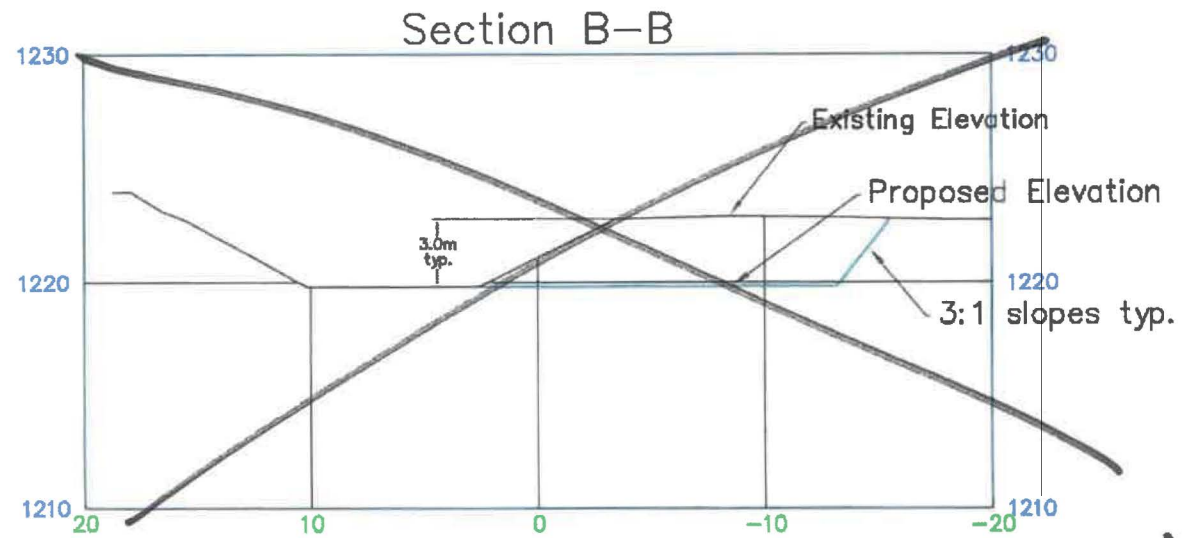
Date

Oct 24, 2019





SECTION A-A



removed



2020.01.07 14:58





2020.01.07 14:58





2020.01.07 14:58



2020.01.07 14:59





2020.01.07 15:00



2020.01.07 15:00



2020.01.07 15:00

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: March 9, 2020

DIVISION: 08

APPLICATION: PRDP20200050

SUBJECT: Development Item – Single-lot Regrading and Placement of Clean Fill

APPLICATION: Single-lot regrading and placement of clean fill at the SE corner of the property.

GENERAL LOCATION: located approximately 1.61 km (1 mile) north of Hwy. 1A and 0.41 km (1/4 mile) west of 12 Mile Coulee Road

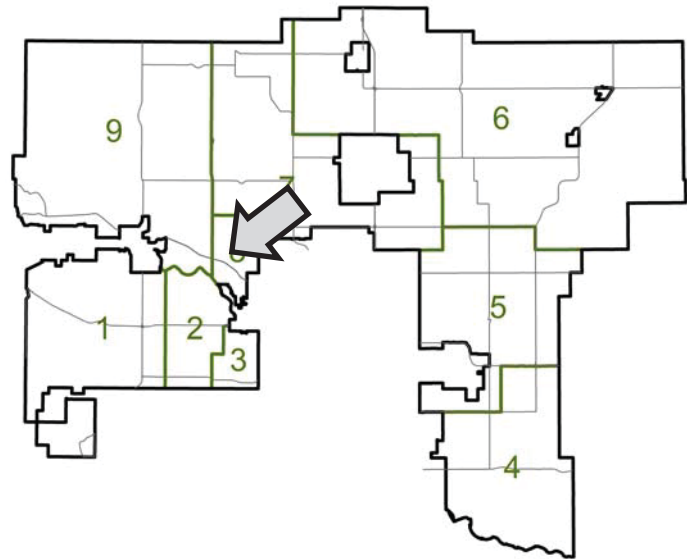
LAND USE DESIGNATION: Residential One District (R-1)

ADMINISTRATION RECOMMENDATION:
Administration recommends approval in accordance with Option #1.

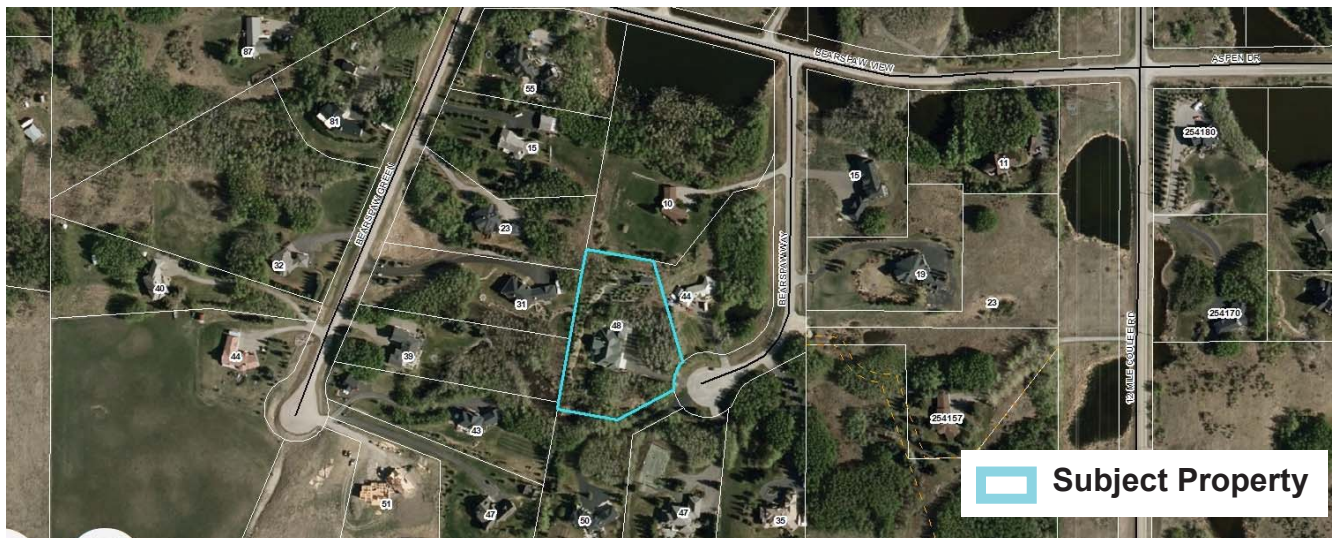
OPTIONS:

Option #1: THAT Development Permit Application PRDP20200050 be approved with the suggested conditions noted in the staff report.

Option #2: THAT Development Permit Application PRDP20200050 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT



Administration Resources

Xin Deng, Planning and Development Services



DEVELOPMENT PERMIT REPORT

Application Date: January 13, 2020	File: 05630059
Application: PRDP20200050	Applicant: Stormwater Solution (Jessica Terpstra) Owner: Ronald & Lorraine Cargo
Legal Description: Lot 6, Block 7, Plan 9311582, NE-30-25-02-W05M	General Location: located approximately 1.61 km (1 mile) north of Hwy. 1A and 0.41 km (1/4 mile) west of 12 Mile Coulee Road
Land Use Designation: Residential One District (R-1)	Gross Area: ± 0.85 hectares (± 2.12 acres)
File Manager: Xin Deng	Division: 08

PROPOSAL:

The proposal is for single-lot regrading and placement of clean fill at the SE corner of the property, which is Phase 2 of the development work related to the approved Development Permit (DP) #PRDP20193725.

- The property (48 Bearspaw Way) contains a dwelling and attached garage, which is accessed by the existing approach off Bearspaw Way.
- The Phase 1 DP application (PRDP20193725) intended to address flooding issue on the subject land and adjoining properties, by construction of a culvert to direct water from the SE corner to the SW corner of the property, in order to restore the natural drainage, course of the area that existed pre development of the area. That DP was issued on December 4, 2019.
- The culvert installed on the subject land through the DP (PRDP20193725) will discharge stormwater to the exiting wetland located on the neighbour's property to the west (39 Bearspaw Green). The Applicant (Engineering Consultant) discussed with the owners of 39 Bearspaw Green in November last year to explain the proposed stormwater solution. The owners had no objections.
- This DP application is Phase 2 of the proposal, to fill the lower area in SE corner of the property.
- It is anticipated that approximately 330 sq. m. of land in the SE corner will be filled, and approximately 110.00 cu. m of material, with 14 truckloads.

LAND USE BYLAW (C-4841-97):

The application has been evaluated in accordance with Section 33 Stripping, Filling, Excavation, and Grading of the Land Use Bylaw.

Section 33.2 A Development Permit application for site stripping, filling, excavation, grading, and/or re-contouring (including construction of artificial water bodies and dugouts) shall include the following information:

- a) location and area of the site on which the development is proposed;*
- b) existing land use and vegetation;*



- c) *type of excavation, stripping, or grading proposed, showing the dimensions of the operation or the area of the land and depth to which the topsoil is to be removed, and the effect on existing drainage patterns;*
 - d) *location on the lot where the excavation, stripping, or grading is to be made on the lot; and*
 - e) *condition in which the excavation, stripping, or grading is to be left when the operation is complete (including submission of Site Grading or Re-Contouring Plans if required by the Development Authority), or the use of the area from which the topsoil is removed.*
- The Applicant provided drawings and information that meet the above requirements and facilitate evaluation. The drawings show the proposed regrading area and elevation changes after the regrading.

PARCEL INFORMATION:

Planning Applications:

- 1992-RV-167 subdivision application was approved to create 5 residential lots. The subdivision was registered in Plan 9311582 in 1993. The subject land is one of the residential lots.

Development Permit Applications:

- PRDP20142306 Development Permit for “single-lot regrading and placement of clean fill” was conditionally approved in June 9, 2015. The Applicant requested time extension a couple of times in order to meet “prior to issuance conditions”. However, those conditions still remain outstanding after time extension. The file was closed on July 21, 2016.
- PRDP20193725 Development Permit for “single-lot regrading, for installation of a culvert” was issued on December 4, 2019.

Building Permit Applications:

- 2011-BP-24386 Building Permit for “Single Family Dwelling” was issued on December 2, 2011
- 2012-BP-25080 Building Permit for “Accessory Building” was issued on July 24, 2012.

STATUTORY PLANS:

The subject land does not fall within any Area Structure Plan but is located within the Rocky View County/City of Calgary Intermunicipal Development Plan. The application was circulated to the City of Calgary but no response was received. The application was primarily evaluated in accordance with the Land Use Bylaw.

INSPECTOR’S COMMENTS:

- The subject land (48 Bearspaw Way) was gated, so staff couldn’t get into the property;
- However, staff was able to take some photos from adjacent property to the south (50 Bearspaw Way) with permission of the owner of the property. It appears that no fill on the subject land.

CIRCULATIONS:

City of Calgary:

- No response.



Municipal Enforcement, Rocky View County:

- Recommend that dust and noise control measures be required;
- Recommend that applicant be required to provide a report from a qualified professional outlining pre and post work grades in order to confirm compliance with any approvals.

Agricultural Services, Rocky View County:

- No agricultural concerns.

Operations Division, Rocky View County:

- Utility Services: No concerns
- Maintenance: No response
- Transportation Services:
 - Applicant to contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - Site Grading, fill placement, temporary stockpile placement and berm construction are not to negatively impact existing surface drainage or direct additional surface drainage into adjacent County road allowance

Planning and Development Services - Engineering, Rocky View County:

General:

- The review of this file is based upon the application submitted. These conditions / recommendations may be subjected to change to ensure best practices and procedures.

Geotechnical:

- As a permanent condition, the applicant will be required to provide compaction testing results, prepared and provided by a qualified professional, for any areas of the site filled greater than 1.2m in depth.

Transportation:

- Access to the parcel is provided off Bearspaw Way.
- Prior to issuance of the permit, the applicant is to contact County's Road Operations to verify whether a Road use agreement is required for hauling fill on to the site.
- This is unlikely to increase traffic on local road networks. Traffic Impact Assessment and Transportation off site levy are not required.

Sanitary/Waste Water:

- No information was provided.
- Engineering has no requirements at this time.

Water Supply and Waterworks:

- No information was provided.
- Engineering has no requirements at this time.

Stormwater Management:

- Applicant submitted a revised stormwater memo, prepared by Stormwater Solutions, dated February 10, 2020.



- As per the memo, the proposed culvert will reduce the ponding on Lot # 48. There will be no grade changes to area surrounding the culvert. Importing and placement of the fill will be done to ensure the runoff is directed to the proposed culvert. There are no off-site drainage impacts due to proposed re-grading.

Environmental:

- As per the stormwater memo, stormwater will be directed from the impounded area of the subject land towards the wetland.
- As a permanent condition, any Alberta environment approval for wetland disturbance is sole responsibility of applicant/owner.

OPTIONS:

Option 1: (this would allow the development to proceed)

APPROVAL, subject to the following conditions:

Description:

1. That the single-lot regrading and placement of clean fill (Phase 2 of PRDP20193725), may commence on the site in general accordance with the approved application drawings and information submitted with the application and includes:
 - i. Regrading of the low area in the southeast of the subject property, approximately 330 sq. m in area, with approximately 110.00 cu. m of fill;

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

Permanent:

3. That the Applicant/Owner shall submit Deep Fill reports, prepared and provided by a qualified professional, for any areas of the property filled, that exceed 1.2 m in depth.
4. That upon completion of the development proposal, the proposed development graded area (as per the approved site plan), shall be spread and seeded to native vegetation, farm crop, or landscaped to the satisfaction of the County.
5. That upon County request, the Applicant/Owner shall submit as-built drawings, confirming that the post grades align with supporting technical reports as approved with the application.
6. That the Applicant/Owner shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
7. That the Applicant/Owner shall take effective measures to control dust in the grading areas of the subject property, so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity.
 - i. That if at any time the removal or handling of the topsoil creates a visible dust problem, the removal or handling of the topsoil shall cease immediately until remedial measures are taken.



8. That any topsoil hauled to or removed from the site, shall be hauled in a covered trailer/truck, which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.
 - i. That the Applicant/Owner shall take whatever means necessary to avoid the transfer of dirt onto public roadways.
9. That the fill shall not contain construction rubble or any hazardous substances, including but not limited to large concrete, rebar, asphalt, building materials, organic materials, or other metal.
10. That the entire site shall be maintained in a neat and orderly manner at all times to the satisfaction of the Development Officer.
11. That any plan, technical submission, agreement, matter, or understanding submitted and approved as part of the application or in response to a Prior to Issuance or Occupancy condition shall be implemented and adhered to in perpetuity including:
 - i. Stormwater Management Report, as prepared by Stormwater Solutions, SSI Project Number: 0251-001; dated February 10, 2020

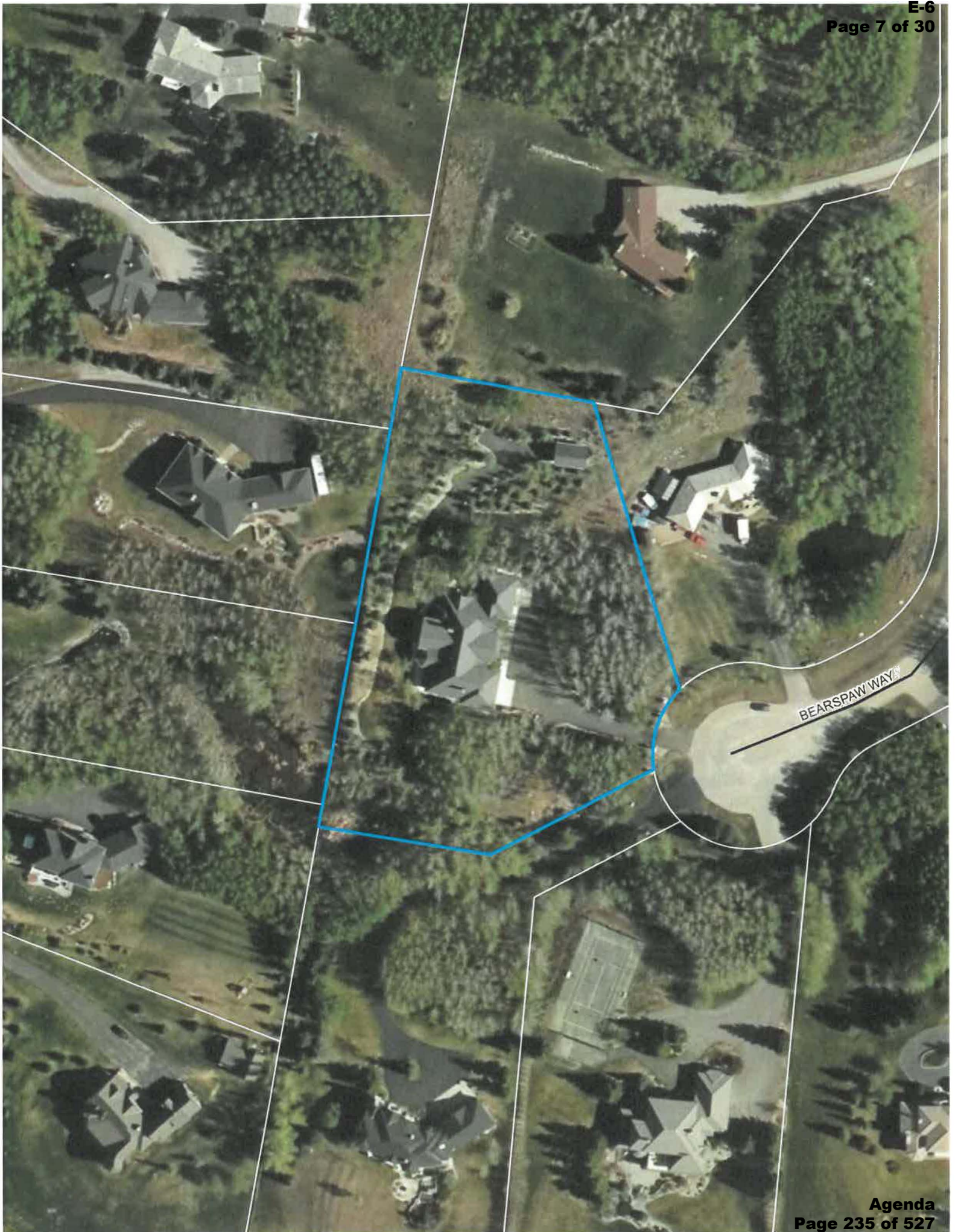
Advisory:

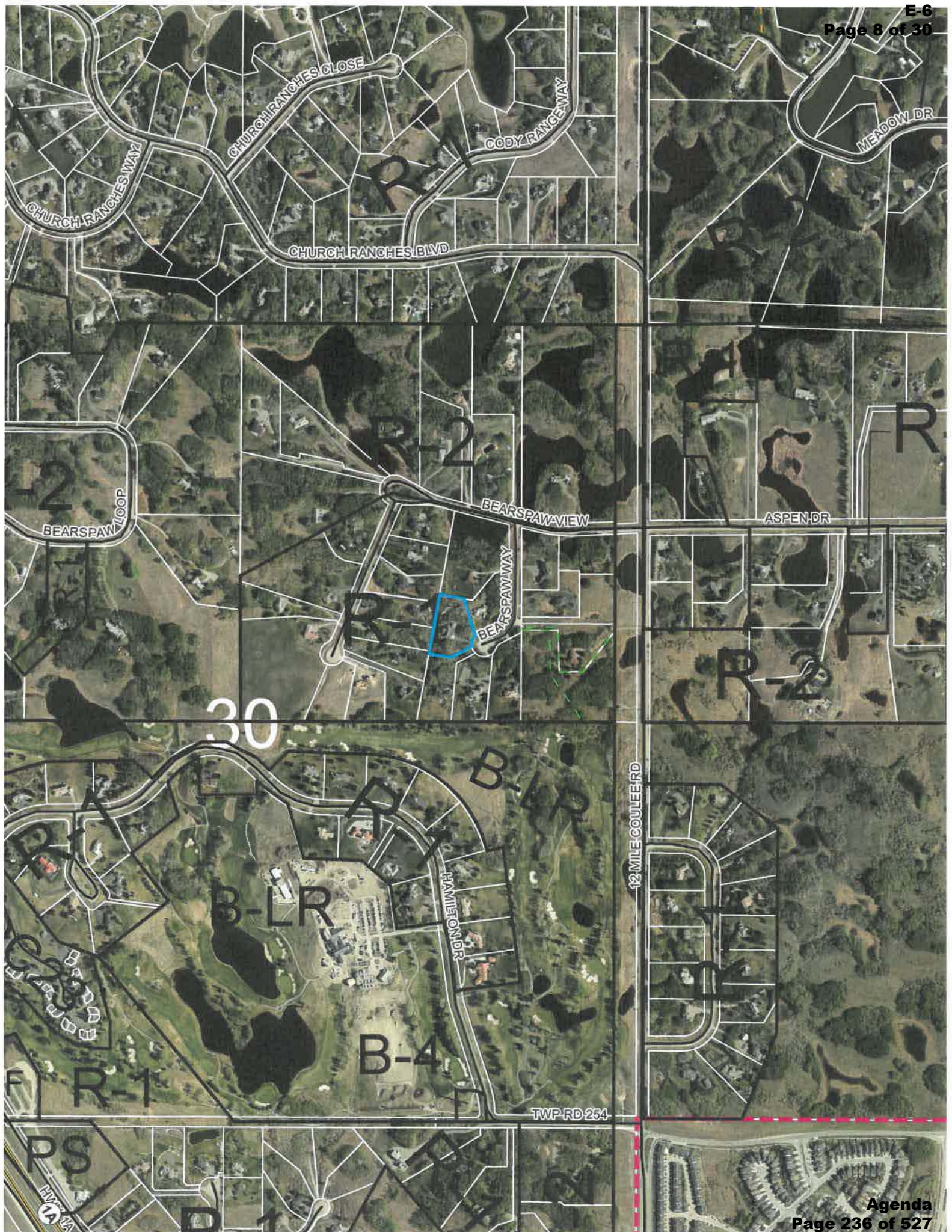
12. That the Applicant/Owner shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act [Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017].
13. That the *County's Noise Bylaw (C-5772-2003)* shall be adhered to at all times.
14. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
15. That all grading activities shall be completed within 12 months from date of permit issue.
16. That if this Development Permit is not issued by **AUGUST 31, 2020** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.







ROCKY VIEW COUNTY
Cultivating Communities

20200050

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted \$1000.00	File Number 05630089
Date of Receipt Jan 13/2020	Receipt # 200023232

Name of Applicant Jessica Terrastra Email [REDACTED]

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) Ronald J and Lorraine E Cargy

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

1. LEGAL DESCRIPTION OF LAND

a) All / part of the NE 1/4 Section 30 Township 25 Range 2 West of 5 Meridian

b) Being all / parts of Lot 6 Block 7 Registered Plan Number 931 1582

c) Municipal Address 48 Bearsden Way

d) Existing Land Use Designation R-1 Parcel Size 2.12 Division _____

2. APPLICATION FOR

To fill in approx. 330m² of area with fill to alleviate ponding and all runoff to flow to the existing wetland in the SW corner.

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No ☒
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No ☒
(Sour Gas facility means well, pipeline or plant)
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No ☒
- d) Does the site have direct access to a developed Municipal Road? Yes ☒ No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

JESSICA TERRASTRA hereby certify that _____ I am the registered owner
(Full Name in Block Capitals)

☒ I am authorized to act on the owner's behalf

and that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.

Affix Corporate Seal
here if owner is listed
as a named or
numbered company

Applicant's Signature Jessica Terrastra

Date JAN 13 2020

Owner's Signature RJ Cargy

Date JAN 13 2020



ROCKY VIEW COUNTY
Cultivating Communities

20200050

STRIPPING, FILLING, EXCAVATION AND GRADING

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date of Receipt	Receipt #

Name of Applicant Jessica Tenstra

Address of Applicant

Telephone (C) _____ (H) _____ (Fax) _____

1. NATURE OF THE APPLICATION

Type of application (Please check off all that apply):

- ☒ Site stripping
 ☒ Re-contouring
☒ Filling
 ☐ Stockpiling
☒ Excavation (including removal of topsoil)
 ☐ Construction of artificial water bodies and/or dugouts
☒ Grading
 ☐ Other _____

2. PURPOSE

What is the intent of the proposal? This application is to import fill and grade the low area to allow positive drainage on the lot as per the pre-development conditions.

Indicate the effect(s) on existing drainage patterns or environmentally sensitive areas (i.e. riparian, wetland, waterbodies) (if applicable) There has been ponding in the SE corner of 48 Bear Spaw Way.

The pre-development overland flow rates have been altered over the last 25 years. The revised grading of lot 48 in the low lying area will allow runoff to flow to the existing wetland, located in the SW corner, with the aid of a new culvert under PRD 20193725.

☐ The fill does not contain construction rubble or any hazardous substances (please check)

3. TYPE

Height max. 0.75 m Volume 110 meters cubed
 Width 20.2, 7.9 Truckload 14 @ 8m³ (approximately)
 Length 24.1, 22.8 Slope Factor _____ (if applicable)
 Area 330 square metres

* Please show all measurements in detail on your site plan.

4. TERMS AND CONDITIONS

(a) General statement about conditions:

- The Development Authority may include any condition necessary to satisfy a Land Use Bylaw provision, a County Plan, Area Structure Plan, Conceptual Scheme, Master Site Development Plan policy and/or County Servicing Standard.
- Where on-site works are proposed the County may, by condition, require the provision of a Construction Management Plan and/or Stormwater Management Plan.
- The Development Authority may impose any condition to meet a requirement of the Municipal Government Act or Subdivision and Development Regulation.
- As a condition of development approval, the Development Authority may include the requirement to update technical reports submitted with the application.

5. The Development Authority shall impose relevant requirements for the payment of levies associated with Bylaws for transportation, wastewater, water supply and stormwater:
 - i. Transportation Offsite Levy Bylaw;
 - ii. Water and Wastewater Offsite Levy Bylaw; and
 - iii. Such other Bylaws as may be in force or come into force and be applicable to development or activities on or services provided to the subject land from time to time.
6. The Development Authority shall determine any oversizing requirements for services and infrastructure required to be constructed as part of the proposed development. The County will determine Cost Recovery arrangements through preparation and execution of documents prior to endorsement of a plan of survey for registration.

(b) *Technical reports* are defined as any report or any information regarding a matter identified in the Municipal Government Act, Subdivision and Development Regulations, Statutory Plan, County Policy, Servicing Standards or Bylaw.

(c) General statement about technical reports:

1. Additional technical reports may be required after the time of application, based upon the ongoing assessment of the application.

(e) All costs of development are borne by the landowner / applicant including, but not limited to, all on and off-site construction works, infrastructure development, securities, levies, contributions, additional fees associated the preparation and review of reports and technical assessments, endorsement fees imposed by the County, registration fees and such other costs as may be associated with the development of the land. Further, that it is the landowner / applicant responsibility to identify and consider all costs of development.

(f) The applicant and landowner acknowledge that not providing the information required in this form or failing to provide accurate information may prejudice the assessment of the application.

(g) The applicant and landowner acknowledge that the County including individual staff members have not provided an advisory role with respect to the preparation and making of this application and that the decision to make the application is entirely that of the applicant and landowner.

(h) It should be noted that while every effort is made to ensure the applicants are provided with clear information regarding the requirement for application, that over the course of the application assessment process, particularly following a full technical review and also following submissions from agencies, additional technical information may be required. In addition to the requirement for further technical information, further justification regarding the merits of a development proposal may also be required.

5. ADDITIONAL INFORMATION

I Jessica Terpstra hereby certify that
(Print Full Name)

- ☐ I am the registered owner
☒ I am authorized to act on behalf of the registered owner

and that the information given on this form and the material provided with this application is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application for subdivision approval. Further, I have read, understood and accept the contents, statements and requirements contained and referenced in this document – **STRIPPING, FILLING, EXCAVATION AND GRADING.**

PLEASE PROVIDE ALL OF THE ABOVE INFORMATION. THANK YOU.

5. RIGHT OF ENTRY

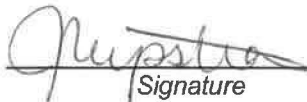
I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Jessica Terpstra, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


SignatureJan 13, 2020
Date



LAND TITLE CERTIFICATE

S
 LINC SHORT LEGAL TITLE NUMBER
 0025 408 964 9311582;7;6 111 156 217

LEGAL DESCRIPTION

PLAN 9311582

BLOCK 7

LOT 6

EXCEPTING THEREOUT ALL MINES AND MINERALS

AREA: 0.859 HECTARES (2.12 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE

ATS REFERENCE: 5;2;25;30;NE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 941 109 387

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
111 156 217	22/06/2011	TRANSFER OF LAND	\$700,000	\$700,000

OWNERS

RONALD J CARGO

AND

LORRAINE E CARGO

BOTH OF:

[REDACTED]

[REDACTED]

[REDACTED]

AS JOINT TENANTS

(DATA UPDATED BY: CHANGE OF ADDRESS 141180193)

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION	DATE (D/M/Y)	PARTICULARS
901 165 423	25/06/1990	EASEMENT (OVER LOT 1 BLOCK 7 PLAN 9011213 FOR BENEFIT OF LOT2 BLOCK 2 PLAN 9011213)

(CONTINUED)

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 13 DAY OF
JANUARY, 2020 AT 11:39 A.M.

ORDER NUMBER: 38631780

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



ROCKY VIEW COUNTY

100475 Rocky View Blvd
Rocky View County AB T4A 1X2

403-230-1401
info@rockyview.ca
www.rockyview.ca

LETTER OF AUTHORIZATION

I, (We) RONALD J. AND LORRAINE E. being the owner (s) of

Lot 6 Block 7 Plan 931 1582

Legal:

NW/NE/SE/SW Section 30 Township 25 Range 2 W 5 M

give Stormwater Solutions permission to act on my

(our) behalf in applying for a Development Permit for the above subject property.

A handwritten signature in blue ink, appearing to read "R. J. and L. E.", written over a horizontal line.

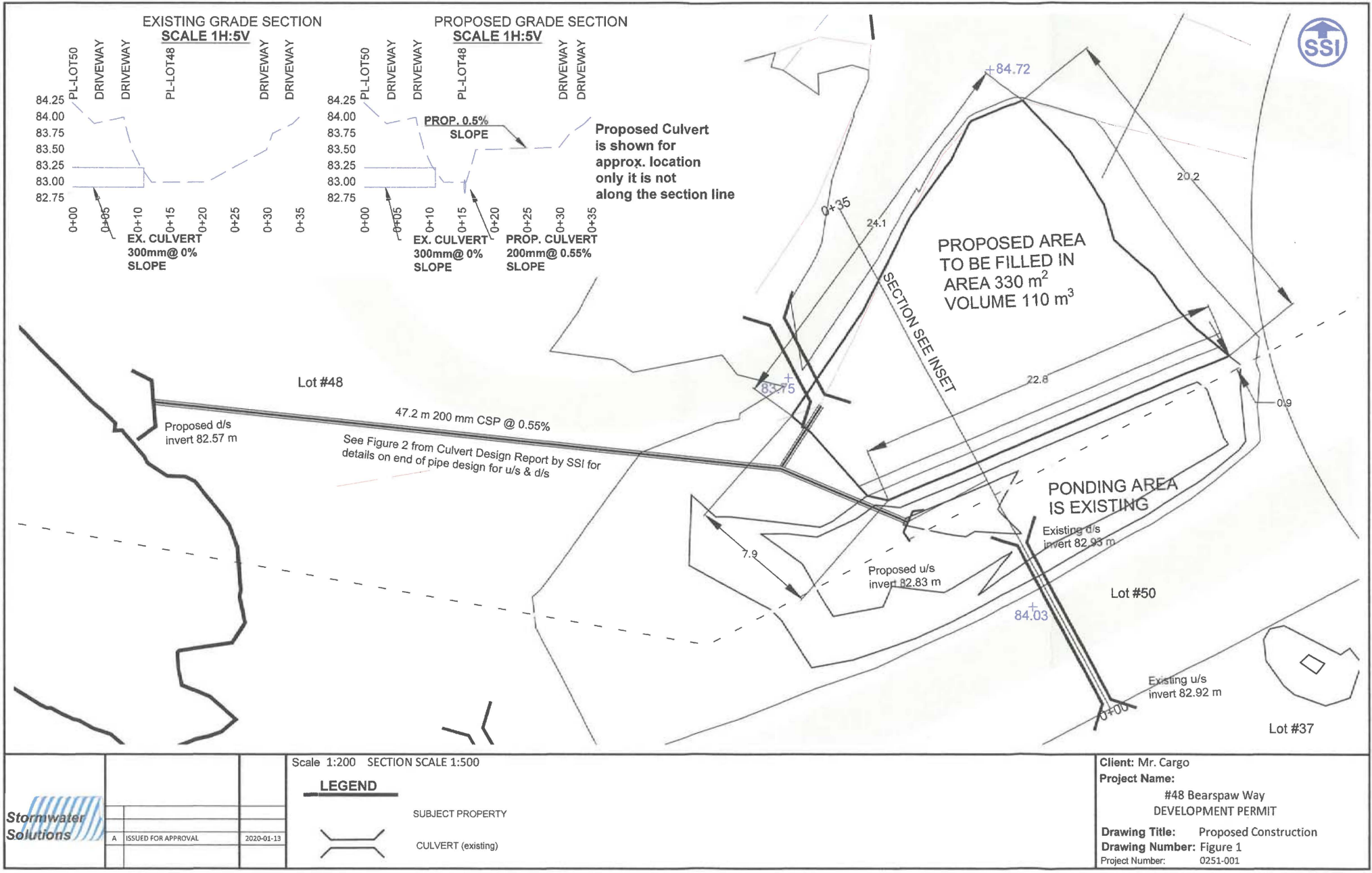
Signature

A handwritten signature in blue ink, appearing to read "Paul", written over a horizontal line.

Signature

A handwritten date in blue ink, "Jan 6, 2020", written over a horizontal line.

Date



February 10, 2020

SSI Project Number: 0251-001

Milan Patel, P.Eng.
Municipal Engineer
Planning and Development Services
262075 Rocky View Point
Rocky View County, AB
T4A 0X2

Dear Milan:

Re: 48 Bearspaw Way– Stormwater Management Report – PRDP20200050

Find the responses below to the RVC comments received on February 10, 2020.

1. As per the report, the upstream and downstream inverts of the existing culvert from lot # 50 are 1282.93 and 1282.92 respectively. The ponding elevation of 5 year and 100 year storm are 1283.04 m and 1283.43 m for the impounded area. This will cause backflow to lot #50. How will the backflow be prevented?

The driveway for #50 currently illegally impedes the natural drainage path. As previously discussed in November 2019 with the County, we are restoring this path by installing the culvert, which will be at lower elevation than the current outlet. There will be no backflow onto Lot #50.

2. The upstream and downstream inverts of existing culvert from lot # 50 are inconsistent in the report and figures. Please revise.

The report was incorrect and has been updated, it is enclosed.

3. As per the report, the new culvert from lot # 48 will discharge stormwater to the exiting wetland on lot # 39. The wetland is on a private property. Is the property owner of lot # 39 fine with receiving the stormwater on his property in accordance with your stormwater proposal ?

As mentioned in previous correspondence, we are restoring the natural flow path, as much as possible. Water currently has to be pumped towards this wetland to avoid flooding. We are not adding more water downstream. As an aside, we met with the owners of #39 Bearspaw Green on November 23 last year, as they wanted someone to explain what was happening. They were fine with our explanation and had no objections.

4. Please confirm that there are no off-site drainage impacts due to proposed re-grading.

There will be no negative offsite drainage impacts.

We trust that this report meets your requirements, but if you have any questions please do not hesitate to contact me.

Yours truly,

Jessica Terpstra, P. Eng
Water Management Engineer

Stormwater Solutions
Box 62029, 407 Hawkwood Boulevard NW Calgary AB T3G 5S7 Canada
Tel (403) 828-9917: Fax (403) 374-2517





February 10, 2020

Project Number: 0251-001

Milan Patel
Rocky View County
262075 Rocky View Point
Rocky View County, AB, T4A 0X2

Re: **PRDP20200050 – 48 Bearspaw Way – Culvert Design-Revised**

A survey was completed in December 2019, this information has now been incorporated into the design and therefore changes have occurred. Any changes are highlighted in yellow.

The purpose of this letter is to present our assessment of the culvert requirement on Lot#48 as per Option #2 from the *PRDP20183661 – 48 Bearspaw Way – Overland Drainage Assessment, July 2019, Stormwater Solutions*. The proposed culvert will reduce the ponding which is occurring on Lot#48 and causing damages to trees. The proposed culvert will allow the post-development flow routes to be similar to the pre-development flow routes. The proposed culvert will be located on Lot#48, it will run from the SE corner low-laying area to the existing wetland in the SW corner. The proposed culvert will be installed with standard pipe trench method. There will be no grading changes to area surrounding the culvert. The upstream end of the culvert however will have grading changes to allow the flow from the existing culvert under Lot#50's driveway to flow to the proposed culvert.

Analysis

To determine the culvert design, we must first determine catchments for the study area along with the existing ponding available on the lots. **Table 1** shows the catchment areas for the study boundary, as shown on **Figure 1**.

Table 1 SWMHYMO Catchments		
Ref	Area	CN Value
	(Hectares)	
Lot 35	2.94	74
Lot 47	0.28	78
Lot 44	1.09	75
Lot 48	0.96	77
Lot 50	0.35	81
TOTAL	5.32	

Two (2) design storms were used for the culvert design the 1:5 year and the 1:100 year, 24 hours storm.

From our assessment of post-development flow, as can be seen from **Figure 1**, the general overland flow path is from east to west, and from north to south. The ponding areas shown on **Figure 1**, on lots #35, #47 & #44 were delineated from the contours available. The discharge from the ponding areas for lots #35 & #44 were assumed to be as per Equ-n:5-12, City of Calgary Guidelines, for a broad-crested emergency

spillway discharge, with a width of 5 m and discharge coefficient of 0.2. Therefore, the discharge at 50 mm above the spill elevation is 224 L/s. For lot #47, the discharge from the ponding area is assumed over the driveway at an elevation of 1283.75 m, as per Equ-n:5-12, with a width of 2.5 m and discharge coefficient of 0.2. For lot#50, the discharge is thru the existing culvert, a 300 mm at 0% slope, upstream invert is 1282.92, downstream invert is 1282.93, as per the survey. To be conservative, it was assumed the entire runoff flows freely onto Lot#48. For lot #48, the discharge is the new culvert which has been designed as a 200 mm culvert at a minimum slope of 0.55% CSP pipe, see **Figure 2** for details. The ponding area shown on Lot#48 is proposed and will be constructed to allow the flow from the upstream areas to discharge to the proposed culvert.

Results

For the 5 year, 24 hour storm, the amount of overland flow which enters Lot #48 is 5 L/s with Lot #48 generating 7 L/s. Therefore, a total of 13 L/s as per SWMHYMO enters the ponding area on Lot #48. The proposed 200 mm culvert will discharge 26 L/s at full capacity. Therefore, the 200 mm is adequate to be used for the design. The 5 year, 24 hour ponding elevation is 1283.04 m, this elevation is shown on **Figure 1**.

For the 100 year, the amount of overland flow which enters Lot #48 is 66 L/s with Lot #48 generating 49 L/s. Therefore, a total of 84 L/s as per SWMHYMO enters the ponding area on Lot #48. As there is 84 L/s entering Lot#48, the culvert will surcharge which mean it will pond at the upstream end of the culvert. The 100 year, 24 hour ponding elevation is 1283.43 m, this elevation is shown on **Figure 1**.

Hydroculv was used to evaluate the interaction between the existing culvert under Lot#50 driveway and the proposed culvert on Lot#48. The backwater effects were evaluated, the hydroculv results have been enclosed to demonstrate this. The inverts for the culvert on Lot#50 have been assumed at a slope of 0.001%. The proposed culvert will have the upstream invert being 100 mm below the downstream invert of the Lot#50 culvert as shown on **Figure 1**.

Conclusions and Recommendations

The 200 mm culvert which will be constructed on lot #48 will direct water from the impounded area towards the existing wetland. This would alleviate any ponding in the southeast corner of lot #48. Following on from this, the owners of lot #50 could re-lay the east culvert under their driveway to alleviate ponding on their property.

The above is true at the time of recording. We trust the above is acceptable but if you have any questions or concerns, please contact me directly at your convenience.

Best Regards,

Jessica Terpstra, P.Eng.
Water Management Engineer



Letter to RVC
#48 Bearspaw Way
10 February 2020

Stormwater Solutions

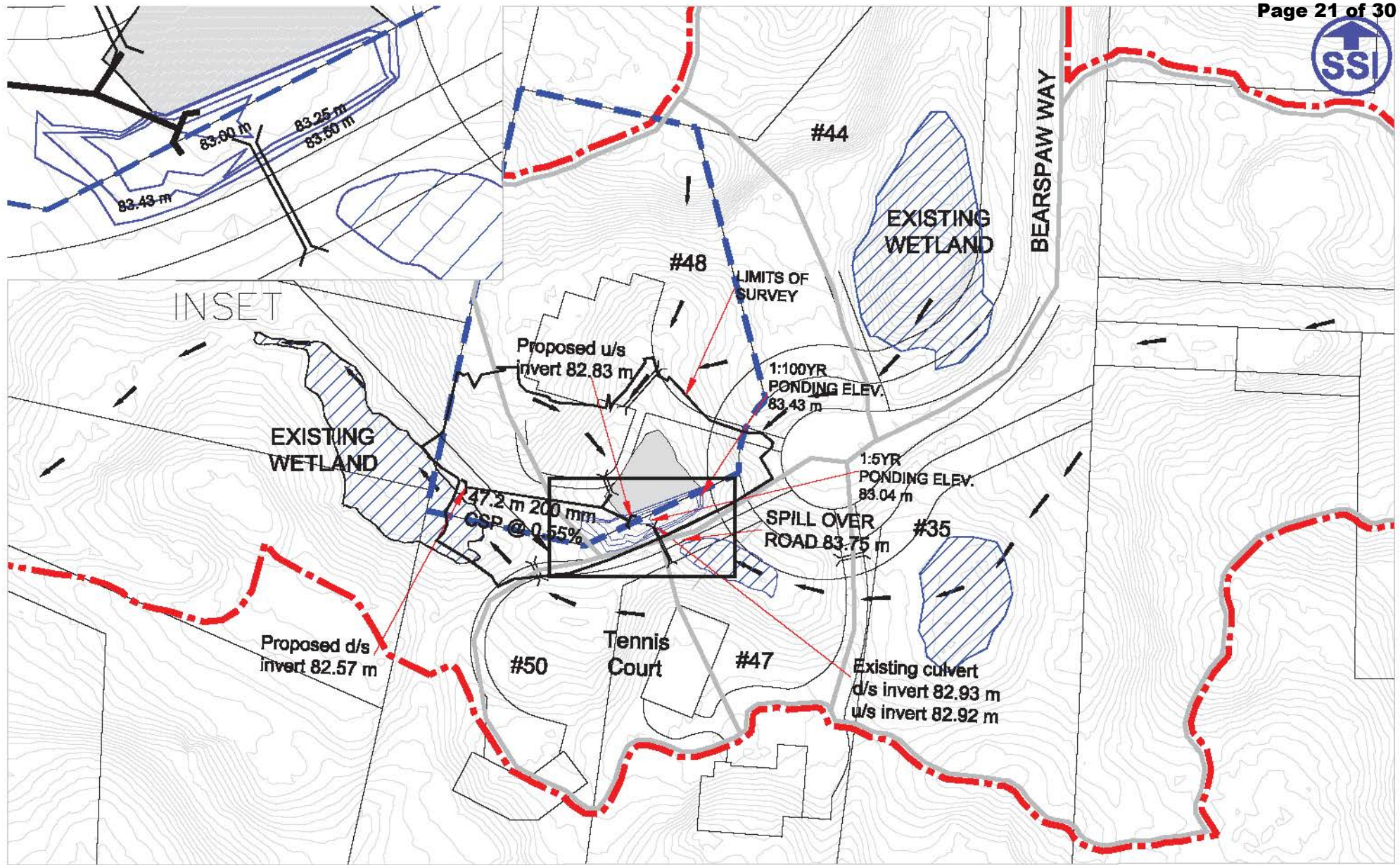
Enc:

SWMHYMO model

Hydroculv results

Figure 1-Stormwater Management Plan

Figure 2-Culvert Details



**Stormwater
Solutions**

C	REVISED LOT NUMBER #47	2020-02-12
B	REVISED AS PER SURVEY	2020-01-13
A	ISSUED FOR APPROVAL	2019-11-18

Scale 1:1500 INSET 1:500

LEGEND

- SUBJECT PROPERTY
- - - STUDY BOUNDARY
- - - CATCHMENT BOUNDARY
- CULVERT (approx)
- OVERLAND FLOW ROUTE
- PROPOSED PONDING AREA
- EXISTING PONDING AREA
- AREA TO BE FILLED IN UNDER NEW DP

Client: Mr Cargo

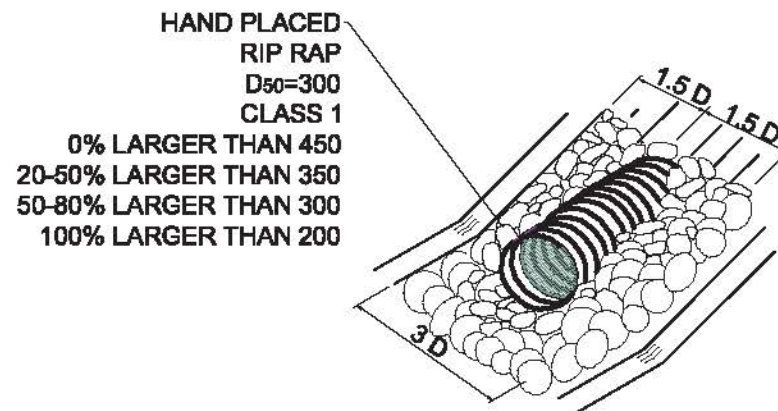
Project Name:

#48 Bearspaw Way
Culvert Design

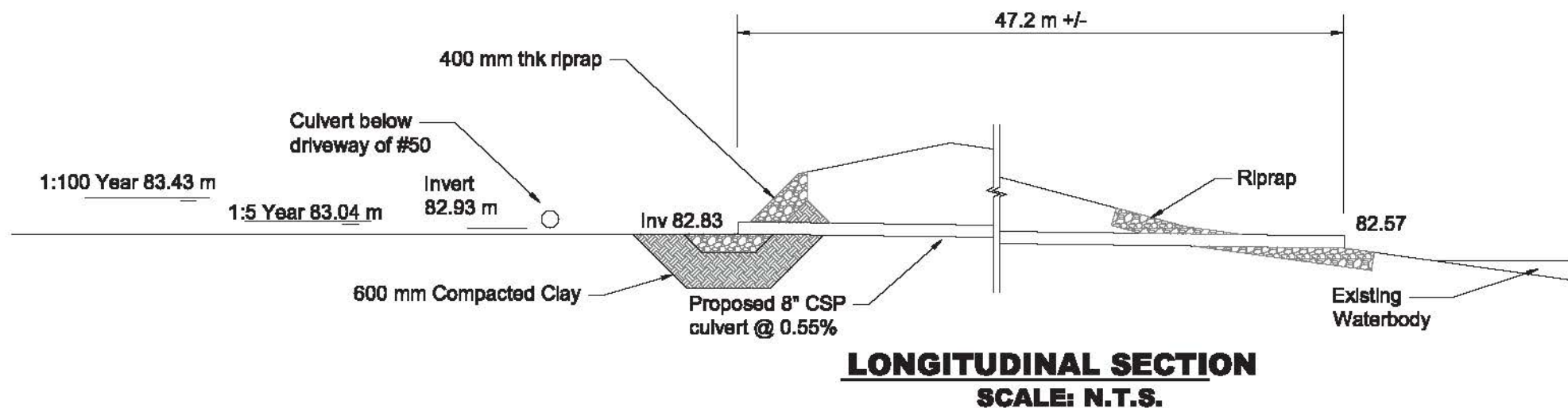
Drawing Title: Proposed Stormwater Plan

Drawing Number: Figure 1

Project Number: 0251-001 **Agenda**



TYPICAL CULVERT END DETAIL
SCALE: N.T.S.



B	REVISED AS PER SURVEY	2020-01-13
A	ISSUED FOR APPROVAL	2019-11-18

Scale 1:100

Client: Mr Cargo

Project Name:

#48 Bearspaw Way
Culvert Design

Drawing Title: Culvert Details

Drawing Number: Figure 2

Project Number: 0251-001 **Agenda**

D-9 item - PRDP20200050

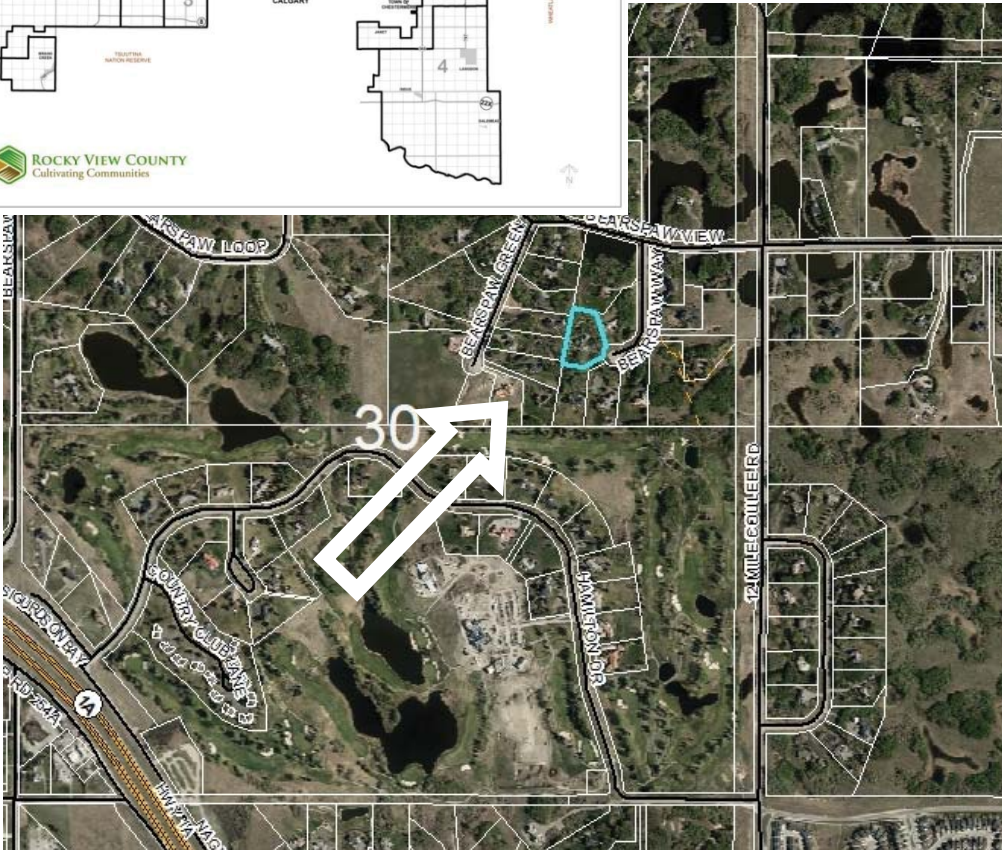
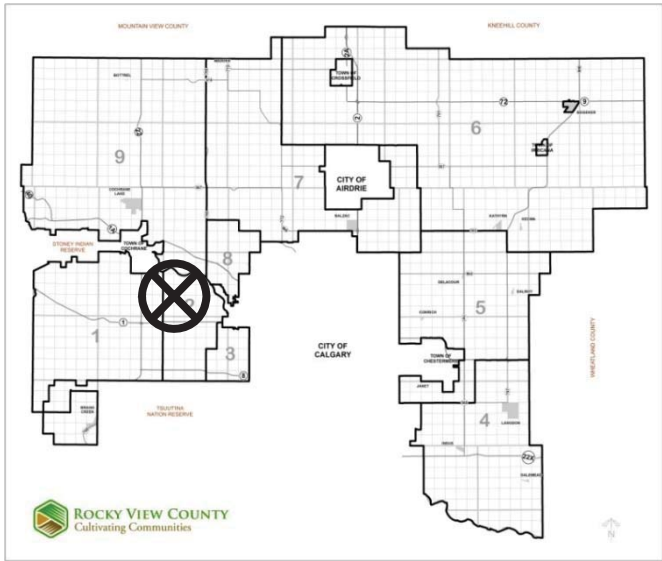
Applicant: Stormwater Solution

Owners: Ronald & Lorraine Cargo



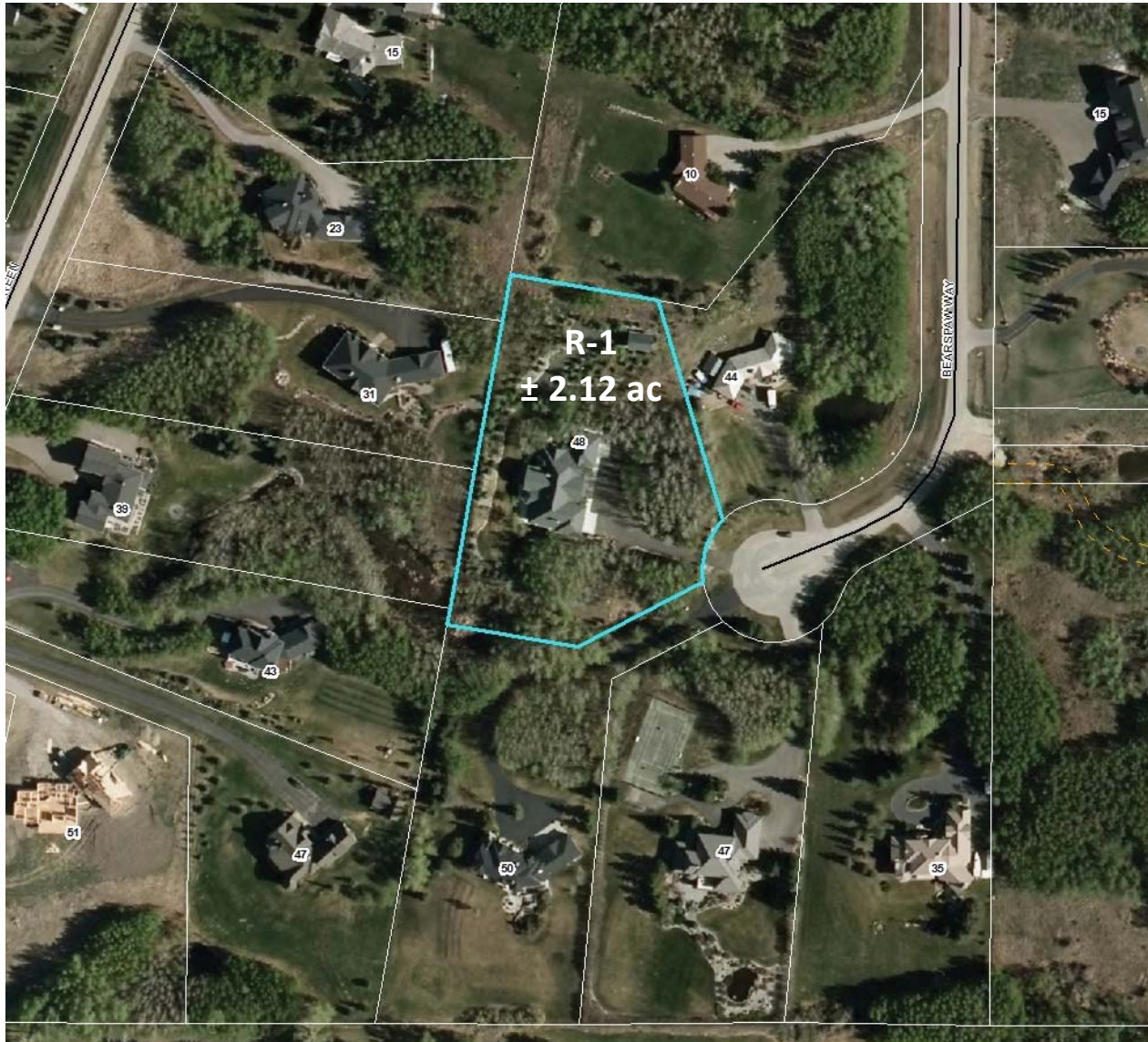
Location

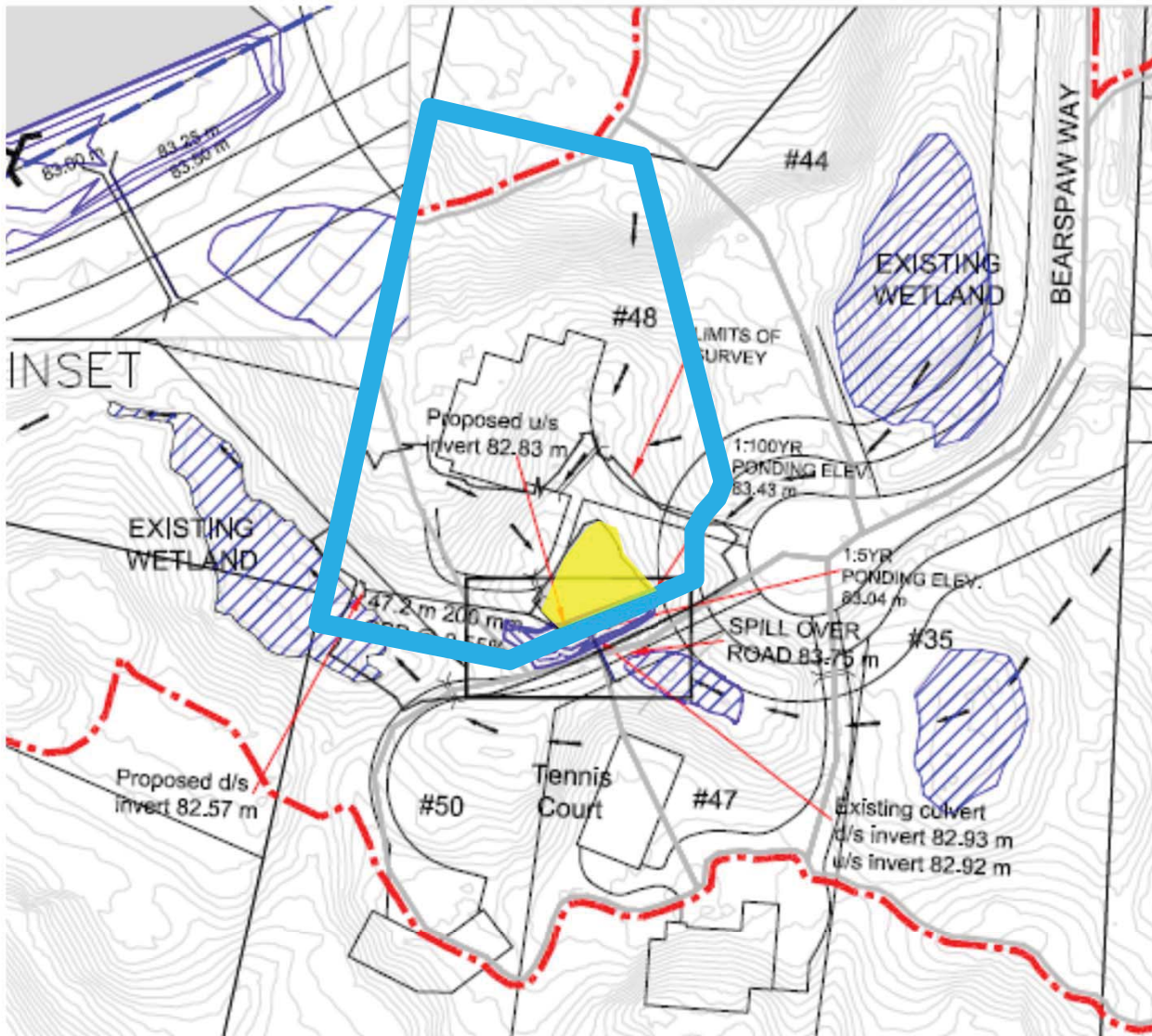
Located approximately 1 mile north of Highway 1A and 0.25 mile west of 12 Mile Coulee Road.



ROCKY VIEW COUNTY

Air Photo





DP Proposal

- Single-lot regrading and placement of clean fill at the SE corner of the property
- Approximately 330 sq. m. of land in the SE corner will be filled with 110.00 cu. m of material with 14 truckloads







Application Evaluation

- The Applicant provided technical studies and analysis which meet the requirement of the Land Use Bylaw and County Servicing Standards.
- The proposed development would help restore the natural drainage and address the historic drainage issue.

Recommendation

Administration recommends approval in accordance with Option #1.



PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 05
SUBJECT: Development Item: Single-lot Regrading

DATE: March 9, 2020
APPLICATION: PRDP20200042

APPLICATION: Single-lot regrading and placement of clean topsoil for agricultural purposes.

GENERAL LOCATION: located at the northwest junction of Hwy. 564 and Rge. Rd. 281

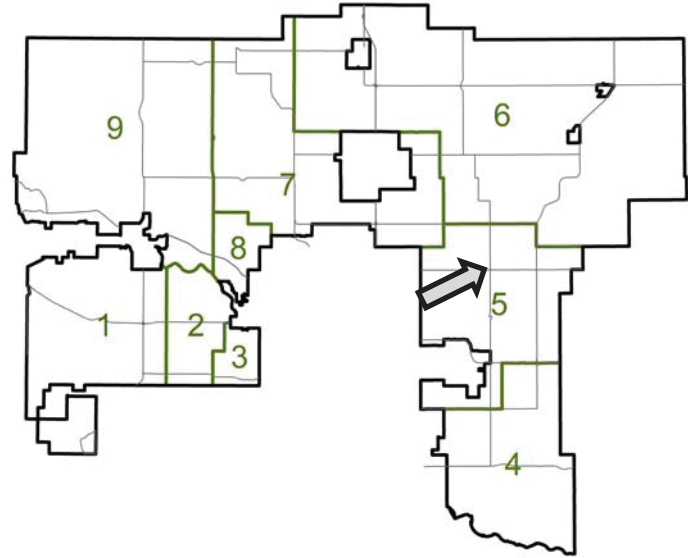
LAND USE DESIGNATION: Ranch and Farm District (RF)

ADMINISTRATION RECOMMENDATION:
 Administration recommends REFUSAL in accordance with Option #2

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20200042 be approved with the conditions noted within the report
- Option #2: THAT Development Permit Application PRDP20200042 be refused as per the reasons noted within the report

AIR PHOTO & DEVELOPMENT CONTEXT:



DEVELOPMENT PERMIT REPORT

Application Date: January 10, 2020	File: 05326001
Application: PRDP20200042	Applicant: Planning Protocol 3 Inc. Owner: Heidy J Baisi
Legal Description: SE-26-25-28-W04M Municipal Address: 281122 Twp. Rd. (281104 Twp. Rd.)	General Location: located at the northwest junction of Hwy. 564 and Rge. Rd. 281
Land Use Designation: Ranch and Farm District (RF)	Gross Area: ± 67.3 hectares (± 158.83 acres)
File Manager: Sangeeta Vishwakarma	Division: 05

PROPOSAL:

Single lot re-grading and placement of clean topsoil for agricultural purposes as shown on the submitted Site Plan dated January 9, 2020, includes:

- Topsoil Placement Area: Deposition of clean topsoil on approximately 82.70 acres of land
 - 62.40 acres south of intermittent drainage course
 - 20.30 acres north of drainage course along the north property line
 - 334,675 sq. m (3,602,412 sq. ft.)
 - Depth of up to 0.75m (2.46 ft.)
- Volume: Approximately 320,00 cubic meters of topsoil deposit
- No topsoil deposit in any wetland including seasonal drainage course and proposes storm pond area
- Area will be graded and seeded upon completion to eliminate weeds and possible erosion
- Truck access from existing approach at Highway 564

SITE INFORMATION:

- Existing oil well facility north central portion of the site accessed from existing approach at Range Road 281
- Existing riparian area on site – seasonal intermittent drainage course that runs from the northwest corner to the southeast corner
- Subdivision proposed along the east portion of the site - Circulation in progress under PL20190152 submitted by the same applicant
- Adjacent lands – Agricultural (Farmstead and Ranch and Farm districts)
- Sour Gas pipes pass the site



LAND USE BYLAW (C-4841-97):

Section 33 – *Stripping, Filling, Excavation and Grading* of the Land Use Bylaw is applicable to the proposed use for the land, specifically subsections 33.2, 33.3, 33.6 - *Placing of Fill*.

STATUTORY PLANS:

The site does not fall within an Area Structure Plan, Intermunicipal Development Plan, or a Conceptual Scheme area.

INSPECTOR'S COMMENTS (January 22, 2020):

- No activity on site at time of inspection
- No equipment
- Appears to have historic stockpiling
- Fairly flat and consistent grade along Highway 564
- 6 RV trailers parked on site, 1 equipment trailer
- 4 accessory buildings
- No municipal address posted for proposal (281122 is posted)

CIRCULATIONS:

Alberta Environment and Parks:

- No comments received.

Alberta Transportation (February 7, 2020)

- Alberta Transportation is not in a position to grant approval to this request until such time more detailed plans are submitted and provided as follows:
 - In addition to the site plan report, a Storm Water Management Plan that indicates detailed drainage impacts to Highway 564 and surrounding lands (SW, NW & NE-26-25-28-W4M) must be submitted for review and acceptance by the County and Alberta Transportation.
 - The Storm Water Management Plan must be stamped by a professional engineer.
- Alberta Transportation has some additional concerns regarding safety along Highway 564:
 - Approximately how many truck loads will be required to complete the haul and what are the anticipated trips per hour / day for the duration of the project?
 - Similar projects have resulted in complaints received due to excessive debris tracked onto the highway surface. What will be done to prevent this from occurring for this project and if it does happen, how will the debris be removed from the highway pavement?
 - A Traffic Accommodation Strategy (TAS) and signage diagram with minimum temporary "Truck Entrance" signs should be submitted for review and acceptance by the department.
- Require a roadside development permit from Alberta Transportation.

Agricultural Services, Rocky View County (February 6, 2020)

- If the applicant intends to bring topsoil onsite (soil that originated from offsite) then prior to issuance of the permit, the applicant/owner shall provide a stamped and endorsed statement from a Professional Agrologist, or Certified Crop Advisor, confirming the soil quality



improvements achieved by the proposed addition of topsoil. The anticipated agricultural benefits must be identified. The applicant also needs to provide a soil testing analysis, completed on the proposed topsoil, that includes where the topsoil originated from. The report and approval shall be to the satisfaction of the County's Agricultural Services Staff (See attached Soil Analysis Requirements).

- If the applicant intends to alter or fill in any wetlands, they will need to obtain the proper approvals from Alberta Environment. Lastly, the applicant will need to ensure compliance with the Alberta Weed Control Act. It may be of benefit to the applicant to create a Weed Management Plan and have a contractor available (or be personally prepared) to control any regulated weeds.
- The soil analysis report will need to confirm that:
 - *Texture is balanced and not over 40% clay; and
 - **Organic matter is a minimum of 3%, and equal to or greater than the organic matter of the soil on the application site; and
 - **SAR/EC rating is at least 'good'; and
 - **PH value is in the 'acceptable' range for crop growth.

Development Compliance, Rocky View County (January 17, 2020)

- Recommend that dust control measures be required;
- Recommend that applicant be required to provide a report from a qualified professional outlining pre and post work grades in order to confirm compliance with any approvals;
- Recommend all road permits that may be required are obtained.

Planning and Development Services - Engineering - Rocky View County (January 23, 2020)

General:

- The review of this file is based upon the application submitted. These conditions/ recommendations may be subject to change to ensure best practices and procedures.

Geotechnical:

- As per the application, the applicant expects fill heights to be approximately 0.75m.
- As a permanent condition, the applicant will be required to provide a deep fill report, prepared by a qualified professional, for any areas of the site filled greater than 1.2m in depth.
- Engineering has no requirements at this time.

Transportation:

- As the lands are adjacent to Highway 564, the applicant will require a waiver from Alberta Transportation.
- Prior to issuance, the County Road Operations group will need to be contacted to verify whether a Road Use Agreement is required for hauling fill on to the site.

Sanitary/Waste Water:

- Engineering has no requirements at this time.

Water Supply and Waterworks:

- Engineering has no requirements at this time.

Stormwater Management:

- The applicant provided a site plan of the proposed development. As per the provided site plan, the existing drainage routes are to be maintained.
- Prior to issuance of this permit, the Applicant/owner shall submit a limited-scope site-specific stormwater management plan for the subject lands, in accordance with County Servicing Standards. The report shall be stamped by a qualified professional and can be limited to addressing the following:
 - The report shall include both pre- and post-development site grading in the vicinity of the work, and shall confirm post-development site run-off characteristics;
 - The report shall evaluate possible impacts the proposed placement of fill will have on adjacent lands. The report shall provide mitigating measures, if necessary, for any impacts the work may have on adjacent lands; and
 - The report shall provide erosion and sedimentation control measures for the proposed activities.

Environmental:

- There appears to be an existing tributary/stream immediately adjacent to the area where fill is being placed. The applicant will be responsible to obtain all necessary approvals from AEP under the Water Act if any impacts to this tributary/stream are proposed.

Harvest Operations Corp. (mailed) – Surface Lease on title

- No comments received.

Northern Hunter Energy Inc. (mailed) – Pipeline Right of Way on title

- No comments received. Mail returned.

Transportation Services, Rocky View County: (February 5, 2020)

- Applicant to contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
- Site Grading, fill placement, temporary stockpile placement and berm construction are not to negatively impact existing surface drainage or direct additional surface drainage into adjacent County road allowance.
- Applicant to confirm duration of fill placement. Applicant to be responsible for dust, weed and erosion control for duration of fill placement.
- Application involves Development along Alberta Transportation Road Allowance. Therefore, recommend applications be circulated to Alberta Transportation for review and comments.

Utility Services, Rocky View County (January 16, 2020):

- No Concerns.

**OPTIONS:**

Option #1: (this would approve the proposed development)

APPROVAL subject to the following conditions:

Description:

1. That single lot re-grading and placement of clean topsoil for agricultural purposes over a total area of approximately 334,675 sq. m (82.7 acres) may take place on the subject lands, SE-26-25-28-W04M, in accordance with the submitted Site Plan, cover report, supporting documents, and conditions of this permit including the following:
 - i. 25.25 hectares (62.40 acres) south of the intermittent drainage course;
 - ii. 8.22 hectares (20.30 acres) north of the intermittent drainage course and along the north property line; and
 - iii. Depth of up to 0.75 m (2.46 ft.)

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall submit an Irrevocable Letter of Credit or Refundable Security, in the amount of \$50,000, to be deposited with the County to ensure that conditions of this permit are met. If conditions of this permit are not met, the County may use the funds, enter onto the described land, and carry out the work necessary to meet the conditions.
3. That prior to issuance of this permit, the Applicant/Owner shall submit a limited-scope site-specific Stormwater Management Plan for the subject lands, in accordance with County Servicing Standards. The report shall be stamped by a qualified professional and should address the following:
 - i. The report shall include both pre- and post-development site grading in the vicinity of the work, and shall confirm post-development site run-off characteristics;
 - ii. The report shall evaluate possible impacts the proposed placement of topsoil will have on adjacent lands. The report shall provide mitigating measures, if necessary, for any impacts the work may have on adjacent lands; and
 - iii. The report shall provide erosion and sedimentation control measures for the proposed activities.
4. That prior to issuance of this permit, the Applicant/Owner shall submit a stamped and endorsed statement from a Professional Agrologist, or Certified Crop Advisor, confirming the soil quality improvements achieved by the proposed addition of topsoil. The anticipated agricultural benefits must be identified.
5. That prior to issuance of this permit, the Applicant/Owner shall submit a soil testing analysis completed on the proposed topsoil that includes where the topsoil originated. The report and approval shall be to the satisfaction of the County's Agricultural Services Staff. The soil testing analysis report will need to confirm that:
 - i. Texture is balanced and not over 40% clay;
 - ii. Organic matter is a minimum of 3%, and equal to or greater than the organic matter of the soil on the application site;
 - iii. SAR/EC rating is at least 'good'; and
 - iv. PH value is in the 'acceptable' range for crop growth.



6. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

Permanent:

7. That upon completion of the proposed development, the Applicant/ Owner shall submit an as-built survey, confirming that the development proposal and post grades align with the supporting technical submissions for the file.
8. That for all areas where over 1.2 m of topsoil is placed, the Applicant/Owner shall provide a Deep Fill Report, prepared by a qualified professional, providing the compaction testing of the topsoil and general recommendations for the suitability of different types of building foundations as there is potential that future landowners could construct a structure over the filled area.
9. That the Applicant/Owner shall not screen and/or sell the excess topsoil to others without written approval from the County, as there is potential for additional off-site impacts.
10. That any topsoil removed from the site shall be hauled off in a covered trailer/truck, which will prevent blowing of dust/small rocks onto the road or cause issues with other vehicles on the road.
11. That the Applicant/ Owner shall take whatever means necessary to avoid the transfer of dirt onto public roadways.
 - i. That the clean-up of any mud tracking and/or dirt that enters onto adjacent highway and/or County roads during hauling shall be the responsibility and cost of the Applicant/Owner for clean-up.
12. That the Applicant/Owner shall take effective measures to control dust in the regrading area of the Lands, so that dust originating therein shall not cause annoyance or become a nuisance to adjoining property owners and others in the vicinity.
 - i. That if at any time the removal or handling of topsoil creates a visible dust problem, the removal or handling of topsoil shall cease immediately until remedial measures are taken.
13. That the Applicant/Owner shall be responsible for rectifying any adverse effect on adjacent lands from drainage alteration.
14. That any grading areas shall have a minimum of six inches of topsoil placed on top, which shall then be spread and seeded to native vegetation, farm crop, or landscaped, to the satisfaction of the County.
15. That the topsoil shall not contain construction rubble or any hazardous substances, including but not limited to large concrete, rebar, asphalt, building materials, organic materials, or other metal.
16. That the County may draw upon the Letter of Credit, without recourse to the Applicant/Owner, to cover the costs in surface reclamation of any or all of the disturbed areas or costs involved in actions necessary to ensure compliance with any other conditions of this permit.



17. That the entire site shall be maintained in a neat and orderly manner at all times to the satisfaction of the Development Authority.
18. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application or in response to a Prior to Issuance condition, shall be implemented and adhered to in perpetuity.

Advisory:

19. That the Applicant/ Owner shall be responsible for onsite weed control and shall adhere to the regulations in the Alberta Weed Control Act [*Statutes of Alberta, 2008 Chapter W-5.1, December 2017*] at all times.
20. That the subject development shall conform to the County's Noise *Bylaw C-5773-2003* in perpetuity.
21. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/ Owner.
 - i. That the Applicant/Owner apply for the required Roadside Development Permit with Alberta Transportation before commencing any work.
22. That the grading activities shall be completed within twelve (12) months from the date of issuance of this permit.
23. That if this Development Permit is not issued by **November 30, 2020** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Note: That the Applicant/ Owner shall be responsible for all Alberta Environment and Parks (AEP) approvals/ compensation for existing waterbodies/ riparian areas/ tributary/ stream on site that may be impacted by the proposed placement of topsoil.

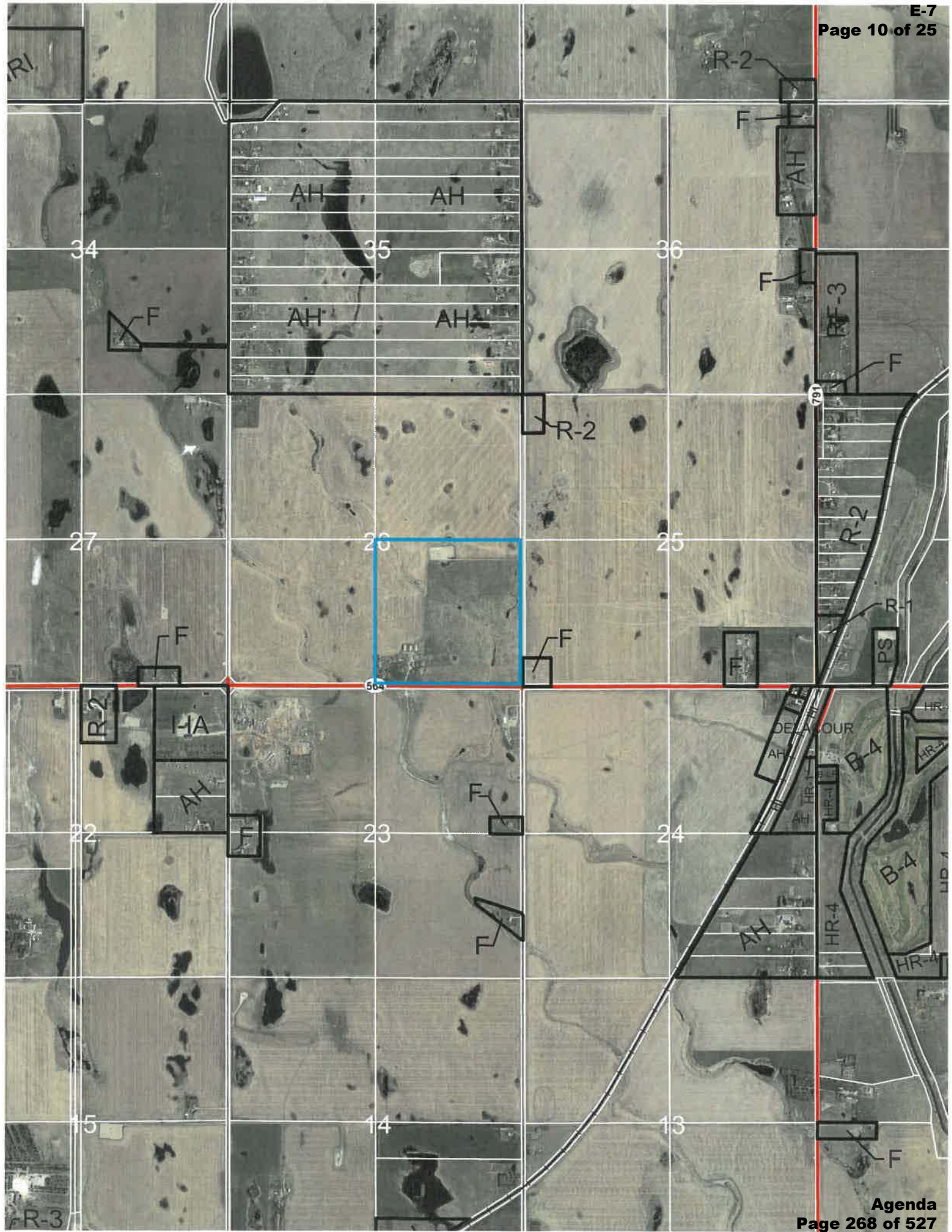
Option #2: (this would not allow the proposed development)

REFUSAL as per the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.

26

23





ROCKY VIEW COUNTY
Cultivating Communities

20200042

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY

Fee Submitted

\$1000.00

File Number

05326001

Date of Receipt

Jan 10/2020

Receipt #

2020023218

Name of Applicant Heidy Baisi

Email [REDACTED]

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED]

(H) [REDACTED]

Fax [REDACTED]

For Agents please supply Business/Agency/ Organization Name Planning Protocol

Registered Owner (if not applicant) Rodney Potrie

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED]

(H) [REDACTED]

Fax [REDACTED]

1. LEGAL DESCRIPTION OF LAND

a) All / (part) of the SE $\frac{1}{4}$ Section 26 Township 25 Range 28 West of 4 Meridian

b) Being all / parts of Lot [REDACTED] Block [REDACTED] Registered Plan Number [REDACTED]

c) Municipal Address 281122 - TWP Rd 254 Rocky View County

d) Existing Land Use Designation Ag RETARA Parcel Size 64.7ha (160Ac) Division 5

2. APPLICATION FOR

Development Permit for clean fill on Ag land.

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes [REDACTED] No ✓
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility?
(Sour Gas facility means well, pipeline or plant) Yes [REDACTED] No ✓
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes ✓ No [REDACTED]
- d) Does the site have direct access to a developed Municipal Road? Yes ✓ No [REDACTED]

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I RODNEY POTRIE hereby certify that [REDACTED] I am the registered owner
(Full Name in Block Capitals)

✓ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

ROD

Applicant's Signature Rodney R Potrie

Date JAN 9 / 2020

HEIDY.

Owner's Signature [REDACTED]

Date [REDACTED]

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Rodney Patrie, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

 JAN 9/2020
Signature Date



ROCKY VIEW COUNTY
Cultivating Communities

STRIPPING, FILLING, EXCAVATION AND GRADING

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date of Receipt	Receipt #

Name of Applicant Planning Protocol

Address of Applicant 2922 - 3 Ave Ne Calgary, AB T2A 6T7

Telephone (C) 403 703 1726 (H) [REDACTED] (Fax) 403 230 0335

1. NATURE OF THE APPLICATION

Type of application (Please check off all that apply):

- | | |
|--|---|
| <input type="checkbox"/> Site stripping | <input type="checkbox"/> Re-contouring |
| <input checked="" type="checkbox"/> Filling | <input type="checkbox"/> Stockpiling |
| <input type="checkbox"/> Excavation (including removal of topsoil) | <input type="checkbox"/> Construction of artificial water bodies and/or dugouts |
| <input type="checkbox"/> Grading | <input type="checkbox"/> Other _____ |

2. PURPOSE

What is the intent of the proposal? To place quality top soil in order to enhance the agricultural product of the site.

Indicate the effect(s) on existing drainage patterns or environmentally sensitive areas (i.e. riparian, wetland, waterbodies) (if applicable) _____

None - the seasonal drainage course will not be touched.

☐ The fill does not contain construction rubble or any hazardous substances (please check)

3. TYPE

Height <u>.75m</u>	Volume <u>320K</u> meters cubed
Width _____	Truckload _____ (approximately)
Length _____	Slope Factor _____ (if applicable)
Area _____ square metres	

*** Please show all measurements in detail on your site plan.**

4. TERMS AND CONDITIONS

(a) General statement about conditions:

- The Development Authority may include any condition necessary to satisfy a Land Use Bylaw provision, a County Plan, Area Structure Plan, Conceptual Scheme, Master Site Development Plan policy and/or County Servicing Standard.
- Where on-site works are proposed the County may, by condition, require the provision of a Construction Management Plan and/or Stormwater Management Plan.
- The Development Authority may impose any condition to meet a requirement of the Municipal Government Act or Subdivision and Development Regulation.
- As a condition of development approval, the Development Authority may include the requirement to update technical reports submitted with the application.

5. The Development Authority shall impose relevant requirements for the payment of levies associated with Bylaws for transportation, wastewater, water supply and stormwater:
 - i. Transportation Offsite Levy Bylaw;
 - ii. Water and Wastewater Offsite Levy Bylaw; and
 - iii. Such other Bylaws as may be in force or come into force and be applicable to development or activities on or services provided to the subject land from time to time.
6. The Development Authority shall determine any oversizing requirements for services and infrastructure required to be constructed as part of the proposed development. The County will determine Cost Recovery arrangements through preparation and execution of documents prior to endorsement of a plan of survey for registration.

(b) *Technical reports* are defined as any report or any information regarding a matter identified in the Municipal Government Act, Subdivision and Development Regulations, Statutory Plan, County Policy, Servicing Standards or Bylaw.

(c) General statement about technical reports:

1. Additional technical reports may be required after the time of application, based upon the ongoing assessment of the application.

(e) All costs of development are borne by the landowner / applicant including, but not limited to, all on and off-site construction works, infrastructure development, securities, levies, contributions, additional fees associated the preparation and review of reports and technical assessments, endorsement fees imposed by the County, registration fees and such other costs as may be associated with the development of the land. Further, that it is the landowner / applicant responsibility to identify and consider all costs of development.

(f) The applicant and landowner acknowledge that not providing the information required in this form or failing to provide accurate information may prejudice the assessment of the application.

(g) The applicant and landowner acknowledge that the County including individual staff members have not provided an advisory role with respect to the preparation and making of this application and that the decision to make the application is entirely that of the applicant and landowner.

(h) It should be noted that while every effort is made to ensure the applicants are provided with clear information regarding the requirement for application, that over the course of the application assessment process, particularly following a full technical review and also following submissions from agencies, additional technical information may be required. In addition to the requirement for further technical information, further justification regarding the merits of a development proposal may also be required.

5. ADDITIONAL INFORMATION

See attached report

I Rodney Potrie hereby certify that
(Print Full Name)

- ☐ I am the registered owner
☒ I am authorized to act on behalf
of the registered owner

and that the information given on this form and the material provided with this application is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application for subdivision approval. Further, I have read, understood and accept the contents, statements and requirements contained and referenced in this document – **STRIPPING, FILLING, EXCAVATION AND GRADING.**

PLEASE PROVIDE ALL OF THE ABOVE INFORMATION. THANK YOU.



PLANNING PROTOCOL
2922 3rd Ave NE Calgary, Alberta T2A 6T7

Work: (403) 230 - 5522
Cell: (403) 703 - 1726
www.planningprotocol.com

January 8, 2020

Rocky View County
262075 Rocky View Point,
Rocky View County, AB, T4A 0X2

Your File _____
Our File P - 709-01

Re: DP # _____
Ptn SW 26- 25 - 28 W4M
Rocky View County (containing 160 ac more or less)
Development Permit for Application for clean fill

We are applying for a Development Permit to allow for clean fill to be deposited on the above parcel of land. To this end please find attached the following report in support of our application.

Site Description

This is a (64.7 ha) 160 acres parcel located one mile West of Delacour and 4.5 miles east of the City of Calgary limits on secondary Highway 564 at Range Road 281. The land has been in the family name for many decades and is now in the ownership of third generation Baisi's. This quarter has partially been cropped over the years but the portion being proposed for a land use change has always been pasture due to poor production capabilities. In the far SW corner of the quarter is the original farmstead on the quarter section. A second residence was added just a few meters to the east. Currently there are two homes on the quarter section as described. Accesses to the two homes described are in the SW corner of the quarter directly off HWY 564. Unobstructed, paved, safe sight distances in both directions exist for both homes. North of the homes there are three farm buildings, local domestic trees act as shelter belt and screening of these homes and the farming operations from vehicular traffic on HWY 564. Both homes are serviced by way of water well and septic tank and field which have operated successfully for many decades.

An Oil Well Facility exists in the north central portion of the quarter section. Access to this well facility is from Range road 281(See site plan). There is a seasonal intermittent drainage course which runs diagonally from the NW to the SE of the Quarter.

Surrounding Land Uses

The adjacent land uses are mostly farming and agricultural uses.

Geography and Topography

The quarter is relatively flat and experiences only 5 meters of relief from the highest point in the NW 1050 to a low of 1045 in the SE portion of the Quarter. There is a seasonal intermittened drainage course which runs from the NW to the SE. This drainage course will not be affected by any development and the pre-development flow rates will be matched and more evenly controlled by the use of the proposed storm pond on site. Most years this site is seeded and cropped or pastured.

The Proposal

The proposal is to deposit clean fill in the designated area shown on the site plan containing approximately 82 acres. At no time will any wetlands or drainage course be affected. The deposition of clean top soil fill on this area will improve the agricultural capability of the land. It is proposed that approximately 320,000 cubic meters of fill will be deposited over this site. No fill will be deposited in any wetland areas including the seasonal drainage course and proposed storm pond area. The area will be graded and seeded upon completion in order to eliminate the infiltration of weeds and possible erosion. The site will be kept clean and clear of all dust and roads will be kept clean during the trucking of fill. All new fill will be kept back from any buildings, property lines and other development. All fill will be clean and adequate to improve the agricultural capacity of the site.

Access

Secondary Highway 564 is a paved, well-travelled link, between Delacour and the city. It connects with Country Hills BLVD NE Calgary and as such serves as a prominent link for commuters in Rocky View County and Calgary. This prime infrastructure link is crucial to this site being valued as a travel route. It is recognised that, for safety reasons, the county wants to minimise any new accesses coming off the secondary highways. It is for this reason that the proposed access for the clean fill is off HWY 564 (As shown on site plan). At this location an existing farm access provides that all the necessary safety requirements can easily be met. No new accesses will be necessary off HWY 564.

Should you have any questions feel free to give me a call.

Sincerely



Rodney R Potrie MCIP, BaSC , RPP, AACIP, ACP CET, ADOA
Planning Protocol 2 Inc
President & CEO
P-709-01 Baisi Clean Fill DP. Applic



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0014 580 139 4;28;25;26;SE 161 297 172

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 28 TOWNSHIP 25
SECTION 26
QUARTER SOUTH EAST
CONTAINING 64.7 HECTARES (160 ACRES) MORE OR LESS
EXCEPTING THEREOUT:
PLAN NUMBER HECTARES ACRES
ROAD WIDENING 960 LK 0.474 1.17
EXCEPTING THEREOUT ALL MINES AND MINERALS
AND THE RIGHT TO WORK THE SAME

ESTATE: FEE SIMPLE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 161 297 161 +1

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
161 297 172	15/12/2016	TRANSFER OF LAND	\$1,250,000	NIL

OWNERS

HEIDY JOAN BAISI

[REDACTED]
[REDACTED]
[REDACTED]

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION	NUMBER	DATE (D/M/Y)	PARTICULARS
901 201 709	02/08/1990	UTILITY RIGHT OF WAY	GRANTEE - ROCKYVIEW GAS CO-OP LTD.
931 283 037	12/11/1993	CAVEAT	

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
161 297 172

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

RE : SURFACE LEASE
CAVEATOR - HARVEST OPERATIONS CORP.
ATTN: LAND MANAGER
PO BOX 20006
CALGARY
ALBERTA T2P4J2
(DATA UPDATED BY: TRANSFER OF CAVEAT
951034340)
(DATA UPDATED BY: TRANSFER OF CAVEAT
001327701)
(DATA UPDATED BY: TRANSFER OF CAVEAT
111278662)
(DATA UPDATED BY: CHANGE OF ADDRESS 121270361)

941 091 191 14/04/1994 CAVEAT
RE : PIPELINE RIGHT OF WAY
CAVEATOR - HARVEST OPERATIONS CORP.
ATTN: LAND MANAGER
PO BOX 20006
CALGARY
ALBERTA T2P4J2
AGENT - SEAL.
(DATA UPDATED BY: TRANSFER OF CAVEAT
001327701)
(DATA UPDATED BY: TRANSFER OF CAVEAT
111306656)
(DATA UPDATED BY: CHANGE OF ADDRESS 121270354)

941 291 089 10/11/1994 CAVEAT
RE : EASEMENT
CAVEATOR - HARVEST OPERATIONS CORP.
ATTN: LAND MANAGER
PO BOX 20006
CALGARY
ALBERTA T2P4J2
(DATA UPDATED BY: TRANSFER OF CAVEAT
001327701)
(DATA UPDATED BY: TRANSFER OF CAVEAT
111280322)
(DATA UPDATED BY: CHANGE OF ADDRESS 121270911)

991 355 514 03/12/1999 CAVEAT
RE : RIGHT OF WAY AGREEMENT
CAVEATOR - HARVEST OPERATIONS CORP.
ATTN: SURFACE LAND DEPARTMENT
330 5 AVE SW SUITE 2100
CALGARY
ALBERTA T2P0P4
(DATA UPDATED BY: TRANSFER OF CAVEAT

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 3
161 297 172

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

041235407)
(DATA UPDATED BY: CHANGE OF NAME 091077893)
(DATA UPDATED BY: TRANSFER OF CAVEAT
161058495)

021 090 402 18/03/2002 CAVEAT
RE : SURFACE LEASE UNDER 20 ACRES
CAVEATOR - HARVEST OPERATIONS CORP.
ATTN: LAND MANAGER
PO BOX 20006
CALGARY
ALBERTA T2P4J2
(DATA UPDATED BY: TRANSFER OF CAVEAT
041381699)
(DATA UPDATED BY: CHANGE OF ADDRESS 121270773)

061 050 687 02/02/2006 CAVEAT
RE : PIPELINE RIGHT OF WAY
CAVEATOR - NORTHERN HUNTER ENERGY INC.
SUITE 550, 333 11 AVE SW
CALGARY
ALBERTA T2R1L9
AGENT - DOUG REYNOLDS
(DATA UPDATED BY: TRANSFER OF CAVEAT
091036025)

171 037 872 10/02/2017 MORTGAGE
MORTGAGEE - 907840 ALBERTA INC.
600, 5920 MACLEOD TRAIL SOUTH
CALGARY
ALBERTA T2H0K2
ORIGINAL PRINCIPAL AMOUNT: \$200,000

171 220 724 03/10/2017 MORTGAGE
MORTGAGEE - 907840 ALBERTA INC.
600, 5920 MACLEOD TRAIL SOUTH
CALGARY
ALBERTA T2H0K2
ORIGINAL PRINCIPAL AMOUNT: \$200,000

191 186 623 12/09/2019 MORTGAGE
MORTGAGEE - 907840 ALBERTA INC.
600, 5920 MACLEOD TRAIL S
CALGARY
ALBERTA T2H0K2
ORIGINAL PRINCIPAL AMOUNT: \$100,000

TOTAL INSTRUMENTS: 010

(CONTINUED)

PAGE 4

161 297 172

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 9 DAY OF
JANUARY, 2020 AT 05:01 P.M.

ORDER NUMBER: 38620543

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



ROCKY VIEW COUNTY

283075 Rocky View Point
Rocky View County, AB, T4A 0X2

403-230-1400
questions@rockyview.ca
www.rockyview.ca

LETTER OF AUTHORIZATION

I, (We) Heidy Baissi being the owner (s) of

Lot _____ Block _____ Plan _____

Legal:

NW/NE/SE/SW Section 24 Township 25 Range 28 W 4 M

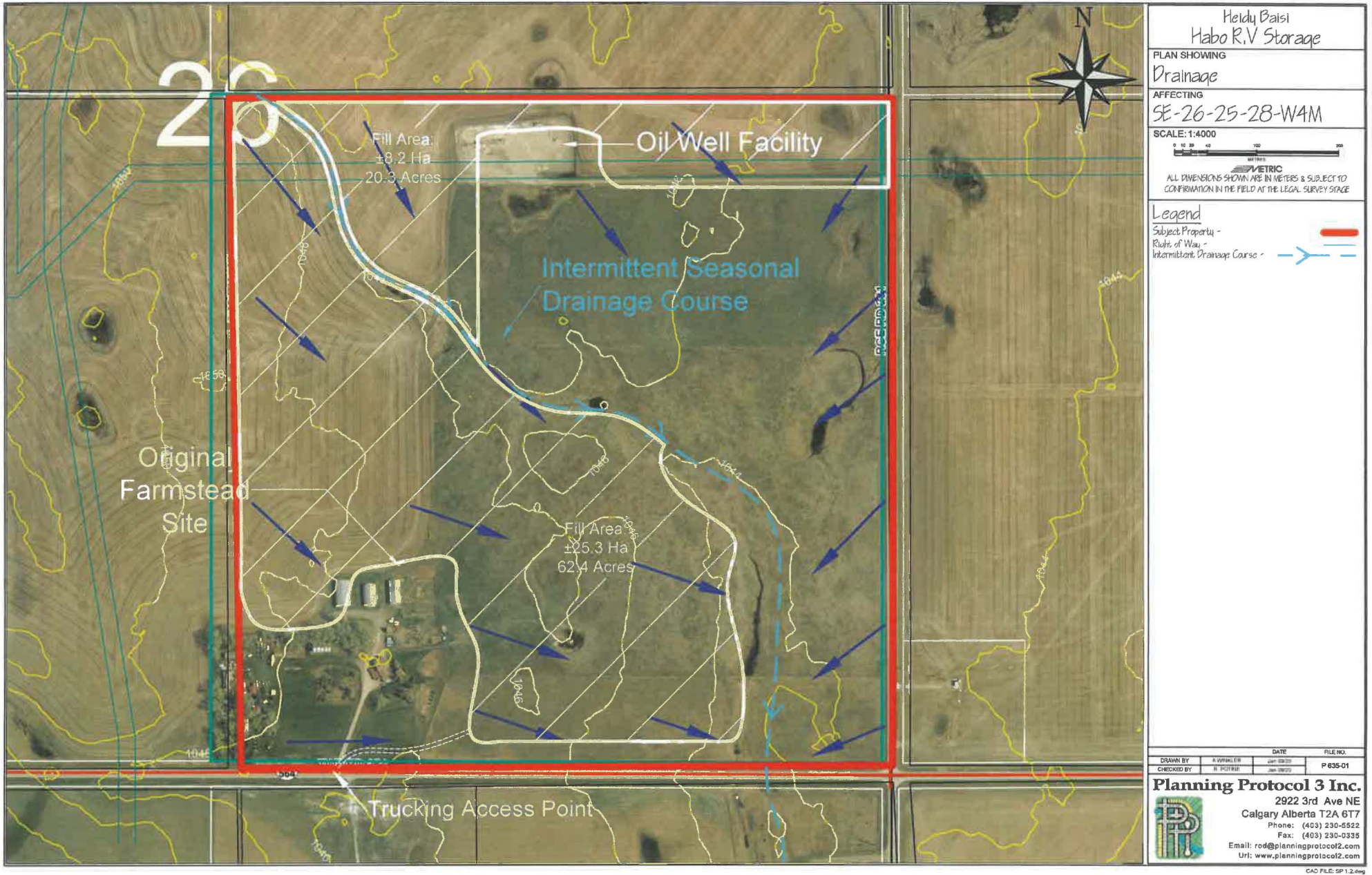
give Planning Protocol or Rodney Potrie permission to act on my

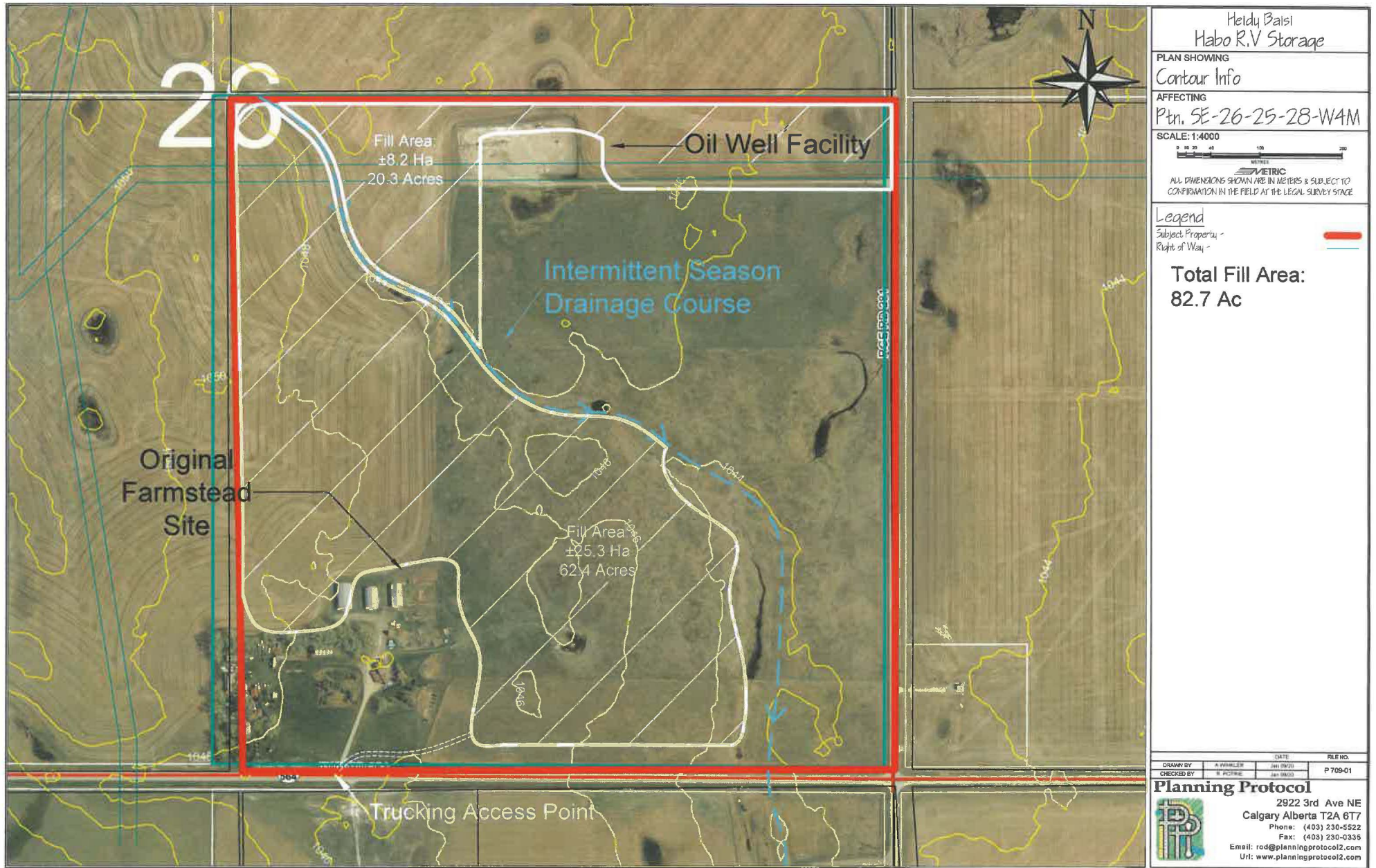
(our) behalf in applying for a Development Permit for the above subject property.

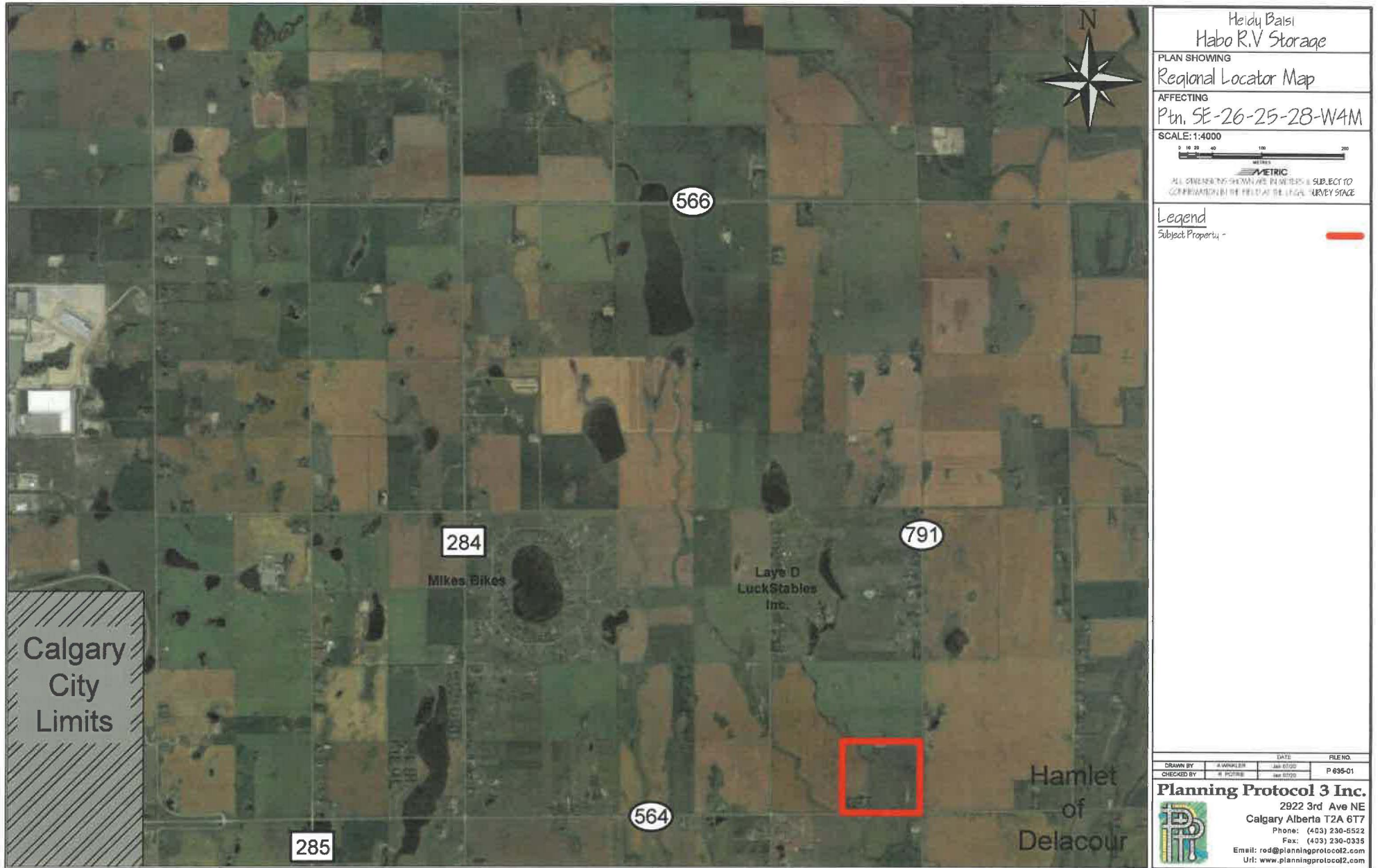
Heidy Baissi
Signature

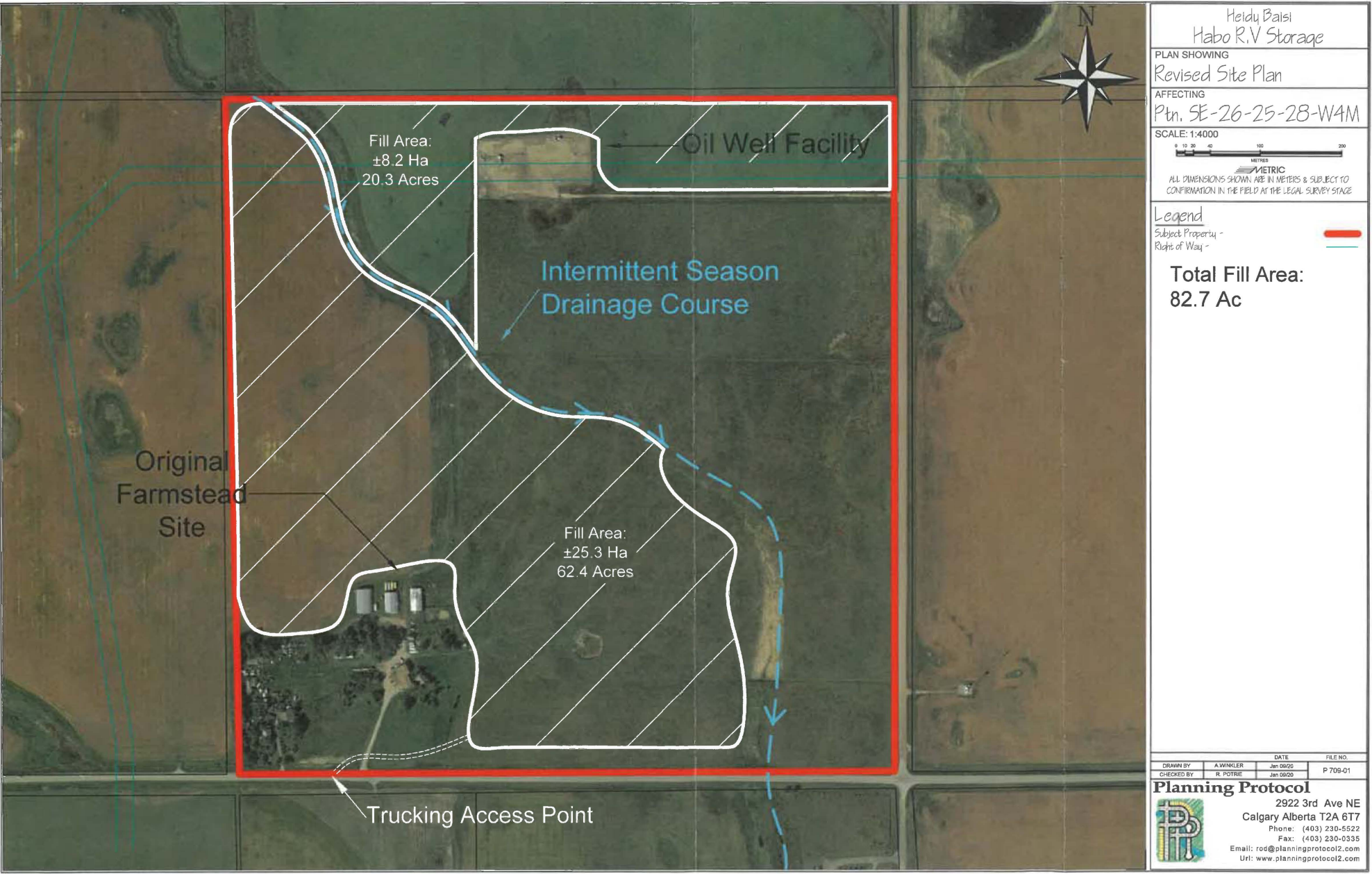
Signature

20200108
Date









Heidy Baisi
Habo R.V Storage

PLAN SHOWING
Revised Site Plan

AFFECTING
Ptn. SE-26-25-28-W4M

SCALE: 1:4000

0 10 20 40 60 80 100 120 140 160 180 200 METERS

ALL DIMENSIONS SHOWN ARE IN METERS & SUBJECT TO CONFIRMATION IN THE FIELD AT THE LEGAL SURVEY STAGE

Legend
Subject Property - —
Right of Way - ---

**Total Fill Area:
82.7 Ac**

DRAWN BY	A. WINKLER	DATE	FILE NO.
CHECKED BY	R. POTRIE	Jan 08/20	P 709-01

Planning Protocol

2922 3rd Ave NE
Calgary Alberta T2A 6T7
Phone: (403) 230-5522
Fax: (403) 230-0335
Email: rod@planningprotocol2.com
Url: www.planningprotocol2.com

CAD FILE: SP 1.2.dwg

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 09
SUBJECT: Development Item: Equestrian Center

DATE: March 9, 2020
APPLICATION: PRDP20193941

APPLICATION: Equestrian Centre, Type II (existing building).

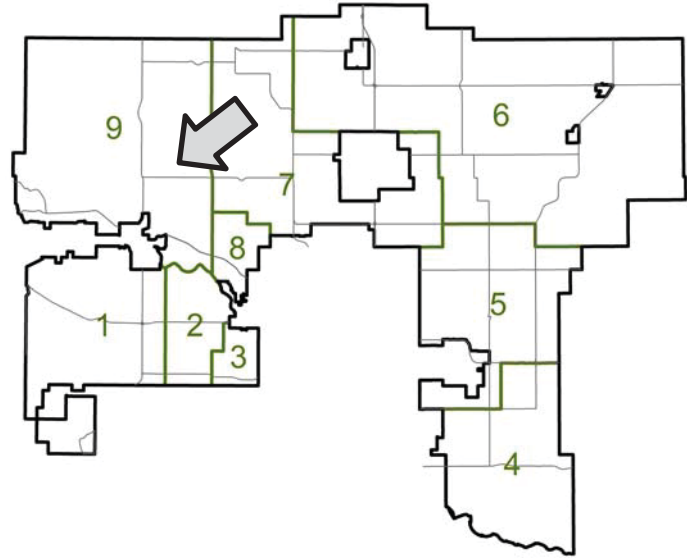
GENERAL LOCATION: located approximately 0.81 km (1/2 mile) south of Twp. Rd. 275 and on the east side of Rge. Rd. 40

LAND USE DESIGNATION: Ranch and Farm (RF)

ADMINISTRATION RECOMMENDATION:
 Administration recommends approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20193941 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20193941 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



**DEVELOPMENT PERMIT REPORT**

Application Date: October 29, 2019	File: 07730002
Application: PRDP20193941	Applicant/Owner: Myszczyzyn, Jason & Melonie
Legal Description: Block 1, Plan 9611249, NW-30-27-03-W05M	General Location: located approximately 0.81 km (1/2 mile) south of Twp. Rd. 275 and on the east side of Rge. Rd. 40
Land Use Designation: Ranch and Farm District (RF)	Gross Area: ± 15.44 hectares (± 38.16 acres)
File Manager: Jacqueline Targett	Division: 09

PROPOSAL:

The proposal is for the Equestrian Centre, Type II (existing building).

The subject site is developed with two dwellings, single detached and several accessory buildings (including an arena and multiple barns, sheds and horse shelters. The site includes two access points, one off Rge. Rd. 40 [gravel surface] and one via private access easement [*Instrument #961 138 238*] through Block 2, Plan 9611249, which is the primary access point for patrons. The site is serviced by a water well and holding tank.

The site has operated as a private hay farm since the 1970s and includes a private riding arena operation since 1992. The Equestrian Centre arena is 1,858.06 sq. m (20,000.00 sq. ft.) in area. The arena includes horse boarding, breeding, training, and exercising. Clinicians are brought to site for horse training purposes, 3-4 times a year and there are youth teaching classes onsite. The site includes multiple areas for patron parking. The application does not address any signage requirements.

The property currently includes 73 horses and 10 cattle onsite. The application is requesting an increase to allowable animal units, up to 150, over the next five years. Reasons for the increase include economic viability, larger paddock areas are able to accommodate more than 1 horse and as the horses are feed hay, foraging is not excessive.

Other information:

- For pest control, the applicant utilizes fly traps, if required.
- Ridgeback Resources operates a private oil pipeline along the west side of Rge. Rd. 40. The pipeline is approximately 210.00 m (688.97 ft.) from the subject property. Ridgeback Resources were circulated for this application and have no concerns.

Property History:

- Planning Applications
 - 1994-RV-272; The subject property was subdivided into two lots;
- Development Permits
 - 1992-DP- 4554 (Private Riding Arena);
 - 1980-DP-1488 (Home Occupation)

- Building Permits
 - 1992-BP-3012 (Barn) Occupancy issued January 13 1995
 - 1979-BP-7955 (Shed); No information
- Assessment History:
 - Dwelling, Single Detached (1970)
 - Warehouse (1970)

Land Use Bylaw:

Section 8 Definitions:

EQUESTRIAN CENTRE means public facilities (buildings, shelters or other structures) at which horses are exercise or trained, training in equestrian skills or equestrian competitions or shows are held;

Section 24 Keeping of Livestock

24.4 On parcels designated as RF, RF-2, RF-3, AH, F, R-2 and R-3 that are between 1.60 hectares (3.95 acres) and 16.19 hectares (40.00 acres), the permitted number of livestock shall not exceed one animal unit per 1.60 hectares (3.95 acres).

- As the subject property is under 16.19 hectares (40.00 acres), the property is restricted to permitted number of animal units [10 units]; however, with an application for an Equestrian Centre, those restricted are not applicable and the Equestrian Centre regulations are applicable – with limitations on the permitted number of animal units.

24.5(a) The following applies to all Equestrian Centres:

(i) The Development Permit shall set the maximum number of horses and cattle, if applicable, that may be kept on the site;

- Noted within 24.5(c)(i)

(ii) For purposes of this section, an animal is kept when it is on the site overnight;

- Noted within condition set

(iii) The number of animals allowed as a condition of the permit to participate in an event are in addition to the number that are allowed to be kept on the site;

- Noted within 24.5(c)(i)

(iv) The rider/handler and grooms are not considered to be spectators;

(v) Limited term overnight camping of participants may be allowed in the Development Permit;

(vi) The Development Permit shall set out conditions that address garbage and manure control, pasture management, on site stock trailer parking and participant, and spectator parking.

24.5(c)(i) The maximum number of horses, or horses and cattle in total if applicable, on site at any time for an event shall be set out in the Development Permit;

- The applicant has requested 150 animal units [mixture of horses and cattle] to be kept on the site

- The applicant has not stated the number of animal units to be onsite at any time during an event
- The subject property includes 38 acres and the applicant's lease 130 additional acres of surrounding pasture, however it is the opinion of Administration that 150 animal units in this type of operation is excessive for the total number of pasture area and equestrian stalls available; therefore,
 - the maximum number of animal units onsite permitted with the permit is recommended to **125**.
 - the maximum number of animal units onsite permitted during an event with the permit is recommended to **125**.

(ii) The maximum number of spectators for an event shall be set out in the Development Permit;

- The applicant has not request a specific number of spectators therefore based on the application, the maximum number of spectators permitted for an event shall be 50.

(iii) Overnight camping may be allowed in the Development Permit for a maximum of ten (10) nights per year and the number of persons camping shall not exceed fifty (50) at any time;

- The applicant has not request overnight camping with the application; therefore, no overnight camping is being approved with this application;

(iv) The application shall include a Stormwater Management Plan for all areas of the parcel of land disturbed during or as a result of the development of the Equestrian Centre and supporting facilities;

- The applicant has indicated that any rain water drains naturally and all water is captured on the subject property, with no negative impact to adjacent properties or the roadway;
- A stormwater management plan was not submitted with the application;

(v) The application shall include a Traffic Impact Analysis that includes current and projected traffic for the next ten (10) years in the vicinity;

- The applicant has indicated that the current site traffic is between 10 to 15 visits per day; With the increase in animal units, the applicant estimates the site traffic will be between 15 to 25 visits per day;
- A Traffic Impact Analysis was not submitted with the application;

(vi) A condition of the Development Permit may require there be a contribution towards upgrading of access roads, should the road network require upgrading because of the impact of the facility; and

- The applicant was circulated to Engineering Services and Transportation Services; Neither group noted any concerns relating to the gravel surface class incompatibility with the subject arena;

(vii) Details of water supply and sewage disposal shall be included with the application.

- The water well for the property is located on an elevated portion of the property
- Natural site landscaping helps with runoff and drains naturally

24.6(a) The following applies to all parcels of land on which livestock is kept:

(i) pasture management shall be maintained to ensure that there is no overgrazing; and

- All horses are grazed on the subject parcel;
 - The Applicant leases two 40.00 acres, to the north and south of the subject property and 50.00 acres, across the roadway (to the west) for additional grazing pastures;
 - Each horse is also provided 30-40 lbs of hay feed per day;
- (ii) *manure management shall occur to ensure no runoff onto adjacent lands, riparian areas, or to a watercourse and to reduce odour.*
- All manure will be stockpiled, aged, and spread in hay fields.
 - A manure pile exists on Roll 07730002
 - A more detailed Manure management plan will be a condition of approval;

STATUTORY PLANS:

The property does not fall under any approved Area Structure Plan or Intermunicipal Development Plan. The application was evaluated in accordance with the County Plan and the County's Land Use Bylaw.

Within the County Plan, the development of an Equestrian Centre on an existing Ranch and Farm parcel is consistent with agricultural policy (Section 8.0). Some of the key goals of the plan are to, "Support individual agriculture producers and related business to help them be successful," and to, "support agriculture operators in going about their day-to-day business with minimum adverse impacts from non-agricultural land uses."

INSPECTOR'S COMMENTS:

Inspection: December 5, 2019

- Toured property; confirmed with owner that there are approximately 50 horses on site'
- Boarding structure/arena in good condition;
- Parcel is in neat order, abundance of hay for the horses;
- Septic is pumped via truck on a regular basis
- Storage of horse trailers on south side of arena'

CIRCULATIONS:

Alberta Health Services (December 5, 2019)

- No soils, groundwater or surface water sources should become polluted due to operations on the subject lands. Please ensure that the potable water source is adequately protected from any run-off, nuisance or contaminants.
- Any stockpiles of solid wastes from the property should be handled, stored and disposed of properly, protected from excessive moisture and pests. We recommend that collected solid wastes should not be disposed of on the property, but offsite in an approved manner.

Building Services Review (November 20, 2019):

- Advisory Condition – Architectural, Structural, Mechanical, and Electrical stamped drawings with schedules are required for change of use.
- Advisory Condition - Provide 3.2.2 Building Code analysis from Architect at BP application.

- Advisory Condition – Water Supply design for fire-fighting must conform to article 3.2.5.7. ABC 2014.
- Advisory Condition – Provide Spatial Separation calculations between buildings and property lines as per Subsection 3.2.3. ABC 2014
- Advisory Condition - Building shall conform to the National Energy Code 2011, with documentation/design at Building Permit stage.
<http://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Building/resources/NECB-Submission-Requirements.pdf>

Ridgeback Resources Review (November 8, 2019):

- I have spoken to the team and there are no concerns with this development.

Development Compliance Officer Review (November 7, 2019)

- Suitable parking for visitors to the centre.
- An adequate manure management plan including measures to mitigate possible local water contamination.
- Adherence to the noise control bylaw.
- Site to be kept in a neat and tidy manner.
- The number of animal units be restricted to a manageable level for this 38.16 acre parcel.

Development Compliance file related to application:

- File #201904-0271 – Concern received about multiple animal units on the property with no permits for an equestrian centre and possible contamination of local water wells.
- After speaking with the property owner Development Compliance established that an equestrian centre was being run from the premises including horse boarding and training. The property owner was directed to make application for the appropriate permit for the equestrian centre and the amount of animal units on the property.

Agricultural Services Review (November 27, 2019)

- If approved, the applicant will need to ensure that the manure management plan is followed and that the noted additional land remains available so that excess manure can be stored and spread.
- The application of the Agricultural Boundary Design Guidelines will be necessary to buffer the Equestrian Centre from the agricultural land uses surrounding the parcel. The guidelines will help mitigate areas of concern including: trespass, litter, pets, noise and concern over fertilizers, dust & normal agricultural practices.
- Lastly, it may be of benefit to the applicant to create a Weed Management Plan and have a contractor available (or be personally prepared) to control any regulated weeds. The applicant will need to ensure compliance with the *Alberta Weed Control Act*.

Planning and Development Services - Engineering Review (November 29, 2019)

General:

- The review of this file is based upon the application submitted. These conditions/recommendations may be subject to change to ensure best practices and procedures.

- As per the application, the applicant is proposing to establish an Equestrian Centre II to keep a total of 150 horses and cattle on the property.

Geotechnical:

- Engineering has no requirements at this time as no changes to current ground conditions are proposed.

Transportation:

- Access to the subject lands is via an access road off RGE RD 40.
- The proposed expansion of the facility may cause an increase traffic in the road network. Prior to issuance of DP, the applicant is required to provide a Trip Generation Assessment indicating the volume of traffic to be drawn towards the site on a regular basis and on special events.
- Prior to the issuance of the DP, the applicant will be required to provide payment of the Transportation Offsite Levy in accordance with Bylaw C-7356-2014 for the total gross area associated with the proposed equestrian operation.

Sanitary/Waste Water:

- Engineering has no requirements at this time.
- Engineering generally recommends the use of holding tanks and a trucked service to dispose of wastewater for non-residential uses in accordance with Policy 449.

Water Supply And Waterworks:

- Engineering has no requirements at this time.
- Engineering generally recommends the use of cisterns and a trucked service to supply non-residential uses.

Storm Water Management:

- Given the size of the subject lands and that the proposed Equestrian Centre is to be contained within the existing buildings and developed areas of the subject lands, however as per the Land Use Bylaw, 24.5, a stormwater management plan will be requested to ensure no negative impact;

Environmental:

- As per GIS review, no environmentally sensitive areas are observed.
- Should the applicant propose development that has a direct impact on any wetlands, the applicant will be responsible for obtaining all required AEP approvals.
- Engineering has no requirements at this time.

Fire Services Review (December 12, 2019)

- This sounds like a public riding arena. The difference between Public & Private is extreme
- Please contact me to discuss?

Transportation Services Review (December 2, 2019):

- Applicant to be reminded staff and clientele parking is restricted to onsite only
- Applicant to be reminded no business signage to be installed within the County Road Allowance

Capital Projects Review (November 29, 2019):

- No concerns

Utility Services (November 15, 2019):

- No concerns

OPTIONS:

Option #1 (this would grant the requested equestrian center)

APPROVAL, subject to the following conditions:

Description:

1. That an Equestrian Centre, Type II may take place on the subject site in accordance with the site plan submitted with the application.
 - a. That a maximum of 125 animals shall be kept on the site (kept means when the animal is on the site overnight).
 - b. That a maximum of 125 animals shall be allowed on the subject site at any one time for any events.
2. That any existing accessory buildings onsite may be used for ancillary uses related to the Equestrian Centre, Type II.

Prior to Issuance:

3. That prior to issuance of this permit, the Applicant/Owner shall submit a revised Manure management plan, detailing manure management practices onsite including the location of on-site storage of manure and frequency of spreading schedule, to the satisfaction of the County.
4. That prior to issuance of this permit, the Applicant/Owner shall submit any signage details, for the Equestrian Centre, Type II, to the satisfaction of the County.
5. That prior to issuance of this permit, the Applicant/Owner shall submit a Stormwater Management Plan, prepared by a qualified professional, detailing onsite storm water practices and addressing any adverse effects on the adjacent properties or roadway infrastructure, in accordance with County Servicing Standards.
6. That prior to issuance of this permit, the Applicant/Owner shall submit a Trip Generation Assessment indicating the volume of traffic to be drawn towards the site on a regular basis and on special events, in accordance with County Servicing Standards.
7. That prior to issuance of this permit, the Applicant/Owner shall submit payment of the Transportation Offsite Levy in accordance with Bylaw C-7356-2014 for the total gross area associated with the Equestrian operation.

Permanent:

8. That if at any time the additional lands leased are no longer viable or available for this development proposal, the number of permitted animal units onsite shall be decreased immediately.
 - a. The permitted animal unit number onsite shall be determined by Administration, based on the available pasture lands related to this Equestrian Centre.

9. That for purposes of this permit, an equestrian event is an activity that involves the training of horses and/or horse riders, horsemanship lessons, learning programs and the boarding of horses.
10. That commercial use on the site, which is any event where there is a fee for admission or for use of the facilities or for services provided, shall be for equestrian events only.
11. That food services shall be limited to participants and the guests of participants.
12. That the total number of participants at any outdoor event shall not exceed 50 people.
13. That once approved, the Manure and Grazing Management Plan as submitted with the application shall be practiced at all times.
 - a. Upon request of the County, the Applicant/Owner may have to update the approved Manure and Grazing management plan if any issues arise or complaints are received on the property, to the satisfaction of the County.
14. That there shall be no spreading or storage of manure within 50.00 m of any watercourse.
15. That this Development Permit does not permit overnight camping on the site
16. That all trailers, equipment or materials associated with the Equestrian Centre shall be located on the subject property. There shall be no associated storage on NW-30-27-03-05.
17. That all parking of vehicles, including stock trailers and participant and spectator parking, shall be limited to on-site only and that a minimum of 5 stalls shall be available at all times.
18. That all outdoor lighting shall use full cut-off (shielded) fixtures that direct the light downward, and that no direct glare shall be visible from adjacent properties, roadways, and highways.
19. That the garbage and waste material on site shall be stored in weatherproof and animal-proof containers located within buildings or adjacent to the side or rear of buildings. The containers shall be screened from view from all adjacent properties and public thoroughfares.
20. That the subject property shall be adequately fenced and maintained at all times when livestock are present, and no livestock shall be allowed on unfenced areas.

Advisory:

21. That all facilities on the subject site that are involved with the equestrian centre shall conform to the Alberta Building Code.
 - i. That a Building Permit for a Change of Use shall be obtained through Building Services prior to further commencement of activities onsite and shall include:
 - a. Architectural, Structural, Mechanical, and Electrical stamped drawings with schedules
 - b. A 3.2.2 Building Code analysis from an Architect
 - c. Water Supply design for fire-fighting must conform to article 3.2.5.7. ABC 2014.
 - d. Spatial Separation calculations between buildings and property lines as per subsection 3.2.3. ABC 2014

Building shall conform to the National Energy Code 2011, with documentation/design at Building Permit stage.
 - ii. That water supply for fire suppression and emergency vehicle access shall be provided in accordance with Alberta Building Code.

22. That the Applicant/Owner shall adhere to any requirements of Instrument #961 138 238.
23. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
24. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
25. That if the Development Permit is not issued by **DECEMBER 31, 2020** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY
Cultivating Communities

20193941

FOR OFFICE USE ONLY

Fee Submitted

\$740

File Number

07730002

Date of Receipt

Oct 29/19

Receipt #

022585

APPLICATION FOR A DEVELOPMENT PERMIT

Name of Applicant MELONIE MYSZCZYNSKI Email [REDACTED]

Mailing Address [REDACTED]

Telephone (H) [REDACTED]

(B) [REDACTED]

Fax N/A

For Agents please supply Business/Agency/ Organization Name LAZY MOOSE JUNCTION LTD AND FARM

Registered Owner (if not applicant) JASON & MELONIE MYSZCZYNSKI

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED]

(H) [REDACTED]

Fax [REDACTED]

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the NW ¼ Section 30 Township 27 Range 3 West of 5 Meridian
- b) Being all / parts of Lot [REDACTED] Block 1 Registered Plan Number 9611249
- c) Municipal Address 274254 RANGE ROAD 40 ROCKY VIEW COUNTY
- d) Existing Land Use Designation RF (PARCH FARM) Parcel Size 38.16 ACRES Division (CLIPPING OFF FOUR 40 ACRES)

2. APPLICATION FOR

APPLICATION FOR EQUESTRIAN CENTER II AND LIVESTOCK NUMBER OF 150 TOTAL HORSES AND CATTLE.

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property (s)? Yes [REDACTED] No X
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes [REDACTED] No X
(Sour Gas facility means well, pipeline or plant)
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes [REDACTED] No X
- d) Does the site have direct access to a developed Municipal Road? Yes Range Road 40

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I, MELONIE MYSZCZYNSKI hereby certify that ✓ I am the registered owner
(Full Name in Block Capitals)

[REDACTED] I am authorized to act on the owner's behalf

and that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.

Affix Corporate Seal here if owner is listed as a named or numbered company

Applicant's Signature Melanie Myszczyński

Owner's Signature Melanie Myszczyński

Date September 8, 2019

Melanie Myszczyński

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.

Melanie Myszczyński
Applicant's/Owner's Signature

PLEASE SEE REVERSE



ROCKY VIEW COUNTY
Cultivating Communities

APPLICATION TO INCREASE NUMBER OF LIVESTOCK

FOR OFFICE USE ONLY	
Fee Submitted \$ 740	File Number 07730002
Date of Receipt Oct 29/19	Receipt #

1. SITE PLANS

Provide site plans identifying:

1. Confinement and pasture areas & acres available for animals (excluding house/yard/etc.)
2. Feeding site(s) and methods (i.e. feeders/racks/ground/etc.)
3. Watering site(s) and methods (i.e. tank/waterer/creek/etc.)
4. Location of your well, any sloughs, ponds, waterruns, coolies, etc.
5. Description of slope of your property
6. Proximity of neighbours' houses and livestock (if any)

2. OPERATION

Describe your "livestock operation" (i.e. pleasure horses, exotic game, birds, etc.) PLEASURE HORSES + FEW COWS

HORSE BOARDING AND HORSE BREEDING (TRAIN AND EXERCISE / SELL HORSES)
BOARDERS HORSES

3. MANURE MANAGEMENT

Describe what you will do with manure produced by your livestock, (i.e. stockpiled and spread annually, harrowed and left on pasture, composted and used in garden, etc.) * Note: Generally speaking, a horse produces 15-20 pounds of manure per day; 450-600 pounds per months; approx. 6 tons per year).

• STOCKPILE / AGE / SPREAD MANURE FOR HAY FIELDS

4. GRAZING AND FEEDING STRATEGIES

Describe your grazing and feeding strategies (i.e. year-round grazing, rotational pastures with supplemental feed, etc.)

FEED ~ 30-40 LBS / DAY / PER HORSE - HAY FEED ALL ANIMALS

5. WATER

Describe how runoff will be kept out of your well and other water areas on your property.

WATER WELL IS LOCATED AT ELEVATED LOCATION

NATURAL LANDSCAPING PREVENTS THIS AND DRAINS NATURALLY

Describe how runoff will be kept on your own property (It is an offence under the Alberta Environmental Enhancement and Protection Act to allow manure and its nutrients to move off your property)

WATER COMES IN A LOW SPOT WITHIN OUR PROPERTY

6. PEST CONTROL

Describe how flies and other pests will be managed so they don't affect your neighbours.

WE PUT UP FLY TRAPS IF NEEDED IN OUR BARN

Signature of Applicant

Melanie Muggen

Date

September 8, 2019

PLEASE PROVIDE ALL OF THE ABOVE INFORMATION EVEN IF THIS IS A RENEWAL. THANK YOU

SANGEETA VISHWAKARMA
Development Officer | Planning & Development

ROCKY VIEW COUNTY
262075 Rocky View Point | Rocky View County | AB | T4A 0X2
Phone: 403-520-6606
svishwakarma@rockyview.ca | www.rockyview.ca

SEPTEMBER 20, 2019

Dear Ms. Sangeeta Vishwakarma
Rocky View County Office

Dear Sangeeta,

Re: Existing 274254 range road 40 Private Riding Arena built in year 1990 and operating since 1990

Re: Application for Equestrian Center II

Re: File #201904-0271

As per our in person discussion, we, Melonie and Jason Myszczyzyn of Lazy Moose Junction Ltd and Lazy Moose Junction Farm, have created a development permit package for our private riding arena to be permitted as an Equestrian Center II based on feedback from the meeting. The application as per the attached pages has been updated. We are also applying for a stable facility number of livestock of 150 to more accurately reflect our hay fed horse boarding facility setup capability and to allow for business growth with longevity within the county for years to come. We are currently at 73 horses and 10 cattle numbers wise (83 total head at the boarding facility).

Background:

Our facility was constructed with the original owner and the government development wise for 4 H activities back in 1990 and the paddocks and stalls have been in existence since that time. The facility has been operating as a Horse Boarding, Horse Breeding, and Horse Training facility for the past 30 years.

The main focus is to train and exercise horses for the boarders and owners. As per the regulations for a we do bring in one or two clinicians strictly for training purposes 3 to 4 times a year only with sole focus to improve the horse's skills and advance the horses abilities.

We also teach youth in grades 10 to 12 school age the Green Farm Certificate program as we are a horse breeder, boarding facility, and hay farm. Currently we have two registered students who have been in the program for last year and now working on the grade 11 portion of the program.

Current Operation:

As per the regulations for a private horse boarding facility we have less than 50 boarded outside horses at this time. Currently we fluctuate in summer from around 40 outside boarded horses in spring, summer, and fall months; up to 48 outside boarded horses in winter months.

As a farmer and horse breeder, we have our own livestock horses and cattle which we have 25 horses and 10 cattle at the boarding facility at this time of year. To be a horse breeder in Alberta Canada one must have at least 10 breeding mares and a stallion. So with foals this equates to a minimum of 20 horses plus a stallion breeding mare foal wise yearly.

- Rotate fields: We move our animals around on our property and our leased properties to graze down the fields, put up hay, and rotate field crops as necessary to make the land sustainable and produce hay crops in the summer season. At times our horses board at the facility but also 20 of the head move to the other 80 acres (two 40 acre parcels) next to our parcel. Is 10 head per each 40 acres. So we should not need to apply for livestock number increase application at this time for the leased land parcels.

We have a vast setup of boarded horse and cattle paddock and stall areas in place at our facility. Due to the exceedance of the Equine Canada Stable requirements our operation can sustain comfortably the request for a livestock number of 150 animals as per the below overview of land square footage per paddock or stall and the minimum Equine Canada requirements.

Hay Fed Horse Boarding Areas:

- As per Equine Canada Stable Management Manual 2009 page112 – one needs to allocate 60 to 80 sq ft per horse that is hay fed. We allocate outdoor paddock space larger than 12 ft x 12 ft (144 sq ft) per horse with a shelter large enough for the number of horses within the paddock.

The paddock sizes are the following:

Hayfed Outdoor Paddocks, Indoor Stalls - Sizes and Number of Animals

Currently in areas

Paddock Number	Size of Outdoor Paddock	square footage	Number of Horses can hold based on Equine Canada 60 - 80 (144 sq ft (12 ft x 12 ft) used for outdoor paddock)	Current Number of Horses and Cattle in Paddock and Indoor Stall
1	104 ft x 384 ft	39936	277	4
2	64 ft x 384 ft	24576	170	4
3	80 ft x 384ft	30720	213	5
4	84 ft x 128 ft	10752	74	8 yearlings, foals
5	72 ft x 128 ft	9216	64	0
6	72 ft x 128 ft	9216	64	0
7	216 ft x 128 ft	27648	192	3 pairs mare and foal
8	176 ft x 192 ft	33792	234	4
9	56 ft x 192 ft	10572	74	2
10	152 ft x 192 ft	29184	202	4
11	192 ft x 384 ft	73728	512	10 cows and 1 horse
12	192 ft x 384 ft	73728	512	4

13	72 ft x 72 ft	5184	36	2
14	72 ft x 72 ft	5184	36	2
15	72 ft x 72 ft	5184	36	2
16	72 ft x 72 ft	5184	36	2
17	72 ft x 72 ft	5184	36	2
18	72 ft x 72 ft	5184	36	2
19	72 ft x 72 ft	5184	36	2
20	72 ft x 72 ft	5184	36	2
21	72 ft x 72 ft	5184	36	2
22	72 ft x 72 ft	5184	36	2
23	72 ft x 72 ft	5184	36	2
24	72 ft x 72 ft	5184	36	1
25	24 ft x 72 ft	1728	12	1
26	24 ft x 72 ft	1728	12	1
27	24 ft x 72 ft	1728	12	1
28	24 ft x 72 ft	1728	12	1
29	24 ft x 72 ft	1728	12	1
30	24 ft x 72 ft	1728	12	1
31	24 ft x 72 ft	1728	12	1
32	10 ft x 10 ft indoor stall	100	1	1
33	10 ft x 10 ft indoor stall	100	1	1
34	10 ft x 10 ft indoor stall	100	1	1
35	10 ft x 10 ft indoor stall	100	1	1
36	10 ft x 10 ft indoor stall	100	1	1
37	10 ft x 10 ft indoor stall	100	1	1
38	10 ft x 10 ft indoor stall	100	1	1
39	10 ft x 10 ft indoor stall	100	1	0
40	10 ft x 10 ft indoor stall	100	1	0
41	10 ft x 10 ft indoor stall	100	1	0
42	10 ft x 10 ft indoor stall	100	1	0

43	10 ft x 10 ft indoor stall	100	1	0
44	10 ft x 10 ft indoor stall	100	1	0
45	10 ft x 10 ft indoor stall	100	1	0

Thank you for taking the time to review our application for our boarding facility. If you require any additional information please let me know. I can be reached on cell phone 587-896-8999 or by email at meloniemysz@cciwireless.ca.

Warm regards,

Melonie

Melonie and Jason Myszczyzyn

OWNERS OF LAZY MOOSE JUNCTION LTD AND LAZY MOOSE JUNCTION FARM

EQUINE HIPPIQUE

CANADA



EQUINE CANADA

Stable Management

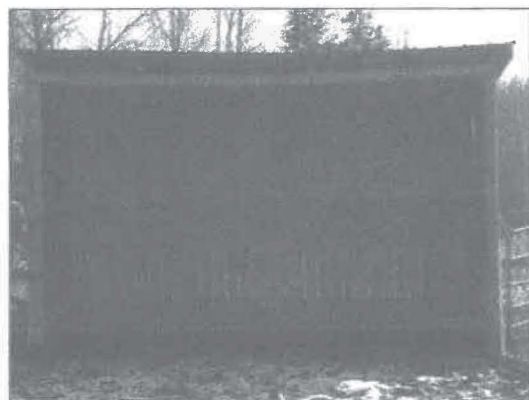
MANUAL

Stable Management in Canada

Run-in Shelter

A run-in shelter (also known as open front shelter) is a three-sided structure commonly used in southern locales which, if built and situated properly, also works well in colder climates. The following factors should be considered when building this type of structure:

- 60-80 sq. ft. (18-24 sq. m) of floor space is required per 1000 lb. (454 kg.) horse; approximately 12 ft. x 12 ft. (3.6 m x 3.6 m) per horse
- The opening should be 10 ft. (3 m)
- The open side should be located away from prevailing winds
- The internal support structures should be safe (no sharp edges) and strong, to withstand horses leaning
- Heated water is needed in winter
- Should be constructed of materials that are chew-proof
- Drainage, drainage, drainage



Shelter



Shelter in a Round Pen

The benefits associated with this type of shelter – lower labour costs and less handling of horses required; horses are free to exercise at will; fewer respiratory problems.

Disadvantages of this type of shelter – horses tend not to be observed as regularly or with as much scrutiny as when stabled; horses may not receive routine handling, which may lead to unruly behaviour especially with young horses; may be difficult to feed horses individually if more than one horse is using the shed.

Bedding

Bedding the shelter makes an inviting spot for your horse to rest. The type of bedding you use will depend on availability and economics. Most often, straw, shavings, or sawdust are used. Straw provides some warmth. The shelter should be mucked out regularly and more bedding added.

LAND USE BYLAW OF
THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44
(BYLAW C-1725-84)

DEVELOPMENT PERMIT NO 4554-92
DATE OF ISSUE: September 24, 1992
FILE(S): 7730002
TO: J.W. Huckle & Sharon Owczar
 [REDACTED]

YOUR APPLICATION dated August 4, 1992 for a Development Permit in accordance with the provisions of the Land Use Bylaw in respect of:

construction of an accessory building (private riding arena)

at North 1/2 of NW-1/4-30-27-3-W5M

in accordance with Board Order 66-92 of the Development Appeal Board is approved subject to the following conditions:

1. That the maximum size requirement for the proposed accessory building (private riding arena) be relaxed from 2,045/2,691 sq. ft. to 14,400 sq. ft.
2. That the total building area for all accessory buildings be relaxed from 3,068/4,036 sq. ft. to 16,576 sq. ft.
3. That the maximum height requirement for the proposed accessory building be relaxed from 18.04 feet to 39 feet.
4. That the exterior colour and materials of the proposed accessory building (private riding arena) be finished in compatible colours with the existing barn, horse stables & single family dwelling.
5. That the accessory building (private riding arena) be for the personal agricultural use of the owners of the property.


K.D. Kelly
Secretary
Development Appeal Board

NOTE:

- a) This Development Permit shall be effective for a period of 12 months from the DATE OF ISSUE. If the specified development has not been commenced and carried on with reasonable diligence before the expiry of such period, this Development Permit is null and void.
- b) This is NOT A BUILDING PERMIT. Application for such a permit must be made at the Municipal Office.
- c) It is the RESPONSIBILITY OF THE APPLICANT to ensure that all conditions of approval (if any) are met.



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0026 739 920 9611249;1 141 349 931

LEGAL DESCRIPTION
PLAN 9611249
BLOCK 1
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 15.443 HECTARES (38.16 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5;3;27;30;NW

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 001 266 471

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
141 349 931	23/12/2014	TRANSFER OF LAND	\$1,000,000	SEE INSTRUMENT

OWNERS

JASON MYSZCZYSZYN

AND

MELONIE MYSZCZYSZYN

BOTH OF:

[REDACTED]
[REDACTED]
[REDACTED]

AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
741 049 083	23/05/1974	CAVEAT CAVEATOR - THE M D OF ROCKY VIEW NO. 44. "PORTION DESCRIBED"

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS			PAGE 2
REGISTRATION			# 141 349 931
NUMBER	DATE (D/M/Y)	PARTICULARS	
741 071 644	24/07/1974	CAVEAT CAVEATOR - THE CALGARY REGIONAL PLANNING COMMISSION. DEFERRED RESERVE CAVEAT "PORTION DESCRIBED"	
751 092 466	27/08/1975	UTILITY RIGHT OF WAY GRANTEE - COCHRANE LAKE GAS CO-OP LTD.	
961 138 238	24/06/1996	EASEMENT OVER BLOCK 2 FOR BENEFIT OF BLOCK 1 PLAN 9611249 (R/W PLAN 9611250)	
961 138 239	24/06/1996	UTILITY RIGHT OF WAY GRANTEE - FORTISALBERTA INC. 320 - 17 AVENUE S.W. CALGARY ALBERTA T2S2Y1 (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 001301772) (DATA UPDATED BY: CHANGE OF NAME 051029433)	
141 349 933	23/12/2014	MORTGAGE MORTGAGEE - ALBERTA TREASURY BRANCHES. #300, 217-16 AVENUE NW CALGARY ALBERTA T2M0H5 ORIGINAL PRINCIPAL AMOUNT: \$1,200,000	
141 349 934	23/12/2014	CAVEAT RE : ASSIGNMENT OF RENTS AND LEASES CAVEATOR - ALBERTA TREASURY BRANCHES. C/O MILLER THOMPSON LLP 3000,700-9 AVENUE SW CALGARY ALBERTA T2P3V4 AGENT - BRIAN G WOOD	
TOTAL INSTRUMENTS: 007			

(CONTINUED)

PAGE 3

141 349 931

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 29 DAY OF
OCTOBER, 2019 AT 12:14 P.M.

ORDER NUMBER: 38272509

CUSTOMER FILE NUMBER:

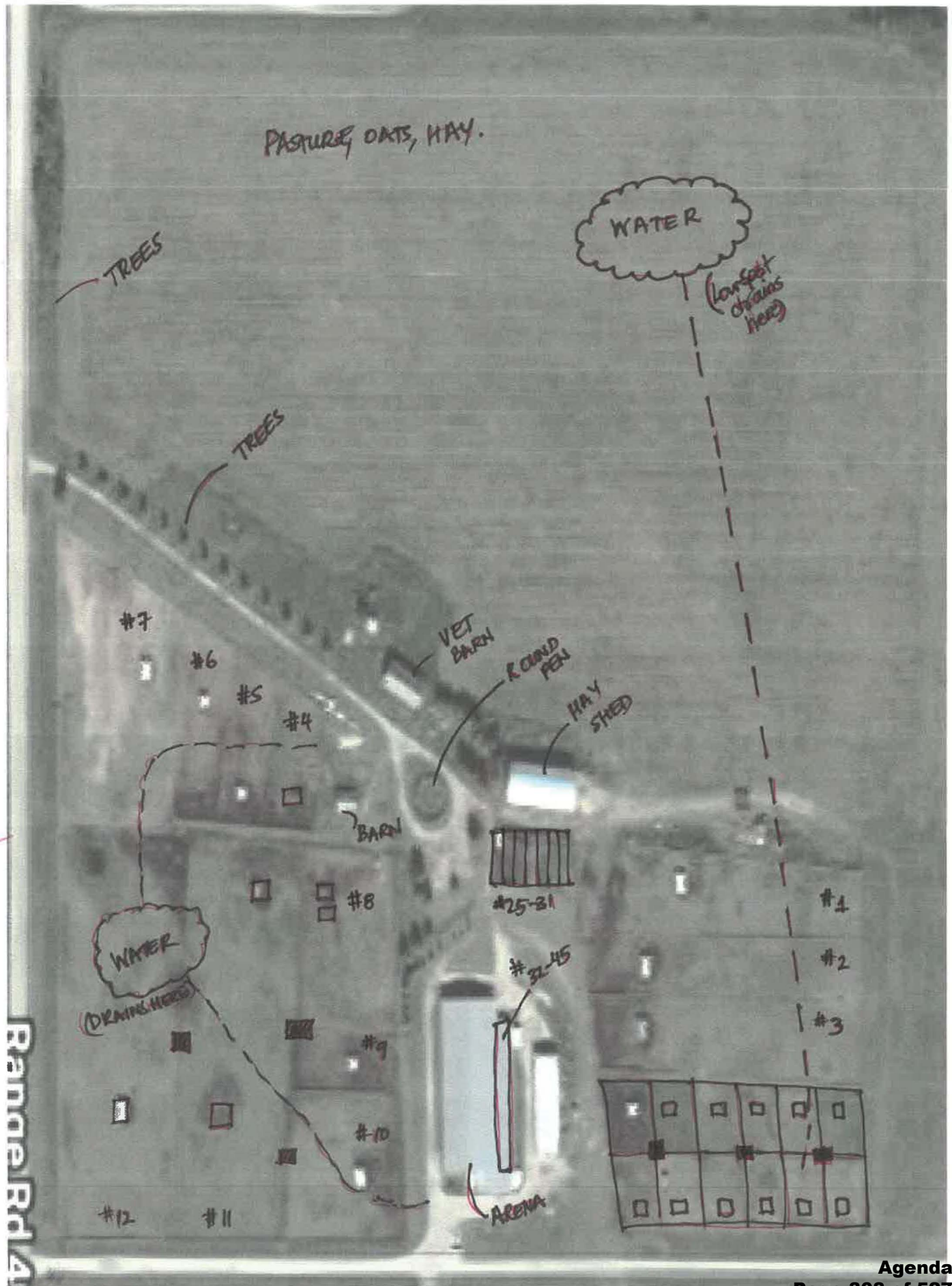


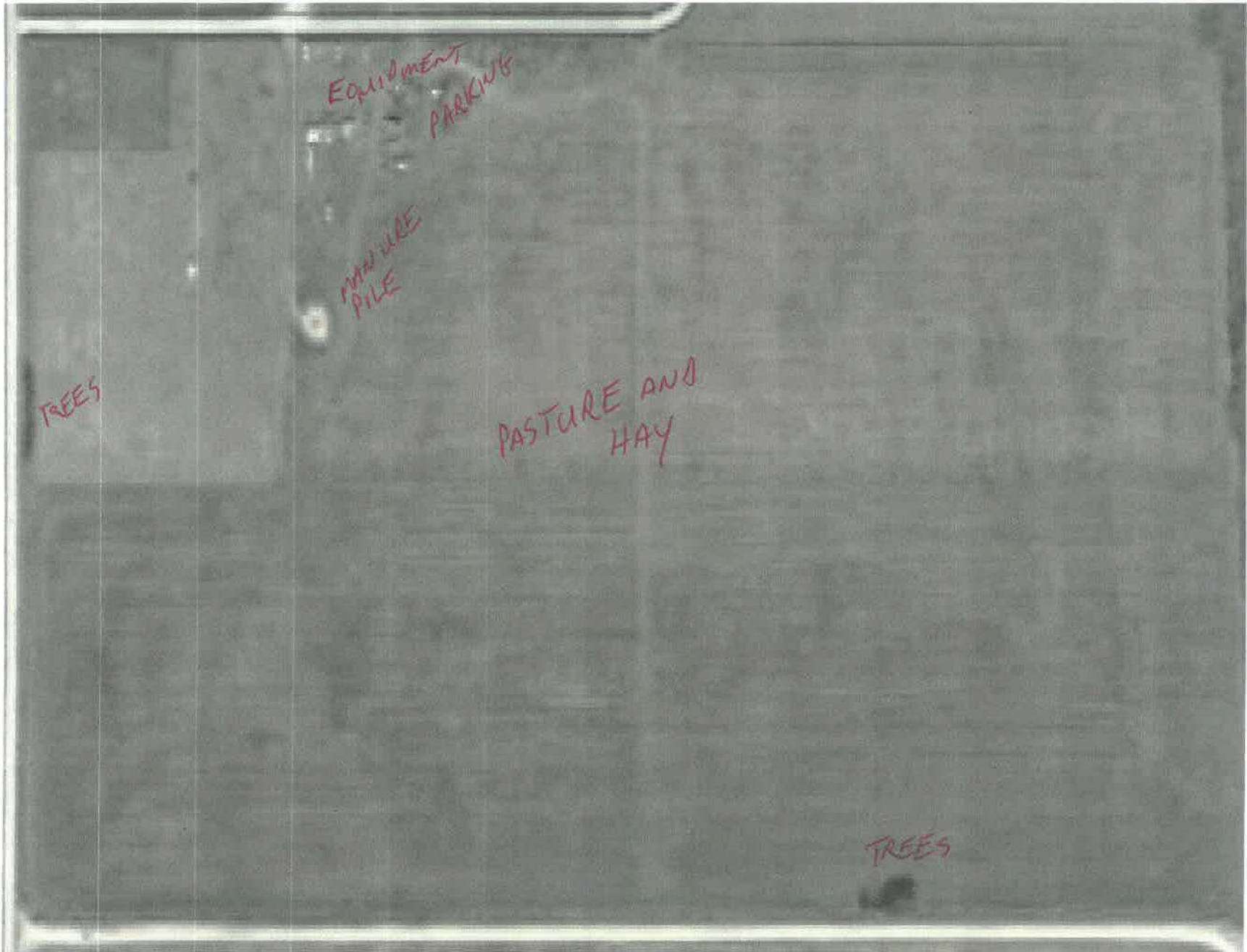
END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

274254 Range Road 40 SITE PLAN
As per attached letter - paddocks #1-31, Stalls #32-45
■ - Watering Bowl □ - Shelter





PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: March 9, 2020

DIVISION: 02

APPLICATION: PRDP20194632

SUBJECT: Development Item: Private Riding Arena and Accessory Dwelling Unit

APPLICATION: Construction of a private riding arena, which includes an accessory dwelling unit (suite within a building), which will require relaxation of the maximum dwelling unit area.

GENERAL LOCATION: Located approximately 0.61 km (1/3 mile) east of Rge. Rd. 32 and on the north side of Springbank Rd.

LAND USE DESIGNATION: Ranch and Farm District (RF)

ADMINISTRATION RECOMMENDATION:
Administration recommends approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20194632 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20194632 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Oksana Newmen—Planning and Development Services



DEVELOPMENT PERMIT REPORT

Application Date: January 6, 2020	File: 04727001
Application: PRDP20194632	Applicant/Owner: Dean & Leanne Duri
Legal Description: SE-27-24-03-W05M	General Location: Located approximately 0.61 km (1/3 mile) east of Rge. Rd. 32 and on the north side of Springbank Rd.
Land Use Designation: Ranch and Farm District (RF)	Gross Area: ± 7.62 hectares (± 18.82 acres)
File Manager: Oksana Newmen	Division: 02

PROPOSAL:

The proposal is for construction of a private riding arena, which includes an accessory dwelling unit (suite within a building), which will require relaxation of the maximum dwelling unit area.

Private Riding Arena:

The riding arena will be 529.63 sq. m (5,700.89 sq. ft.), which includes the main riding arena, eight stalls, trailer/hay storage, tack room, wash bay, farrier/vet room, mechanical room, and dedicated kitchen used for boiling of water for vet and farrier use, baking of horse oat bars, fridge for storing horse medications, and sink for washing and cleaning items. This kitchen is located on the first floor, and separated from the accessory dwelling unit.

The building will have matching roof colour and similar windows to the main dwelling. The proposed Private Riding Arena will be used by the Applicants' immediate family members. There will be no boarding of horses, and any given instruction will be private (for the family); no public events will occur. The Applicants currently have two horses on site, and an associated application pertaining to increasing the number of livestock on site is being concurrently considered (PRDP20194636).

Accessory Dwelling Unit (Suite Within a Building)

The dwelling unit will be located on the second floor, within the riding arena building, and will total 142.14 sq. m (1,530 sq. ft.). It includes three bedrooms, three bathrooms, laundry, and dual kitchen/living room. The applicant has indicated that a closet will be provided for storage, in addition to one parking space. A new private sewage treatment system and new well will be provided for the accessory dwelling unit.

Property History:

Planning History:

- 98-RV-104 To redesignate the subject land from Ranch and Farm District to Residential One District and Residential Two District in order to facilitate the creation of a +/- 2 acre parcel, three +/- 4 acre parcels with a +/- 5 acre remainder. REFUSED.

Development History:

- PRDP20194636 – increase livestock to 10 (corresponds to this application)
- PRDP20193873 – single-lot regrading, placement of clean fill, and construction of four berms (4,654.89 m³ in total) – Conditionally approved October 24, 2019; permit not issued (prior to issuance conditions not yet met)



- 2003-DP-10534 – secondary dwelling to approve relaxation of minimum floor area requirement. Building permit expired, was never built.
- 2003-DP-10260 – secondary dwelling – approved by Development Appeal Board. Building permit expired; was never built.

Land Use Bylaw:

Section 8 DEFINITIONS

PRIVATE RIDING ARENAS means a building used by the owners or occupants of the site on which the building is located for the training and exercising of horses and is not used for horse shows, rodeos, or similar events to which there is a fee to participate in or to use the facilities;

ACCESSORY DWELLING UNIT (ADU) means a subordinate dwelling unit attached to, created within or detached from the principal dwelling, single detached, where both dwelling units are located on the same parcel. Accessory dwelling units include Secondary Suites, Suites within a Building, and Garden Suites.

SUITE WITHIN A BUILDING means a subordinate dwelling unit within or attached to a building other than the principal dwelling, single detached.

Section 12.2 Use, Discretionary Applications:

The Development Authority, in making a decision on a Development Permit application for:

c) A Use, Discretionary:

- (i) May approve the application, with or without conditions, if the proposed development conforms with the Bylaw;
- (ii) May approve the application, with or without conditions, if the proposed development does not conform with the Bylaw, if:

(1) the proposed development would not:

- (A) unduly interfere with the amenities of the neighbourhood, or
- (B) materially interfere with or affect the use, enjoyment or value of neighbouring parcels of land,

and

(2) the proposed development conforms with the use prescribed for that land or building in the land use bylaw.

- (iii) May refuse the application even though it meets the requirements of the Bylaw.

d) A Use, Discretionary in a Direct Control District:

- i. May consider and approve the application providing it meets the direction set out by Council, where Council has delegated the decision to the Development Authority.
- The accessory dwelling unit exceeds the maximum size allowance of 110.00 sq. m (1,184 sq. ft). Should the Municipal Planning Commission seek to approve the application, a variance to this regulation would be required.

Section 24 Livestock Regulations

24.1 The following regulations apply to a Local Livestock Operation:

- (c) For parcels less than 16.19 hectares (40.00 acres), the maximum number of animals is 1 animal unit per 1.60 hectares (3.95 acres);



- The maximum number of animal units permitted on an 18.82 acre site is five. The applicants are proposing up to ten horses, which exceeds the maximum and an additional development permit is required (see PRDP20194636);

24.6 *Keeping of Livestock*

(a) The following applies to all parcels of land on which livestock is kept:

- (i) pasture management shall be maintained to ensure that there is no overgrazing; and*
- The applicant has indicated that manure will be stockpiled on site, to be stored in a bin and removed as needed.
- (ii) manure management shall occur to ensure no runoff onto adjacent lands, riparian areas, or to a watercourse and to reduce odour.*
- The applicant has indicated there is no runoff or wetlands on the property. The applicant has indicated the animals do not have access to the wellhead area. In terms of retaining runoff on the property, the applicant has applied for a permit to construct berms on the property (PRDP20193873).

Section 25 *Design, Character & Appearance of Buildings & Structures*

25.1 *The quality of exterior treatment and design of all buildings shall be to the satisfaction of the Development Authority.*

25.2 *Pursuant to Sub-Section (1), the Development Authority may consider the following when reviewing development proposals in all Districts:*

- (a) the design, character, and appearance of all buildings with respect to their compatibility with any other buildings existing in the vicinity;*
- (b) the design of the building must be consistent with the purpose of the Land Use District in which it is located; and*
- (c) the building shall comply with any provisions of any Statutory Plan which sets out specific guidelines as to the design, character, appearance, or building materials to be used within a District or area.*
- The Applicant noted that the roof and windows will match the main dwelling on the property.

Section 27 *Site Lighting*

27.1 *All outdoor lighting for any development shall be located and arranged so that no direct rays of light are directed at any adjoining properties, interfere with the use and enjoyment of neighbouring lands, or interfere with the effectiveness of any traffic control devices or the vision/safety of motorists.*

27.2 *(a) Outdoor lighting on any development shall comply with the following provisions:*

- (i) All developments shall use full cut-off (shielded) outdoor light fixtures that direct the light downward;*
- (ii) no light structure shall exceed a height of 7.62 m (25.00 ft.); and no light shall be attached to a structure above a height of 7.62 m (25.00 ft.) along that structure*
- A lighting plan has not been provided, however the Applicants will be required to comply with lighting provisions as provided in the conditions of approval.

Section 28 Accessory Building and Uses

28.4(a) *All accessory dwelling units shall be constructed on a permanent foundation.*

- The proposed accessory dwelling unit is located on the second floor of a building with a riding arena, which will be constructed on a permanent foundation.

28.4(b) *A lot shall be limited to one accessory dwelling unit, unless the lot is approved for two principal dwellings, single-detached.*

- There is only one existing dwelling on site, as the approved second dwelling was never constructed. There are no other accessory dwelling units on site.

28.4(c)(ii) *An accessory dwelling unit shall be subordinate to a principal dwelling.*

- The primary dwelling is 84.63 sq. m (911.00 sq. ft.), which is smaller than the proposed accessory dwelling unit. However, as the accessory dwelling unit will be located within a riding arena building, Administration suggests that the requirement would not be applicable in this case.

28.4(c)(iii) *An accessory dwelling unit shall comply with the height and setback regulations in the land use district, except where otherwise permitted in this Bylaw.*

- As a riding arena is considered a primary use, the riding arena and associated suite within a building maximum height requirements would therefore not apply, as this is not an accessory building.

28.4(c)(iv) *An accessory dwelling unit shall have a minimum floor area of not less than 36.00 sq. m (387.49 sq. ft.).*

- The accessory dwelling unit exceeds the minimum requirement, and is therefore compliant with this requirement.

28.4(c)(v) *An accessory dwelling unit shall contain at least two rooms and include sleeping, sanitary, and cooking facilities.*

- The accessory dwelling unit contains three bedrooms, and a joint living room/kitchen area, meeting this requirement.

28.4(c)(vii) *An accessory dwelling unit shall provide a minimum of one dedicated on-site parking stall in accordance with Section 30 of this Bylaw.*

- A parking spot has been provided, as shown on the site plan.

28.4(c)(viii), (ix) *An accessory dwelling unit shall have adequate sanitary sewer servicing and adequate water servicing.*

- The applicant has indicated a new well and new septic system will be provided.

28.4(c)(x) *Shall have a distinct County address to facilitate accurate emergency response.*

- There is a condition of approval requiring an address be obtained.

28.4(d)(i) *The maximum allowable habitable floor area of an ADU shall be determined based on all storeys, but excluding basements, the garage area and common area of egress, and shall be 110.00 sq. m (1184.00 sq. ft.), with a maximum of two bedrooms, for a secondary suite.*

- The proposed accessory dwelling unit (suite within a building) is 142.14 sq. m (1,530 sq. ft.), which exceeds the maximum allowed by 29.22 percent. Should the

Municipal Planning Commission seek to approve the application, a variance to this regulation would be required.

28.4 (e)(i) *A suite within a building shall be considered part of the total building area of accessory buildings.*

- The accessory dwelling unit is a suite within a building, however, as the building is a riding arena, accessory building requirements do not apply, as riding arenas are considered a principal use.

28.4 (e)(ii) *Where an ADU is wholly or partially located above a garage or similar portion of an accessory building, the ADU portion of the building shall not exceed 8.00 m (26.24 ft.) in height, unless otherwise allowed in this Bylaw. Height restrictions on the remainder of the accessory building will be governed by the regulations in the applicable land use district.*

- As the building is a riding arena, accessory building requirements do not apply.

28.4(g) *In considering a Development Permit application for Accessory Dwelling Units, the Development Authority may consider such factors as:*

i) *Any significant adverse impacts on the adjacent properties and dwellings (for example: drainage, fire protection, access, sun shadow, view sheds, etc.).*

- Given the parcel size and limited neighbours, there is limited opportunity for adverse impacts on adjacent properties and dwellings.

ii) *The architectural character of the Accessory Dwelling Unit, including the similarity of the Accessory Dwelling Unit to the principal dwelling in architectural design, character, and appearance by use; for example, of the same exterior wall materials, window types, door and window trims, roofing materials, and roof pitch; and the availability of an indoor storage area for use of the residents of the Accessory Dwelling Unit.*

- The applicant has indicated the roof colour and window style will be of similar character to the primary dwelling, which is a historic, log-cabin dwelling.

iii) *Site design features, including:*

1. *The location of the Accessory Dwelling Unit, with preference for its close proximity to the principal dwelling so as to appear as a related building, and is not located directly between the road and the principal dwelling.*

- The accessory dwelling unit is a suite within a building, as part of a private riding arena. It is visible as a somewhat distinct part of the riding arena, and is not located between the road and principal dwelling.

2. *The use of a shared approach.*

- No new approach is indicated.

3. *The availability of outdoor yard space that is useful for the residents of the Accessory Dwelling Unit.*

- The applicants have indicated that the occupants will have access to the outdoor yard space.

4. *The need for landscaping or screening to provide privacy between the Accessory Dwelling Unit and adjacent properties and dwellings.*

- The accessory dwelling unit is a suite within a building, as part of a private riding arena. Given that the nearest residence is at least 100m away, and has privacy screening in place, there is no anticipated need for landscaping or screening.

iv) *The use of water conservation measures such as low-flow toilets, shower heads and other water conserving devices.*

- This will be required as a condition of approval.

Section 33 *Filling, Grading & Excavation*

33.6 (b) *Notwithstanding Section 33.6(a), the placing and storage of fill and topsoil may be allowed without a Development Permit in the following circumstances, providing that there is no adverse effect on adjacent lands as a result of any drainage alternation:*

(i) *The placing of up to 1.00 m (3.28 ft.) of fill and topsoil adjacent to or within 15.00 m (49.21 ft.) of a building under construction that has a valid Building Permit, during the course of the construction to be used to establish approved final grades;*

- A development permits for grading, fill, and construction of four berms was approved in October 2019, though it has not yet been issued. Any grading occurring outside of that approval would require a revised or new permit.

Section 35 *Sign Regulations*

- No signs are proposed.

Section 43 *Ranch and Farm District (RF)*

REGULATIONS FOR SMALL PARCELS LESS THAN OR EQUAL TO 8.10 HECTARES (20.00 ACRES) IN SIZE

43.4 *Uses, Discretionary*

Private Riding Arena on parcels greater than 6.00 hectares (14.83 acres) in area

43.6 *Minimum & Maximum Requirements*

Yard, Front:

(a)(i) *45.00 m (147.64 ft.) from any road, County;*

- The proposed arena will be located approximately 220 m (721.78 ft.) from the southern property line.

Yard, Side:

(b)(i) *45.00 m (147.64 ft.) from any road, County;*

- The proposed arena will be located 85.92 m (281.89 ft.) from the eastern property line, adjacent to Huggard Road.

(b)(iv) *3.00 m (9.84 ft.) all other.*

- The proposed arena will be located 49.31 m (161.78 ft.) from the western property line.

Yard, Rear:

(c)(ii) *7.00 m (11.96 ft.) all other.*

- The proposed arena will be located at least 131.87 m (432.64 ft.) from the northern property line.

ADDITIONAL INFORMATION:Pest and Weed Control

The Applicant has noted that the property will be maintained, including cutting grass and weeding as necessary.

STATUTORY PLANS:

The property is located within the Central Springbank Area Structure Plan. As there is no particular guidance regarding accessory dwelling units or riding arenas within the ASP, the application was evaluated in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:Inspection Date: February 11, 2020

- Looks like grading activity and fill on east side of the property, actively being regraded
- Potentially for private riding arena site?
- No livestock noted
- Ample screening on north and south
- East and west are exposed
- Grade slopes east to west
- Horse shelters and paddocks around proposed arena site
- 1 quonset, plus 2 accessory buildings
- Approximately 1-2 m of fill along east side

CIRCULATIONS:Alberta Health Services

- No comments received

ATCO Gas comments (January 31, 2020)

- No objection

Building Services Review

- No comments received

Agriculture and Environment Services Review (February 6, 2020)

- PRDP20194632: No agricultural concerns.

Bylaw and Municipal Enforcement Review (January 30, 2020)

- Recommend that adequate fencing be constructed to contain all animals on the property;
- Recommend that the applicant be required to adhere to the County's animal control bylaw at all times;
- Recommend that adequate parking arrangements be made, to accommodate any visiting traffic;
- Recommend that there are noise and dust controls during construction;
- Recommend an adequate manure management plan be implemented.
- Development Compliance file related to property:

- File #DC202001-0025 – Concern received that fill was being brought on to the property before prior to issuance conditions were met, with regards to PRDP20193873.

Planning and Development Services (Engineering) Review (February 6, 2020)

General:

- The review of this file is based upon the application submitted. These conditions/recommendations may be subject to change to ensure best practices and procedures.

Geotechnical:

- There appears to be no steep slopes on the subject land.
- Engineering has no requirements at this time.

Transportation:

- There is a road approach off of Springbank Road that provides access to the subject lands.
- Prior to the issuance of the DP, the applicant is required to contact County Road Operations to determine if any hauling permits are required to transport the proposed home to the subject lands.
- As a condition to future DP, the applicant will not be required to pay the transportation offsite levy as per the applicable TOL bylaw at time of DP issuance, since the proposed development is not expected to significantly increase traffic to the local road network.

Sanitary and Waste Water:

- The applicant/owner is proposing to service the proposed development via a new PSTS.
- Engineering has no requirements at this time.

Water Supply and Waterworks:

- The applicant/owner is proposing to service the proposed development via a new groundwater well.
- As an advisory condition, if the groundwater well is being used for commercial purposes, the applicant is required to obtain a commercial water license from AEP.

Storm Water Management:

- Prior to issuance of DP, the applicant shall provide a Site-Specific Stormwater Plan (SSIP) that is in accordance with the Springbank Master Drainage Plan.
 - As a permanent condition, the owner shall adhere to the recommendations resulting from the SSIP.
- As a permanent condition of future DP, the applicant/owner will be required to obtain AEP approval and licensing for the stormwater management infrastructure including registration of the facilities and discharge.

Environmental:

- Should the owner propose development that has a direct impact on any wetlands, the applicant will be responsible for obtaining all required AEP approvals.

Operations Division Review

Capital Project Management:

- No comments received.

Transportation Services:

- No comments received.

Utilities Services (January 31, 2020):

- No concerns.

OPTIONS:

Option 1: (this would allow the development to proceed)

APPROVAL, subject to the following conditions:

Description:

1. That the proposed Private Riding Arena, including an accessory dwelling unit (suite within a building) may be constructed on the subject site; in general accordance with the Site Plan and submitted drawings (as prepared by Suburbia Design Co., dated December 2019), as submitted with the application, including:
 - a. That a Private Riding Arena, approximately ± 529.63 sq. m ($\pm 5,700.88$ sq. ft.) in building area
 - b. An Accessory Dwelling Unit (suite within a building, located on the second floor), approximately 142.14 sq. m (1,530.00 sq. ft.), in area

Prior to Issuance:*Fees:*

2. That prior to the issuance of this permit, the Applicant/Owner shall confirm acceptance of or refusal to participate in the Voluntary Recreation Contribution for Community Recreation Funding on the form provided by the County and that the contribution, if accepted, is \$15,056.00, calculated at \$800.00 per acre for 18.82 acres.

Development:

3. That prior to issuance of this permit, the Applicant/Owner shall submit a revised Grading Plan, identifying pre and post grade elevations of the development area, in accordance with County Servicing Standards.

Technical:

4. That prior to issuance of this permit, the Applicant/Owner shall submit a Site Specific Stormwater Implementation Plan (SSIP), demonstrating how stormwater for the proposed development is consistent with the Nose Creek Watershed Water Management Plan and in accordance with County Servicing Standards.
5. That prior to issuance of this permit, the Applicant/Owner shall contact County Road Operations with haul details for materials and equipment needed during construction/site development to confirm if Road Use Agreements will be required for any hauling along the County road system and to confirm the presence of County road ban restrictions.
 - i. Written confirmation shall be received from County Road Operations confirming the status of this condition. Any required agreement or permits shall be obtained unless otherwise noted by County Road Operations.

Permanent:*General:*

6. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application, in response to a Prior to Issuance or Occupancy condition, shall be implemented and adhered to in perpetuity, including any recommendations of the SSIP.
7. That the entire site shall be maintained in a neat and orderly manner at all times to the satisfaction of the Development Officer.
8. That if any soil is removed from the site, it is to be hauled off in a covered trailer/truck. This will prevent the blowing of dust/small rocks onto the road, or the causing of issues with other vehicles on the road, and shall be done so in accordance with the County Servicing Standards.
9. That the number of animal units maintained onsite shall be in accordance with the Land Use Bylaw or approved Development Permit to increase the permitted number of animal units.
 - i. If a Development Permit to increase the permitted number of animal units is not active, or valid, the Applicant/Owner shall remain in accordance with the Land Use Bylaw.
10. That water conservation strategies shall be implemented and maintained at all times.
11. That dust control shall be maintained on the site at all times. The Applicant/Owner shall take whatever means necessary to keep visible dust from blowing onto adjacent lands.
12. That there shall be no more than 1.00 m (3.28 ft.) of fill excavated or placed adjacent to or within 15.00 m (49.21 ft.) of the proposed building under construction that is used to establish final grades, unless a Development Permit has been issued for additional fill.
13. That all garbage and waste for the site shall be stored in weatherproof and animal proof containers in the garbage bins, and screened from view by all adjacent properties and public thoroughfares.
14. That all on site lighting shall be "dark sky" and all private lighting including site security lighting and parking area lighting shall be designed to conserve energy, reduce glare, and reduce uplight. All development shall be required to demonstrate lighting design that reduces the extent of spill-over glare and eliminates glare as viewed from nearby residential properties.

Private Riding Arena

15. That the Applicant/Owner shall adhere to the submitted Manure Management Plan at all times. If there is a build-up of manure, said manure shall be removed immediately.
16. That no liquid waste/water or solid waste from a livestock operation shall be disposed of in any river, stream, canal or slough.
17. That the private riding arena shall only be used by the Applicant/Owners/Occupants and non-paying guests of the parcel, and be associated only to the principle use of the property.
18. That the private riding arena shall only be used for the training, exercising, breeding and rehabilitation of horses, and shall not be used for horse shows, rodeos, or similar events to which there is a fee to participate, or to use or attend the facilities.
19. That the private riding arena shall not be rented out to persons or groups that are not owners of the site.
20. That the private riding arena shall not have any mezzanines or viewing areas.

21. That the exterior siding and roofing materials of the riding arena shall be similar to the existing dwelling, single-detached and/or area.
22. That the property shall maintain proper fencing at all times when horses are present, and no horses shall be allowed on unfenced parcels.
23. That there shall be a minimum of one parking stall maintained on-site at all times dedicated to the accessory dwelling unit (suite within a building).
24. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for each dwelling unit located on the subject site, to facilitate accurate emergency response.
25. That there shall be adequate water servicing provided for the accessory dwelling unit (suite within a building) and it is the Applicant's/Owner's responsibility to provide water quantity in accordance with the recommendations found in Module 2 of the document "Water Wells That Last for Generations", published by Agriculture and Agri-Food Canada, Alberta Environment, Alberta Agriculture and Food.
26. That it is the Owner/Applicant's obligation/responsibility to undertake water quality testing in accordance with the Guidelines for Canadian Drinking Water Quality and Alberta Health Services criteria. Should there be any adverse results, or should questions arise concerning the interpretation of the results of the analyses, it will be the obligation/responsibility of the Owner/Applicant to contact the local Public Health Inspector for recommendations/requirements.
27. That there shall be adequate sanitary sewer servicing provided for the accessory dwelling unit (suite within a building).
28. That the Applicant/Owner shall ensure that water conservation measures shall be implemented in the existing accessory dwelling unit (suite within a building), such as low-flow toilets, showerheads, and other water conserving devices.

Advisory:

29. That during construction, all construction and building materials shall be maintained onsite in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
30. That the site shall adhere to the Rocky View County Noise Bylaw (C-5772-2003) at all times.
31. That the site shall remain free of restricted and noxious weeds and be maintained in accordance with the Alberta Weed Control Act [*Statutes of Alberta, 2008 Chapter W-5.1; Current as of December 15, 2017*].
32. That if the development authorized by the Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
33. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
34. That a Building Permit shall be obtained through Building Services, using the Accessory Dwelling Unit checklist requirements prior to construction. *Note the Alberta Building Code 9.36 – Energy Efficiency applies to this project and details shall be required as per the Alberta Building Code 9.36 – Energy Efficiency submission requirements.*



35. That if this Development Permit is not issued by **OCTOBER 31, 2020** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

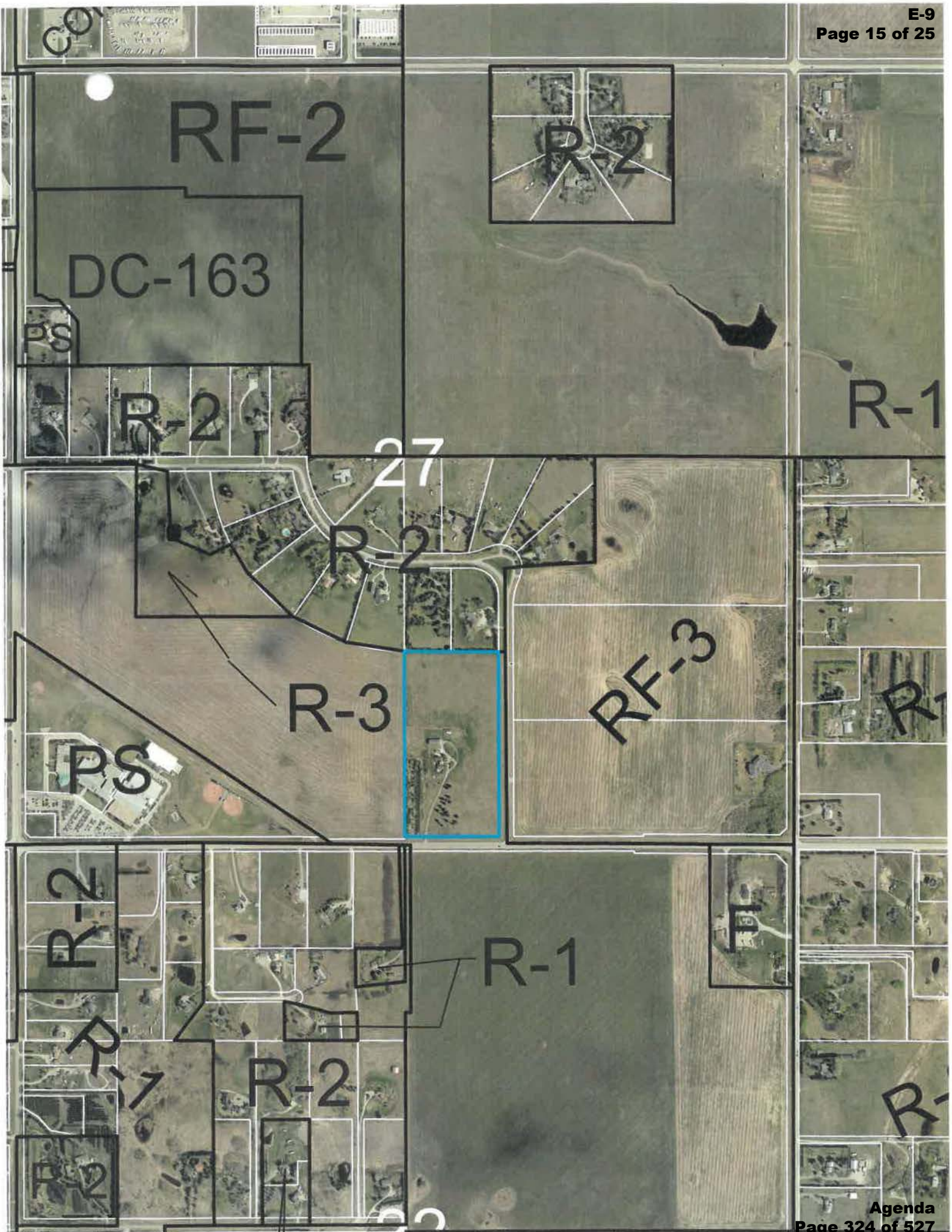
Note: *The Applicant/Owner shall be responsible for any/all Alberta Environment approvals/compensation, if any wetland is impacted by the proposed development.*

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. The proposed accessory dwelling unit (suite within a building) exceeds the maximum floor area.
Required: Accessory dwelling unit: 110.00 sq. m (1184.00 sq. ft.)
Proposed: Accessory dwelling unit: 142.14 sq. m (1,530 sq. ft.)
2. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







20194632

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee \$	File Number
\$530.00	04727001
Date of Receipt	Receipt
Dec 27/19	2019 023152

Name of Applicant DEAN DUR1 Email [REDACTED]
Mailing Address [REDACTED] Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]
For Agents please supply Business/Agency/ Organization Name _____
Registered Owner (if not applicant) _____
Mailing Address _____
Postal Code _____
Telephone (B) _____ (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the S.E. ¼ Section 27 Township 24 Range 3 West of 5 Meridian
b) Being all / parts of Lot _____ Block _____ Registered Plan Number _____
c) Municipal Address 32122 SPRINGBANK ROAD
d) Existing Land Use Designation RF Parcel Size 18.82 Division 2

2. APPLICATION FOR

PRIVATE RIDING ARENA / STABLE / LIVING SPACE as an accessory dwelling unit with relaxation of max area to 120.86 m² and

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No ☒
b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No ☒
(Sour Gas facility means well, pipeline or plant)
c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No ☒
d) Does the site have direct access to a developed Municipal Road? Yes ☒ No _____

max height.

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I DEAN DUR1 hereby certify that ☒ I am the registered owner
(Full Name in Block Capitals) _____ I am authorized to act on the owner's behalf _____

and that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.

Affix Corporate Seal here if owner is listed as a named or numbered company

Applicant's Signature [Signature]
Date DEC 26/2019

Owner's Signature [Signature]
Date DEC 26/2019

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, DEAN DURI, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.



Signature

DEC 26 / 2019

Date



APPLICATION FOR AN ACCESSORY DWELLING UNIT

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date of Receipt <i>Dec 27/19</i>	Receipt #

Name of Applicant DEAN DURI Email [REDACTED]
Mailing Address [REDACTED]
Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) _____ Fax _____

1. ACCESSORY DWELLING UNIT

☐ Secondary suite within an existing dwelling ☒ Suite within an accessory building ☐ Garden suite
Total floor area of ADU 1530 Number of parking spaces for ADU 1
Describe availability of storage space accessible to the occupants of ADU closet

Describe the outdoor space allocated to the ADU yard space shared

2. WATER SOURCE

☐ Connection to Communal Water System (Provide Letter of Confirmation from system operator)
☐ Share Existing Groundwater Well
☒ New Well

(The location of new or existing wells is to be shown on a site plan; Groundwater Interference Report required when there are 6 or more parcels on a quarter-section)

3. SEWAGE TREATMENT AND DISPOSAL

☐ Connection to Communal Sewage Collection System (Provide Letter of Confirmation from system operator)
☐ Connection to Existing Private Sewage Treatment System (show location on Site Plan)
☐ Expansion of Existing Private Sewage Treatment System (show location on Site Plan)
☒ Construction of New Private Sewage Treatment System (show location on Site Plan)

4. ADDITIONAL INFORMATION REQUIRED

Describe how the ADU will complement the primary dwelling (i.e. roof pitch, exterior finishing, windows, etc.)

matching colours for roof and similar windows to main dwelling.

Describe how the impact of the ADU on the neighboring properties is minimized (i.e. location of ADU on parcel, design of building, screening/landscaping etc.)

Please provide a photograph of the primary dwelling along with a site plan of the proposed development.

Signature of Applicant [Signature] Date: DEC 27/2019

NOTE: Remember to apply the Development Permit Application Review Fee (Engineering Services) - \$200.00

Development Permit Checklist

The following information including digital copies must be included with your application. Without it, your application will be considered incomplete, and will not be processed until it has been supplied.

- ☒ **APPLICATION FORM(S)**
All forms **must** be completed and signed by the registered owner and/or the person authorized to act on their behalf (if any).
- ☒ **APPLICATION FEE**
Refer to Planning and Development Fee Schedule located in the [Master Rates Bylaw](#)
- ☒ **CURRENT COPY OF THE CERTIFICATE OF TITLE INCLUDING DIGITAL NON-FINANCIAL CAVEATS AND COVENANTS REGISTERED ON THE TITLE**
Searched within 30 days prior to the application, the copy of the title may be obtained from any Provincial Registry Office.
- ☐ **AUTHORIZATION FROM REGISTERED OWNER ON TITLE**
 - ☒ **INDIVIDUALS NAME ON TITLE**
Attach a Letter of Authorization signed by the owner (every individual on title) giving the applicant authorization.
 - OR**
 - ☐ **COMPANY NAME ON TITLE**
An affidavit or Company Seal is required when the registered owner shown on the title is listed as a Company. If you do not have a Company Seal, provide an affidavit Commissioned (stamped and signed by a Commissioner of Oaths), granting you authorization to legally act on behalf of the Company. If you have a Company Seal, please affix said seal to every place that your signature is required.
- ☒ **COVER LETTER**
A cover letter, detailing the nature of the application and description of uses, **must** accompany all applications.
- ☒ **SITE PLAN OF THE PROPOSED DEVELOPMENT**
Showing all dimensions, setbacks and slopes steeper than 15% – refer to page 2
- ☐ **OTHER DOCUMENTATION**
To determine the documents required specific to the Development Permit proposal, please visit www.rockyview.ca. Additional information may be required upon receipt and review of the application, depending on the nature.

FOR OFFICE USE ONLY

- ☒ Proposed Development ADU and newborn
- ☒ Land Use Designation RF
- ☒ Concept Plan / ASP Info. Central Springbank
- ☒ Parcel Information / Land Use Maps / Air Photo

	Road Type	Bylaw	Proposed
Front Yard Setback Minimum			
Side Yard Setback Minimum			
Rear Yard Setback Minimum			
Height Maximum			
Principal Building Size			

Comments _____

☒ **APPLICATION IS COMPLETE**


Staff Signature

Dean & Leanne Duri

[REDACTED]

[REDACTED]

[REDACTED]

Cover Letter / Rationale

To whom it may concern:

We are the current property owners of 32122 Springbank Road.

We are applying for an accessory dwelling and are asking for a relaxation of the maximum area as we have 2 kids and 2 dogs that will be living in the upper loft and have tried to reduce the area to a minimum to accommodate suitable living area for 4 people.

We are also asking for a relaxation on the maximum height allowance as we have done a lot of research and asked a number of professional and they all concluded a barn needs to have 12/0 tall interior walls as that's the safe ceiling height for a person sitting on a horse. As well to accommodate ceiling mounted infra-red heaters and a full sprinkler system.

We also where advised to put a small kitchen area on the main floor to allow refrigeration of certain horse medication, cold packs for horse's legs and general items. The stove is required for boiling water as required by the vet, farrier and the stove for baking of horse oat bars and the sink to wash and clean items that cannot be cleaned within the interior of the barn environment.

We feel these relaxations are still within the allowable variances as per Rockyview guidelines as well we are on 18 acres of land and wouldn't pose any visual interference with any of the neighbors with these items.

Thanks in advance for your understanding regarding our requests.

If you require anything further, please call

Dean Duri [REDACTED]



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0022 055 637 5;3;24;27;SE 191 213 220

LEGAL DESCRIPTION

MERIDIAN 5 RANGE 3 TOWNSHIP 24
SECTION 27
THAT PORTION OF THE SOUTH EAST QUARTER
WHICH LIES SOUTH OF LOTS 6 & 7 ON PLAN
7410782, WEST OF ROAD ON SUBDIVISION
PLAN 731549 AND NORTH OF ROAD PLAN 7711530
CONTAINING 7.62 HECTARES (18.82 ACRES) MORE OR LESS
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 091 304 617

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
191 213 220	18/10/2019	TRANSFER OF LAND	\$1,520,000	\$1,520,000

OWNERS

DEAN DURI

AND

LEANNE DURI

BOTH OF:

[REDACTED]
[REDACTED]
[REDACTED]

AS JOINT TENANTS

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
191 213 220

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
731 050 191	07/09/1973	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED.
191 213 221	18/10/2019	MORTGAGE MORTGAGEE - ATB FINANCIAL. 202-917 85 ST SW CALGARY ALBERTA T3H5Z9 ORIGINAL PRINCIPAL AMOUNT: \$1,105,952
191 213 222	18/10/2019	CAVEAT RE : ASSIGNMENT OF RENTS AND LEASES CAVEATOR - ATB FINANCIAL. SUGIMOTO & CO 204, 2635-37 AVE NE CALGARY ALBERTA T1Y5Z6 AGENT - ORA-LEE G PHILLIPS

TOTAL INSTRUMENTS: 003

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 27 DAY OF
DECEMBER, 2019 AT 10:04 A.M.

ORDER NUMBER: 38568942

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
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PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



PROJ#
Proposed Riding Area/
Stables / Living Space
CULPIN

LOC#/RD#
32332 Springbank Road
Rocky View County, AB
T4A 1M4
GE V4-Egs 2T-24-3-W5M

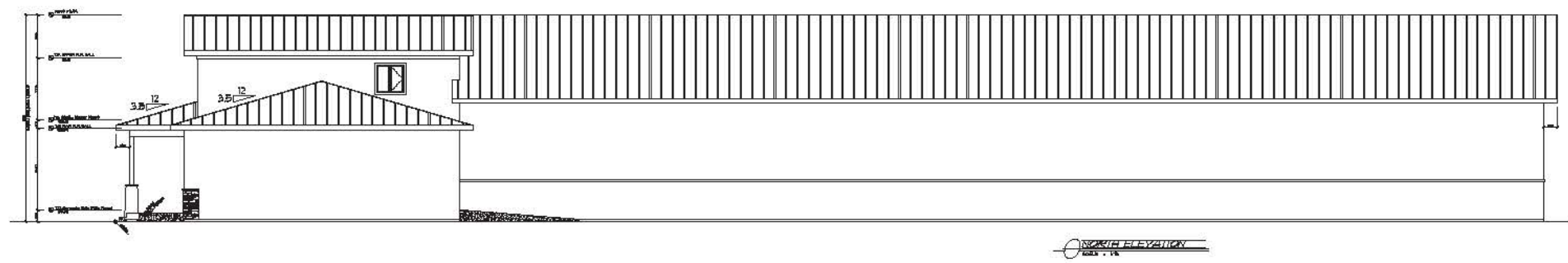
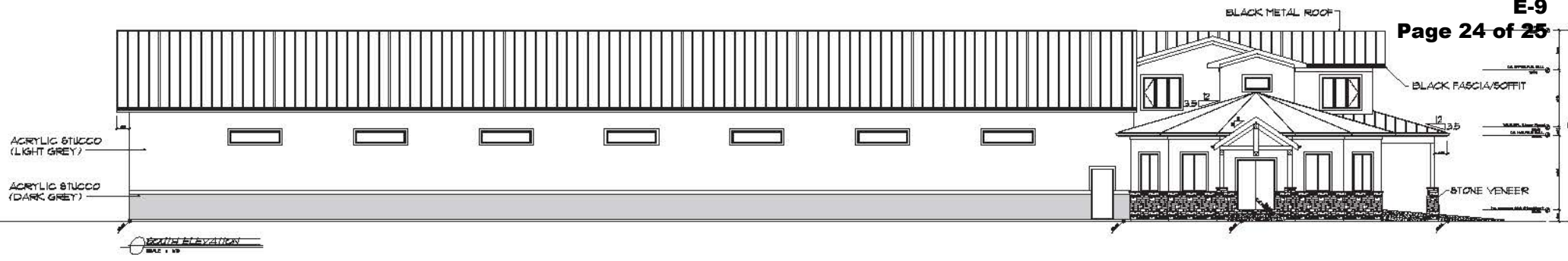
dh duri homes

TX, ACME - 87M-47, 12/19/99, 11/19/99, 11/19/99
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TX, ACME - 87M-47, 12/19/99, 11/19/99, 11/19/99

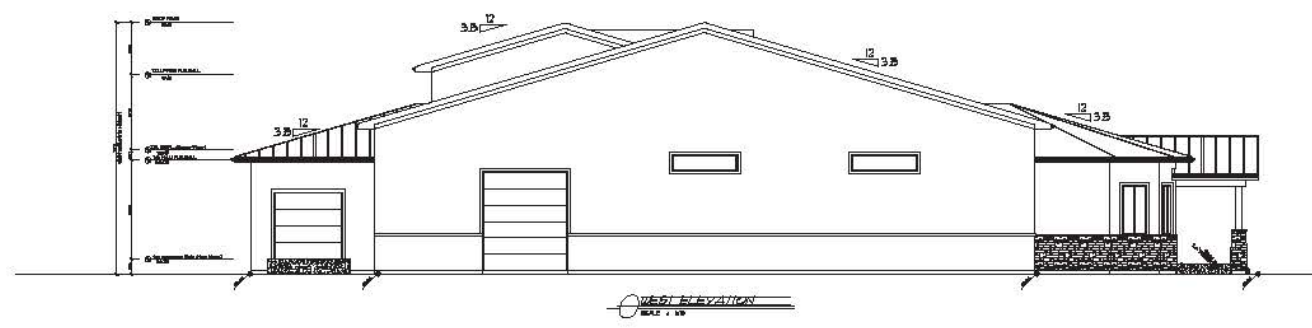
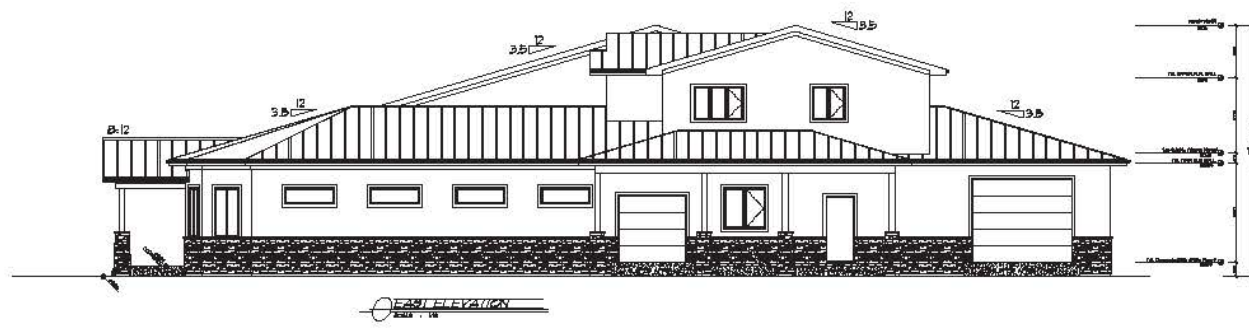
Agenda

2 of 527





DIMENSIONS ARE NOTED IN MILLIMETERS (MM)



NO.	REVISIONS
1	REVISIONS
2	REVISIONS
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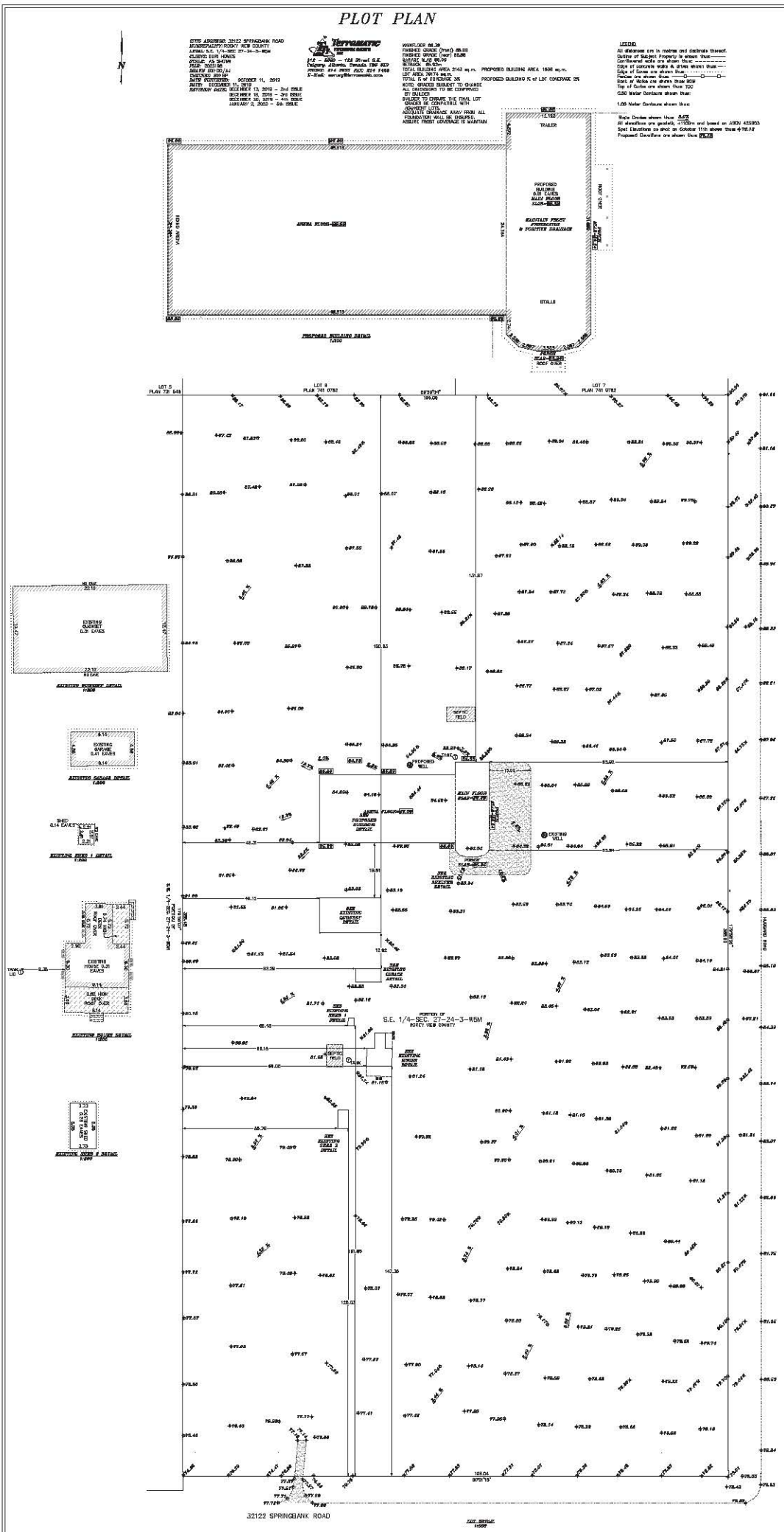
PROJECT: Proposed Riding Arena/
Barn / Living Space
OWNER: 3233 Springpark Road
Rocky View County, AB
DATE: 01-24-2020
REVISED: January 2, 2020

dh duri homes

SUBURBIA
DESIGN CO.

REVISIONS

Agenda



PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 02
SUBJECT: Development Item: Keeping of Livestock

DATE: March 9, 2020
APPLICATION: PRDP20194636

APPLICATION: Keeping of Livestock at densities no greater than two animal units per 1.60 hectares (3.95 acres), specifically from five to ten animal units (horses).

GENERAL LOCATION: Located approximately 0.61 km (1/3 mile) east of Rge. Rd. 32 and on the north side of Springbank Rd.

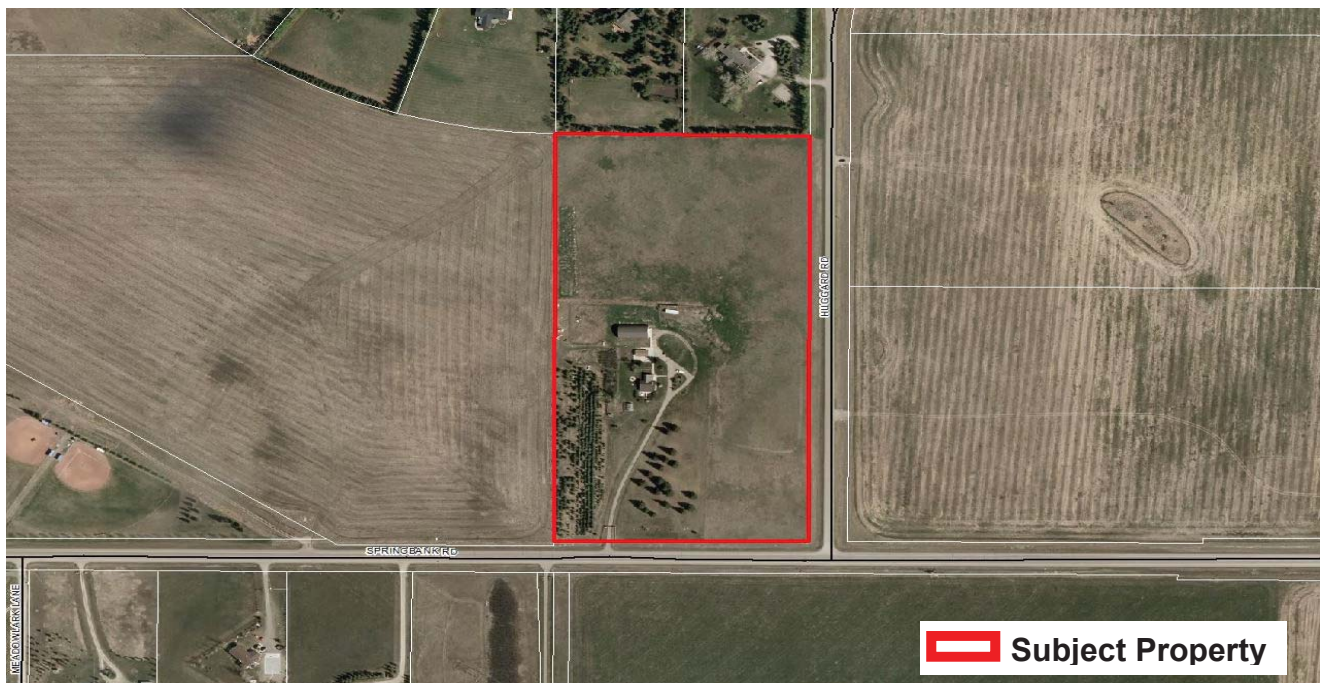
LAND USE DESIGNATION: Ranch and Farm District (RF)

ADMINISTRATION RECOMMENDATION: Administration recommends approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20194636 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20194636 be refused as per the reasons noted.

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources
 Oksana Newmen—Planning and Development Services

**DEVELOPMENT PERMIT REPORT**

Application Date: January 6, 2020	File: 04727001
Application: PRDP20194636	Applicant/Owner: Dean & Leanne Duri
Legal Description: SE-27-24-03-W05M	General Location: Located on the north side of Springbank Rd. Approximately 0.6km (1/3 mile) east of Rge. Rd. 32.
Land Use Designation: Ranch and Farm District (RF)	Gross Area: ± 7.62 hectares (± 18.82 acres)
File Manager: Oksana Newmen	Division: 02

PROPOSAL:

The proposal is for the Keeping of Livestock at densities no greater than two animal units per 1.60 hectares (3.95 acres), specifically from five to ten animal units (horses). Note, that this application corresponds to PRDP20194632 for a private riding arena.

The property is zoned Ranch and Farm, and the keeping of livestock falls under both permitted and discretionary use within this land use district.

Land Use Bylaw Requirements:

Section 24.4 On parcels designated as RF, RF-2, RF-3, AH, F, R-2 and R-3 that are between 1.60 hectares (3.95 acres) and 16.19 hectares (40.00 acres), the permitted number of livestock shall not exceed one animal unit per 1.60 hectares (3.95 acres).

- Application-specific details:
 - 18.82 acres / 3.95 acres = 4.76 x 2 = 9.53 = 10 animal units
 - 1 horse = 1 animal unit; therefore 10 units = 10 horses.

Section 24.6 Keeping of Livestock

(a) The following applies to all parcels of land on which livestock is kept:

(i) pasture management shall be maintained to ensure there is no overgrazing;

- The applicant has indicated that the horses will eat grass during spring and summer months, with supplementary feeding during winter months of timothy/alfalfa bales.

(ii) manure management shall occur to ensure no runoff onto adjacent lands, riparian areas, or to a watercourse and to reduce odour.

- The applicant has a separate application (PRDP20193873) for construction of four berms, which would contain runoff on the property.

(b) Development Permits for the doubling of the number of animals on a parcel shall include conditions:

(i) requiring a Pasture Management Plan;

- The applicant has indicated that the horses will eat grass during spring and summer months, with supplementary feeding during winter months of timothy/alfalfa bales.



(ii) *requiring a Manure Management Plan;*

- The applicant has indicated that manure is managed on site through stockpiling and disposal as needed.

(iii) *placing a limit on the term of the permit that shall not exceed five (5) years.*

- The permit will be conditioned for one year, as this is the first application.

STATUTORY PLANS:

The property is located within the Central Springbank Area Structure Plan. As there is no particular guidance regarding accessory dwelling units or riding arenas within the ASP, the application was evaluated in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:

Inspection Date: February 11, 2020

- Looks like grading activity and fill on east side of the property, actively being regraded
- Potentially for private riding arena site?
- No livestock noted
- Ample screening on north and south
- East and west are exposed
- Grade slopes east to west
- Horse shelters and paddocks around proposed arena site
- 1 quonset, plus 2 accessory buildings
- Approximately 1-2 m of fill along east side

CIRCULATIONS:

Alberta Health Services

- No comments received

ATCO Gas comments (January 31, 2020)

- No objection

Building Services Review

- No comments received

Agriculture and Environment Services Review (February 6, 2020)

- PRDP20194632: No agricultural concerns.

Bylaw and Municipal Enforcement Review (January 30, 2020)

- Recommend that adequate fencing be constructed to contain all animals on the property;
- Recommend that the applicant be required to adhere to the County's animal control bylaw at all times;
- Recommend that adequate parking arrangements be made, to accommodate any visiting traffic;
- Recommend that there are noise and dust controls during construction;
- Recommend an adequate manure management plan be implemented.



Development Compliance file related to property:

- File #DC202001-0025 – Concern received that fill was being brought on to the property before prior to issuance conditions were met, with regards to PRDP20193873.

Operations Division Review

Capital Project Management:

- No comments received.

Transportation Services:

- No comments received.

Utilities Services (January 31, 2020):

- No concerns.

OPTIONS:

Option 1: (this would allow the development to proceed)

APPROVAL, subject to the following conditions:

Description:

- 1) That the keeping of livestock at densities no greater than two animal units per 1.60 hectares (3.95 acres) may be permitted on the subject property (SE-27-24-03-W5M) at any time.
- 2) That the maximum number of animal units (horses) on the subject property shall not exceed ten at any time.

Permanent:

- 3) That the Manure and Grazing Management Plan as submitted with the application shall be practiced at all times.
 - i. If overgrazing becomes evident on the property, revised grazing procedures may need to be implemented by the Applicant or the number of animal units may need to be decreased, upon request from the County.
- 4) That all manure shall be collected and disposed of off-site or worked into the fields on a continual basis at least once a month.
- 5) That if there is a build-up of manure, that manure shall be removed immediately.
- 6) That the Applicant/Owner shall ensure the property contains adequate livestock fencing, to ensure all livestock units (horses) remain on the subject property at all times.

Advisory:

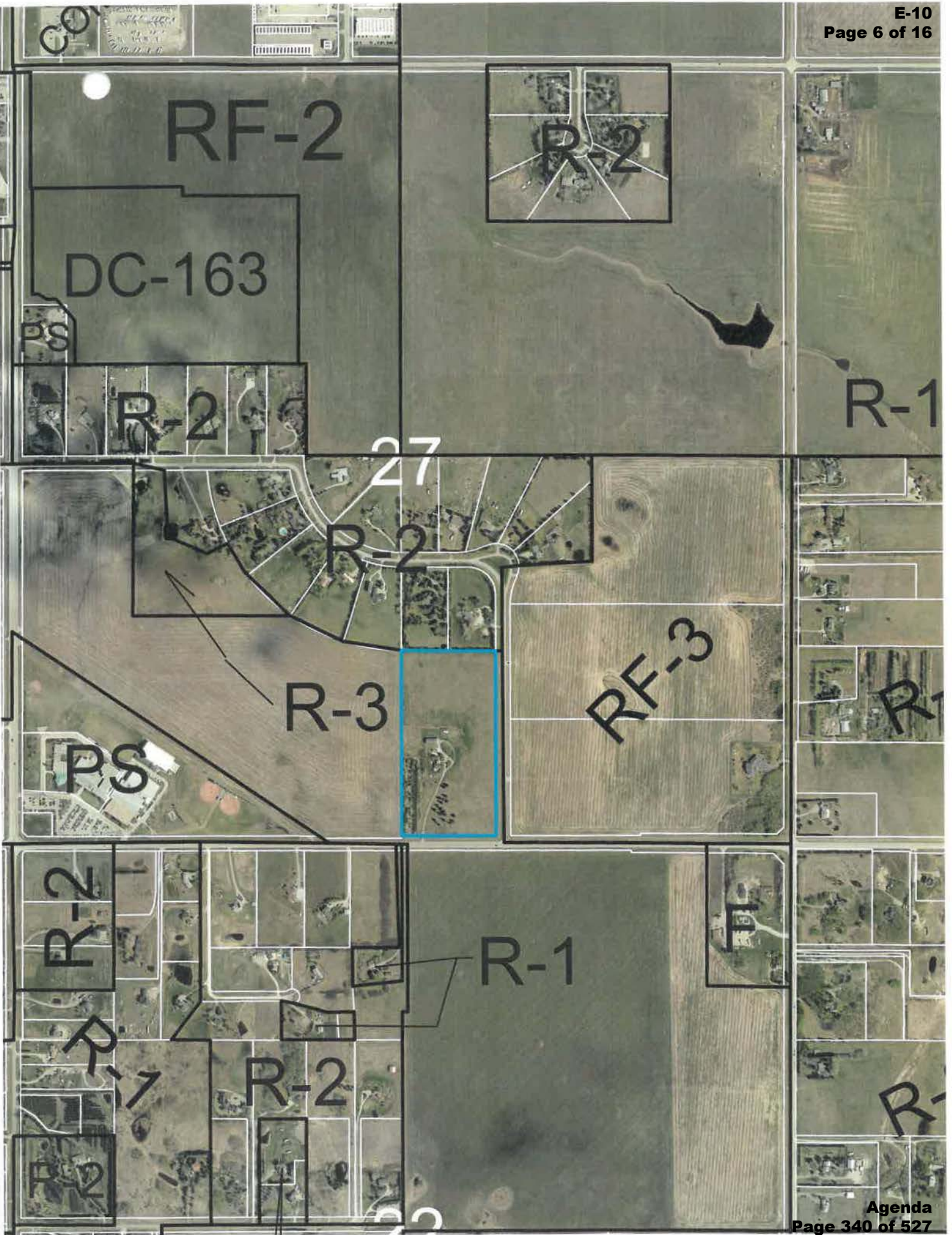
- 7) That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 8) That this development permit shall be valid until **April 8, 2021**.

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY
Cultivating Communities

20194636

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted \$265.00	File Number 04727001
Date of Receipt Dec 27/19	Receipt # 2019 023154

Name of Applicant DEAN DURI Email [REDACTED]

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) _____

Mailing Address _____

Postal Code _____

Telephone (B) _____ (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

a) All / part of the S.E. ¼ Section 27 Township 24 Range 3 West of 5 Meridian

b) Being all / parts of Lot _____ Block _____ Registered Plan Number _____

c) Municipal Address 32122 SPRINGBANK ROAD

d) Existing Land Use Designation RF Parcel Size 18.82 Division 2

2. APPLICATION FOR

INCREASE NUMBER OF LIVESTOCK FROM the 3 1/2
ALLOWED TO TEN (ADDITIONAL 6 1/2 ANIMAL UNITS)

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No ☒
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No ☒
(Sour Gas facility means well, pipeline or plant)
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No ☒
- d) Does the site have direct access to a developed Municipal Road? Yes ☒ No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I DEAN DURI hereby certify that ☒ I am the registered owner
(Full Name in Block Capitals)

☐ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

Applicant's Signature [Signature]

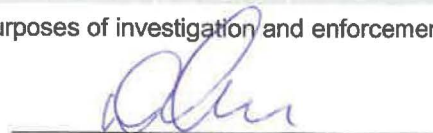
Date DEC 27 / 2019

Owner's Signature [Signature]

Date DEC 27 / 2019

5. **RIGHT OF ENTRY**

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, DEAN DURI, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


Signature

DEC 27/2019
Date



APPLICATION TO INCREASE NUMBER OF LIVESTOCK

FOR OFFICE USE ONLY	
Fee submitted <u>\$265.00</u>	File Number <u>04727001</u>
Date of Receipt <u>Dec 27/19</u>	Receipt # <u>2019 023154</u>

1. SITE PLANS

Provide site plans identifying:

1. Confinement and pasture areas & acres available for animals
2. Feeding site(s) and methods (i.e. feeders/racks/ground/etc.)
3. Watering site(s) and methods (i.e. tank/waterer/creek/etc.)
4. Location of your well, any sloughs, ponds, water runs, coulees, etc.
5. Description of slope of your property.
6. Proximity of neighbours' houses and livestock (if any).

2. OPERATION

Describe the type and breed (if applicable) of livestock in your livestock operation: HORSES

The number of each type of livestock in your "livestock operation" is: 10

Do you have a Premises Identification number? (PID – Alberta Agriculture & Forestry):

Yes ☐ No ☒

If yes, PID#: _____

3. SITE INFORMATION

Topography: Flat ☒ Rolling ☐ Steep ☐
 Select Grass/Forage Species present: Alfalfa ☐ Brome ☐ other: _____

Fescue ☐ Timothy ☒ Other: _____

Supplemental feed? Yes ☒ No ☐

If yes, please explain: TIMOTHY / ALFALFA - BALES DURING WINTER MONTHS

Are riparian or wetland areas present? Yes ☐ No ☒

Are you interested in finding out more information about Rocky View County's Green Acreages Program?

Yes ☐ No ☐

4. MANURE MANAGEMENT

Will manure be stored on site? Yes ☒ No ☐

If yes, identify storage methods: Compost ☐ Stockpile ☒ Spread and incorporated ☐

How long will the manure be stored? _____

If no, identify where manure is going: IT WILL BE STORED IN A BIN AND DUMPED AND REMOVED ONCE FILLED

Note: Manure storage facility construction must comply with the 'Agricultural Operation Practices Act'

5. GRAZING AND FEEDING STRATEGIES

Describe your grazing and feeding strategies (i.e. year-round grazing, rotational pastures with supplemental feed, etc.)

HORSES WILL EAT GRASS DURING SPRING AND SUMMER MONTHS
WINTER MONTHS WE WILL SUPPLEMENT FEED WITH TIMOTHY / ALFALFA
BALES

6. RUNOFF

What is the current practice to prevent manure from contaminating water bodies (e.g. wetlands, sloughs, dugouts) on your property?

THERE IS NO RUNOFF OR WETLANDS ON THE PROPERTY
MANURE WILL BE REMOVED ONCE BIN IS FULL (BFI)

Describe how runoff will be kept out of your well and other water areas on your property.

ANIMALS DO NOT HAVE ACCESS TO THE WELL HEAD AREA (FENCED)

Describe how runoff will be kept on your own property (It is an offence under the Alberta Environmental Enhancement and Protection Act to allow manure and its nutrients to move off your property)

BUILDING BERMS (PRDP20193873)

7. PEST AND WEED CONTROL

Describe how flies and other pests will be managed so they don't affect your neighbours.

WE WILL MAINTAIN THE PROPERTY, CUT GRASS, WEEDS AND DE WEED
IF NECESSARY

Do you have a weed control program in place? Yes ☐

No ☒

If yes, describe the weed control program:

Signature of Applicant




Date

DEC 26 / 2019

PLEASE PROVIDE ALL OF THE ABOVE INFORMATION EVEN IF THIS IS A RENEWAL. THANK YOU

DEC 27/19

I, WE DEAN & LEANNE DURR WOULD LIKE TO
APPLY FOR A D.P PERMIT TO INCREASE THE
NUMBER OF ANIMAL UNITS ON OUR PROPERTY
LOCATED AT: 32122 SPRINGBANK ROAD.
WE WOULD LIKE TO INCREASE THE
NUMBER OF HORSES TO 10 TOTAL.


DEAN DURR



LAND TITLE CERTIFICATE

S		
LINC	SHORT LEGAL	TITLE NUMBER
0022 055 637	5;3;24;27;SE	191 213 220

LEGAL DESCRIPTION

MERIDIAN 5 RANGE 3 TOWNSHIP 24
SECTION 27
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WHICH LIES SOUTH OF LOTS 6 & 7 ON PLAN
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PLAN 731549 AND NORTH OF ROAD PLAN 7711530
CONTAINING 7.62 HECTARES (18.82 ACRES) MORE OR LESS
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MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 091 304 617

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REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
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OWNERS

DEAN DURI

AND

LEANNE DURI

BOTH OF:

[REDACTED]
[REDACTED]
[REDACTED]

AS JOINT TENANTS

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
191 213 220

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

731 050 191 07/09/1973 UTILITY RIGHT OF WAY
GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY
LIMITED.

191 213 221 18/10/2019 MORTGAGE
MORTGAGEE - ATB FINANCIAL.
202-917 85 ST SW
CALGARY
ALBERTA T3H5Z9
ORIGINAL PRINCIPAL AMOUNT: \$1,105,952

191 213 222 18/10/2019 CAVEAT
RE : ASSIGNMENT OF RENTS AND LEASES
CAVEATOR - ATB FINANCIAL.
SUGIMOTO & CO
204, 2635-37 AVE NE
CALGARY
ALBERTA T1Y5Z6
AGENT - ORA-LEE G PHILLIPS

TOTAL INSTRUMENTS: 003

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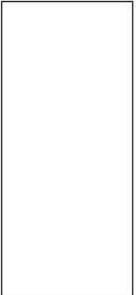
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PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



**PROPOSED RIDING AREAS/
STABLES / LIVING SPACE**

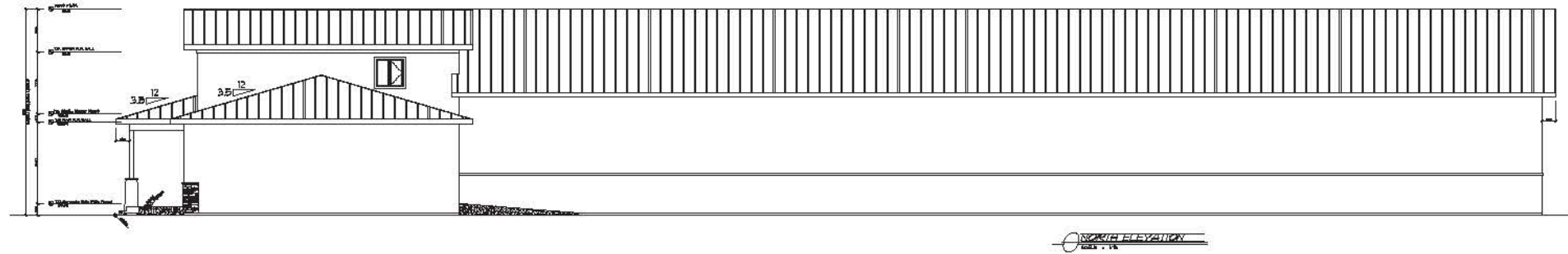
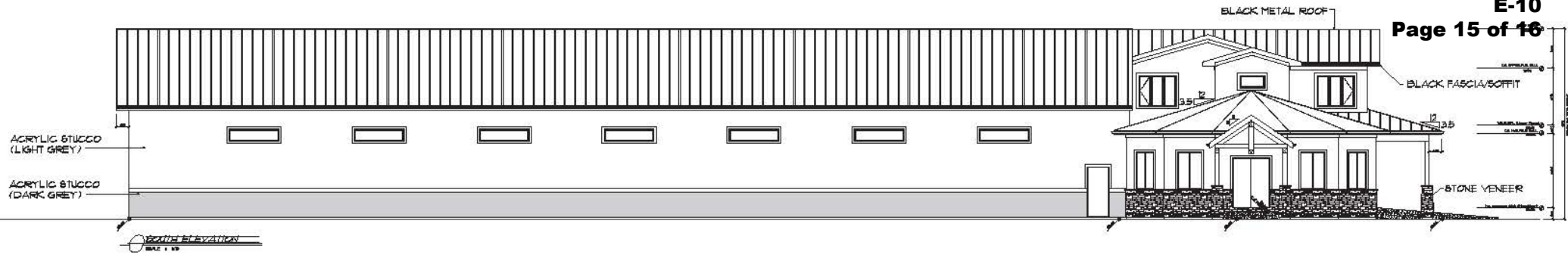
JANUARY 5, 2020



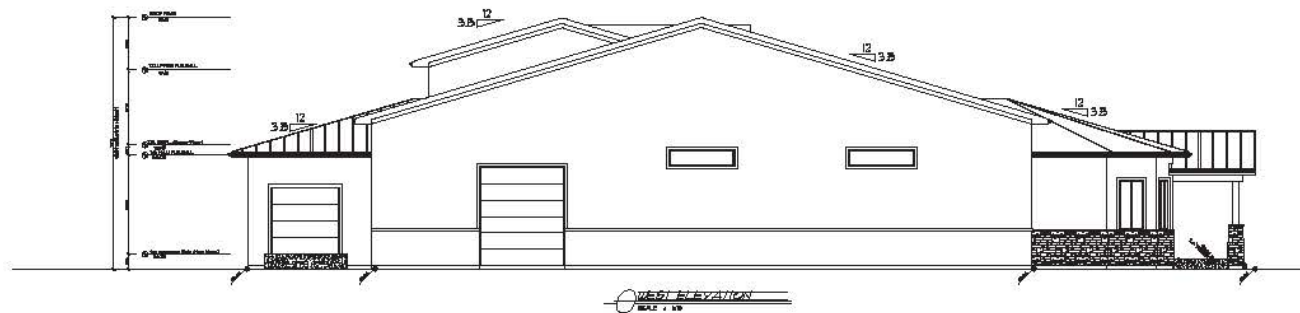
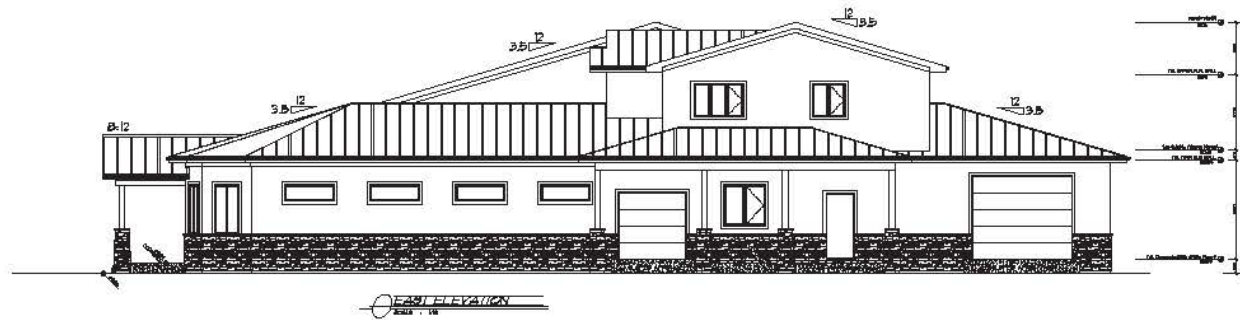
SUBURBIA
• DESIGN CO. •

Agenda





DIMENSIONS ARE NOTED IN MILLIMETERS (MM)



NO.	DESCRIPTION
1	FOUNDATION
2	FLOOR SLAB
3	WALLS
4	ROOF
5	CEILING
6	FLOORING
7	PAINT
8	MECHANICAL
9	ELECTRICAL
10	PLUMBING
11	LANDSCAPE
12	OTHER

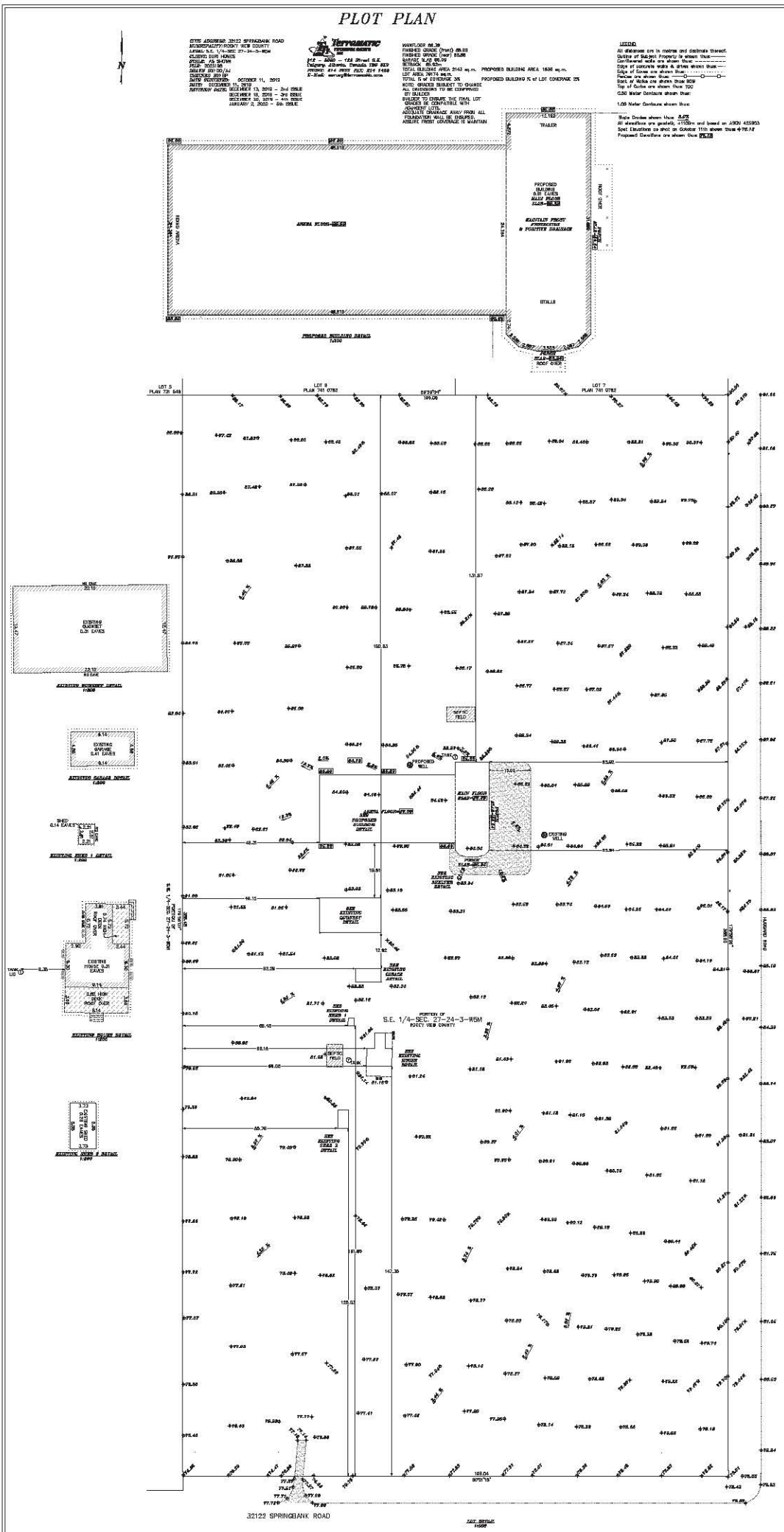
NO.	DESCRIPTION
1	FOUNDATION
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4	ROOF
5	CEILING
6	FLOORING
7	PAINT
8	MECHANICAL
9	ELECTRICAL
10	PLUMBING
11	LANDSCAPE
12	OTHER

PROJECT:
Proposed Riding Arena/
Bathhouse / Living Space
OWNER:
3233 Springbank Road
Rocky View County, AB
CANADA
6E, V4-666 27-24-3-0501
DATE:
January 3, 2020

dh duri homes

SUBURBIA
DESIGN CO.

NO.	DESCRIPTION
1	FOUNDATION
2	FLOOR SLAB
3	WALLS
4	ROOF
5	CEILING
6	FLOORING
7	PAINT
8	MECHANICAL
9	ELECTRICAL
10	PLUMBING
11	LANDSCAPE
12	OTHER



PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 04
SUBJECT: Development Item: Kennel, Commercial

DATE: March 9, 2020
APPLICATION: PRDP20200089

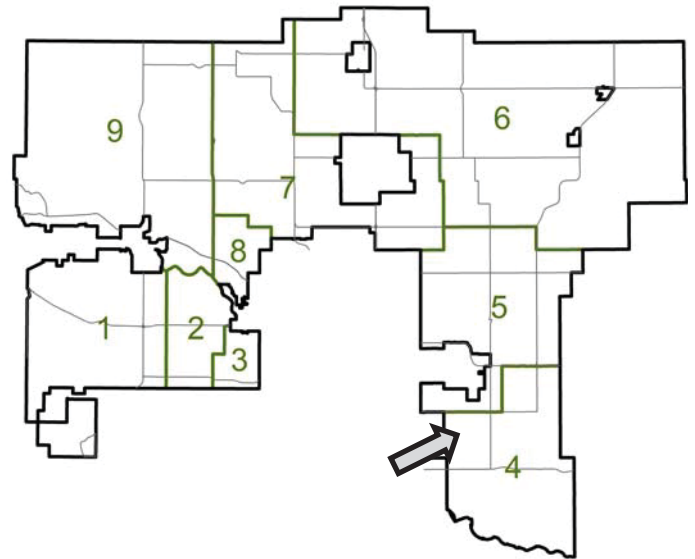
APPLICATION: Kennel, Commercial for keeping of maximum 50 dogs on site, boarding of up to eight (8) dogs and one (1) onsite sign.

GENERAL LOCATION: Located approximately 2.42 km (1 1/2 mile) south of Hwy. 22x and on the west side of Rge. Rd. 284

LAND USE DESIGNATION: Ranch and Farm District (RF)

ADMINISTRATION RECOMMENDATION:
 Administration recommends Option #1 should Municipal Planning Commission be satisfied with the proposal.

Administration recommends Option #2 should Municipal Planning Commission not be satisfied with the proposal.



OPTIONS:

- Option #1: THAT Development Permit Application PRDP20200089 be approved with the conditions noted within the report
- Option #2: THAT Development Permit Application PRDP20200089 be refused as per the reasons noted within the report

AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Sangeeta Vishwakarma / Prabh Sodhi – Planning & Development Services

DEVELOPMENT PERMIT REPORT

Application Date: January 17, 2020	File: 02320004
Application: PRDP20200089	Applicant/Owner: Warren Flemming / Melo Developments Ltd.
Legal Description: NE-20-22-28-W04M (223169 Range Road 284)	General Location: Located approximately 2.0 km south of Hwy. 22x and west of Rge. Rd. 284
Land Use Designation: Ranch and Farm District (RF)	Gross Area: ± 32.37 hectares (± 80.00 acres)
File Manager: Sangeeta Vishwakarma	Division: 04

PROPOSAL:

Request to operate a *Kennel, Commercial* daycare for a maximum of 50 dogs, boarding for up to eight (8) dogs, and one sign. Day care includes morning session for 30 dogs, afternoon session 30 dogs, and full day sessions for 10-20 dogs (**See Operational Details below**).

Overall Business Details	Proposed (per application form)
Business Name	Paw Butler Inc.
Purpose	Dog socialization and boarding (8 dogs)
Size of Animals	Small, medium and large breed dogs
Hours / Days of Operation	7am to 9pm / Monday to Friday
Employees	Total 6 (2 resident and 4 non-resident as required)
Signage	YES, 1 on-site and 1 directional off-site
Soundproofing	Minimal boarded dogs. Dogs will be housed in the Quonset which is already insulated. Soundproofing assumed as owners cannot hear dogs from outside.
Solid Waste Removal	Waste Removal company hired – 15 bins on property
Method of water waste removal	Septic System
Screening / Fencing	Entire site is fenced. Fencing provided around the 5 play areas. Fenced areas screened by trees along the north and partially on the east.

OPERATIONAL DETAILS (per cover letter emailed January 23, 2020 and February 19, 2020):

GENERAL RULES:

- No excessive barking (controlled)
- Must be off leash suitable
- Must have good recall
- Older than 3 months
- Must have 2nd set of vaccinations

ENCLOSURES & SECURITY

- 5 fully fenced fields available for dogs
- Site fully fenced

PROGRAM MANAGEMENT

- Pick-up/ Drop-off for dogs in mini-vans equipped with kennels
- Approximately 10 dogs capacity in mini-vans
- Sorted by size, temperament and play style on site
- Each field supervised by staff member
- 2 sessions during day care (morning/ afternoon)
- Last session leaves park around 3:30 pm
- **Note:** Number of dogs will not exceed 50 at a given time according to the Applicant.
 - Includes 10-20 *Day Camp/ Dog Day Out* dogs and up to 30 unleashed dogs at one time.

OPERATIONS (Monday to Friday - 7 am to 9 pm)

Monday to Friday	10 am to 3:30 pm (approx.)	<i>Dogs Unleashed</i> - 1.5 hours <ul style="list-style-type: none"> • Morning and afternoon sessions • 30 dogs per session <i>Dogs Day Out</i> - 4.5 hours (longer sessions) <ul style="list-style-type: none"> • 10-20 dogs per sessi
Monday to Friday	7am to 6pm	<i>Day Camp</i> - up to 11 hours <ul style="list-style-type: none"> • Capped at 10 dogs per day • No dog kennels • Outdoor run / play or in heated Quonset
Monday to Friday	4pm to 9pm	<i>Field Rentals</i> <ul style="list-style-type: none"> • Fenced fields for client to rent/run own dogs • 5-client limit (except for rare special events)
Year Round	Ranch Boarding	Overnight stays for max. 8 dogs (if required) Must adhere to general rules

PARKING & ACCESS:

- Business vehicles and staff parking located north of the existing Quonset and Dwelling (*Refer to Site Plan submitted February 19, 2020*).
- Primary site access from existing approach located at east, from Range Road 284, with driveway leading to parking area shown on Site Plan.

OTHER SERVICES:

- Site services such as provide walks, grooming and boarding at client location.

SPECIAL EVENTS:

- Pet friendly events such as client appreciation BBQ in the summer, Animal Rescue events where dogs that are available for adoption, runs off leash in one of our fields, wearing a bandana saying that they are available for adoption, then potential adoption clients see how their dogs reacts to the dogs up for adoption.
- Any events that could benefit from dogs being allowed.

SIGNS:

Refer to Sign Elevation and Site Plan - 1 sign by the entryway and 1 directional sign indicating to turn onto RR284, located on RR224. Refer to mock design sample for entryway sign below. Size of sign not provided.

Details of directional sign not provided; therefore, cannot be approved within this application. Should directional signage information be provided at a later time, a separate Development Permit application is required.



THE BEST PET CARE PROVIDER

PRIVATE OFF LEASH PARK
PRIVATE WALKS AND VISITS
Etc
Etc
Etc

EMAIL US AT SERVICES@PAWBUTLER.CA
CALL OR TEXT 403 437 8425

SITE INFORMATION:

- Site is adjacent to agricultural properties on the east, west, and north.
- Site is adjacent to Residential Two District to the south.
- There are small wetlands/ water bodies located on site.
- There is no oil & gas infrastructure on the property.
- Site has one (1) existing access off Range Road 284.
- Site topography appeared generally flat across the property.
- Entire site is fenced and screening by trees north and east of the dwelling and Quonset

Buildings & Setbacks

- There is presently one (1) single-family dwelling, one (1) accessory building (Quonset), attached to a Shop, and two (2) accessory buildings (Garage and Granary) onsite based on the submitted Site Plan (Real Property Report stamped in 2002).
- Buildings onsite meet the setback requirements of the Ranch and Farm District:

	Minimum (RF)	Proposed
Front Yard	45m	137m to Dwelling, Lots to Quonset
Side Yard (north)	3m	Lots to all buildings
Side Yard (south)	3m	Lots to all buildings
Rear Yard	7m	608.7m to Quonset; Lots to all buildings

PERMIT HISTORY

- There are no building or development permit records for the buildings on this site.
- RPR stamped for compliance in 2002, located one dwelling and four (4) accessory buildings on this site, including the attached Shop, Quonset, detached garage and Granary.

LAND USE BYLAW:*Section 8 Definitions:*

KENNELS means a facility for the keeping, breeding, boarding, caring, or training of dogs and/or other domestic pets over three months of age, excluding livestock and norway rats;

*Section 46.3 Discretionary Uses - Kennels**Section 35 Sign Regulations*

35.1 In considering a Development Permit application for signs, or advertising material, the Development Authority may consider such factors as:

(a) location of the proposed signage;

(b) distance from roadway;

(c) size;

(d) height;

(e) method of illumination;

(f) such other considerations as the Development Authority may deem to be relevant.

35.2 The Development Authority shall attach as conditions of Development Permit approval; those conditions it feels are necessary to resolve any development concerns or issues it has identified with respect to those items listed in Section 35.1.

35.7 No signs of any kind shall be permitted within 0.80 km (0.49 miles) of any road, highway unless the prior approval of Alberta Transportation has been obtained, if required.

35.9 Off-site directional signage may be allowed on private property, where in the case of major agricultural, commercial, or industrial developments, in the opinion of the Development Authority, volumes of vehicular traffic frequenting such developments may warrant such signage.

STATUTORY PLANS:

The property does not fall within an Area Structure Plan or Conceptual Scheme, however lies within the City of Calgary Intermunicipal Development Plan. The plans do not provided guidance on Kennel, Commercial use. The application was evaluated in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:

Inspection date: February 11, 2020

- Roughly 12-15 dogs on site at the time of inspection.
- 2 employees on site at any given time, depending on the number of dogs (10 dogs/employee).
- Dogs are separated based on temperament.
- One small sign on property, potentially 1 additional one.
- Operate five days a week; weekends clients have option to rent one or five fields.

- Waste bin is filled and cleared on a regular basis.
- Quonset is heated with large space for dogs.
- Entire site is fenced and will be upgraded with storage material come spring/summer
- Dogs are always supervised.
- Main owner lives on site with his three personal dogs.
- Dogs not picked up or dropped off by owners but by using vans with cages in them
- Two work vehicles seen on site.

CIRCULATIONS:Agricultural Services, Rocky View County (February 6, 2020):

- No concerns.

Alberta Environment and Parks:

- No comments received.

Alberta Health Services (February 14, 2020):

- No concerns with application and information provided.
- AHS-EPH would like to note that soils, groundwater and surface water sources should not become polluted due to operations on the subject lands. Also, potable water sources on the property and beyond must be adequately protected from any run-off, nuisance or contaminants.

Building Services, Rocky View County (February 11, 2020):

- Advisory condition - Applicant is required to submit a Building permit application prior to the structures being used for their intended use.
- The attached link consists of a hyperlink to the checklist for the an industrial/commercial/institutional facility:
https://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Building/checklists/Commercial-Industrial-Institutional_Checklist.pdf
- Advisory condition – All Buildings shall conform to the National Energy Code 2017 or 9.36. subject to a Part 3 or Part 9 Building permit with documentation/design at Building Permit stage: <http://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Building/resources/NECB-Submission-Requirements.pdf>
- The drawings and information listed in the checklist from items 1-11 (as applicable) shall be submitted as part of the Building permit application in a complete and satisfactory manner.
- Further comments may follow upon receiving the building permit application once a comprehensive submission with to-scale drawings are submitted for approvals.

City of Calgary

- No comments received.

Development Compliance (Enforcement) Review (January 29, 2020)

- Recommend that adequate fencing be constructed to contain all animals on the property;
- Recommend that the applicant be required to adhere to the County's Animal Control Bylaw at all times;
- Recommend that adequate parking arrangements be made, to accommodate all visiting traffic on the property and not on public or private roads.

- Development Compliance file related to application: File #DC201909-0115 – Concern received that too many dogs were on the property causing a noise nuisance issue and that visiting traffic was spilling over onto public and private roads. Development Compliance investigated and determined that no permits were in place for a dog-related business on the property. Officer spoke with the landowner, who was directed to apply for a development permit.

Planning and Development Services - Engineering Review (February 4, 2020)

General:

- The review of this file is based upon the application submitted. These conditions/recommendations may be subject to change to ensure best practices and procedures.
- As per the application, the applicant is proposing Kennel, Commercial (daycare for up to 30 dogs morning and 30 dogs afternoon, and boarding for 8 dogs)

Geotechnical:

- Engineering has no requirements at this time as no changes to the current ground conditions are proposed.

Transportation:

- Access to the subject lands is via an approach off RGE RD 284.
- The proposed facility may cause an increase traffic in the road network. Prior to issuance of DP, the applicant is required to provide a Trip Generation Assessment indicating the volume of traffic to be drawn towards the site on a regular basis.
- Prior to the issuance of the DP, the applicant will be required to provide payment of the Transportation Offsite Levy in accordance with Bylaw C-7356-2014 for the total gross area associated with the proposed kennel operation. The applicant will be required to submit a revised site plan identifying the development area of the proposal.
- The development area refers to the portion of lands utilized directly for development purposes, and includes: the driveway access; all structures (buildings), the storage and display areas directly associated to the use; and the required parking area (as defined in the Land Use Bylaw)

Sanitary/Waste Water:

- The proposed kennel is to be contained within and around the existing structures. ES has no further concerns.

Water Supply And Waterworks:

- The proposed kennel is to be contained within and around the existing structures. ES has no further concerns.
- As an advisory condition, all commercial licensees for water supply from AEP shall be the responsibility of the applicant.

Storm Water Management:

- Engineering has no requirements as no addition of hard surfaces or changes to current drainage or are proposed at this time.

Environmental:

- As the applicant is not proposing any further redevelopment, Engineering has no further concerns at this time.

Fire Services Review

- No comments received

Operations Division Review - Utility Services, Rocky View County (January 27, 2020)

- No concerns.

RECOMMENDATION:

Development Authority recommends **Option #1 OR Option #2** to the satisfaction of the Municipal Planning Commission.

Development Authority Assessment:

- Based on assessment of the submitted cover letter, applicant details, Real Property Report, circulation responses, site inspection results, and Section 35 of the Land Use Bylaw, the keeping of 50 dogs for daycare and 8 dogs for boarding for the Kennel, Commercial operation, may have noise, parking, and traffic impacts neighbouring developments and roads.
- Applicant/Owner has at the time of this report has outlined measures to mitigate potential noise impact, parking requirements, visual impact, waste disposal, and water management concerns. However, a trip generation assessment is required indicating traffic volumes as a prior to issuance condition.
- If approved, Development Authority recommends a time limited permit for a period of one (1) year to monitor any issues/impacts resulting from the operation of the Kennel, Commercial. If the Applicant/Owner proposes to increase the number of dogs on site beyond 50, a development permit application will be required for the keeping of additional dogs.
- The proposed on-site signage may be approved under this development application, however the proposed directional sign will have to be applied as a separate development application.

OPTIONS:

Option #1: (this would approve the proposed development)

APPROVAL subject to the following conditions:

Description:

1. That a *Kennel, Commercial* may operate on the subject property in accordance with the submitted Site Plan, cover letter, application details, and conditions herein, as follows:
 - i. A maximum of 50 dogs, over three months of age, shall be permitted on site, between the hours of 10am and 3:30pm, Monday to Friday.
 - ii. A maximum of five (5) dogs, over three months of age, shall be permitted on site, between the hours of 4pm and 9pm, Monday to Friday.
 - iii. A maximum of eight (8) dogs, over three month of age, shall be permitted for boarding on site.
2. That one (1) on site signage for the *Kennel, Commercial* shall be permitted in accordance with Section 35 of the Land Use Bylaw.

Prior to Issuance:

3. That prior to issuance of this permit, the Applicant/Owner shall submit a Trip Generation Assessment indicating the volume of traffic drawn towards the site on a regular basis, in accordance with County Servicing Standards.

4. That prior to issuance of this permit, the Applicant/Owner shall submit payment of the Transportation Offsite Levy in accordance with Bylaw C-7356-2014 for the total gross area associated with the proposed kennel operation. The Applicant/Owner shall be required to submit a revised site plan identifying the development area of the proposal.
5. That prior to issuance of this permit, the Applicant/Owner shall submit details for proposed on-site sign in accordance with Sections 35.1 to 35.10 (all-inclusive) of the Land Use Bylaw, to the satisfaction of the County.
6. That prior to issuance of the permit, the Applicant/Owner shall submit a legible and detailed Site Plan, indicating location of parking on-site, location of the individual outdoor play areas, and location of all screening surrounding the operation.

Permanent:

7. That all dogs shall be kept indoors between the hours of 9:00 p.m. and 7:00 a.m.
8. That all waste shall be stored in solid metal or plastic containers, and shall be disposed of off-site.
9. That any dogs that cause a nuisance by barking shall be kept indoors at all times.
10. That any outside runs shall be enclosed with fencing constructed at a minimum of 1.2m (3.94ft.) in height. That parking shall be provided on the subject site to accommodate visitor and staff parking at all times. Off-site parking of staff or visitors shall not be permitted. That soils, groundwater and surface water sources shall not become polluted due to operations on the subject land. Potable water sources on the subject land and beyond must be adequately protected from any run-off, nuisance or contaminants.
11. That the on-site signage shall be kept in a safe, clean, and tidy condition, and may be required to be renovated or removed if not properly maintained
12. That the Applicant/Owner shall obtain any necessary Special Event Permit(s) prior to hosting events associated with the operation exceeding 50 dogs on site.
 - i. That for the purposes of this permit, a Special Event application may include but is not limited to client appreciation BBQs, Animal Rescue or Adoption events etc.;

Advisory:

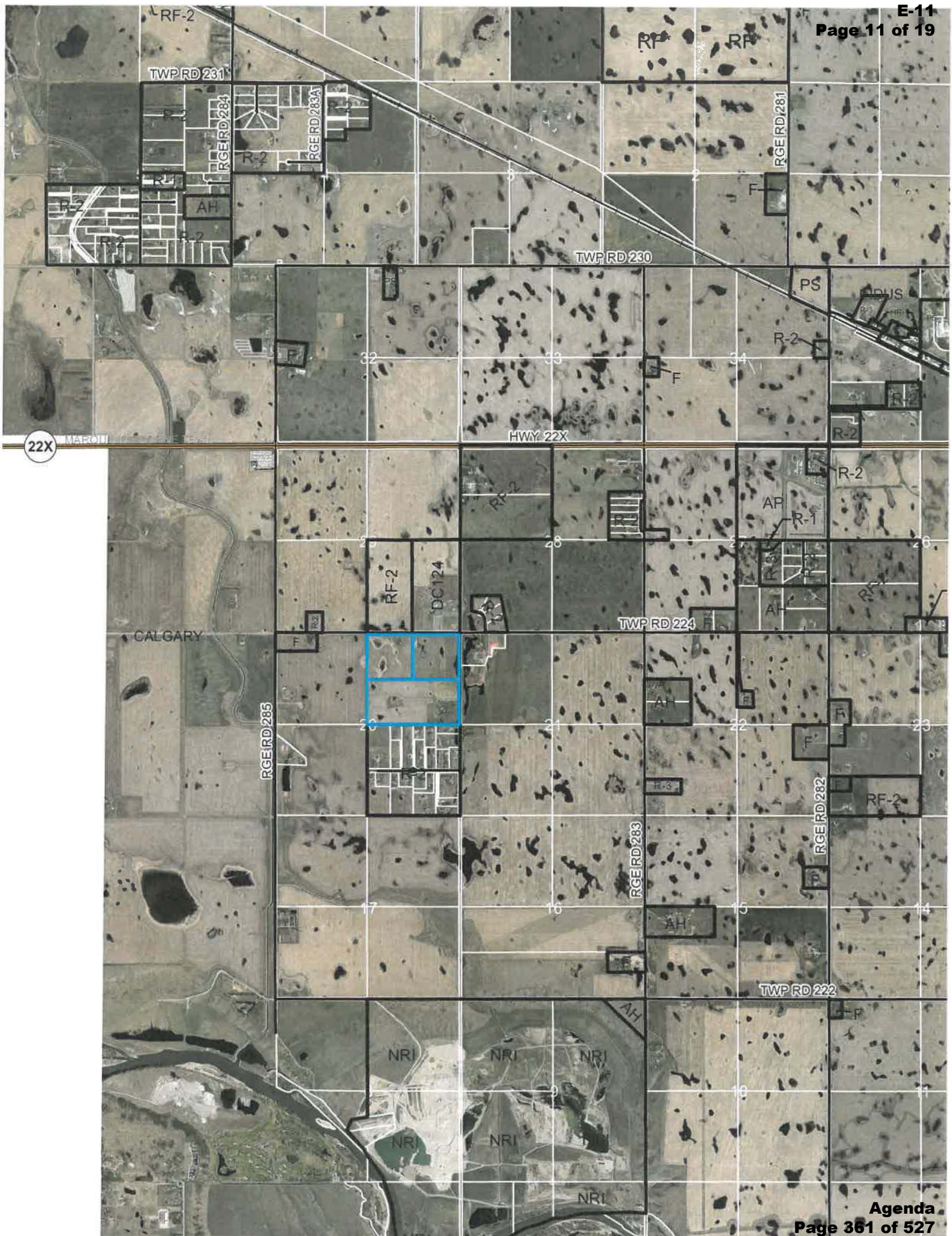
13. That Dog Licenses shall be obtained yearly from Rocky View County Finance Department.
14. That the current Rocky View County Animal Control Bylaw is adhered to at all times.
15. That a Building Permit shall be submitted to Building Services, prior to any structure being utilized for the *Kennel, Commercial* operation or construction commencement.
16. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
17. That this Development Permit, once the prior to issuance conditions have been satisfied, shall be valid until **April 9, 2021**.

Option #2: (this would not allow the proposed development)

REFUSAL as per the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY
Cultivating Communities

20200089

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted <div style="font-size: 1.2em;">\$625.00</div>	File Number <div style="font-size: 1.2em;">023 20004</div>
Date of Receipt <div style="font-size: 1.2em;">01/17/2020</div>	Receipt # <div style="font-size: 1.2em;">2020013284</div>

Name of Applicant Warren Flemming Email [REDACTED]

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) MELO DEVELOPMENTS LTD

Mailing Address 223169 Rang Rd 284, Rocky View No 44

Postal Code T1X 0J6

Telephone (B) 1250 248 2295 (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the NE ¼ Section 20 Township 22 Range 28 West of 4 Meridian
- b) Being all / parts of Lot _____ Block _____ Registered Plan Number _____
- c) Municipal Address 223169 Rg. Rd 284
- d) Existing Land Use Designation RF Parcel Size 80 Division _____

2. APPLICATION FOR

To use the property for canine socialization. Picking up dogs from Calgary, bringing to the property... once done... TAKE THEM BACK home

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No _____
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No _____
(Sour Gas facility means well, pipeline or plant)
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No _____
- d) Does the site have direct access to a developed Municipal Road? Yes _____ No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I _____ hereby certify that _____ I am the registered owner
(Full Name in Block Capitals)

_____ I am authorized to act on the owner's behalf

and that the information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application.

Affix Corporate Seal
here if owner is listed
as a named or
numbered company

Applicant's Signature [Signature]

Date 17 January 2020

Owner's Signature _____

Date _____

5. RIGHT OF ENTRY

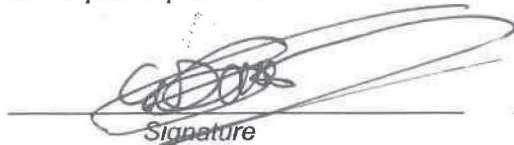
I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, WARREN FLEMING, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


Signature

17 JANUARY 2020
Date



ROCKY VIEW COUNTY
Cultivating Communities

APPLICATION FOR KENNELS (COMMERCIAL AND HOBBY)

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date of Receipt	Receipt #

Name of Business Paw Butler Inc.
 Address of Business 223169 Range Road 284, Rocky View No. 44
 Postal Code T1X0J6
 Telephone (B) 403.835.7245 (H) _____ Fax _____

1. KENNEL DETAILS

- Name of kennel? Paw Butler Inc.
- Type of kennel (e.g. boarding, breeding, training, hobby) Dog socialization + Boarding
- Number of dogs to be boarded 8
- Breed? (only if breeding kennel) _____
- Size of animals? Small Medium Large

2. OPERATION

What are your days of operation? MON - SUN What are your hours of operation? 7AM - 9pm

3. EMPLOYEES

Total number of employees 6 Number of residential employees 2 Number of non-residential employees 4

4. SIGNAGE

Will a sign be required? ☒ Yes/No If yes - Please provide detailed sketches of the proposed sign on a separate sheet

5. ADDITIONAL INFORMATION REQUIRED

How will you soundproof the kennel building(s)? MINIMAL AMOUNT OF DOGS BEING BOARDED. DOGS
will be housed in the QUARTER WHICH IS ALREADY INSULATED AND I
am assuming IT HAS SOUNDPROOFING AS we cant hear the dogs from outside
 Method of solid waste disposal? WASTE REMOVAL company cleans. In 15' Bin
on property.

Method of waste water disposal SEPTIC SYSTEM

Signature of Applicant [Signature]

Date 17 Jan 2020

PLEASE SEE REVERSE FOR ADDITIONAL INFORMATION

PAW BUTLER' main operation is to ~~provide~~ have one of our employees pick up clients dogs, using one of our mini vans, in Calgary bring them out to the property so that they can run and socialize with other dogs for approx 1.5 - 4.5 hours (depending on service option selected, ... this operation runs from 10AM - 3pm Monday through Fri

We also offer day care, where clients drop off their own dogs, and the operating hours for that is 7AM - 6pm MON - FRI

The fields can also be rented by our clients to run their own dogs and that operating hours are MON - FRI 4pm - 9pm and SAT + SUN 9AM - 9PM.

The final use for the property is MICRO BOARDING where we will board a maximum of 8 dogs overnight ... these dogs will spend most of their time outside and will sleep in the quonset.

The property is fully fenced.



LAND TITLE CERTIFICATE

S
 LINC SHORT LEGAL TITLE NUMBER
 0012 317 020 4;28;22;20;NE 071 452 358

LEGAL DESCRIPTION

THE SOUTH HALF OF THE NORTH EAST QUARTER OF SECTION TWENTY (20)
 IN TOWNSHIP TWENTY TWO (22)
 RANGE TWENTY EIGHT (28)
 WEST OF THE FOURTH MERIDIAN
 CONTAINING 32.4 HECTARES (80 ACRES) MORE OR LESS
 EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 071 307 272

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
071 452 358	11/09/2007	TRANSFER OF LAND	\$1,300,000	NOMINAL

OWNERS

MELO DEVELOPMENTS LTD.
 OF P.O.BOX 63041 KENSINGTON ROAD N.W.
 CALGARY
 ALBERTA T2N 4S5

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
745KP	29/10/1969	AGREEMENT "DEFERRED RESERVE COVENANT"
741 073 211	29/07/1974	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED.

841 164 247 03/10/1984 CAVEAT

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

071 452 358

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
--------	--------------	-------------

RE : SURFACE LEASE

CAVEATOR - LEXIN RESOURCES LTD.

PO BOX 6808, STATION D

CALGARY

ALBERTA T2P2E7

(DATA UPDATED BY: TRANSFER OF CAVEAT
901093489)(DATA UPDATED BY: TRANSFER OF CAVEAT
971275186)

(DATA UPDATED BY: CHANGE OF NAME 141199501)

(DATA UPDATED BY: CHANGE OF NAME 161103014)

911 050 156	08/03/1991	SURFACE RIGHTS BOARD ORDER IN FAVOUR OF - CANTERRA ENERGY LTD. ORDER #C617/84
-------------	------------	---

041 338 618	08/09/2004	MORTGAGE MORTGAGEE - ALBERTA TREASURY BRANCHES. 217 16TH AVENUE NW CALGARY ALBERTA T2M0H5 ORIGINAL PRINCIPAL AMOUNT: \$441,000
-------------	------------	---

071 444 403	05/09/2007	AMENDING AGREEMENT AMOUNT: \$975,000 AFFECTS INSTRUMENT: 041338618
-------------	------------	--

TOTAL INSTRUMENTS: 006

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 17 DAY OF
JANUARY, 2020 AT 12:31 P.M.

ORDER NUMBER: 38659828

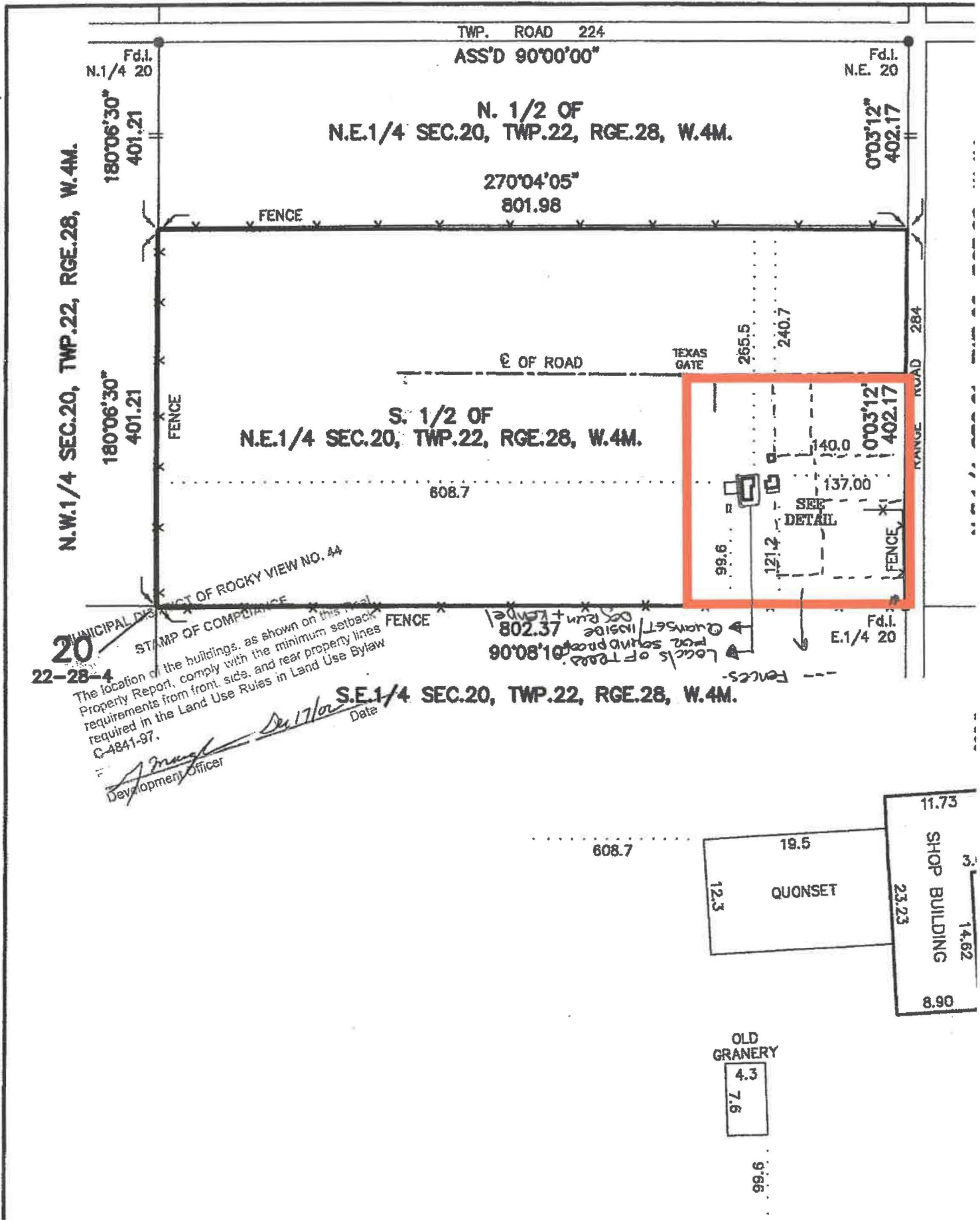
CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: March 9, 2020

DIVISION: 07

APPLICATION: PRDP20194645

SUBJECT: Development Item: Kennel, Hobby and the Keeping of Livestock

APPLICATION: The proposal is for the Kennel, Hobby and Keeping of Livestock at densities no greater than two (2) animal units per 1.60 ha (3.95 acres), relaxation from 5 to 7 (3 horses, 1 mini horse, 2 mini donkeys, and 1 goat).

GENERAL LOCATION: Located approximately 0.21 km (1/8 mile) east of Rge. Rd. 293 and on the north side of Twp. Rd. 264

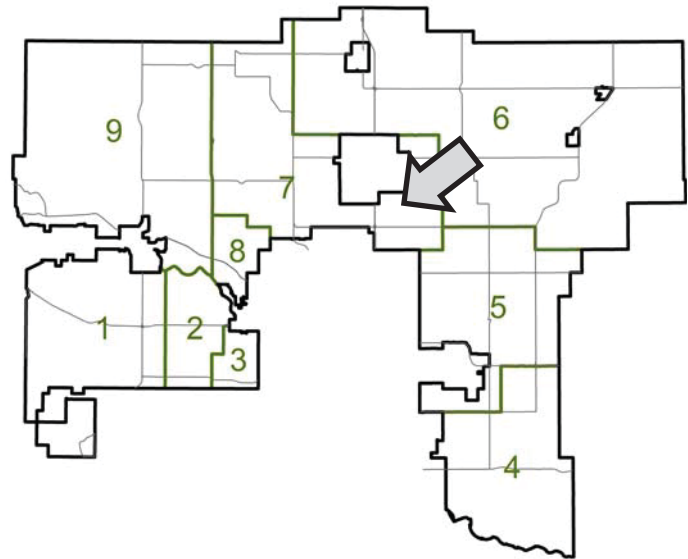
LAND USE DESIGNATION: Agricultural Holdings District (AH)

ADMINISTRATION RECOMMENDATION: Administration recommends approval in accordance with Option #1.

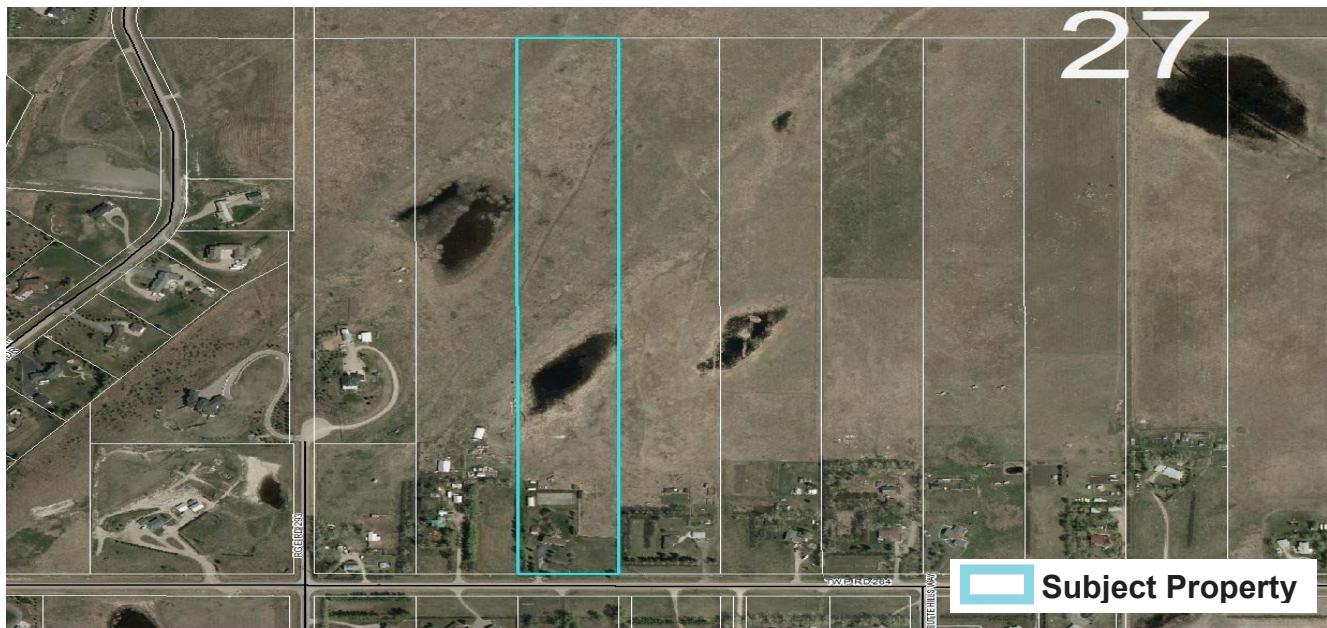
OPTIONS:

Option #1: THAT Development Permit Application PRDP20194645 be approved with the conditions noted in the report.

Option #2: THAT Development Permit Application PRDP20194645 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Andrea Bryden –Planning & Development Services

DEVELOPMENT PERMIT REPORT

Application Date: December 30, 2019	File: 06427013
Application: PRDP20194645	Applicant/Owner: Barb Goll
Legal Description: SW-27-26-29-W04M	General Location: Located approximately 0.21 km (1/8 mile) east of Rge. Rd.293 and on the north side of Twp Rd 264
Land Use Designation: Agricultural Holdings District	Gross Area: ± 8.04 hectares (± 19.87 acres)
File Manager: Andrea Bryden	Division: 07

PROPOSAL:

The proposal is for a Kennel, Hobby (5 dogs) and for the Keeping of Livestock at densities no greater than two (2) animal units per 1.60 ha (3.95 acres), relaxation from 5 to 7 (3 horses, 1 mini horse, 2 mini donkeys, and 1 goat).

Kennel Information:

The dogs onsite are the personal property of the Applicant. There is no showing, boarding, training, day care etc. of any kind occurring onsite.

The Applicant is requesting up to 5 large dogs (mother, father, and three offspring) onsite.

The dogs are kept within the dwelling at night and are within a fenced area when outside. The areas are kept clean and free of waste. Dog waste is removed and taken to a landfill.

Keeping of Livestock Information:

The Applicant has 3 horses, 1 mini horse, 2 mini donkeys and 1 goat. The horses stay in barn, horse stalls or in the pasture. The mini horse and donkeys stay in the other pasture with the horse shelter. The goat stays with all the horses.

Land Use Bylaw (C-4841-97) Requirements:

Section 8 Definitions

KENNELS, HOBBY means the keeping of dogs that are the personal property of a resident of the parcel.

LIVESTOCK means horses, cattle, sheep, swine, fur-bearing animals raised in captivity, game-production animals within the meaning of the Livestock Industry Diversification Act, live poultry and bees, EXCEPT wild boars.

Section 23 Keeping of Dogs

- 23.1 Unless a Development Permit has been issued for a kennel, hobby or a kennel, the keeping of dogs is permitted in all land use districts providing the number of dogs does not exceed the following;
- a. three (3) dogs over three (3) months of age.

- b. *three (3) dogs over three (3) months of age for all parcels of land in Districts not described in (a) except that six (6) stock dogs may be kept on a parcel 80 acres or greater.*
 - The Applicant is requesting 5 dogs.
- c. *greater than six (6) working dogs may be kept on a parcel 80 acres or greater if a Development Permit has been issued. In considering an application for working dogs the Development Authority*
 - Not applicable as these dogs are not considered working dogs.
- d. *In granting a Development Permit for a kennel, hobby, conditions of approval shall:*
 - i. *limit the term of the permit to a period not exceeding 3 years;*
 - *As the first application for this proposal, a three year expiry will be granted*
 - ii. *limit the number of dogs over 3 months of age to a maximum of six (6);*
 - iii. *require that all dogs be kept indoors from 9 p.m. to 7 a.m.;*
 - iv. *require that any outside runs be enclosed with fences a minimum of 1.20 m. (3.94 ft.) in height;*
 - v. *require that Dog Licenses be obtained yearly from Rocky View County Finance Department for each of the dogs involved.*

Section 24 Livestock Regulations

- 24.1 *(b) For animal types with sub species characterized as “miniature” (i.e. Miniature ponies, donkeys, etc.), an animal unit is based on 1,000 lb. live weight of the main animal type;*
- 24.2 *Number of Animals Table*
 - *Horses = 1 animal unit*
 - *Mini Horse = ½ animal unit (per 1000 lbs.)*
 - *Goats = 5 animal units*
 - *Mini Donkey = ½ animal unit (per 1000 lbs.)*
- 24.4 *On parcels designated as RF, RF-2, RF-3, AH, F, R-2 and R-3 that are between 1.60 hectares (3.95 acres) and 16.19 hectares (40.00 acres), the permitted number of livestock shall not exceed one animal unit per 1.60 hectares (3.95 acres).*
 - (a) *Notwithstanding Section 24.4, the Development Authority may allow up to two (2) animal units per 1.60 hectares (3.95 acres) with specific Development Permit conditions.*
 - The subject property is 19.87 acres in size.
 - $19.87 \text{ acres} / 3.95 \text{ acres} = 5.00 \text{ animal units permit} \times 2 = 10 \text{ animal units}$
 - Proposed:
 - 3 horses = 3 units
 - 1 mini horse = ½ unit
 - 2 mini donkeys = 1 unit

- 1 goat = 1/5 unit
- Total: 4.7 animal units = 5 animal units;
- The proposed 5 animal units falls within the permitted number of livestock. However, the applicant requested to double the animal units, therefore 7 animal units are proposed, to accommodate any additional animals that may be brought onto the property into the future. As the kennel is a renewable permit, the number of animal units will be re-assessed at time of renewal and it will be determined if a permit for the keeping of livestock is required.

24.6 *Keeping of Livestock*

- (a) *The following applies to all parcels of land on which livestock is kept:*
 - (i) *pasture management shall be maintained to ensure there is no overgrazing;*
 - *Grazing will occur in the summer and hay will be provided in the winter.*
 - (ii) *manure management shall occur to ensure no runoff onto adjacent lands, riparian areas, or to a watercourse and to reduce odour.*
 - The applicant has advised that manure will be stored for 1 month at a time and composted and spread/incorporation.
- (b) *Development Permits for the doubling of the number of animals on a parcel shall include conditions:*
 - (i) *requiring a Pasture Management Plan;*
 - (ii) *requiring a Manure Management Plan;*
 - (iii) *placing a limit on the term of the permit that shall not exceed five (5) years.*

Other:

Water Runoff

- Manure is picked up and spread on flower/vegetable beds.

Pest Control

- Flea shots and monthly drops are administered.
- A weed control program is not in place. If required, the Applicant will implement one onsite.

Section 46 *Agriculture Holdings District (AH)*

46.2 *Uses, Permitted*

Keeping of Livestock

46.3 *Uses, Discretionary*

Keeping of Livestock

Kennels

STATUTORY PLANS:

The subject property falls within the Balzac East Area Structure Plan (ASP) and the City of Airdrie / Rocky View County Intermunicipal Development Plan (IDP). The ASP does support domestic livestock through the plan area and the City of Airdrie has no comments or objections with the proposal.



This application was evaluated in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:

Inspection not completed at the time of this report.

CIRCULATIONS:

Calgary Airport Authority (January 7, 2020)

- The purpose of this letter is to reply to your request of January 6, 2020, to review Application Number PRDP20194645 with respect to the 292220 TWP RD 264, Rocky View County, AB, SW-27-26-29-04. Please be advised that the Calgary Airport Authority has no objection to this proposal as submitted. A separate review will be required should any development occur on the lands.

City of Airdrie (January 21, 2020)

- The City of Airdrie Planning & Development Department has completed its review of the above mentioned Development Permit application, in response to your request for comments, recommendations and/or requirements with respect to the application.
- Given the information provided, Planning has no comments or objections to the application as the proposed development will not negatively impact the adjacent parcels located within the City of Airdrie boundary.

Alberta Health Services (January 21, 2020)

- I would like to confirm that Alberta Health Services, Environmental Public Health has received the above-noted application. At this time we do not have any concerns with the information as provided.
- We would like to remind the Applicant that no soils, groundwater or surface water sources may become polluted due to operations on the subject lands. The potable water source must be adequately protected from any run-off, nuisance or contaminants, and any stockpiles of solid wastes from the property should be handled, stored and disposed of properly, protected from excessive moisture and pests.
- Feel free to contact me if the application is changed in any way, or you have any questions or concerns.

Development Compliance Officer Review (February 4, 2020)

- Recommend that noise control measures be required at all times;
- Recommend that applicant be required to provide suitable fencing to prevent animals roaming at large;
- Recommend that all dogs be licensed with the County and comply with the County animal control bylaw.

Agricultural Services Review (February 4, 2020)

- Comments not received.

Operations Division Review – Utility Services (January 6, 2020)

- No concerns.



OPTIONS:

Option 1: (this would allow the proposed development)

APPROVAL, subject to the following conditions:

Description:

- 1) That a Hobby Kennel (5 dogs) and the Keeping of Livestock at densities no greater than two (2) animal units per 1.60 hectares (3.95 acres), specifically from 5.00 to 7.00 animal units (horses, mini horse, mini donkeys, and a goat) may operate on the subject property in accordance with the submitted Site Plan and Application.
- 2) That a maximum of five (5) adult dogs, over three (3) months of age, shall be allowed on the subject site at any one time.

Permanent:

Hobby Kennel

- 3) That all dogs involved in the hobby kennel operation shall be privately owned by the Applicant/Owner.
- 4) That this hobby kennel operation may include private breeding of the dogs, owned by the Applicant/Owner.
- 5) That all dogs must be kept indoors between the hours of 9:00 p.m. and 7:00 a.m.
- 6) That all waste shall be stored in solid metal or plastic containers and shall be disposed of offsite.
- 7) That any dogs that cause a nuisance by barking shall be kept indoors at all times.
- 8) That any outside runs shall be enclosed with fences that are constructed so as to be solid visual barrier and a minimum of 1.21 m. (3.94 ft.) in height.

Keeping of Livestock

- 9) That the Manure and Grazing Management Plan as submitted with the application shall be practiced at all times.
 - a. If overgrazing becomes evident on the property, revised grazing procedures may need to be implemented by the Applicant or the number of animal units may need to be decreased, to the satisfaction of the County.
- 10) That all manure shall be collected and disposed of off-site or worked into the fields on a continual basis at least once per month.
- 11) That if there is a build-up of manure, that manure must be removed immediately.
- 12) That the Applicant/Owner shall ensure the property contains adequate livestock fencing, to ensure all livestock units remain on the subject property at all times.

Advisory:

- 13) That Dog Licenses shall be obtained yearly from Rocky View County Finance Department, for each dog involved in the *Hobby Kennel*.
- 14) That the Rocky View County Animal Control Bylaw shall be adhered to at all times.
- 15) That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
- 16) That this Development Permit shall be valid until **April 8, 2023**.



Option 2: (this would deny the proposed development)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.



ROCKY VIEW COUNTY
Cultivating Communities

20194645

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY E-12 Page 8 of 29	
Fee Submitted <u>\$640.00</u>	File Number <u>06427013</u>
Date of Receipt <u>Dec 30</u>	Receipt # <u>2019023160</u>

Name of Applicant Barb Goll Email [REDACTED]
Mailing Address [REDACTED]
Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]
For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) SUKHVINDER GILL
Mailing Address [REDACTED]
Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the SW ¼ Section 27 Township 26 Range 29 West of 04 Meridian
b) Being all / parts of Lot _____ Block _____ Registered Plan Number _____
c) Municipal Address 292220 TOWNSHIP RD 269
d) Existing Land Use Designation AH Parcel Size 19.87 Division 07

2. APPLICATION FOR

Doubling Live Stock Hobby Kannel

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No ☒
b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No ☒
(Sour Gas facility means well, pipeline or plant)
c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No ☒
d) Does the site have direct access to a developed Municipal Road? Yes ☒ No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I SUKHVINDER GILL hereby certify that 2 I am the registered owner
(Full Name in Block Capitals)

_____ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

Affix Corporate Seal
here if owner is listed
as a named or
numbered company

Applicant's Signature Barb Goll
Date Dec 19/19

Owner's Signature [Signature]
Date Dec 27, 2019



APPLICATION FOR KENNELS (COMMERCIAL AND HOBBY)

FOR OFFICE USE ONLY	
Fee Submitted	File Number
Date of Receipt	Receipt #

Name of Business _____

Address of Business _____

_____ Postal Code _____

Telephone (B) _____ (H) _____ Fax _____

1. KENNEL DETAILS

- a. Name of kennel? _____
- b. Type of kennel (e.g. boarding, breeding, training, hobby)
- c. Number of dogs to be boarded 5
- d. Breed? (only if breeding kennel) _____
- e. Size of animals? Small/Medium Large

2. OPERATION

What are your days of operation? _____ What are your hours of operation? _____

3. EMPLOYEES

Total number of employees _____ Number of residential employees _____ Number of non- residential employees _____

4. SIGNAGE

Will a sign be required? Yes No If yes - Please provide detailed sketches of the proposed sign on a separate sheet

5. ADDITIONAL INFORMATION REQUIRED

How will you soundproof the kennel building(s)? They come in at night.

Method of solid waste disposal? pick up and brought to city landfill

Method of waste water disposal used to water yard. (but they usually drink all I put out.

Signature of Applicant

Bab Sell

Date

Dec 19/18

PLEASE SEE REVERSE FOR ADDITIONAL INFORMATION



APPLICATION TO INCREASE NUMBER OF LIVESTOCK

FOR OFFICE USE ONLY	
Fee submitted	File Number
Date of Receipt	Receipt #

1. SITE PLANS

Provide site plans identifying:

1. Confinement and pasture areas & acres available for animals
2. Feeding site(s) and methods (i.e. feeders/racks/ground/etc.)
3. Watering site(s) and methods (i.e. tank/waterer/creek/etc.)
4. Location of your well, any sloughs, ponds, water runs, coulees, etc.
5. Description of slope of your property.
6. Proximity of neighbours' houses and livestock (if any).

2. OPERATION

Describe the type and breed (if applicable) of livestock in your livestock operation: 3 big horses

1 mini Horse 2 mini donkeys 1 goat

The number of each type of livestock in your "livestock operation" is: 3 big horses 1 mini Horse 2 mini
1 goat Donkey

Do you have a Premises Identification number? (PID – Alberta Agriculture & Forestry):

Yes ☐ No ☐

If yes, PID#: _____

3. SITE INFORMATION

Topography: Flat ☐ Rolling ☐ Steep ☐

Select Grass/Forage Species present: Alfalfa ☐ Brome ☐ other: grass type Hay.

Fescue ☐ Timothy ☒ Other: _____

Supplemental feed? Yes ☒ No ☐

If yes, please explain: Hay for the winter

Are riparian or wetland areas present? Yes ☐ No ☐

Are you interested in finding out more information about Rocky View County's Green Acreages Program?

Yes ☐ No ☐

4. MANURE MANAGEMENT

Will manure be stored on site? Yes ☒ No ☐

If yes, identify storage methods: Compost ☒ Stockpile ☐ Spread and incorporated ☒

How long will the manure be stored? 1 month at a time.

If no, identify where manure is going: _____

Note: Manure storage facility construction must comply with the 'Agricultural Operation Practices Act'

5. GRAZING AND FEEDING STRATEGIES

Describe your grazing and feeding strategies (i.e. year-round grazing, rotational pastures with supplemental feed, etc.)

grazing in the summer. Hay in the winter

6. RUNOFF

What is the current practice to prevent manure from contaminating water bodies (e.g. wetlands, sloughs, dugouts) on your property? picked up and spread on flower, vegetable beds

Describe how runoff will be kept out of your well and other water areas on your property.

They drink out of water troughs.

Describe how runoff will be kept on your own property (It is an offence under the Alberta Environmental Enhancement and Protection Act to allow manure and its nutrients to move off your property)

7. PEST AND WEED CONTROL

Describe how flies and other pests will be managed so they don't affect your neighbours.

Flea shots and monthly drops.

Do you have a weed control program in place? Yes ☐

No ☒

If yes, describe the weed control program:

Signature of Applicant

Bal Gill

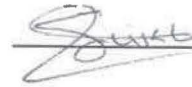
Date

Dec 19/19

PLEASE PROVIDE ALL OF THE ABOVE INFORMATION EVEN IF THIS IS A RENEWAL. THANK YOU

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, SUKHAVINDER GILL, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.



Signature

Dec 30, 2019

Date

Hi my name is Barb Goll. I'm applying for a permits for my dogs and livestock.

I'm applying for this application so we can keep all our family members together. If we didn't have a house fire we wouldn't need to be moving.

We are a family of 5 adults and love our animals. We started a hobby farm in Cochrane and had it for the last 3 years. We have 5 big dogs, 3 big horses and 1 mini horse. Plus we have 2 mini donkeys and 1 goat. The horses will be staying in the pasture with the barn and stables. The mini donkeys and the mini horse will stay in the other pasture with the horse shelter. The goat will stay with all the horses he walks with all of them. The dogs will be staying in the fenced in area when they are outside and at night they come in the house. During the day they will be going in and out of the fenced in area and the house. They are all well trained and very good at their job of keeping the coyotes away from the livestock.

We keep all areas clean and free of waste. We pick up all dog waste and recycle the horse waste for compost for our gardens. The dogs do not run free unless we are outside with them. The dogs are mother and father and there 3 children. One of the dogs has a bad leg from birth and can't run that far without tripping over her own feet.

I have photos attached so you can see the area is large enough for all the animals.

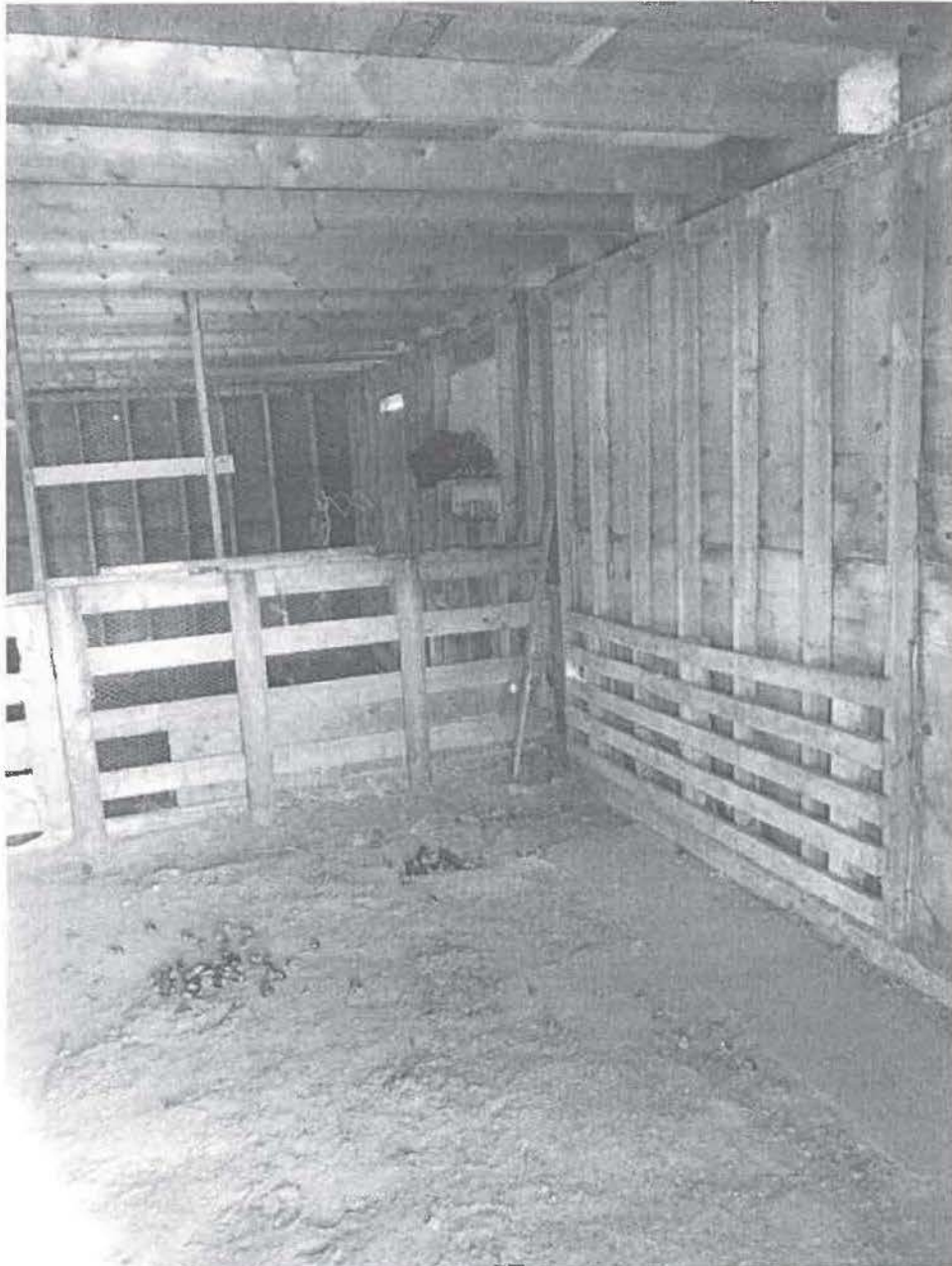
We have the landlord's permission to have all the animals on the property. We just need the permit so we can start are life over and be happy once more.

The uses of the property is to have our hobby farm and build are lives again. I hope to get this permit and move one more step to recovery for our family.

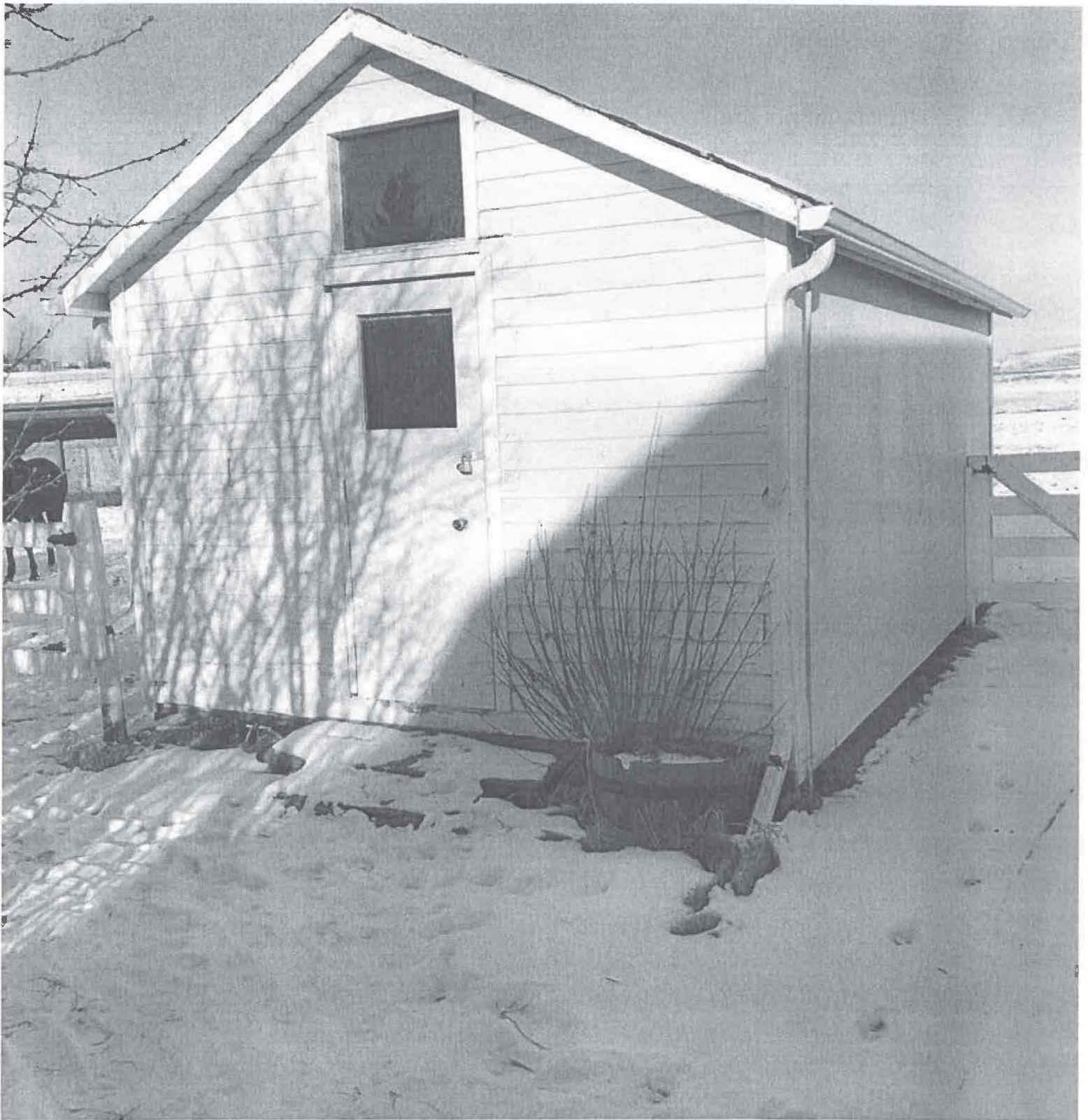
Thanks for taking the time to read over my information.

Barb Goll

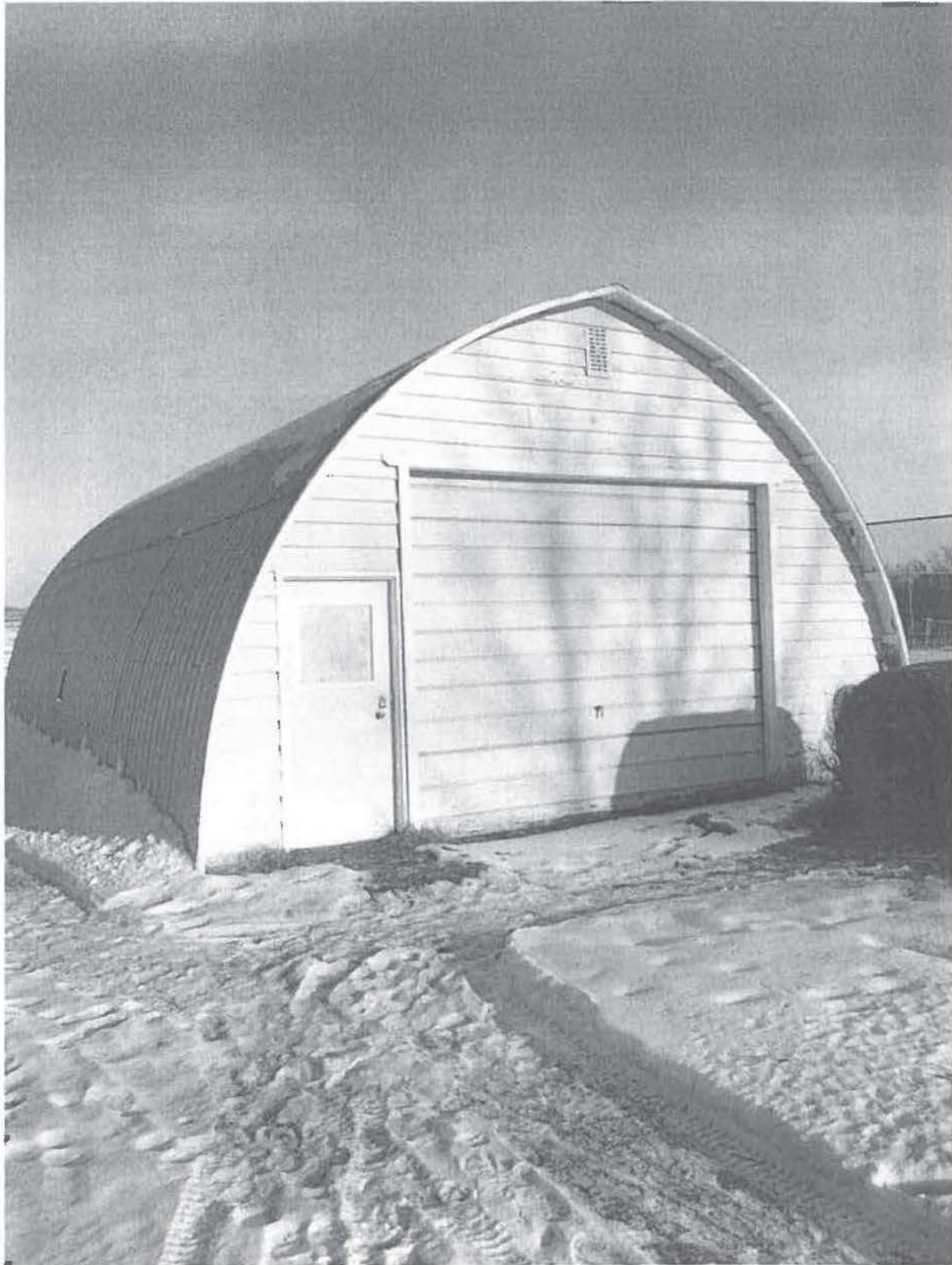


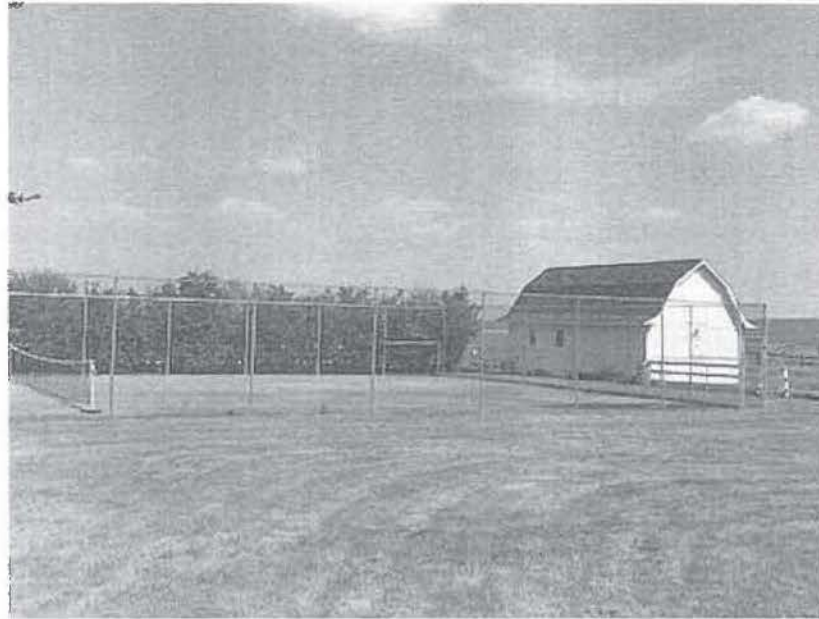


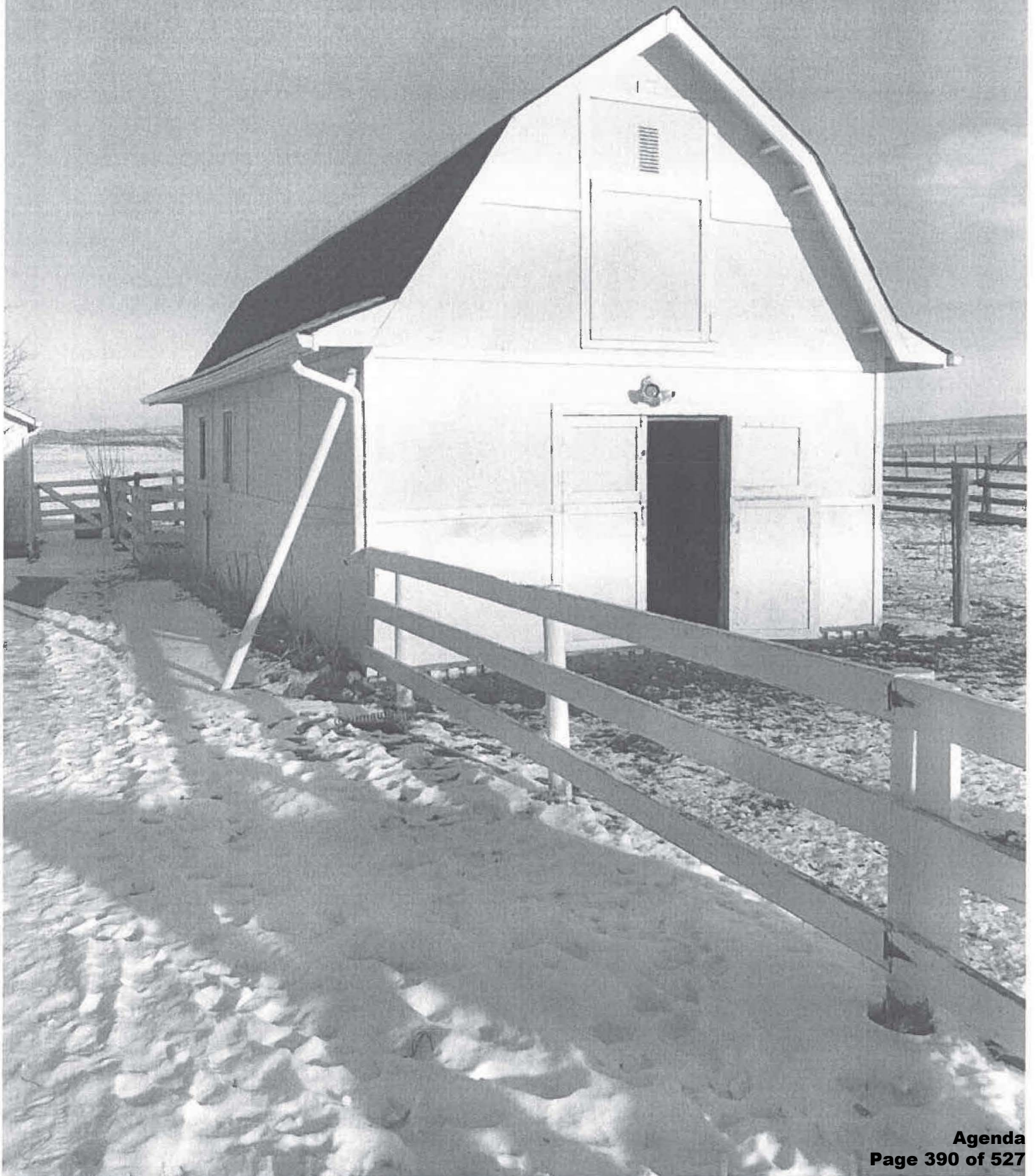




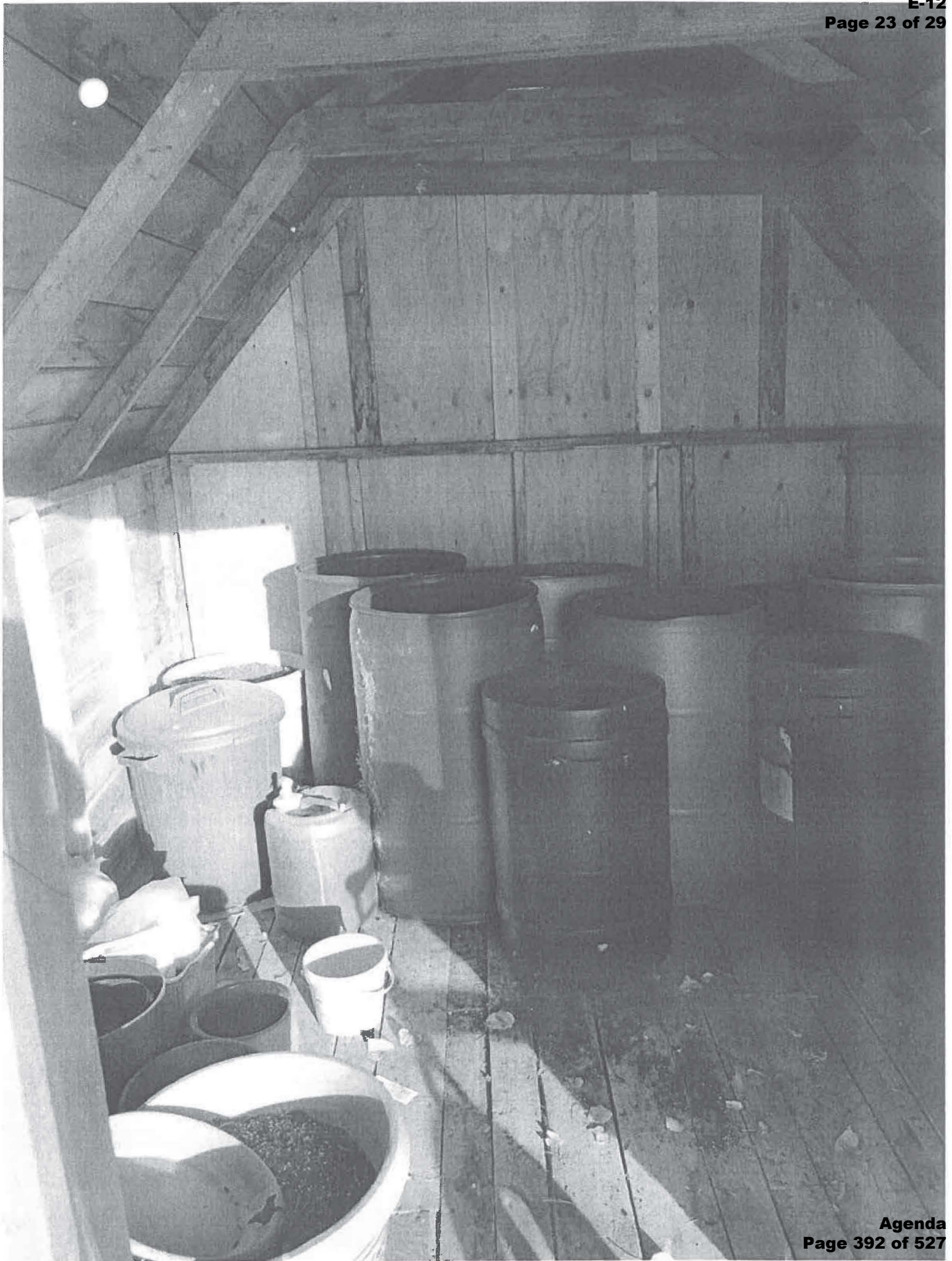
















LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0028 941 219 4;29;26;27;;4,5 181 197 181

LEGAL DESCRIPTION

THE WEST THREE HUNDRED AND THIRTY (330) FEET OF THE EASTERLY
SIX HUNDRED AND SIXTY (660) FEET THROUGHOUT LEGAL SUBDIVISIONS
FOUR (4) AND FIVE (5)
IN THE SOUTH WEST QUARTER OF SECTION TWENTY SEVEN (27)
IN TOWNSHIP TWENTY SIX (26)
RANGE TWENTY NINE (29)
WEST OF THE FOURTH MERIDIAN
CONTAINING 8.09 HECTARES (20 ACRES) MORE OR LESS
EXCEPTING THEREOUT: HECTARES (ACRES) MORE OR LESS
A) PLAN 0112043 ROAD 0.052 0.13
EXCEPTING THEREOUT ALL MINES AND MINERALS
AND THE RIGHT TO WORK THE SAME

ESTATE: FEE SIMPLE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 011 215 788 +16

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
181 197 181	14/09/2018	TRANSFER OF LAND	\$1,040,000	\$1,040,000

OWNERS

SURJIT KAUR GILL

AND

POONAM GILL

AND

SUKHVINDER GILL

ALL OF:

[REDACTED]
[REDACTED]
[REDACTED]

ALL AS JOINT TENANTS

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
181 197 181

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
920IS	07/01/1963	UTILITY RIGHT OF WAY GRANTEE - ALTALINK MANAGEMENT LTD. "SOUTH 25 FEET" (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 001290466) (DATA UPDATED BY: CHANGE OF NAME 051024126) (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 161032894)
8291KO	13/08/1970	CAVEAT CAVEATOR - THE PROVINCIAL PLANNING DIRECTOR.
741 009 890	01/02/1974	CAVEAT CAVEATOR - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED.
771 147 064	20/10/1977	ZONING REGULATIONS SUBJECT TO CALGARY INTERNATIONAL AIRPORT ZONING REGULATIONS
181 197 182	14/09/2018	MORTGAGE MORTGAGEE - THE TORONTO DOMINION BANK. 500 EDMONTON CITY CENTRE EAST EDMONTON ALBERTA T5J5E8 ORIGINAL PRINCIPAL AMOUNT: \$1,040,000
181 197 183	14/09/2018	CAVEAT RE : ASSIGNMENT OF RENTS AND LEASES CAVEATOR - THE TORONTO DOMINION BANK. 500 EDMONTON CITY CENTRE EAST EDMONTON ALBERTA T5J5E8 AGENT - JAGDEV S DHANDA.

TOTAL INSTRUMENTS: 006

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 30 DAY OF
DECEMBER, 2019 AT 03:50 P.M.

ORDER NUMBER: 38574202

CUSTOMER FILE NUMBER: prdp20194645



END OF CERTIFICATE

(CONTINUED)

PAGE 3
181 197 181

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER, SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION, APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



ROCKY VIEW COUNTY

262075 Rocky View Point
Rocky View County, AB T4A 0X2

403-230-1401
questions@rockyview.ca
www.rockyview.ca

LETTER OF AUTHORIZATION

I, (We) SUKHVINDER SINGH GILL being the owner (s) of

Lot _____ Block _____ Plan _____

Legal:

NW/NE/SE/SW Section 242220 Township 264 Range _____ W _____ M

give _____ permission to act on my

(our) behalf in applying for a Development Permit for the above subject property.

Signature

Signature

Date

West



PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 09
SUBJECT: Development Item – Gravel Pit (Renewal)

DATE: March 9, 2020
APPLICATION: PRDP20194424

APPLICATION: renewal for Natural Resource Extraction/Processing for gravel extraction, processing, and sales (Phase 1).

GENERAL LOCATION: located approximately 1.61 km (1 mile) north of Twp. Rd. 250 and 1.61 km (1 mile) east of Rge. Rd. 40

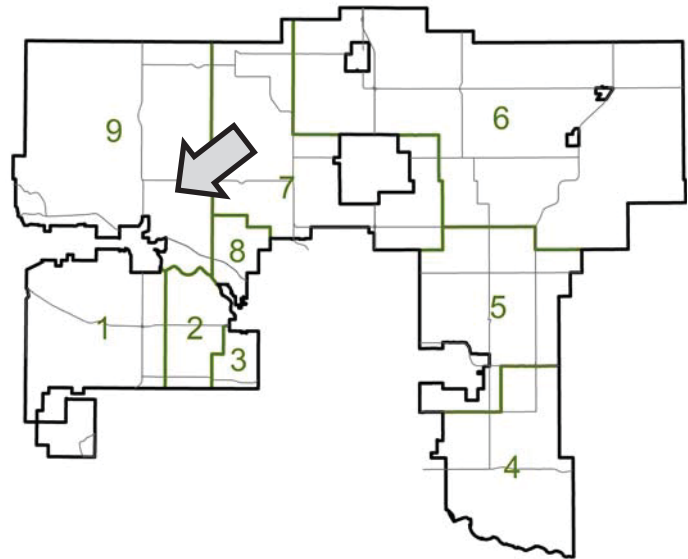
LAND USE DESIGNATION: Direct Control District (DC 129)

ADMINISTRATION RECOMMENDATION:

Administration recommends approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20194424 be approved with the suggested conditions noted in the staff report.
- Option #2: THAT Development Permit Application PRDP20194424 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Jacqueline Targett - Planning and Development Services



DEVELOPMENT PERMIT REPORT

Application Date: November 26, 2019	File: 06836002
Application: PRDP20194424	Applicant/Owner: Robert Kelham / Hillstone Aggregates Ltd.
Legal Description: NW-36-26-04-05	General Location: located approximately 1.61 km (1 mile) east of Hwy. 22 and on the south side of Hwy 567
Land Use Designation: Natural Resource Industrial District (NRI) & Ranch and Farm (RF)	Gross Area: ±66.62 hectares (±164.65 acres)
File Manager: Jacqueline Targett	Division: 09

PROPOSAL:

The proposal is for renewal for Natural Resource Extraction/Processing for gravel extraction, processing, and sales (Phase 1).

The operator, Hillstone Aggregates is requesting a 2nd renewal for Phase 1 of the noted gravel extraction operation. Operation details remain consistent with the previous information and approvals.

Site Details:

The noted property includes split land use:

- NRI, 40.73 hectares (100.65 acres), located on the eastern portion of the property.
- Within the NRI area, the proposed phase breakdown for the gravel operations:
 - Phase 1 area, 16.18 hectares (40.00 acres);
 - 4.04 hectares (10.00 acres) have been processed and reclaimed;
 - 12.14 hectares (30.00 acres) actively processing;
 - Phase 2 area, 16.18 hectares (40.00 acres);
 - Remainder (existing homestead), 8.09 hectares (20.00 acres);
- RF, 25.89 hectares (64.00 acres), located on the western portion of the property

At this time, the property includes one paved access off Hwy. 567.

Renewal Application Submission:

Phase 1 operations are anticipated to last over the next few years before Phase 2 operations commence. As Phase 1 is in current extraction and processing phase, site reclamation remains outstanding. The application is requesting a time extension period of up to five years. The submission notes:

- Site taxes and Community Aggregate Payments [CAP], in accordance with the Community Aggregate Bylaw C-7748-2018 are up to date;
- Since the last renewal, there have been no environmental incidents;
- Site reclamation has been started in the processed areas for Phase 1 [25% = 10.00 acres];



- The site remains in compliance with the Master Site Development Plan, particularly in reference to dust and noise control;

The Province has re-issued approval under the *Environmental Protection and Enhancement Act*, (previously Registration No. #15240-01-00; Effective Date: May 7, 2007), however are working through compliance deficiencies with the Applicant;

The Province has issued approval under the *Water Act*, File #00437646, dated July 16, 2019; Expiry December 31, 2022;

BACKGROUND SUMMARY:

1189677 Alberta Ltd, operating as Big Hill Springs Gravel Pit (BHSGP), operates a Gravel Extraction and Processing Operation (GEPO) on the quarter section identified as NW 36-26-04-W5M, bordering on Highway 567. The site has been continuously active for many years. The applicants anticipate it will take several decades to complete mining over the entire Master Site Development Plan (MSDP) area. Phase I is expected to be completed mining in approximately 2-3 years.

This MSDP cuts the quarter section into two parts: the East Lands (±100 acres) and the Buffer Area (±60 acres). The East Lands comprise the active area where gravel extraction is underway in the north. The GEPO in the East Lands is expected to take several decades to complete. During that time, no proposed changes to the activity (pasture) on the Buffer Area (Ranch and Farm) are expected. Any proposed change in activity on the Buffer Area will require a future amendment to the MSDP.

The site has Alberta Environment Registration (15240-01-1), expiring in 2017. The applicant submitted the renewal in September 2017, and staff at AER confirmed the submission is currently undergoing review.

The site continues to operate as it has since the initial Development Permit was issued in June 2014.

The Development Permit for Phase One permitted:

1. ± 40.00 acres of disturbed area, including setbacks;
2. The requirement that at least 25% of Phase One, i.e. ±10 acres, must be reclaimed (excluding the time for grasses, trees, etc. to be fully grown) prior to a Phase Two Development Permit being issued; and
3. Compliance with all other Policies and conditions contained elsewhere within the MSDP.

The site is accessed from Highway 567 and has berms along the north and west of the pit to assist in noise and visual impact control. The site operates as follows:

1. May to October:
 - i. Monday to Friday: 7:00 a.m. to 5:30 p.m.
 - ii. Saturday: 7:00 a.m. to 3:30 p.m.
2. November:
 - i. Monday to Friday: 8:00 a.m. to 5:00 p.m.
3. December to April
 - i. Monday to Friday: 8:00 a.m. to 5:00 p.m.

A Development Permit for Phase 2 has not been submitted to date.

Development Application History:

- **PRDP20193501:** Single-lot regrading, construction of a berm [replacement of PRDP20185193]
- **PRDP20182626:** Natural Resource Extraction / Processing (existing gravel pit), installation of one (1) directional sign; Issued May 3, 2019
- **PRDP20180393:** Renewal for Natural Resource Extraction/Processing for gravel extraction, processing, and sales; Issued May 3, 2019; Expiry: June 27, 2019
- **PRDP20173040:** Natural Resource Extraction/Processing, Gravel Pit (Phase 2); Withdrawn
- **PRDP20185193:** Single-lot regrading and the placement of clean fill, for construction of a berm; Closed-Expired
- **PRDP20181601:** Hillstone Aggregates Phase II Gravel Pit for 40 acres, Withdrawn
- **PRDP20151666:** Natural Resource Extraction/Processing for gravel extraction, processing and sales (phase 2); Closed
- **2013-DP-15360:** Natural Resource Extraction/Processing for gravel extraction, processing, and sales (Phase 1); Issued June 12, 2014 Expiry: June 26, 2018
- **2012-DP-15000:** Placement of one (1) freestanding sign; Issued June 12, 2014

Property History:

Planning Applications:

- PL20180105 (Master Site Development Plan Amendments); Waiting for Application
- PL20170194 (Master Site Development Plan Amendments); Withdrawn
- PL20170193 (Redesignation RF-2 to I-IS); Withdrawn
- 2012-RV-104 (Master Site Development Plan); Closed-Approved
- 2012-RV-009 (Redesignation), *To redesignate the subject lands from Ranch and Farm District to Natural Resource Industrial District in order to facilitate an expansion of an existing aggregate (gravel) mining operation;*

Building Permits:

- 1983-BP-9487 (Dwelling, Single Detached); No information
- 2011-EP-11695 (Gravel Pit); Final September 12, 2011

Land Use Bylaw:

Section 8 Definitions

NATURAL RESOURCE EXTRACTION/PROCESSING means development for the removal, extraction and primary processing of raw materials. Typical resources and raw materials would include oil and gas, peat, sand, silt and gravel, shale, clay, marl, limestone, gypsum, other minerals precious or semi-precious, timber and coal. Typical facilities or uses would include gravel pits (and associated crushing operations), asphaltic processing, sand pits, clay or marl pits, peat extraction, stripping of topsoil, timber removal, sawmills and related timber/wood processing, and oil and gas processing plants.

Section 58 *Natural Resource Industrial District*

58.1 *Purpose and Intent*

- *The purpose and intent of the District is to provide for the development of industrial uses related to non-renewable natural resource extraction and processing.*

58.3 *Discretionary Uses*

- *Natural Resource Extraction/Processing*

58.4 *General Regulations*

- *The general regulations were accessed with the previous submissions and remain as approved; At this time, no changes*

58.5(a) *Special Provisions*

- *A residence shall not be located in close proximity to the active operation on the land that may have an adverse impact on the residential use (i.e. air quality, noise, noxious odours, etc.). Measures to mitigate any adverse impacts shall be assessed by the Development Authority when issuing a permit for a dwelling.*
 - *The existing homestead is located at the south-end of the property and will be in close proximity to Phase 2 operations, once commenced.*

STATUTORY PLANS:

This property does not fall under any approved Area Structure Plan or Intermunicipal Development Plan. This application was evaluated in accordance with the County Plan and Land Use Bylaw.

NON STATUTORY PLANS:

This property falls under the Big Hills Springs Gravel Pit Master Site Development Plan (MSDP). The MSDP was originally assessed and referenced in the previous approvals, however where applicable is referenced within this renewal application.

The MSDP (Bylaw C-7226-2012) was approved December 11, 2012. It outlines the policies with which the gravel extraction operation must comply. In considering the renewal of the mining operation for an additional period of time, each Policy has been addressed as to the status of compliance:

Policy 1.1: *The East Lands constitute the area of the proposed GEPO activity and the Land Use Amendment from Ranch and Farm to Natural Resource Industrial.*

- The gravel extraction, processing, and sales occur on the eastern portion of the land.
- **STATUS: COMPLIANT**

Policy 1.2: *The Development of the Buffer Area (westerly ±60ac) will be subject to an amendment to this MSDP, a separate Land Use Amendment and phased Development Permits.*

- The gravel extraction, processing, and sales occur on the eastern portion of the land. The applicants have expressed interest in developing the buffer area, but have not submitted any applications to date.
- **STATUS: COMPLIANT**

Policy 4.1: *The contact information for the Operations Manager will be available to the general public and all concerns received will be recorded within the Monthly and Annual Reports.*

- The operation has a website with contact information available to the public.



- In terms of the recording of general public and other concerns received, the County has not been provided copies of the Monthly or Annual Reports. However, the County has received only one Enforcement Complaint to date, from July 2018. Enforcement Services indicated that the issues have been addressed through “reminders” to the operator’s staff to adhere to the requirements of the permit for noise and dust, though Enforcement Services; note, it appears the operators are complying with the requirements.
- **STATUS: COMPLIANT**

Policy 4.2: *The Operator will utilize sound attenuation measures for all on-site activities in accordance with industry best practices in order to mitigate noise impacts upon adjacent lands.*

- The applicant noted that the operation has not received any noise complaints. The on-site crusher is enclosed, in addition to it being located on the pit floor, and is also buffered by the existing berms and adhering to hours of operation for crushing.
- **STATUS: COMPLIANT**

Policy 4.3: *The Operator will utilize dust abatement measures for all on-site activities in accordance with industry best practices in order to mitigate dust complaints from adjacent lands.*

- The applicant indicated that dust control measures include the use of calcium treatment and/or water of haul routes on site.
- **STATUS: COMPLIANT**

Policy 4.4: *The berms shall be placed on the north and east setbacks of the quarter section, adjacent to Highway 567 and shall be sufficiently high to restrict visibility to pit operations by passing motorists on Highway 567 and to provide a visual and acoustic barrier for the operation.*

- Berms are located as required.
- **STATUS: COMPLIANT**

Policy 4.5: *The berms, overburden stockpiles and similar earthworks shall be seeded and maintained using erosion control measures.*

- The applicant indicated that this is being done in accordance with the erosion and sediment control plan, the stormwater plan, and the landscaping plan.
- **STATUS: COMPLIANT**

Policy 6.1: *BHSGP shall complete a detailed Reclamation Plan for each Phase before reclamation activities commence.*

- The applicant completed a Reclamation Plan for Phase 1, and according to registration renewal paperwork submitted to the Province, reclamation has occurred on seven acres;
- **STATUS: COMPLIANT/PENDING**

Policy 6.2: *The Reclamation Plan will be endorsed by AESRD and RVC prior to implementation.*

- The applicant submitted a Reclamation Plan for Phase 1 for County
- **STATUS: COMPLIANT/PENDING**

Policy 6.3: *Reclamation shall proceed behind extraction activities such that no more than 40 acres shall be open at any time.*

- Reclamation has commenced, and extraction activities do not occur over greater than 40.00 acres.

- *STATUS: COMPLIANT*

Policy 6.4: 25% of the area of any phase shall be reclaimed (excluding the time for grasses, trees, etc. to be fully grown) before the next phase is permitted to be opened.

- The applicant indicated that 25% of Phase 1 has been reclaimed, while renewal for registration paperwork submitted to the Province indicates seven acres (18.5%) has been reclaimed.
- The applicant is in preparation for the Phase 2 application, but this has not been approved as it is subject to County verification of reclamation.
- *STATUS: PENDING*

Policy 6.5: Gravel Extraction shall proceed south from the existing operation until the East Lands are totally reclaimed.

- The applicant is operating as outlined.
- *STATUS: COMPLIANT*

Policy 6.6: BHS GP's operations shall conform to the AESRD Registration #15240-01-00 Activities Plan.

- *STATUS: VALID with the Province*

Policy 6.7: BHS GP shall collaborate with RVC, AT and area land owners to arrive at a functional Area Transportation Plan.

- The applicant continues to collaborate with Rocky View County, Alberta Transportation, and area land owners.
- *STATUS: COMPLIANT*

Policy 6.8: Prior to issuance of a Development Permit for Phase Two, the Area Transportation Plan shall be complete and approved by Alberta Transportation and Rocky View County. The Study shall provide details for the establishment of a new intersection on Highway 567.

- A Phase 2 Development Permit has not been submitted to date;
- *STATUS: NOT APPLICABLE AT THIS STAGE*

Policy 6.9: Prior to issuance of a Development Permit for Phase Two, the recommendations of the Area Transportation Plan shall be implemented as they relate to GEPO in the area at the time of submittal of a Phase Two Development Permit Application.

- A Phase 2 Development Permit has not been submitted to date;
- *STATUS: NOT APPLICABLE AT THIS STAGE*

Policy 6.10: BHS GP shall complete a Stormwater Management Plan for the East Lands as part of the Phase Two Development Permit.

- A Stormwater management Plan for all Phases of the eastern lands was accepted by the County June 3, 2014.
- *STATUS: COMPLIANT*

Policy 6.11: Recommendations of the stormwater plan shall be implemented through the development permitting process.

- The applicant stated that the stormwater plan is in use.
- *STATUS: COMPLIANT*



Policy 6.12: The SWMP will be updated for each Phase as part of each Development Permit Application.

- A Phase 2 Development Permit has not been submitted to date;
- **STATUS: NOT APPLICABLE AT THIS STAGE**

Policy 6.13: BHS GP will complete an Erosion and Sediment Control Plan for the East Lands in accordance with RVC's policies and procedures and to the satisfaction of AESRD for the East Lands as part of the Phase Two Development Permit.

- The Erosion and Sediment Control Plan was accepted by the County June 3, 2014.
- **STATUS: COMPLIANT**

Policy 6.14: BHS GP will complete a Biophysical Impact Assessment in accordance with RVC's policies and procedures and to the satisfaction of AESRD for the East Lands as part of the Phase Two Development Permit.

- A Phase 2 Development Permit has not been submitted to date;
- **STATUS: NOT APPLICABLE AT THIS STAGE**

Policy 6.15: BHS GP will prepare and activate a schedule for monitoring the installed piezometers as part of the Phase One Development Permit.

- The monitoring schedule was accepted by the County on January 15, 2014.
- **STATUS: COMPLIANT**

Policy 6.16: GEPO will cease at least 2 m above the water table.

- It was subsequently determined that a 2 m separation was not necessary, and an engineering report dated July 8, 2013, noting that 1 m was sufficient separation, was accepted by the County on January 13, 2014;
- The applicant was to prepare a schedule for monitoring of groundwater for this purpose (see COA #7). A letter dated January 14, 2014, stating that piezometers are measured at least every three months, was accepted by the County on January 15, 2014;
- A review of the submitted groundwater monitoring found inconsistent groundwater monitoring completed over the 5 year permit period. It appears that there was no monitoring in 2014, one occurrence in 2015, no monitoring in 2016, monitoring in 2017 in the last half of the year, and one occurrence in 2018.
- **STATUS: PENDING UPDATE**
- **ACTION: A prior to issuance condition has been included, to request updated monitoring data;**

Policy 6.17: BHS GP shall complete a detailed landscape plan for each Phase before landscaping activities commence.

- The landscaping plan for Phase 1 was previously approved with PRDP20180393
- **STATUS: COMPLIANT**

Policy 6.18: BHS GP shall complete a comprehensive landscape plan for the East Lands as part of the Phase Two Development Permit.

- A Phase 2 Development Permit has not been submitted to date;
- **STATUS: NOT APPLICABLE AT THIS STAGE**



Policy 6.19: Recommendations of the Landscape Plan shall be implemented through the Development Permitting Process.

- The landscaping plan for Phase 1 was previously approved with PRDP20180393
- *STATUS: COMPLIANT*

Policy 6.20: Recommendations shall include, but are not limited to including Erosion and Sediment Control and Stormwater Management.

- Erosion and Sediment Control Plans as well as Stormwater Management Plans were accepted by the County on June 3, 2014.
- *STATUS: COMPLIANT*

Policy 9.1: Management and handling of topsoil, overburden and gravel will be in accordance with the spirit and intent of the Alberta Environment Licence and the policies and procedures of Rocky View County.

- Stockpiles appeared to be in compliance. The Province will further determine compliance as part of their review.
- *STATUS: COMPLIANT*

Policy 9.2: BHS GP will complete a detailed Reclamation Plan for each Phase as part of the DP Application for that phase.

- The applicant submitted a Reclamation Plan for Phase I; Confirmation on the validity of the plan contents is requested
- Any subsequent mining Phases will have Reclamation Plans submitted as required.
- *STATUS: PENDING*

Policy 9.3: The Development of the Buffer Area (westerly ± 60 ac) will be subject to an amendment to this MSDP, a separate Land Use Amendment and phased Development Permits.

- The applicant submitted an application for Redesignation of the Buffer Area. As such, any decisions regarding use of the westerly ± 60 acres will be subject to County review and Council decision.
- *STATUS: COMPLIANT PENDING FUTURE REVIEW*

Policy 10.1: BHS GP will complete a monthly measure of materials in the pit. These volumes will be summarised in the Annual Operations Report for BHS GP which will be distributed to the relevant authorities.

- No annual operations reports have been submitted to the County for review;
- *STATUS: PENDING*
- *ACTION: A condition of approval is included, requesting these documents*

Policy 10.2: The Annual Operations Report to RVC will include a summary of all complaints and comments received by the owners' staff with respect to the pit's operations. This will include any action taken as a result of these communications.

- No annual operations reports have been submitted to the County for review.
- *STATUS: PENDING*
- *ACTION: A condition of approval is included, requesting these documents*

Policy 10.3: The Annual Operations Report will include the results of all Hydrogeological Assessments completed to date and will form part of all Development Permit Applications.

- No annual operations reports have been submitted to the County for review.
- Piezometer readings were submitted and updated readings are requested;



- *STATUS: PENDING*
- *ACTION: A condition of approval is included, requesting these documents*

Policy 11.1: All GEPO will be in full compliance with the AESRD Licence.

- *STATUS: COMPLIANT PENDING INPUT FROM PROVINCE.*

In summary, the majority of the MSDP policies have been adhered to. The absence of annual reporting and updated groundwater level monitoring reporting in relation to mining levels will be requested upon approval.

INSPECTOR'S COMMENTS:

Inspection: January 7, 2020

- Western berm almost completed;
- Put in fencing and markers indicating how to access;
- Fueling station in central portion of pit;

CIRCULATIONS: Requested comments by December 23, 2019

Alberta Transportation (January 6, 2020)

- File Number: RSDP028638-1
- In reviewing the application, the proposed development falls within the control distance of a provincial highway as outlined in the Highways Development and Protection Act / Regulation. As this gravel extraction existed prior to transfer of Highway 567 to Alberta Transportation in 2001, a Roadside Development Permit will not be required at this time.
- Pursuant to Section 25(3)(c) of the Highways Development and Protection Regulation, Alberta Transportation issues an exemption from the permit requirements to 1189677 Alberta Ltd for the development listed above.
- Pursuant to Section 25(4) of the Highways Development and Protection Regulation the department has the following conditions on the permit exemption: •
 - For future expansion or remediation of the gravel mining operation, a Roadside Development Permit will be required from Alberta Transportation, along with implementation of the recommendations of the Master Site Development Plan.

Alberta Environment and Sustainable Resource Development

- No response received at the time of this report.

Development Compliance Officer Review

- No response received at the time of this report.

Agricultural Services Review (January 10, 2020)

- No agricultural concerns.
- The applicant must ensure compliance with the *Alberta Weed Control Act* and have a contractor available (or be personally prepared) to control any regulated weeds.

Planning and Development Services - Engineering Review (January 07, 2020)

General:

- The development permit application for the renewal of the existing permit 2013-DP-15360 and PRDP20180393. All permanent conditions from existing permit shall be carried forward.
- The Applicant/Owner shall provide payment of the Community Aggregate Payment Levy in accordance with Bylaw C-7748-2018.
- The site shall operate in accordance with the Master Site Development Plan (Bylaw C-7226-2012), dated December 11, 2012.
- Reclamation shall proceed behind extraction activities such that no more than 40 acres shall be open at any time. At least 25% of the area of any phase shall be reclaimed before the next phase is permitted to be opened.

Geotechnical:

- As part of Phase 1 Development Permit, the applicant shall continue its schedule for monitoring the installed piezometers.
- Prior to issuance of this Development Permit, the Applicant/Owner shall provide the recordings of previous readings to ensure the excavation plan does not impact the groundwater table.
- Gravel Extraction and Processing Operation shall occur 2.0 m above the highest recorded groundwater table.
- As a permanent condition, the applicant shall continue implementing its groundwater measurement program within the gravel extraction area and record groundwater readings. Should operations negatively impact groundwater on adjacent parcels, groundwater testing may be required.

Transportation:

- Access to the site is provided off Highway 567.
- The application is to be circulated to AT for their review and comment. Should AT have any requirements, all AT's requirements should be addressed prior to issuance.
- As this is a renewable permit, TOL shall be deferred at this time.
- Engineering have no concerns at this time.

Sanitary/Waste Water:

- As per the MSDP, portable sanitary facilities are on site for sanitary servicing.
- Engineering have no concerns at this time.

Water Supply And Waterworks:

- As per the MSDP, potable water is trucked in for water servicing.
- Engineering have no requirements at this time.

Storm Water Management:

- As a permanent condition, the site shall operate the site (including the requirement to construct any necessary stormwater management facilities) in accordance with the approved Stormwater Management Plan for the site.



- Engineering have no requirement at this time.

Environmental:

- As per County's GIS, wetlands are present on site.
- As a permanent condition, the applicant will be responsible for obtaining all necessary approvals from AEP for wetland disturbance.
- Engineering have no requirements at this time.

Fire Services Review

- No response received at the time of this report.

Capital Project Management Review

- No response received at the time of this report.

Solid Waste and Recycling Review

- No response received at the time of this report.

Transportation Services (February 5, 2020)

- Application involves Development along Alberta Transportation Road Allowance. Therefore, recommend applications to be circulated to Alberta Transportation for review and comments.
- Applicant to be reminded to adhere to the conditions identified within the County Noise Bylaw.
- For gravel pit operations applicant to be reminded to adhere to the conditions within the County's Community Aggregate Payment (CAP) Levy Bylaw.

Utility Services (December 23, 2020)

- No Concerns

OPTIONS:

Option #1 (this would allow the proposed development)

APPROVAL, subject to the following conditions:

Description:

1. That natural resource extraction/processing, processing and sales (Phase1) may continue to operate on the subject site as approved in accordance with the Big Hill Springs Gravel Pit Master Site Development Plan (*Bylaw C-7226-2012*) (MSDP), dated December 11, 2012, (Fig. 5) and the submitted application. This application includes:
 - i. A construction/operation office building, and scale equipment, in accordance with the minimum setback requirements of the zoning district.
 - ii. One (existing) freestanding sign.

Prior to Issuance:

2. That prior to issuance of this Development Permit, the Applicant/Owner shall submit updated recordings of previous readings for the installed piezometers, water and mining pit elevation data (for monitoring purposes), to ensure the excavation plan is not impacting the groundwater table, to the satisfaction of the County.



- i. Should the report find that groundwater levels were exceeded, the Applicant/Owner shall be required to remediate depth of mining to the satisfaction of the County.
3. That prior to issuance of this Development Permit, the Applicant/Owner shall submit the Annual Operations Report for 2017, 2018 and 2019 (if available), in accordance with Section 4 and 10 of the MSDP.
4. That prior to issuance of this Development Permit, the Applicant/Owner shall submit updates/confirmation to the County for the Reclamation Plans for Phase 1, in accordance with the previous approved Reclamation Plan, *[as prepared by Kelham & Associates, Dwg. West-East Conceptual Profiles; Dwgs. 1-4, dated May 2018]*.
 - i. Any noted increases to the proposed Reclamation area within this approval shall be captured, updated and submitted to the County.

Permanent:

5. That any plan, technical submission, agreement, or other matter submitted and approved as part of PRDP20194424, PRDP20180393, or 2013-DP-15360), or submitted in response to a prior to issuance or occupancy condition, shall be implemented and adhered to in perpetuity, including:
 - i. That the noted gravel operation shall operate the site, including the requirement to construct any necessary stormwater management facilities, in accordance with the approved site Stormwater Management Plan (included with 2013-DP-15360).
 - ii. Hydrogeological Groundwater Evaluation, as prepared by Millennium EMS Solutions Ltd., dated July 8, 2013;
 - iii. Phase 1 Piezometer Schedule, as prepared by Kelham & Associates, Inc. dated January 14, 2014; *(as amended)*
 - iv. Stormwater Management Plan & Master Site Drainage Plan, as prepared by Westhoff Engineering Resources, Inc.; dated March 2014
 - v. Erosion and Sediment Control Plan, as prepared by Westhoff Engineering Resources, Inc. and Kelham & Associates Inc., dated April 10, 2014.
6. The site shall operate in accordance with the Big Hill Springs Master Site Development Plan (Bylaw C-7226-2012), dated December 11, 2012.
7. That the area of the site that is open and not reclaimed shall be limited to Phase 1 only. Phase 2 shall not commence until a separate Development Permit has been issued.
8. That any Alberta Environment Registration(s) shall remain in effect.
 - i. That a copy of the Pit Renewal Registration from Alberta Environment shall be submitted to the County.
9. That the site shall operate in accordance with MSDP, dated December 11, 2012, in perpetuity.
10. That reclamation shall proceed behind extraction activities such that no more than 40 acres shall be open at any time. At minimum, 25% of the area of any phase shall be reclaimed before the next phase is permitted to be opened.
11. That any gravel extraction and processing operation shall occur 2.0 m above the highest recorded groundwater table, as approved with the updated groundwater table readings.
12. That the Applicant/Owner shall continue to implement the subject groundwater measurement program within the gravel extraction area and record groundwater readings.



- i. Should extraction operations negatively impact groundwater on adjacent parcels, further groundwater testing may be required, upon request from the County.
- 13. That all equipment associated with the gravel extraction operation shall be located on the land that is designated as Natural Resource Industrial District (NRI).
- 14. That no topsoil shall be removed from the site.
- 15. That no water shall be used for washing of gravel unless and until written approval has been received from Alberta Environment. If washing is approved by Alberta Environment, the washing of gravel shall adhere to the approved days and hours of operation.
- 16. That no wash water shall be discharged off of the site or into any water channel.
- 17. That there shall not be any storage of any materials or vehicles on the property that are not directly related to the operation of the gravel pit.
- 18. That only on-site extraction materials may be processed on-site, except on occasion whereby blend materials from off-site are required to bring products to specification.
- 19. That the existing berms shall be maintained adjacent to Highway 567 and along the west border of the access road (approved under PRDP20193501) to provide a visual and sound barrier for the operation.
- 20. That the berms, overburden stockpiles, and similar earthworks shall be seeded and maintained using erosion control measures.
- 21. That dust control measures shall be utilized for all vehicles during mining and transport of material, and shall be applied to haul and access roads so that no visible dust is allowed on adjacent lands from the site.
- 22. That in the case of any spillage of hazardous materials, Alberta Environment and the County shall be notified immediately, and the appropriate clean-up procedures shall be implemented.
- 23. That the days of operation, including stripping of overburden, aggregate extraction, operation of the crusher, and stockpiling, shall be limited to the following:
 - i. May to October
 - i. Monday to Friday: 7:00 a.m. to 5:30 p.m.
 - ii. Saturday: 7:00 a.m. to 3:30 p.m.
 - ii. November:
 - i. Monday to Friday: 8:00 a.m. to 5:00 p.m.
 - iii. December to April
 - i. Monday to Friday: 8:00 a.m. to 5:00 p.m.
- 24. That recorded noise levels shall not exceed 55db LAeq (1 hour, free field), or 10dB above recorded ambient noise levels (measured as LA90), whichever is the lesser, at the nearest occupied dwellings.
- 25. That no extraction shall not occur below the groundwater table.
- 26. That groundwater monitoring reporting shall be submitted monthly, subject to reporting requirements as conditioned in the required groundwater level measuring summary report.
 - i. That should operations negatively impact groundwater on adjacent parcels, groundwater testing may be required and requested by the County at the Applicant/Owner's expense.



27. That the Applicant/Owner shall submit an Annual Operations Report, to include the items listed in Section 4 and 10 of the MSDP, no later than six months after each operating year.

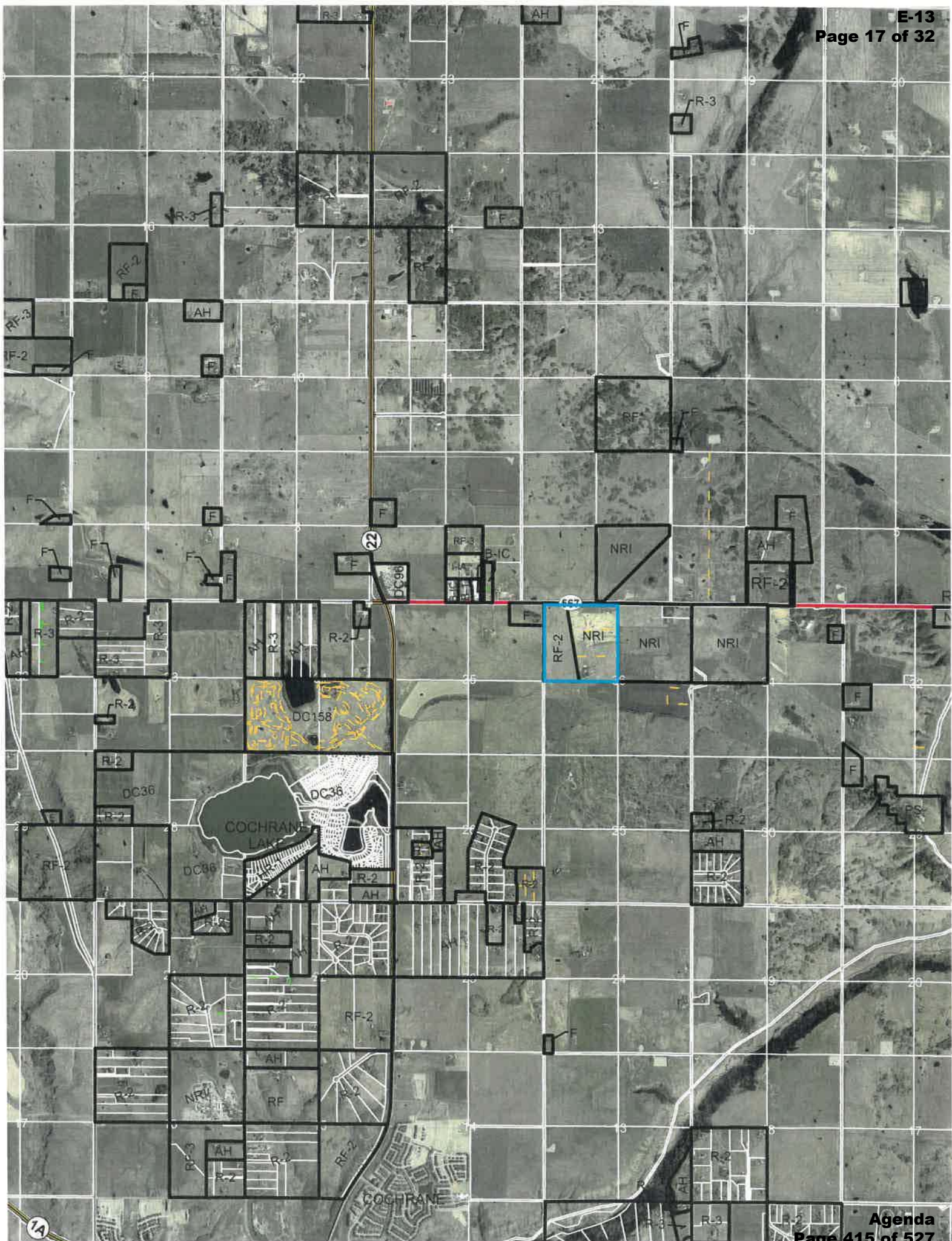
Advisory:

28. That the Applicant/Owner shall operate within the requirements of the Code of Practice for Pits.
29. The Applicant/Owner shall provide payment of the Community Aggregate Payment Levy in accordance with Bylaw C-7748-2018.
30. That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
31. That all sanitary sewage and water services shall be supplied in accordance with Alberta Safety Codes Act and Alberta Environment.
32. That fire suppression and abatement measures shall be followed to the satisfaction of the County.
33. That the site shall remain free of restricted and noxious weeds and maintained in accordance with the Alberta Weed Control Act [Statutes of Alberta, 2008 Chapter W-5.1, December 2017].
34. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
35. That if this development permit is not issued by **SEPTEMBER 30, 2020** or the approved extension date, then this approval is null and void and the development permit shall not be issued.
36. That this Development Permit, if and when issued, shall be valid until **JUNE 30, 2024** or until Phase 1 is complete, whichever is the lesser.

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.





ROCKY VIEW COUNTY
Cultivating Communities

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY **E-13**
Page 18 of 32

Fee Submitted	File Number
Date of Receipt	Receipt #

Name of Applicant Robert Kelham Email [REDACTED]

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

For Agents please supply Business/Agency/ Organization Name Kelham & Associates Inc

Registered Owner (if not applicant) 1189677 Alberta Ltd

Mailing Address 3939 1st Avenue South, Lethbridge, Alberta

Postal Code T1J 4P8

Telephone (B) 403.327.3154 (H) [REDACTED] Fax [REDACTED]

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the NW $\frac{1}{4}$ Section 36 Township 26 Range 4 West of 5 Meridian
- b) Being all / parts of Lot [REDACTED] Block [REDACTED] Registered Plan Number [REDACTED]
- c) Municipal Address 40217 Big Hill Springs Road, Rocky View County, Alberta, T4C 1A1
- d) Existing Land Use Designation NRI Parcel Size [REDACTED] Division 9

2. APPLICATION FOR

Extension of Development Permit for Big Hill Springs Gravel Pit, Phase One # 2013-DP-15360 for a further five years.

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes [REDACTED] No X
- b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes [REDACTED] No X
(Sour Gas facility means well, pipeline or plant)
- c) Is there an abandoned oil or gas well or pipeline on the property? Yes [REDACTED] No X
- d) Does the site have direct access to a developed Municipal Road? Yes [REDACTED] No X

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I ROBERT KELHAM hereby certify that [REDACTED] I am the registered owner
(Full Name in Block Capitals)

X I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

Applicant's Signature [Signature]

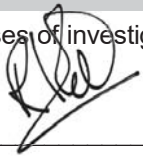
Date 01 November 2019

Owner's Signature [REDACTED]

Date [REDACTED]

5. RIGHT OF ENTRY


I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Applicant's Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 911 – 32 Ave NE, Calgary, AB, T2E 6X6; Phone: 403-520-8199.

I, **Robert Kelham**, _____, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.



Signature

01 November 2019

Date



70 Jewell Street, Red Deer, AB, T4P 3W3, Canada
Phone: 403.505.4856; e-mail: rkelham@kelham.ca

20 October 2019

By email attachment

Jaqueline Targett
Development Officer
262075 Rocky View Point
Rocky View County Alberta T4A 0X2
JTargett@rockyview.ca

Hillstone Aggregates – Application for Renewal of Natural Resource Extraction and Processing

Permit # PRDP20180393 was issued 05 June 2018 and was valid up to 27 June 2019 with several "Prior to Issuance" conditions which have now been met.

As all marketable gravel has not been extracted and processed and reclamation is not complete, we need to extend the validity of our Development Permit for a further five years.

The first extension was issued for one year. It was not feasible or practical to complete Phase 1 given this time constraint. This is anticipated in the 2012 MSDP and the Renewal Application dated 04 January 2018. I have attached MSDP Figure 12 to this Application illustrating this requirement.

We continue to operate using the same business model that we established in 2013.

The following items demonstrate responsible management of this gravel pit;

1. Our Tax Account is current.
2. Our CAP account is current.
3. We have had zero environmental incidents.
4. We have completed reclamation where feasible.
5. We have lived up to the spirit and intent of the commitments made within the MSDP, particularly in reference to dust and noise control.

Please call or email me if you need further information or clarification: 403.505.4856 or rkelham@kelham.ca.

Robert M Kelham PEng

copy: Martin Wright Hillstone Aggregates

attachments: Completed Application for Development Permit
Current Certificate of Title
Authorization for Kelham to act as Agent
Site Plan – General Layout



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0018 246 223 5;4;26;36;NW 071 455 473

LEGAL DESCRIPTION

MERIDIAN 5 RANGE 4 TOWNSHIP 26
SECTION 36
QUARTER NORTH WEST
AS SHOWN ON TOWNSHIP PLAN APPROVED AT OTTAWA 22 AUGUST 1892
CONTAINING 67.5 HECTARES (166.8 ACRES) MORE OR LESS
EXCEPTING THEREOUT:
PLAN NUMBER HECTARES (MORE OR LESS) ACRES
ROADWAY 8110102 0.869 2.15
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 071 426 649

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
071 455 473	12/09/2007	TRANSFER OF LAND	\$4,500,000	CASH & MORTGAGE

OWNERS

1189677 ALBERTA LTD.
OF C/O SUITE 3800,855 2 STREET SW
CALGARY
ALBERTA T2P 4J8

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION		
NUMBER	DATE (D/M/Y)	PARTICULARS
751 092 444	27/08/1975	UTILITY RIGHT OF WAY GRANTEE - COCHRANE LAKE GAS CO-OP LTD.
141 300 626	05/11/2014	MORTGAGE

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

071 455 473

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
--------	--------------	-------------

MORTGAGEE - CANADIAN IMPERIAL BANK OF COMMERCE.
 595 BAY ST,SUITE 500
 TORONTO
 ONTARIO M5G2C2
 ORIGINAL PRINCIPAL AMOUNT: \$3,000,000

TOTAL INSTRUMENTS: 002

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
 ACCURATE REPRODUCTION OF THE CERTIFICATE OF
 TITLE REPRESENTED HEREIN THIS 1 DAY OF
 NOVEMBER, 2019 AT 02:32 P.M.

ORDER NUMBER: 38297707

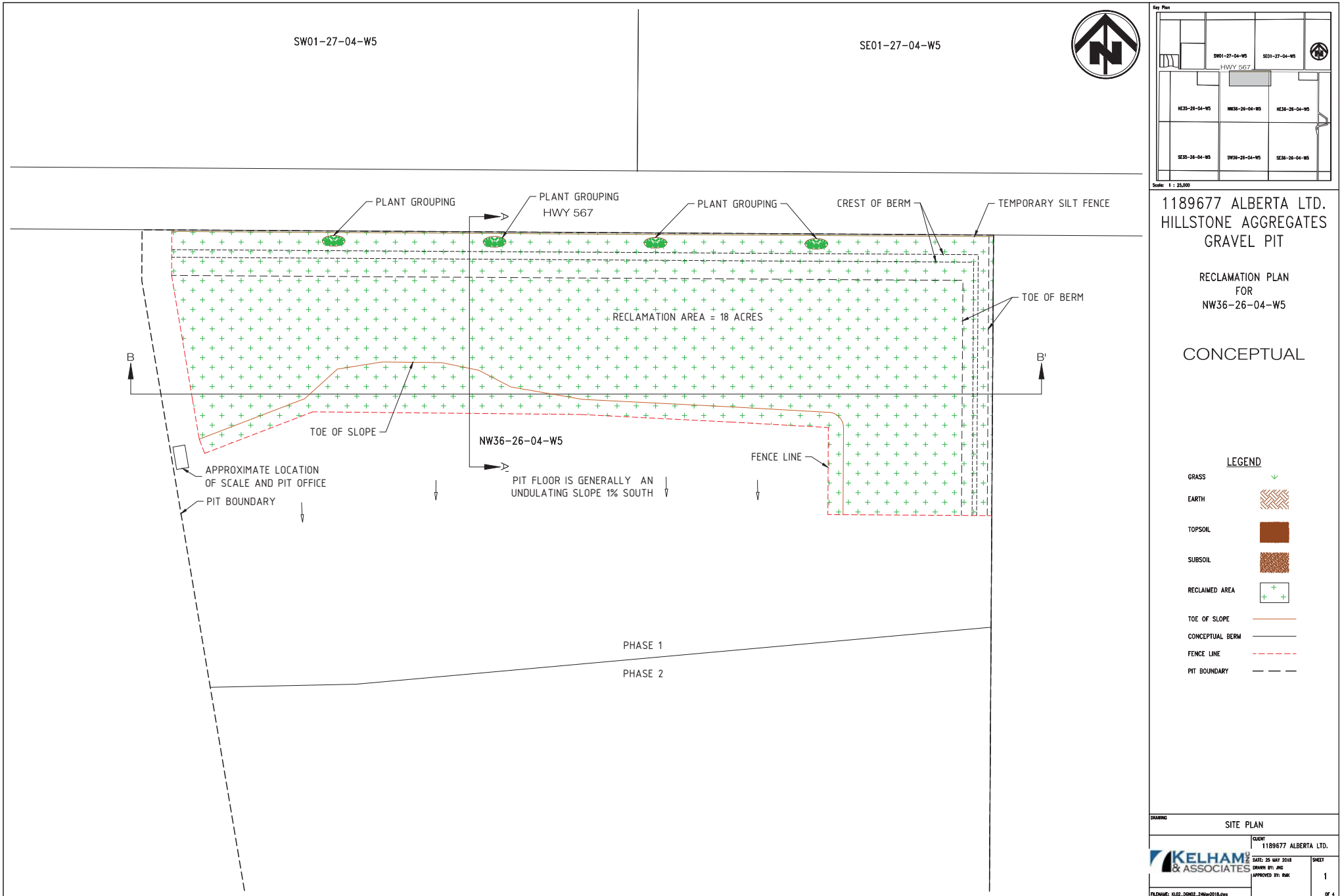
CUSTOMER FILE NUMBER:

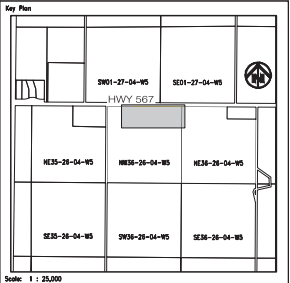
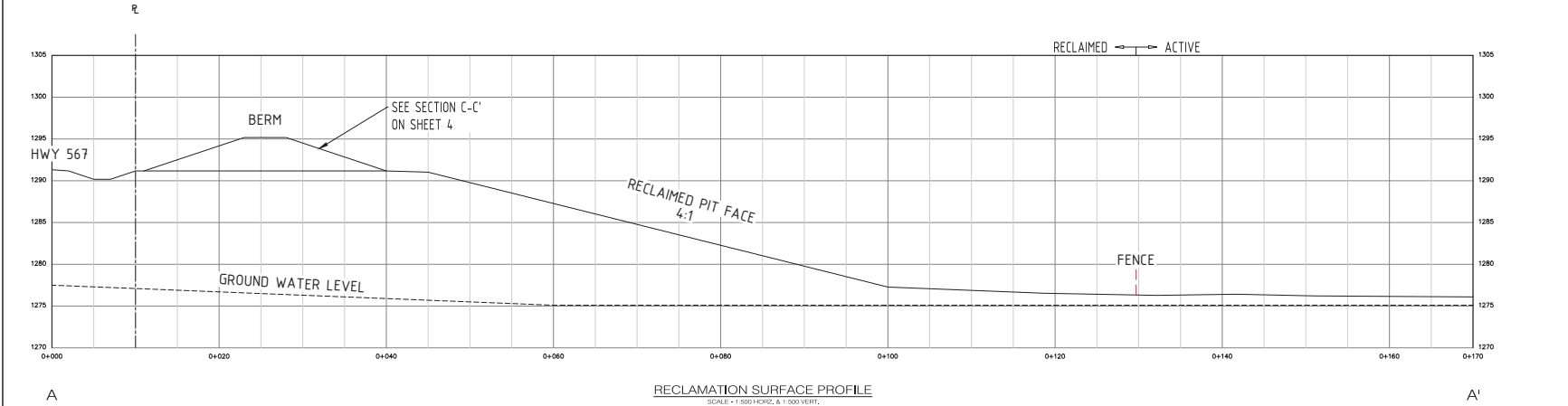
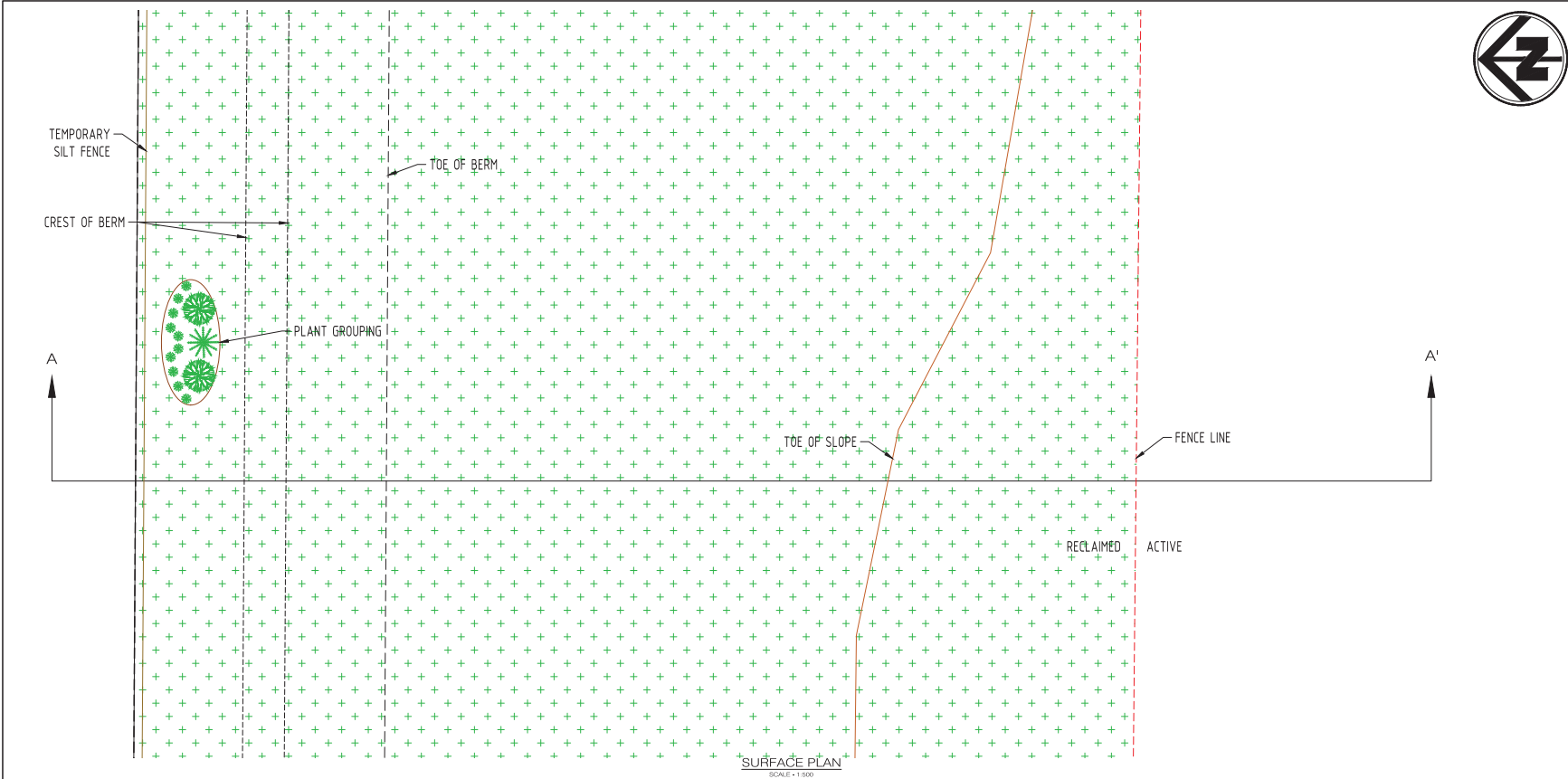


END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
 FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
 SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
 INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
 APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
 PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
 OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

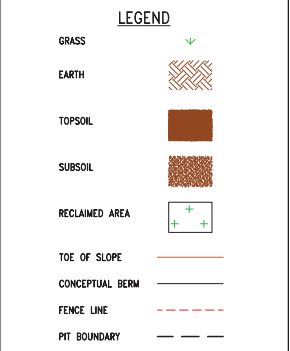




1189677 ALBERTA LTD.
HILLSTONE AGGREGATES
GRAVEL PIT

RECLAMATION PLAN
FOR
NW36-26-04-W5

CONCEPTUAL



DRAWING
NORTH-SOUTH CONCEPTUAL PROFILES

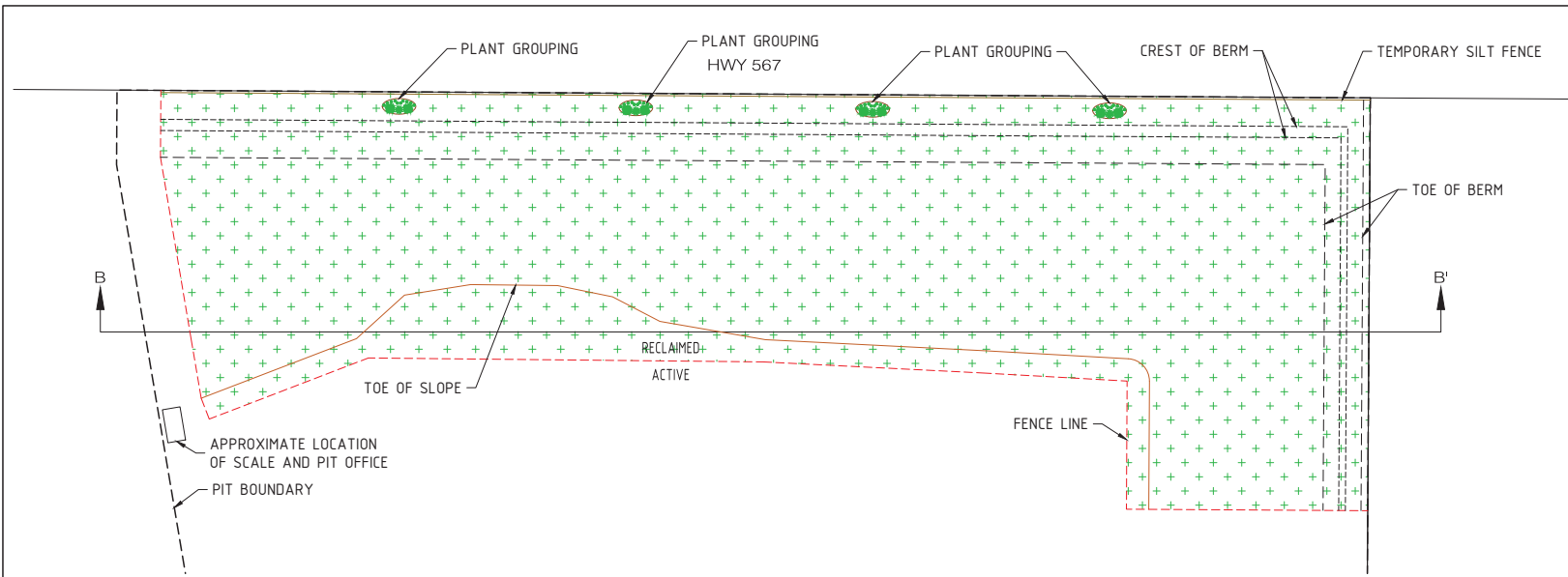
CLIENT
1189677 ALBERTA LTD.

DATE: 29 MAY 2018
DRAWN BY: JMG
APPROVED BY: RAK

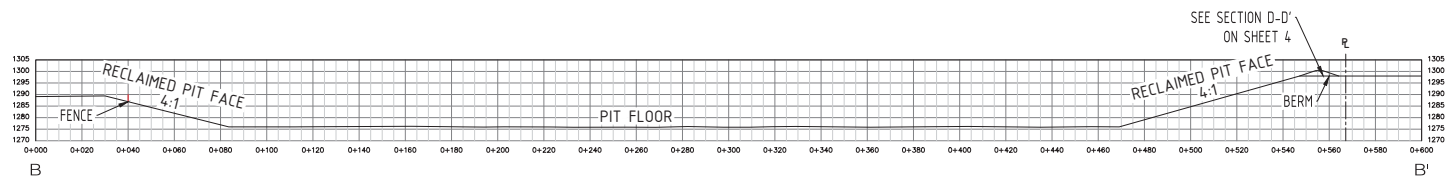
KELHAM & ASSOCIATES

SHEET
2
OF 4

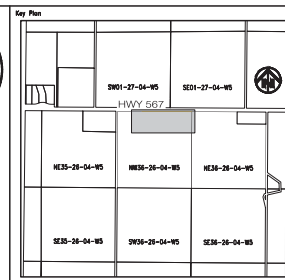
FILENAME: K182_20182_24May2018.dwg



SURFACE PLAN
SCALE = 1:1000



RECLAMATION SURFACE PROFILE
SCALE = 1:1000 HORIZ, & 1:1000 VERT.



1189677 ALBERTA LTD.
HILLSTONE AGGREGATES
GRAVEL PIT

RECLAMATION PLAN
FOR
NW36-26-04-W5

CONCEPTUAL

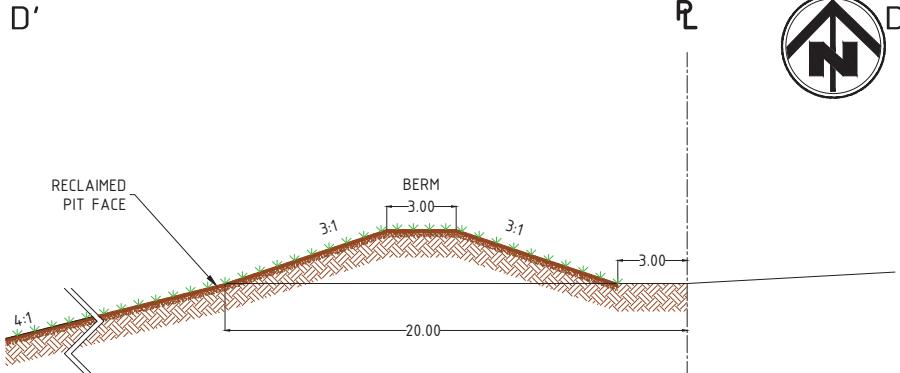
LEGEND

- GRASS
- EARTH
- TOPSOIL
- SUBSOIL
- RECLAIMED AREA
- TOE OF SLOPE
- CONCEPTUAL BERM
- FENCE LINE
- PIT BOUNDARY

CHALLENGE WEST-EAST CONCEPTUAL PROFILES

CLIENT	1189677 ALBERTA LTD.
DATE: 29 MAY 2018	DRAWN BY: JMG
APPROVED BY: RUK	SHEET 3

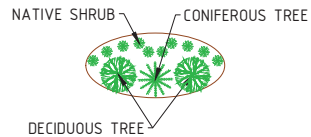
FILENAME: 1182_20182_20180501.dwg



TYPICAL EAST BERM CROSS SECTION
NOT TO SCALE



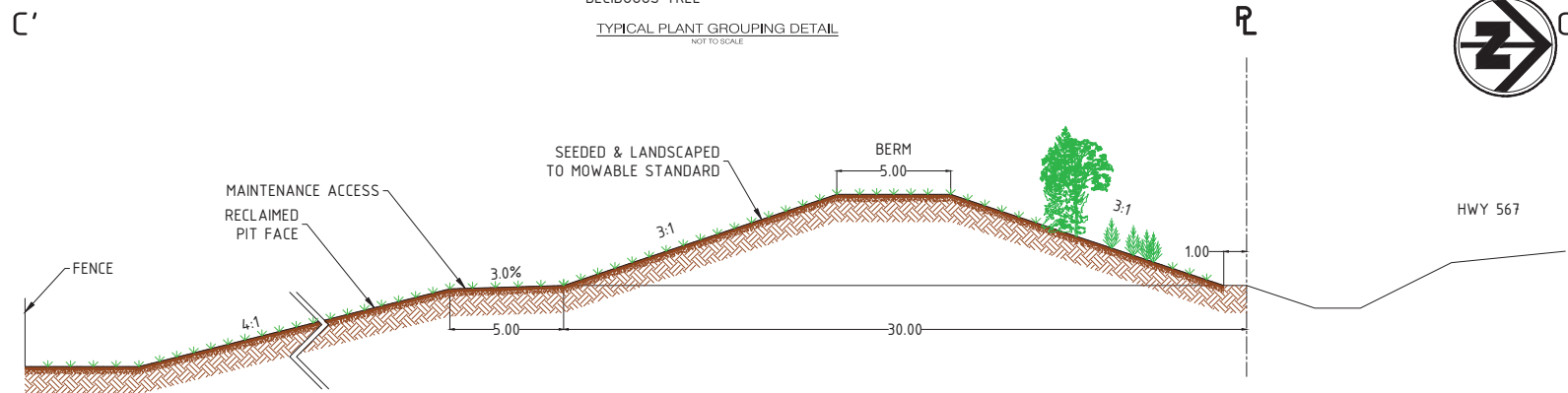
SOIL DETAIL
NOT TO SCALE



DECIDUOUS TREE ✓

TYPICAL PLANT GROUPING DETAIL

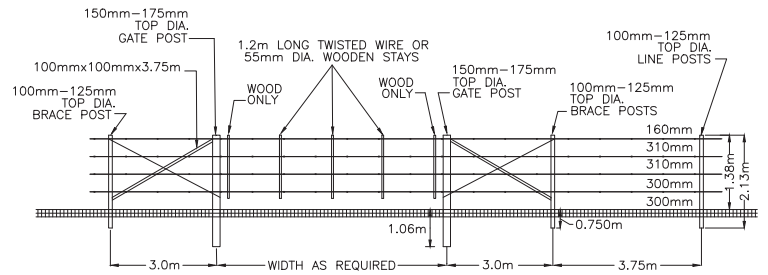
NOT TO SCALE



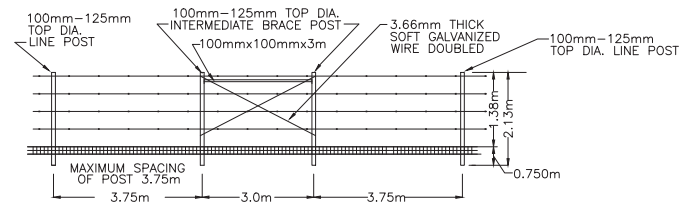
LANDSCAPING AND RECLAMATION NOTES:

1. WEED CONTROL - CUT DOWN ALL LONG GRASS / WEEDS TWICE A YEAR, OR OTHER APPROVED METHOD(S), TO LIMIT THE SPREAD OF INVASIVE SPECIES.
2. PLANT MATERIAL - SUPPLY AND INSTALL FOUR PLANTING BEDS ON THE NORTH SIDE OF THE BERM ALONG HIGHWAY 567. PLANTING BEDS TO BEGIN 4m FROM CREST OF BERM AND CONTINUE AS NEEDED. PLANT BEDS TO BE MULCHED TO A DEPTH OF 75mm. PLANTS ARE TO BE ON A WATERING SCHEDULE AS PER THE SUPPLIERS INSTRUCTIONS. EACH PLANTING BED SHALL CONTAIN:
 - ONE CONIFEROUS TREE (LODGEPOLE PINE OR SIMILAR)
 - TWO DECIDUOUS TREES (NORTHWEST OR PLAINS POPLAR OR SIMILAR)
 - TEN NATIVE SHRUBS (EG. SASKATOON, WOODS ROSE, WOLF WILLAR, SNOWBERRY)
3. EROSION AND SEDIMENT CONTROL - INSTALL SILT FENCE OR SIMILAR ALONG THE BASE OF THE PLANTING BEDS. ALL TREE AND SHRUB WELLS TO BE DESIGNED TO RETAIN MAXIMUM WATER, ELIMINATING RUNOFF OF DISTURBED SOIL.

TYPICAL NORTH BERM CROSS SECTION
NOT TO SCALE












ELEVATION FARM GATE



ELEVATION FENCE
TYPICAL FENCE DETAIL
NOT TO SCALE



LEGEND

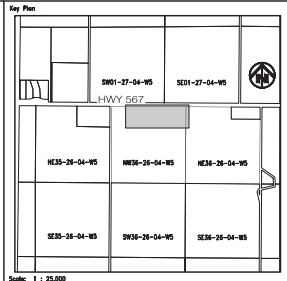
GRASS	
EARTH	
TOPSOIL	
SUBSOIL	
RECLAIMED AREA	
TOE OF SLOPE	
CONCEPTUAL BERM	
FENCE LINE	
PIT BOUNDARY	

FENCE MATERIAL SPECIFICATIONS:

LINE POSTS- 2.13m LONG AND 100mm-125mm TOP DIA.
GATE STAYS - 1.2m LONG AND 55mm TOP DIA. WOODEN OR
 - 1.2m LONG TWISTED WIRE
GATE, INTERSECTION, AND END CORNER POSTS
2.44m LONG AND 150mm-175mm TOP DIA.
100mm X 100mm DIMENSION LUMBER BRACES
3.66mm THICK SOFT GALVANIZED WIRE FOR DIAGONAL BRACING (APPROX. 1.5kg PER BRACE)
40mm STAPLES (APPROX. 140 STABLE PER kg)
BARBED WIRE (1 SPOOL = 402m)
TWO STRAND BARBED WIRE (FOUR POINT GALVANIZED, 2.5mm THICK STRANDS)

FENCE NOTES:

1. ALL FENCING POSTS SHALL BE PRESSURE TREATED.
2. ALLOWABLE TAPER FROM END TO END OF POSTS SHALL NOT EXCEED 38mm IN DIAMETER. POSTS SHALL BE INSTALLED WITH THE LARGE END DOWN.
3. SINGLE STRAND BARBED WIRE ALLOWED IF REQUESTED BY THE LANDOWNER.



1189677 ALBERTA LTD.
HILLSTONE AGGREGATES
GRAVEL PIT

RECLAMATION PLAN
FOR
NW36-26-04-W5

CONCEPTUAL

APPROVAL PROVINCE OF ALBERTA

WATER ACT, R.S.A. 2000, c.W-3, as amended

APPROVAL NUMBER: 00437646-00-00
FILE NUMBER: 00437646
EFFECTIVE DATE: July 16, 2019
EXPIRY DATE: December 31, 2022
WATER BODY: Unnamed water bodies
ACTIVITY LOCATION: NW 36-026-04-W5M
APPROVAL HOLDER: 1189677 Alberta Ltd.

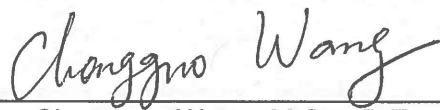
Pursuant to the *Water Act*, R.S.A. 2000, c.W-3, as amended, an Approval is issued to the Approval Holder to commence, continue and discontinue the following activities:

placing, constructing, operating, maintaining, removing, disturbing works, in or on any land, water or water body; (the Activity)

to permanently disturb seven (7) water bodies for the purpose of constructing the remaining portions of a gravel pit located at NW 36-026-04-W5M

subject to the attached terms and conditions.

Designated Director under the Act:


Chongguo Wang, M.Sc., P.Eng.

Date Signed: July 16, 2019

PART 1: DEFINITIONS

- 1.0 All definitions from the Act and the Regulations apply except where expressly defined in this Approval.
- 1.1 In all parts of this Approval:
- (a) "Act" means the *Water Act, RSA 2000, c. W-3*, as amended;
 - (b) "Director" means an employee of the Government of Alberta designated as a Director under the Act; and
 - (c) "Regulations" means the regulations, as amended, enacted under the authority of the Act.

PART 2: GENERAL

- 2.0 The Approval Holder shall immediately report to the Director by telephone any contravention of the terms and conditions of this Approval at 1-780-422-4505.
- 2.1 The terms and conditions of this Approval are severable. If any term or condition of this Approval is held invalid, the application of such term or condition to other circumstances and the remainder of this Approval shall not be affected thereby.
- 2.2 The Approval Holder shall not deposit or cause to be deposited any substance in, on, or around the water body that has, or may have, the potential to adversely affect the water body.
- 2.3 The Approval Holder shall retain a copy of this Approval at the site of the Activity at all times while conducting the Activity.

PART 3: PARTICULARS

- 3.0 This Approval is appurtenant to the following:
- (a) the undertaking as described as the fill into seven (7) water bodies as shown in Plan No. 00437646-P001, as specified in Table 3-1.
- 3.1 The Approval Holder shall only undertake the Activity in accordance with the following plan as specified in Table 3-1.

TABLE 3-1: PLANS AND REPORTS

TITLE	DEPARTMENT REFERENCE NUMBER
Field Delineated Wetland Boundaries of the Proposed Big Hill Springs Gravel Pit Expansion – Phase 2, Figure 4, Date: September 2018.	00437646-P001

- 3.2 The Approval Holder shall retain a copy of the plan referred to in Table 3-1 at the site of the Activity at all times while conducting the Activity.
- 3.3 The Approval Holder shall not undertake the Activity in any manner or use any material that causes or may cause an adverse effect on the aquatic environment, human health, property or public safety.
- 3.4 The Activity authorized under this Approval shall be completed by November 30, 2022.

PART 4: SILTATION AND EROSION CONTROL

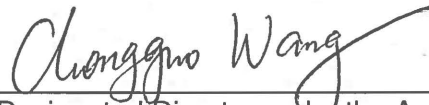
- 4.0 The Approval Holder shall not do or permit anything to be done, nor omit or permit any omissions, which causes or may cause an adverse effect related to:
 - (a) siltation; or
 - (b) erosionas a result of the Activity.
- 4.1 The Approval Holder shall:
 - (a) develop a written Siltation and Erosion Control Plan prior to commencing the Activity;
 - (b) implement the Siltation and Erosion Control Plan; and
 - (c) retain a copy of the Siltation and Erosion Control Plan at the site of the Activity at all times while conducting the Activity.
- 4.2 The Siltation and Erosion Control Plan shall include, at a minimum, the following information:
 - (a) measures to minimize and avoid siltation of a water body;
 - (b) measures to minimize and avoid erosion;
 - (c) measures to ensure no removal of disturbance of bank vegetation occurs outside the site of the Activity;
 - (d) site preparation practices to be used on erodible soils;
 - (e) measures for the management of water flow to minimize siltation and erosion of any water body;
 - (f) measures for the stabilization of all disturbed areas until vegetation or other long-term erosion control methods are fully established and functioning;

- (g) measures for the management of excavated material; and
- (h) any other information required in writing by the Director.

PART 5: CERTIFICATE OF COMPLETION

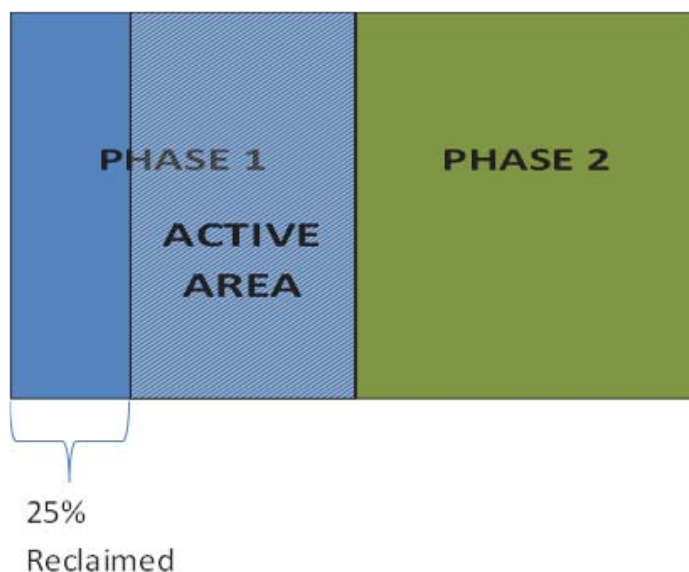
- 5.0 The Approval Holder shall submit a Certificate of Completion to the Director within 30 days following completion of the Activity.
- 5.1 The Certificate of Completion shall include:
 - (a) a statement that the Activity has been completed in accordance with the Approval; and
 - (b) any other information requested in writing by the Director.

Date Signed: July 16, 2019



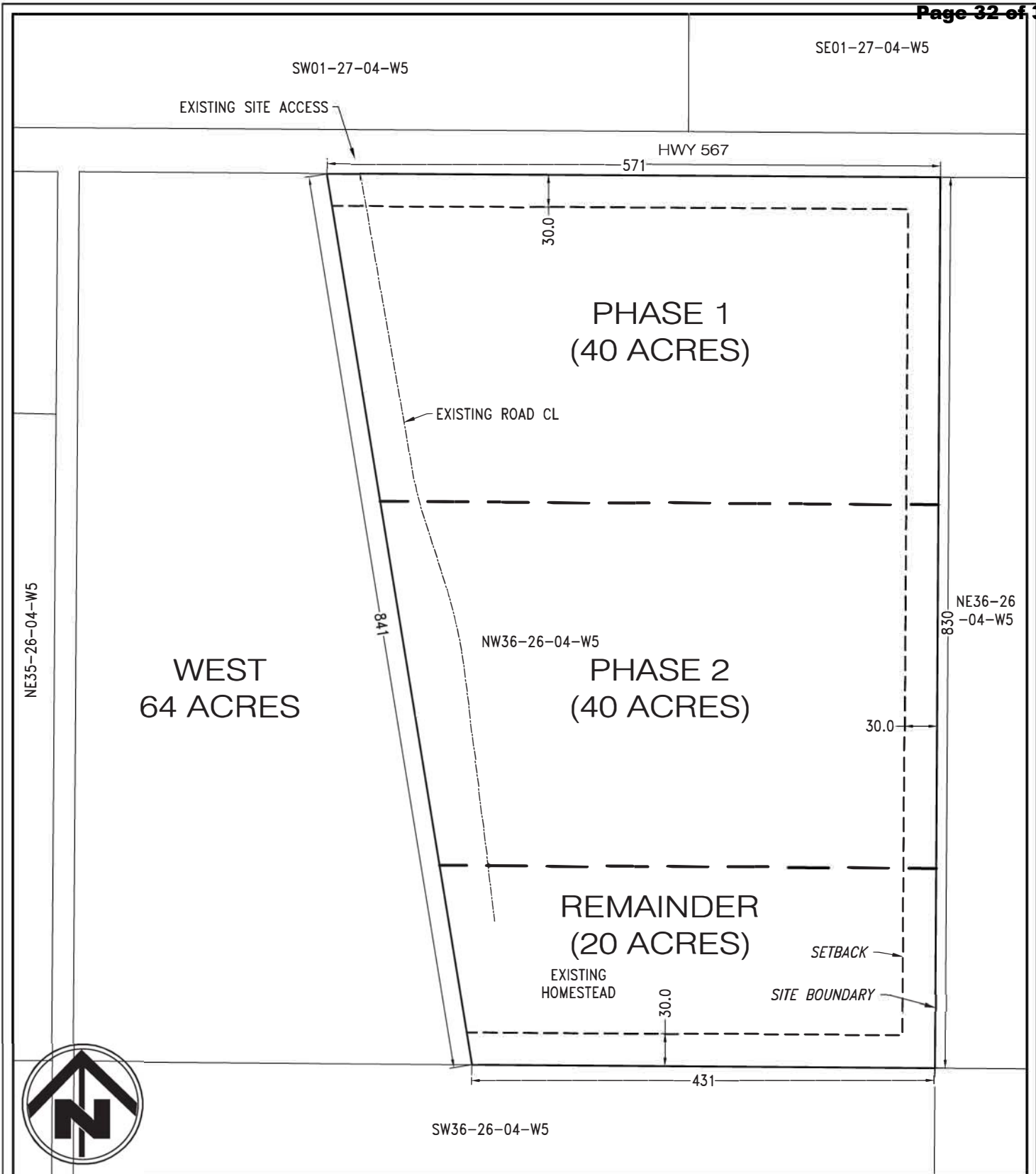
Designated Director under the Act
Chongguo Wang, M.Sc., P.Eng.

From: 2012 MSDP



This sketch is for illustrative purposes only and is not to scale. It shows the Active Area (shaded, max 40 ac) moving from north to south. The north section of Phase 1 (blue, unshaded, 25%) represents the reclaimed area. The shaded area (Active Area) moves from north to south and enters Phase 2 (Green). This implies that a DP for Phase 2 will be required late in the life of Phase 1 so that the Active Area is never > 40 acres.

Overlapping of Active Area when Transitioning from Phase One to Phase Two



KELHAM
& ASSOCIATES

Drawing
DEVELOPMENT LAYOUT
PLAN
NOT FOR CONSTRUCTION

Client
1189677 ALBERTA LTD.

Project
HILLSTONE AGGREGATES
GRAVEL PIT

Scale: 1 : 5,000	Date: October 1, 2018
Drawn: JNG	Project No.: KL02
Designed: RMK	Dwg File: KL02_DGN05_010ct2018
Checked: RMK	
Approved: RMK	

Drawing No.

D1

Agenda

PLANNING & DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: March 9, 2020

DIVISION: 09

APPLICATION: PRDP20200058

SUBJECT: Development Item: Sales Centre and Signage

APPLICATION: Placement of a Temporary Sales Centre and Signage

GENERAL LOCATION: Located approximately 0.81 km (1/2 mile) west of Hwy. 22 and 1.21 km (3/4 mile) north of Twp. Rd. 264.

LAND USE DESIGNATION: Direct Control District 36 (DC 36)

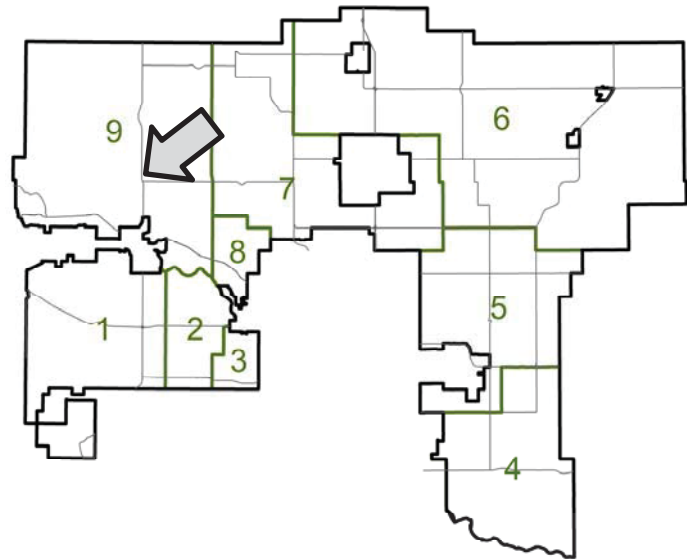
ADMINISTRATION RECOMMENDATION:

Administration recommends approval in accordance with Option #1.

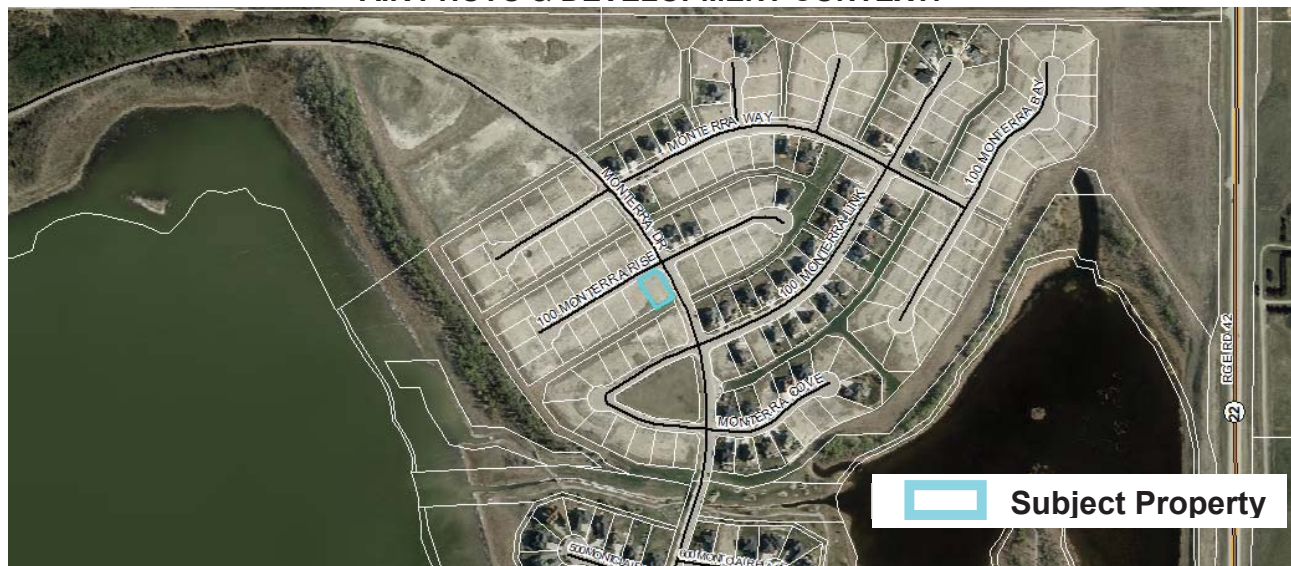
OPTIONS:

Option #1: THAT Development Permit Application PRDP20200058 be approved with the conditions noted in the Development Permit Report, attached.

Option #2: THAT Development Permit Application PRDP20200058 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Christina Lombardo –Planning & Development Services

**DEVELOPMENT PERMIT REPORT**

Application Date: January 22, 2020	File: 06827249
Application: PRDP20200058	Applicant/Owner: Paul Bergmann / Enright Monterra G.P. Ltd
Legal Description: UNIT 31, Plan 0810165; NE-27-26-04-W05M	General Location: Located approximately 0.81 km (1/2 mile) west of Hwy 22 and 1.21 km (3/4 mile) north of Twp Rd 264
Land Use Designation: Direct Control 36 (DC-36)	Gross Area: ± 0.11 hectares (± 0.28 acres)
File Manager: Christina Lombardo	Division: 09

PROPOSAL:

The proposal is for the construction of a Temporary Sales Centre. The Sales Centre is located within Direct Control District 36, under Cell 2. The municipal address is 63 Monterra Rise in the Cochrane Lake subdivision.

The Sales Centre will be utilized by the homebuilders and Enright Monterra to sell homes in the subdivision. The Sale Centre will be 75.81 sq. m. (816.01 sq. ft.) in area and includes an exterior 97.92 sq. m (1,054.00 sq. ft.) parking area, utility cover and front deck with ramp. The Centre will be temporarily serviced by a septic holding tank, water cistern and propane tank for heating with piped electric from the subdivision grid. The Centre will include a temporary foundation and exterior skirting.

Property History:

There are no historic development permits or building permits on this parcel to date.

Redesignation / Subdivision

2006-RV-182 Application to facilitate the development of Phase 2 of the Cochrane Lakes project, consisting of 175 single family residential units ranging in size between .25 acres and .55 acres registered within a bare land condominium plan, 10 common use units for road and walkways, 1 environmental reserve and 2 municipal reserve parcels.

Direct Control District 36:

Section 4.1 The General Land Use Regulations as contained in Section 8 of the Land Use Bylaw do not apply except where specifically noted herein.

Section 4.2 The Development Officer shall consider and decide on applications for Development permits for those uses which are listed as "Permitted Uses" and "Discretionary Uses" by this bylaw provided the provisions of Section 4.0 and 10.0 herein are completed in form and substance satisfactory to the Municipality, except where specifically noted that Council approval is required.

- a. Notwithstanding Section 4.2, for Residential Development Cells 1 through 4, Permitted Used listed in the Bylaw are deemed approved, and Development Permits are not required, provided the provisions of the Bylaw are adhered to.*

Section 5.1 For the purposes of this bylaw, the following shall apply in all Residential Development Cells (including the existing Homestead Cell):

5.1.1.3 Minimum required front yard setback is 6.00 m. (19.68 ft.):

- *The proposed front yard setback is 15.12 m. (49.61 ft.)*
- *The Sales Centre is away from the north property line with the parking area to the north of the Sales Centre.*

5.1.1.4 Minimum required street side yard of a corner site setback is 3.0 m. (9.84 ft.) and 2.4 m. (7.87 ft.) for all other sites:

- *The proposed street side yard of a corner site setback is 7.24 m (23.75 ft.); and 12.67 m. (41.57 ft.) from the internal property line;*
- *The Sales Centre is within required setbacks from both the east and west property lines;*

5.1.1.5 Minimum required rear yard setback is 8.00 m. (26.25 ft.):

- *The proposed rear yard setback is 13.22 m. (43.37 ft.) from the south property line.*

Section 11.6 Notwithstanding anything to the contrary, the construction of dwelling units for show-home purposes only, may be permitted at the discretion of the Development Officer within a Residential Development Cell upon the issuance of a Development Permit by the Municipality. No residential occupancy of the said dwelling units shall occur until such time as all required utility services are installed, available and working to service the said dwelling units and the Development Officer has issued an Occupancy Permit, and until a plan of survey is registered for the applicable residential units.

Land Use Bylaw Requirements

Section 8 Definitions

TEMPORARY SALES CENTRE means a use:

a) where a dwelling or a parcel of land is offered for sale to the public;

- *The temporary Sales Centre is used to advertise the sale of residential lots in Cochrane Lake.*

b) that may include Sales offices and displays of materials used in the construction of the dwelling that is offered for sale; and

- *Promotional signage will be used to cover a Utility Cover area.*

c) shall only occur:

(i) in a dwelling, which may be temporarily modified to accommodate the use; or

(ii) in a temporary building less than 150.00 sq. m (1,614.00 sq. ft.) in size; and

- *The Sales Centre is approximately 75.81 sq. m. (816.01 sq. ft.).*

d) shall not operate for longer than two (2) years.

- *This is the first application for a Sales Centre and two (2) years will be granted.*

Section 20.8 *Show Homes and Temporary Sales Centre*

- a) *The construction or use of an unoccupied dwelling unit for the purpose of a show home for the sale of other dwelling units by the same builder for other dwellings units within the same approved subdivision require a Development Permit;*
- b) *A temporary Sales Centre and/or a show home shall not be occupied as a residence;*
 - Applicant has not advised the building will be utilized as a residence but will strictly be operated as a sales centre.
- c) *A temporary Sales Centre and/or a show home are allowed in all residential districts as a discretionary use;*
 - The Sales Centre is located in the Residential Development Cell 2 (Phase II).
- d) *There shall be a maximum of 1 show home for every 20 parcels in a single phase subdivision; or no more than 1 show home for every 10 lots within a single phase of a multi-phase approved subdivision. In a subdivision of less than 20 lots, 1 show home may be allowed;*
 - This is the first and only Sales Centre proposed within this Cell.
- e) *Development Permits may be issued prior to the registration of a phase of a subdivision, providing that: the phase has received approval by the Subdivision Approving Authority, there is a Development Agreement in place and there is a gravel surfaced road constructed from the developed County road to the show parcel in accordance with the Development Agreement;*
 - Monterra Drive and 100 Monterra Rise are paved roads for access to the Sales Centre.
- f) *The conditions of the Development Permit for the show home(s) may include the following:*
 - (i) *Advertising signs and features, providing details of these features including location, type, and number were submitted as part of the application. All advertising signs and features shall be removed immediately upon the cessation of use of the building as a show home;*
 - (ii) *The show home shall not be open to the public for viewing unless and until the road is paved to County standards to the show homes from the County road and there are at least 4 off street parking spaces per show home to be constructed to a minimum standard of a compacted gravel surface in subdivisions that do not have curb and gutter;*
 - (iii) *There shall be signs posted at adjacent occupied residences by the show home builder indicating that these homes are private and not for viewing;*
 - (iv) *The show home shall be closed to the public within 30 days of the date that 90% of the homes are occupied in the phase of the subdivision or within 30 days of the date that 90% of all the lots in the subdivision are occupied, whichever occurs first;*
 - (v) *The advertised hours that the show home is open to the public shall not be earlier than 9:00 am or later than 6:00 pm, except that during the first 14*

days of the use of the building as a show home, extended public viewing hours may be permitted for no more than 3 days;

(vi) Conditions of the permit do not limit the private showing by appointment of the show home at any time.

- Note these requirements are not applicable as this application is for a Sales Centre.

Section 35 Sign Regulations

- 35.1 In considering a Development Permit application for signs, or advertising material, the Development Authority may consider such factors as:
- a) Location of the proposed signage
 - There is one freestanding sign located on the north side of the Sales Centre used as a utility cover.
 - Two sandwich boards located on the north and south side of the parcel.
Note: any offsite signage shall require a separate development permit approval.
 - b) Distance from the roadway
 - All three (3) signs will be located on the subject parcel and not on the roadway.
 - c) Size
 - The utility cover on the north side of the Sales Centre is approximately the same size as the Sales Centre. This signage will act as an extension of the building to cover the placement of utilities servicing the building.
 - The two (2) sandwich boards contain directional information of the Sales Centre.
 - d) Height
 - The utility cover sign is proposed to mirror the height and size of the Sales Centre.
 - e) Method of illumination
 - All signs are non-illuminated.
 - f) Such other considerations as the Development Authority may deem to be relevant.

STATUTORY PLANS:

The subject lands are located within the Cochrane Lake Hamlet Plan ASP and the Cochrane Lake Conceptual Scheme. There is no guidance in the policy documents relating to Sales Centres or signage in the area and therefore the application has been evaluated in accordance with the Land Use Bylaw.

INSPECTOR'S COMMENTS:

Inspection: February 4, 2020

- No materials on site
- No signage
- Grade elevation is consistent with road
- No development across from site (vacant lot)
- Location of Sales Centre will have minimal impact on neighborhood

CIRCULATIONS: Requested comments by February 12, 2020Alberta Transportation (February 19, 2020)

- In reviewing the application, the proposed development falls within the control distance of a provincial highway as outlined in the Highways Development and Protection Act / Regulation, and will require a roadside development permit from Alberta Transportation.
- Sign installation shall be in accordance with the recommended practice guidelines.
<http://www.transportation.alberta.ca/Content/docType233/Production/51OnPremiseSigns.pdf>

Building Services (February 11, 2020)

- Prior to Issuance - development to determine the number of parking stalls required to determine any barrier free stall locations.
- Advisory condition - Applicant is required to submit a Building permit application using our industrial/commercial/institutional checklist-
[https://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Building/checklists/Commercial-Industrial-Institutional Checklist.pdf](https://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Building/checklists/Commercial-Industrial-Institutional%20Checklist.pdf)
- Advisory condition - Subject to the type of construction of the Sales center 9.36. or NECB 2017 requirements may apply.
- The drawings and information listed in the checklist from items 1-11 (as applicable) shall be submitted as part of the Building permit application in a complete and satisfactory manner.
- Specific requirements for engineering may apply subject to the scope of the Sales center construction type

Development Compliance (January 23, 2020)

- Recommend that dust and noise control measures be required during construction of the Sales Centre;
- Recommend that all signage comply with Section 35 of the Land Use Bylaw.

Planning and Development Services - Engineering (February 13, 2020)**General:**

- The review of this file is based upon the application submitted. These conditions/ recommendations may be subject to change to ensure best practices and procedures;

Geotechnical:

- The county GIS contours indicates that there are slopes less than 15%.
- As per the applicant, the sales center is a pre-fabricated structure with temporary foundation and four gravel parking stalls.
- Engineering have no requirements at this time.

Transportation:

- Access to the proposed parcel is provided off Monterra Drive and 100 Monterra Rise.
- The proposed development is unlikely to result in an increase in traffic on the local road network. Traffic Impact Assessment will not be required.
- As this is a renewable permit, Transportation Off-site Levy will not be applicable.
- Engineering have no requirements at this time.

Sanitary/Waste Water:

- As per the applicant, the sanitary servicing will be provided by a temporary holding tank.
- Engineering have no requirements at this time.



Water Supply And Waterworks:

- As per the applicant, the water servicing will be provided by a temporary water tank.
- Engineering have no requirements at this time.

Storm Water Management:

- As a permanent condition, the site shall operate in accordance with the approved Stormwater Management Plan for the Monterra Phase 2 and County's servicing standards.
- Engineering have no requirements at this time.

Environmental:

- Based on GIS review, no environmental constraints are present on site.
- Engineering have no requirements at this time.

Fire Services

- No comments received at time of report preparation.

Utility Services (January 23, 2020)

- No concerns

OPTIONS:

Option 1: (this would allow the development to proceed)

APPROVAL, subject to the following conditions:

Description:

- 1) That a temporary Sales Centre, approximately 75.81 sq. m. (816.01 sq. ft.) in area may remain on the subject lands in accordance with the drawings submitted with the application as prepared by E2&Associates, dated Jan 14, 2020 and includes:
 - a) A 97.92 sq. m (1,054.00 sq. ft.) parking area, utility cover and front deck with ramp;
 - b) One (1) façade sign and two (2) directional / sandwich board signs

Permanent:

- 2) That no residential occupancy of the temporary Sales Centre shall occur at any time.
- 3) That the site shall be maintained in accordance with the application drawings and shall employ good house-keeping measures.
- 4) That all signage shall be maintained in accordance with the site plan as submitted with the application.
- 5) That all signage shall not be illuminated, flashing, or animated, and shall be kept in a safe, clean and tidy condition at all times.
- 6) That all on site lighting shall be "dark sky" and all private lighting, including site security lighting and parking area lighting, shall be designed to conserve energy, reduce glare, and reduce uplight. All development shall be required to demonstrate lighting design that reduces the extent of spill-over glare and eliminates glare as viewed from nearby residential properties.
- 7) That the site shall operate in accordance with the approved Stormwater Management Plan for Monterra Phase 2 and County's Servicing Standards.



- 8) That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application, in response to a prior to issuance or occupancy condition, shall be implemented and adhered to in perpetuity.

Advisory:

- 9) That during placement of the Sales Centre, all construction materials shall be maintained onsite, in a neat and orderly manner in accordance to the County's Unsightly Premise Bylaw C-5755-2003. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
- 10) That the Sale Centre operations shall adhere to the County's Noise Bylaw C-5772-2003 at all times.
- 11) That a Building Permit shall be obtained through Building Services using the Commercial/Industrial Checklist requirements, prior to the placement of the Temporary Sales Centre.
- 12) That any other Federal, Provincial or County permits, approvals, and/or compliances, including a Roadside Development Permit from Alberta Transportation are the sole responsibility of the Applicant/Owner.
- 13) That if the development authorized by the Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void.
- 14) That this Development Permit shall be valid until **April 8, 2022**.

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.



DC158





ROCKY VIEW COUNTY
Cultivating Communities

20200058

FOR OFFICE USE ONLY **E-14**
Page 11 of 28

Fee Submitted \$530.00	File Number 06827249
Date of Receipt Jan 13/20	Receipt # 2020 023239

APPLICATION FOR A DEVELOPMENT PERMIT

Name of Applicant PAUL BERGMANN ENTRIGHT MONTEIRA G.P. LTD. Email [REDACTED]
Mailing Address [REDACTED] Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]
For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) ENTRIGHT MONTEIRA G.P. LTD.
Mailing Address AS ABOVE Postal Code _____
Telephone (B) _____ (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

a) All / part of the N 1/2 1/4 Section 27 Township 26 Range 04 West of 5 Meridian
b) Being all / parts of Lot _____ Block _____ Registered Plan Number _____
c) Municipal Address (MONTEIRA PHASE II) 63 Monteiro Rise
d) Existing Land Use Designation DC 36 Parcel Size .28 Division _____

2. APPLICATION FOR

Accessory dwelling unit / sales centre (temporary)
SIGNS - ON SITE + OFF SITE

3. ADDITIONAL INFORMATION

a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No ☒
b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No ☒
(Sour Gas facility means well, pipeline or plant)
c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No ☒
d) Does the site have direct access to a developed Municipal Road? Yes ☒ No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I PAUL BERGMANN hereby certify that _____ I am the registered owner
(Full Name in Block Capitals)

☒ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

Affix Corporate Seal
here if owner is listed
as a named or
numbered company

Applicant's Signature [Signature]
Date DEC

Owner's Signature [Signature]
Date DEC

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.


Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, PAUL BELGMANN, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

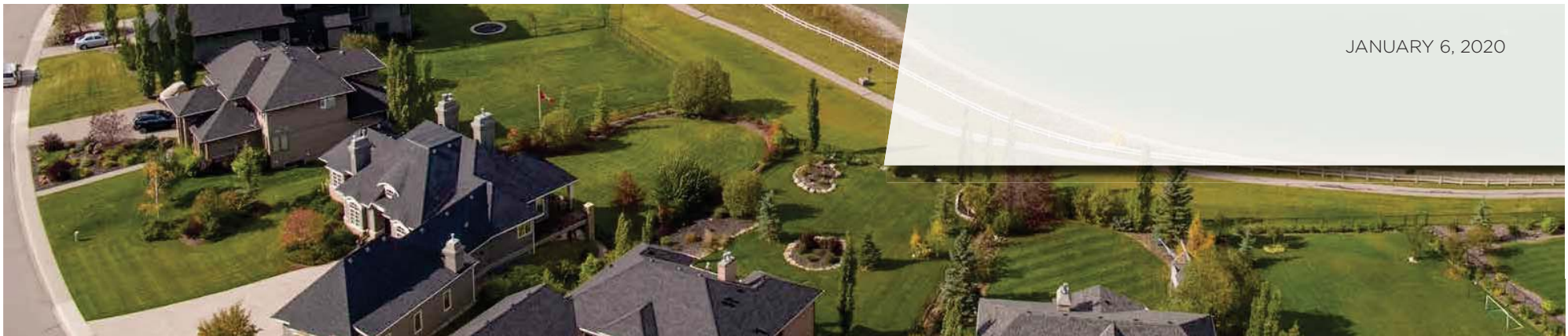

Signature

~~DEC~~ JAN 13 / 20
Date



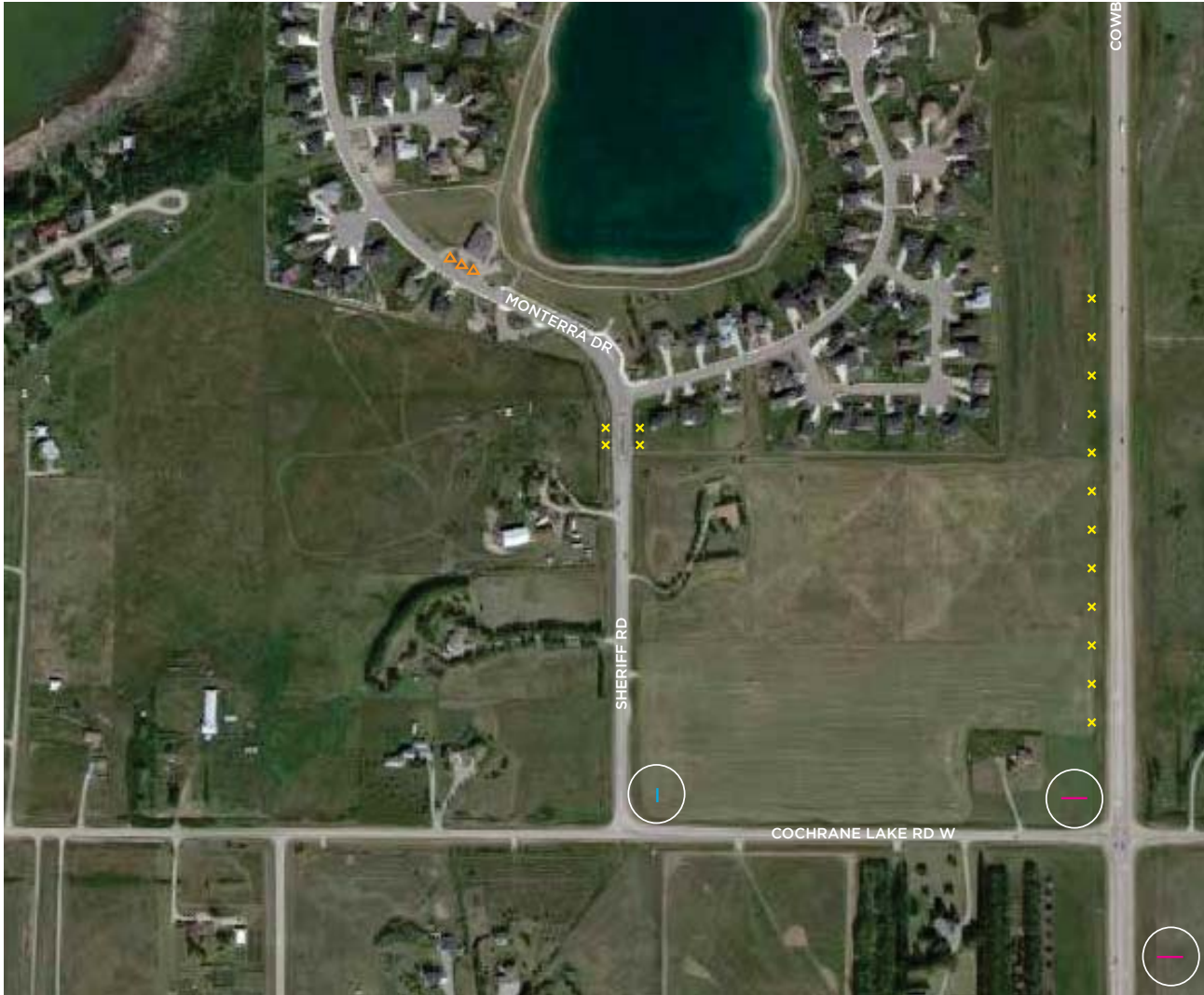
MONTERRA COMMUNITY SIGNAGE/PAGEENTRY PROPOSAL

JANUARY 6, 2020





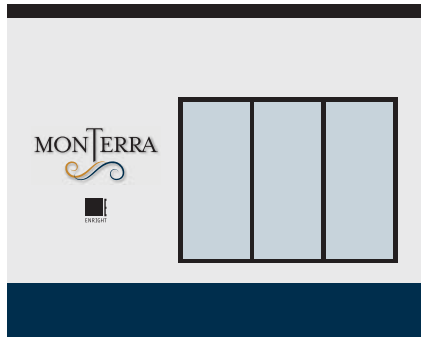
- **SALES GALLERY**
- ▲ **PORTABLE DIRECTIONAL SANDWICH BOARDS** (QTY. 6+)
- **EXISTING LIGHT STANDARDS/FLAGS** (QTY. 25)
- × **EXISTING FLAG POLES** (QTY. 31)
- **DIRECTIONAL SIGNAGE 16' x 8'** (QTY. 2 DOUBLE SIDED,
- **DIRECTIONAL SIGNAGE 16' x 8'** (QTY. 1- SINGLE SIDED)
- **DIRECTIONAL SIGNAGE 8' x 8'** (QTY. 1 DOUBLE SIDED)



- SALES GALLERY
- ▲ PORTABLE DIRECTIONAL SANDWICH BOARDS (QTY. 6+)
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- DIRECTIONAL SIGNAGE 16' x 8' (QTY. 1- SINGLE SIDED)
- DIRECTIONAL SIGNAGE 8' x 8' (QTY. 1 DOUBLE SIDED)



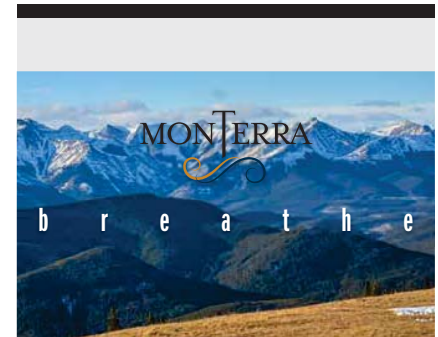
SOUTH FACING

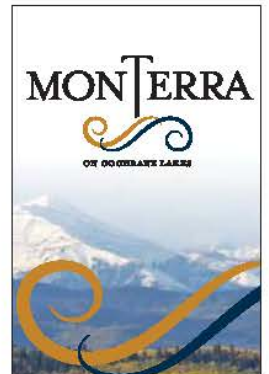


EAST FACING

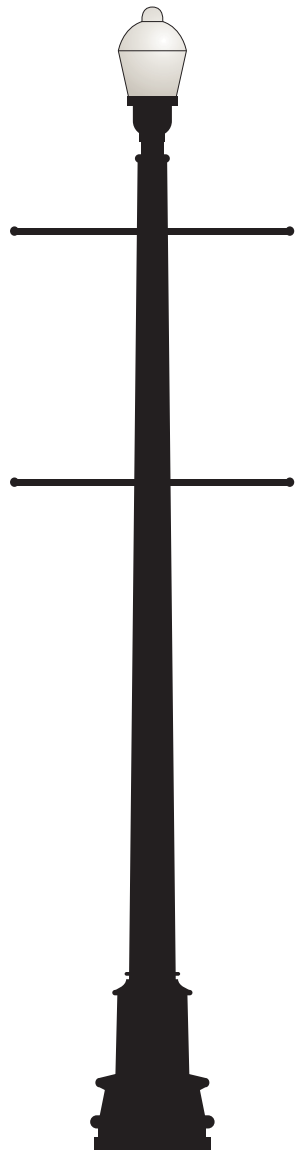


NORTH FACING





24" x 36"
DOUBLE SIDED



EXISTING LIGHT
STANDARD



24" x 48"





72" x 36"

EXISTING
FLAG POLE





MONterra

ROOM TO

breathe

livemonterra.ca

SALES CENTER >>>

16' x 8'

A large rectangular graphic with a mountain landscape background. It features the "MONTERRA" logo at the top, followed by "ROOM TO" in small letters and "breathe" in large letters. At the bottom, there is a dark blue bar containing the website "livemonterra.ca" and a "SALES CENTER" sign with a double arrow icon.

MONTERRA

ROOM TO

breathe

livemonterra.ca

SALES CENTER

16' x 8'

A large banner for the MONterra elbow room sales center. The banner features the MONterra logo at the top, a photograph of two houses flanking a field with mountains in the background, the text "elbow room" in the center, and a dark blue footer with "livemonterra.ca" and "SALES CENTER NEXT RIGHT" with an arrow.

MONterra

elbow room

livemonterra.ca

SALES CENTER NEXT RIGHT ➤➤➤

16' x 8'



A large banner image for "MONterra elbow room". The background is a landscape featuring two large, light-colored houses with dark roofs on either side, with a wide, flat field in the center and a range of snow-capped mountains in the distance under a cloudy sky. The word "MONterra" is centered at the top in a serif font, with a decorative orange and blue swirl below the "T". The words "elbow room" are centered in the middle in a white, lowercase, sans-serif font. At the bottom, there is a dark blue horizontal bar containing the text "livemonterra.ca" in orange and white, and "SALES CENTER" in white, preceded by three orange chevrons pointing left.

16' x 8'



8' x 8'



LAND TITLE CERTIFICATE

S		
LINC	SHORT LEGAL	TITLE NUMBER
0032 972 440	0810165;43	191 233 340

LEGAL DESCRIPTION

CONDOMINIUM PLAN 0810165

UNIT 43

AND 57 UNDIVIDED ONE TEN THOUSANDTH SHARES IN THE COMMON PROPERTY
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

ATS REFERENCE: 5;4;26;27;N

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 121 297 982

REGISTERED OWNER(S)				
REGISTRATION	DATE(DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
191 233 340	15/11/2019	TRANSFER OF LAND		SEE INSTRUMENT

OWNERS

ENRIGHT MONTERRA G.P. LTD.
OF SUITE 800, 110-12 AVENUE SW
CALGARY
ALBERTA T2R 0G7

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
051 344 306	16/09/2005	EASEMENT OVER AND FOR BENEFIT OF: SEE INSTRUMENT
081 017 891	14/01/2008	UTILITY RIGHT OF WAY GRANTEE - TELUS COMMUNICATIONS INC. GRANTEE - SHAW CABLESYSTEMS LIMITED. GRANTEE - COCHRANE LAKE GAS CO-OP LTD. GRANTEE - FORTISALBERTA INC. AS TO PORTION OR PLAN:0810169

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
191 233 340

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
------------------------	--------------	-------------

AS TO R/W 'B'

081 017 894	14/01/2008	CAVEAT RE : RESTRICTIVE COVENANT PURSUANT TO MUNICIPAL GOVERNMENT ACT
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081 017 896	14/01/2008	RESTRICTIVE COVENANT
-------------	------------	----------------------

081 366 907	29/09/2008	CAVEAT RE : RESTRICTIVE COVENANT
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* ADDITIONAL REGISTRATIONS MAY BE SHOWN ON THE CONDOMINIUM ADDITIONAL
PLAN SHEET

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 13 DAY OF
JANUARY, 2020 AT 03:23 P.M.

ORDER NUMBER: 38634952

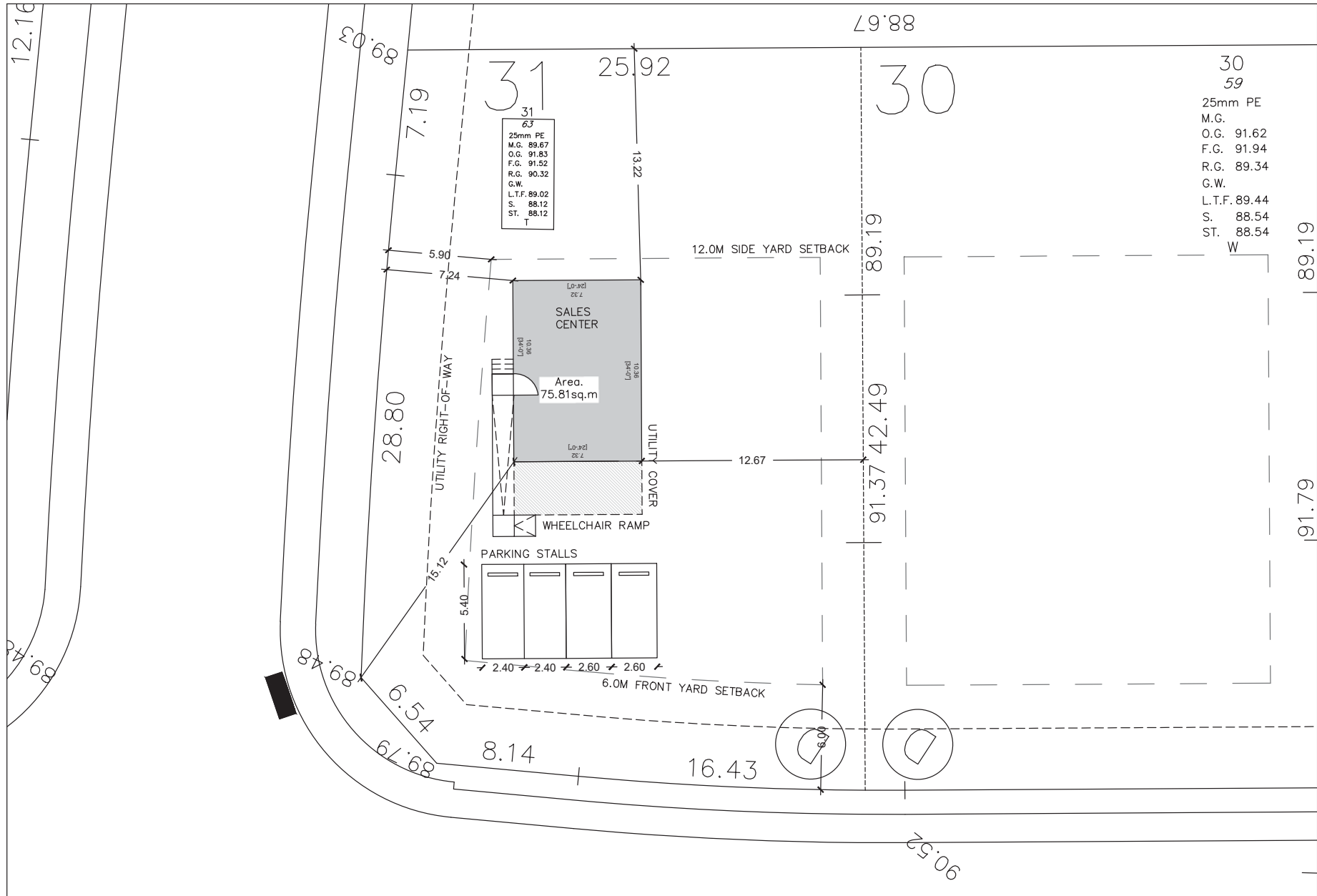
CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



Consultant:



e2+associates

Suite 300 - 4723 1st Street S.W.
Calgary, Alberta, Canada
T2G 4Y8 (403)256-5123
www.e2.associates



Revisions:

[illegible]

Project/Phase:

Monterra
on Cochrane Lakes

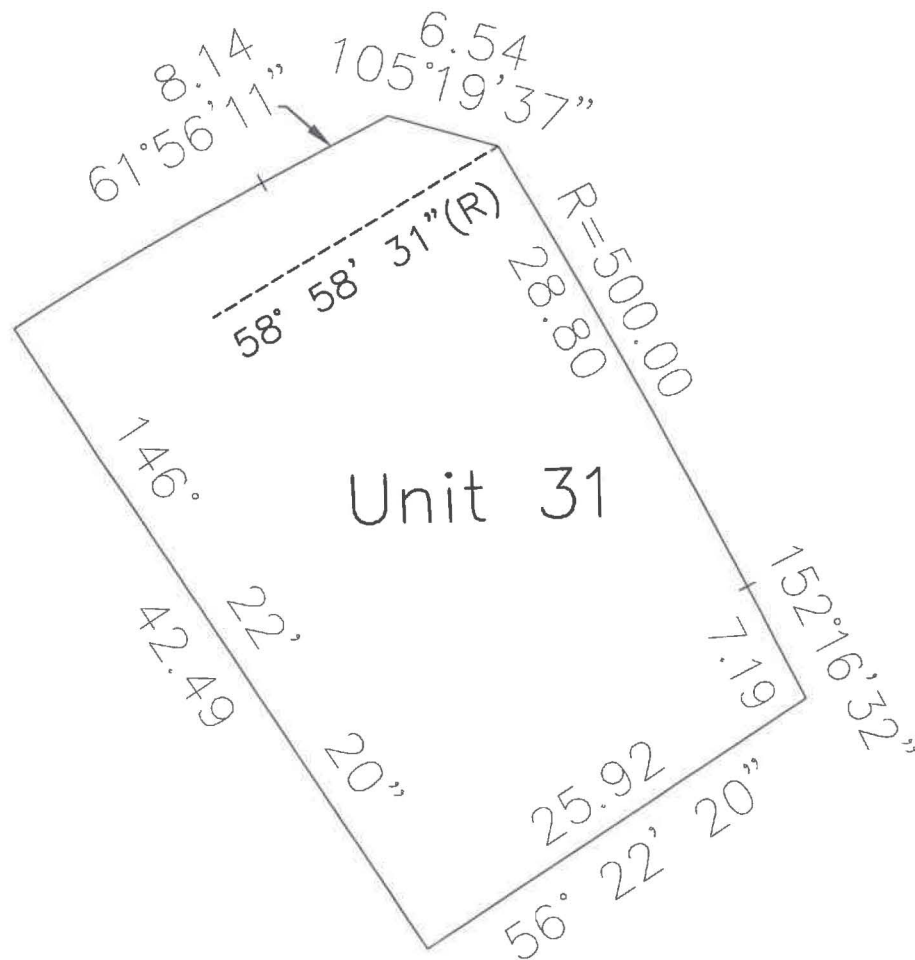
Sheet Contents:

Preliminary Plot Plan (Grading and Siting)

DRAWN by: Patrick Lewthwaite

DATE: Jan 14/2020

SCALE: 1:200



LEGAL INFORMATION

Cochrane Lakes Phase 2 Lot 31

Suite 300 - 4723 1st Street S.W.
Calgary, Alberta, Canada
T2G 4Y6 (403)298-5123
www.e2.associates

Sheet Contents:

DRAWN by: RN

DATE: Dec 6, 2019

SCALE: NTS

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 08
SUBJECT: Development Item: Accessory Building

DATE: March 9, 2020
APPLICATION: PRDP20200001

APPLICATION: construction of an accessory building (pool cabana), relaxation of the minimum rear yard setback requirement

GENERAL LOCATION: Located approximately 1.61 km (1 mile) north of Hwy. 1A and on the east side of Bearspaw Rd.

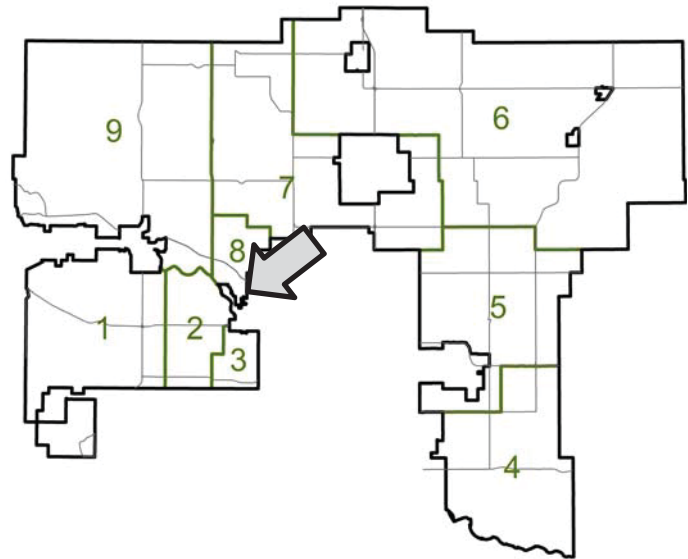
LAND USE DESIGNATION: Residential One (R-1) District

ADMINISTRATION RECOMMENDATION:

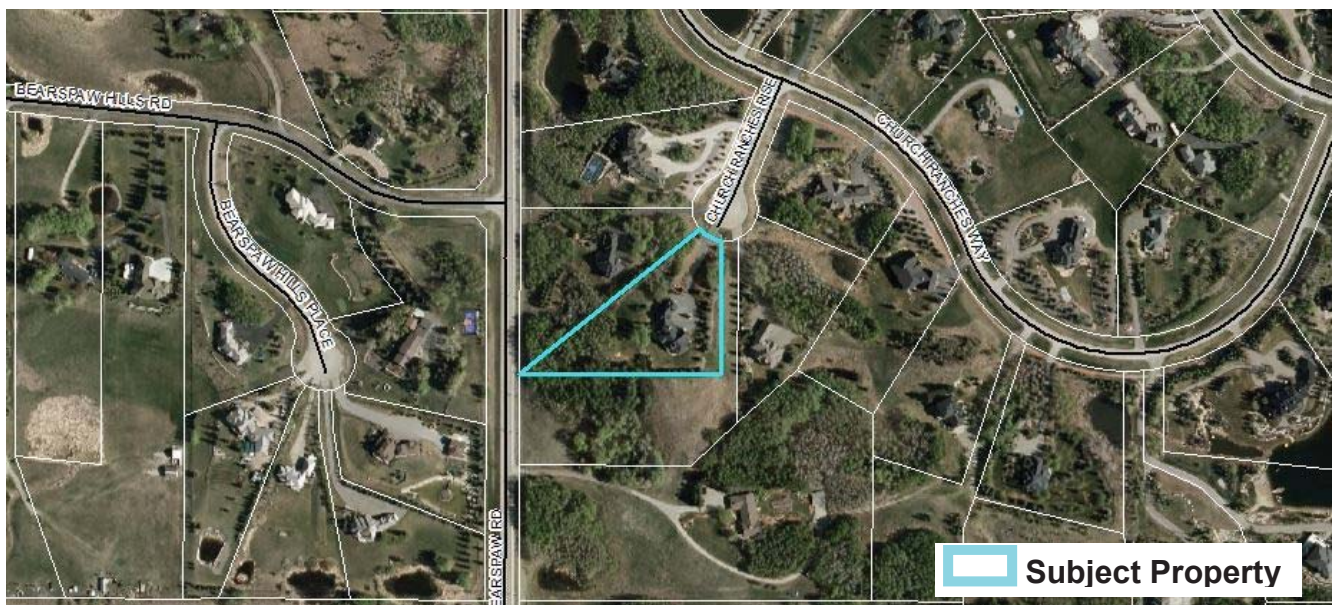
Administration recommends approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20200001 be approved with the conditions noted in the report.
- Option #2: THAT Development Permit Application PRDP20200001 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



Application No.	PRDP20200001	File Manager	Andrea Bryden
District	Residential One (R-1)	Gross Area (ha)	0.88
Use	Accessory Building (Pool Cabana), Relaxation of Rear Yard Setback		

Use and District Intent Check	Yes/No
Is the proposed development a listed use?	Yes
Does the proposed development meet the use definition?	Yes
Does the proposed development meet the Purpose and Intent?	Yes

Comments

Area property lines adjacent to a paved road?					
Front Yard	Yes	Side Yard 1	No	Side Yard 2	No

Comments

		Regulation	Min/Max	Proposed	Δ	Variance
Principal Building:	48.5 (b)	Front Yard Setback (m)			0.00	
	(c)	Side Yard Setback (m)			0.00	
	(c)	Side Yard Setback (m)			0.00	
	(d)	Rear Yard Setback (m)			0.00	
	48.6	Habitable Floor Area (m ²)			0.00	
	48.7	Building Height (m)			0.00	
	20.3	SDD/lot	1		-1.00	
Acc. Bld #1	48.5 (b)	Front Yard Setback (m)	15.00	> 15.0	#VALUE!	
	(c)	Side Yard Setback (m)	3.00	> 3.0	#VALUE!	
	(c)	Side Yard Setback (m)	3.00	> 3.0	#VALUE!	
	(d)	Rear Yard Setback (m)	7.00	5.60	-1.40	20.00%
	48.7 (b)	Building Height (m)	7.00	4.06	-2.94	
	48.2	Single Acc. Bld Area (m ²)	120.00	15.90	-104.10	
Acc. Bld #2	48.5 (b)	Front Yard Setback (m)			0.00	
	(c)	Side Yard Setback (m)			0.00	
	(c)	Side Yard Setback (m)			0.00	
	(d)	Rear Yard Setback (m)			0.00	
	48.7 (b)	Building Height (m)			0.00	
	48.2	Single Acc. Bld Area (m ²)			0.00	

Comments

General Accessory Building Regulations					
20.3	ADU/lot	1		-1.00	
48.9	Total Acc. Bld Area (m ²)	120.00	15.90	-104.10	
48.10	No. Acc. Bld	2.00	1	-1.00	

Comments

Does the proposed development (including variances):	Yes/No
Unduly interfere with the amenities of the neighbourhood?	No
Materially interfere with or affect the use, enjoyment or value of neighbouring parcels of land?	No

Comments

Doc Type	Policy Name	Applicable Policies?	Compliance with Policies
IGP	Interim Growth Plan	No	
IDP	Calgary	No	
MDP	County Plan	No	
ASP	Bearspaw	No	
CS		N/A	

Comments

BP/DP History	House constructed in 2003; PRBD20193779 for swimming pool issued.
Inspector Comments	There is an outdoor pool in the backyard with construction supplies having been stockpiled for use. Work has not commenced; however, they appear ready to start. Proposed structure is close to the property line.
Overall Assessment	The accessory building would appear minor in nature and would be an ancillary structure onsite to the existing dwelling, single detached and private swimming pool. Although a rear yard variance is being requested, the reduction in setback would appear to not negatively impact any adjacent properties.
Non-Standard Conditions	



--	--

OPTIONS (PRDP20200001):

Option #1 (this would grant the requested proposal)

APPROVAL, subject to the following conditions:

Description:

1. That an Accessory Building (Pool Cabana), approximately 15.90 sq. m (171.45 sq. ft.) in area, may be constructed on the subject land in general accordance with the approved plans and includes:
 - a. That the minimum rear yard setback requirement is relaxed from **7.00 m (22.97 ft.)** to **5.60 m (18.37 ft.)**.

Permanent:

2. That the proposed Accessory Building (Pool Cabana) shall not be used for commercial purposes at any time, except for a Home-Based Business, Type I or an approved Home-Based Business, Type II.
3. That the proposed Accessory Building (Pool Cabana) shall not be used for residential occupancy purposes at any time.
4. That the exterior siding and roofing materials of the Accessory Building (Pool Cabana) shall be similar/ cohesive to the existing dwelling, single-detached and/or area.
5. That there shall be no more than 1.00 m (3.28 ft.) of fill placed adjacent to or within 15.00 m (49.21 ft.) of the proposed building under construction, which is used to establish approved final grades unless a Development Permit has been issued for additional fill and topsoil.
6. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Authority.

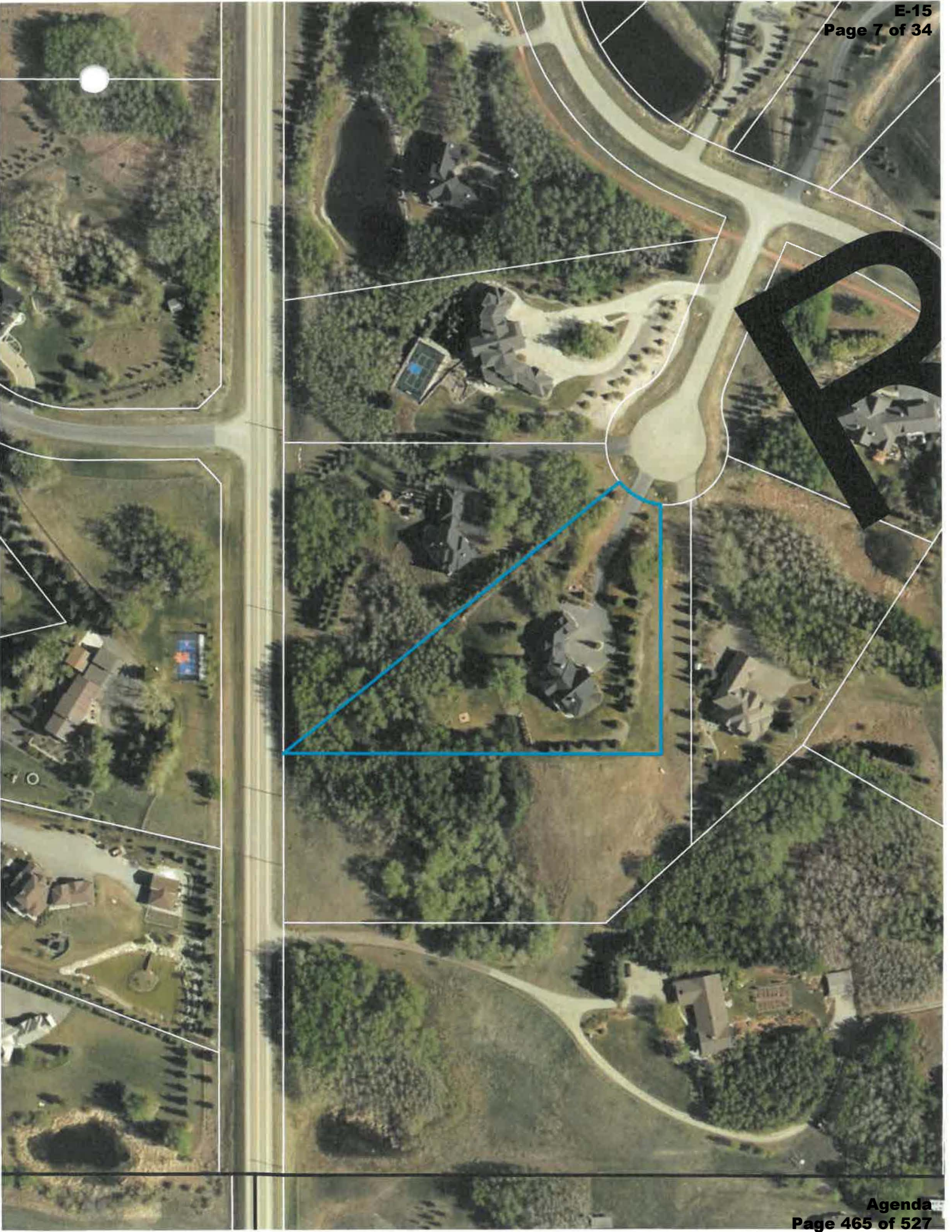
Advisory:

7. That any other Federal, Provincial, or County permits, approvals, and/or compliances, are the sole responsibility of the Applicant/Owner.
8. That during construction of the Accessory Building, all construction and building materials shall be maintained on site, in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
9. That the County's Noise Bylaw C-5772-2003 shall be adhered to at all times.
10. That a Building Permit and sub-trade permits shall be obtained through Building Services, prior to any construction taking place.

Option #2: (this would not allow the development to proceed)

REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.







ROCKY VIEW COUNTY
Cultivating Communities

20200001

APPLICATION FOR A DEVELOPMENT PERMIT

E-15
FOR OFFICE USE ONLY Page 9 of 34

Fee Submitted \$265.00	File Number 05631146
Date of Receipt 01/02/2020	Receipt # 2020023171

Name of Applicant DON / SELINA MORRIS Email [REDACTED]
Mailing Address [REDACTED] Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]
For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) _____
Mailing Address _____
Postal Code _____
Telephone (B) _____ (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

a) All / part of the _____ 1/4 Section _____ Township _____ Range _____ West of _____ Meridian
b) Being all / ~~parts~~ of Lot 32 Block 5 Registered Plan Number 001 0537
c) Municipal Address 315 CHURCH RANCHES RISE CALGARY AB T3R1B1
d) Existing Land Use Designation R1 Parcel Size _____ Division _____

2. APPLICATION FOR

BUILDING A POOL CABANA

3. ADDITIONAL INFORMATION

a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No X
b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No X
(Sour Gas facility means well, pipeline or plant)
c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No X
d) Does the site have direct access to a developed Municipal Road? Yes X No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I SELINA / DON MORRIS hereby certify that ✓ I am the registered owner
(Full Name in Block Capitals)

_____ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

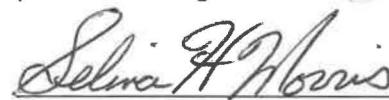
Affix Corporate Seal
here if owner is listed
as a named or
numbered company

Applicant's Signature Selina Morris
Date Dec 31 2019

Owner's Signature Selina Morris
Date DEC 31 2019

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and e cement
related to this Development Permit application.



Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, SELINA MORRIS DON MORRIS, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.


Signature

DEC 31 2019
Date



ROCKY VIEW COUNTY
Cultivating Communities

APPLICATION FOR AN ACCESSORY BUILDING

FOR OFFICE USE ONLY	
Fee Submitted \$265.00	File Number 0563146
Date Received 01/02/2020	Receipt # 2020023171

Name of Applicant DON and SELINA MORRIS Email [REDACTED]

Mailing Address [REDACTED]

Postal Code [REDACTED]

Telephone (B) [REDACTED]

(H) [REDACTED]

Fax [REDACTED]

1. DETAILS OF ACCESSORY BUILDING

	Bylaw	Proposed
Accessory building size maximum	1291.67 sq ft	171.5 sq ft
Accessory building height	22.96 ft	13 ft 3 3/4 inch
Number of existing accessory buildings on site	2	0
Total size of all accessory buildings	1291.67 sq. ft.	171.5 sq. ft

Description of Accessory Buildings: ASPHALT SHINGLES

a) Building materials #1 & 2 LUMBER - PLYWOOD - ENGINEERED WOOD SIDING - CONCRETE

b) Exterior colour GREEN (MATCH HOUSE) BEIGE TRIM

c) Please include why relaxations for buildings are needed (location, storage needs, tidy property, etc.)

TOO CLOSE TO PROPERTY LINE

d) Date when building permits were issued for existing buildings

e) If no permits were issued - list age of buildings HOUSE BUILT 2003 (DEC)

2. DESCRIBE THE USE OF THE ACCESSORY BUILDING

HOUSE SWIMMING POOL MECHANICS
PROVIDE SWIMSUIT CHANGING AREA

3. ADDITIONAL REQUIREMENTS

The following items must be provided in addition to your application:



Elevation drawing(s) / floor plan(s)



Site plan(s) showing all dimensions and setbacks

Signature of Applicant

Selina H Morris

Date:

Dec 31 2019

Statement of Use for Accessory Building

We were able to install an inground fiberglass swimming pool (permitted by Rocky View County) in the fall of 2019, unfortunately the weather did not cooperate for us to complete the entire project.

The Accessory building that we are applying to build will be a pool shed. Its purpose is to;

- house the pool mechanics
- provide a swimsuit changing area
- include storage for a large pink flamingo.



The anticipated date of construction will be weather dependent in the spring. The completed cost for the accessory building project is \$22,000.

Selina and Don Morris

cell(S): [REDACTED] cell(D) [REDACTED] home [REDACTED]

(website example)





LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0028 331 940 0010537;5;32 021 356 636

LEGAL DESCRIPTION
PLAN 0010537
BLOCK 5
LOT 32
EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5;2;25;31;SW

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 001 064 895 +4

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
021 356 636	10/10/2002	TRANSFER OF LAND	\$260,000	\$260,000

OWNERS

DONALD GORDON MORRIS

AND

SELINA HENDRY MORRIS

BOTH OF:

[REDACTED]
[REDACTED]
[REDACTED]

AS JOINT TENANTS

(DATA UPDATED BY: CHANGE OF ADDRESS 041435753)

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
921 256 194	14/10/1992	UTILITY RIGHT OF WAY GRANTEE - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. PORTION AS DESCRIBED

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
021 356 636

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
921 256 195	14/10/1992	UTILITY RIGHT OF WAY GRANTEE - ROCKY VIEW WATER CO-OP LTD. PORTION AS DESCRIBED (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 921275555) (DATA UPDATED BY: TRANSFER OF UTILITY RIGHT OF WAY 081402815)
991 050 257	23/02/1999	EASEMENT OVER LOTS 4 AND 5 IN BLOCK 4 ON PLAN 9910556 FOR BENEFIT OF SEE INSTRUMENT AS TO PLAN 9910558
001 025 791	27/01/2000	EASEMENT AS TO PORTION OR PLAN:0010178 OVER LOT 11 IN BLOCK 4 ON PLAN 9910556 FOR BENEFIT OF SECTION 31 IN TOWNSHIP 25 RANGE 2 WEST OF THE FIFTH MERIDIAN
001 025 926	27/01/2000	EASEMENT AS TO PORTION OR PLAN:0010180 OVER LOTS 15 AND 16 IN BLOCK 3 ON PLAN 9810168 FOR BENEFIT OF SECTION 31 IN TOWNSHIP 25 RANGE 2 WEST OF THE FIFTH MERIDIAN
001 064 897	09/03/2000	UTILITY RIGHT OF WAY GRANTEE - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. GRANTEE - ROCKY VIEW WATER CO-OP LTD. GRANTEE - TELUS COMMUNICATIONS INC. GRANTEE - ENMAX POWER CORPORATION. GRANTEE - ATCO GAS AND PIPELINES LTD. GRANTEE - SHAW COMMUNICATIONS INC. AS TO PORTION OR PLAN:0010538
001 064 902	09/03/2000	RESTRICTIVE COVENANT
001 064 904	09/03/2000	CAVEAT RE : DEVELOPMENT AGREEMENT CAVEATOR - THE MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44. 911 - 32ND AVENUE N E CALGARY ALBERTA T2M4L6
001 064 905	09/03/2000	ENCUMBRANCE ENCUMBRANCEE - CHURCH RANCHES HOMEOWNERS ASSOCIATION. 2200, 411 1ST STREET S.E.

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 3
021 356 636

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

CALGARY
ALBERTA T2G5E7

011 131 500 15/05/2001 EASEMENT
OVER LOT 41 BLOCK 5 PLAN 0010537
FOR BENEFIT OF LOTS 30 TO 48 BLOCK 5 PLAN 0010537
(R/W PLAN 0111295)

191 217 695 25/10/2019 MORTGAGE
MORTGAGEE - THE TORONTO DOMINION BANK.
500 EDMONTON CITY CENTRE EAST
10205- 101ST STREET, 5TH FLOOR
EDMONTON
ALBERTA T5J5E8
ORIGINAL PRINCIPAL AMOUNT: \$175,000

TOTAL INSTRUMENTS: 011

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 31 DAY OF
DECEMBER, 2019 AT 01:20 P.M.

ORDER NUMBER: 38576345

CUSTOMER FILE NUMBER:

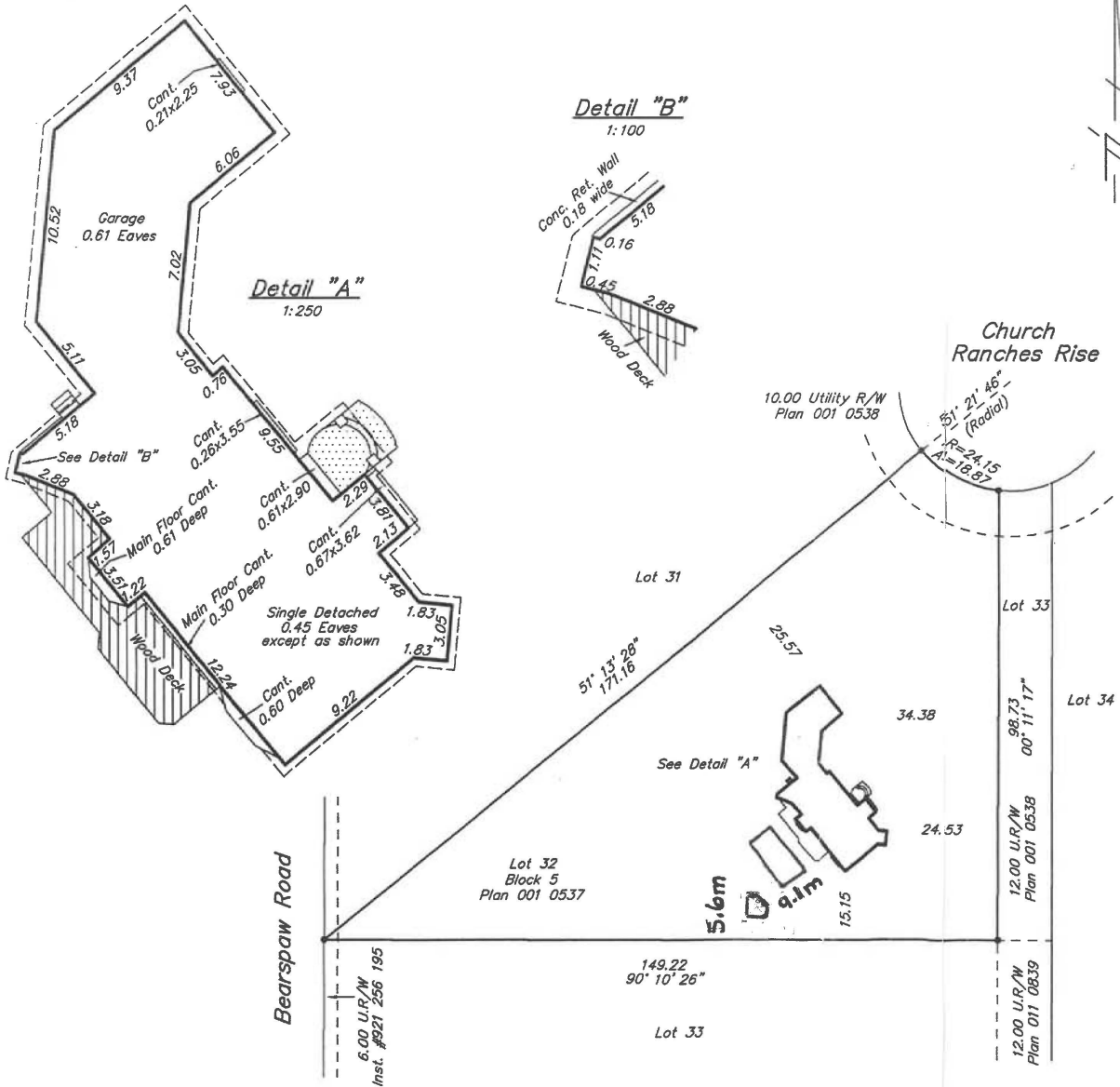


END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT



Address : 315 Church Ranches Rise
M.D. of Rocky View No. 44, Alberta
Legal : Lot 32, Block 5, Plan 001 0537

To: Bradford Homes
102, 155 Glendee Circle S.E.
Calgary, Alberta T2H 2S8

Date of Survey: November 25th, 2004

Date of Title Search: December 9th, 2004 Title No.: 021 356 636





Certification
I hereby certify that this report and related survey are prepared and performed under my personal supervision and in accordance with the Manual of Standard Practice of the Alberta Land Surveyors' Association and supplements thereto. Accordingly within those standards and as of the date of this Report, I am of the opinion that:

- the Plan illustrates the boundaries of the Property, the improvements as defined in Part D, Section 7.6 of the Alberta Land Surveyors' Association Manual of Standard Practice, registered easements and rights-of-way affecting the extent of the title to the property;
- the improvements are entirely within the boundaries of the Property;
- no visible encroachments exist on the Property from any improvements situated on an adjoining property;
- no visible encroachments exist on registered easements or rights-of-way affecting the extent of property;
- title subject to R.C. #001 064 902

Purpose
This Report has been prepared for the benefit of the property owner(s), subsequent owners and any of their agents for the purpose of (a land conveyance, support of a subdivision application, a mortgage application, a submittal to the municipality for a compliance certificate, etc.) Copying is permitted only for the benefit of those parties. Where applicable, registered easements and utility rights-of-way affecting the extent of the property have been shown. Other matters affecting the property, such as restrictive covenants or municipal requirements, have not been illustrated. Unless shown otherwise, property corner markers have not been placed during the survey for this report. This Plan should not be used to establish boundaries due to the risk of misinterpretation or measurement error by the user. The information shown on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.

Dated at Calgary, Alberta, December 13th, 2004

Charles Chiosson, A.L.S.
(copyright reserved)
© Copyright Douglas Surveys Inc., 2004.


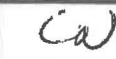

NOTE
Scale - 1: 1000
All measurements are in metres.
Unless otherwise specified, the dimensions shown relate to perpendicular distances from property boundaries to foundation walls.
Unless otherwise specified, eaves are dimensioned to the line of foundation.
Statutory Iron Posts found shown thus: 
Property Boundaries of Parcel Affected shown thus: 
Foundation shown thus: 
Fence shown thus: 
Fences found to be within 0.20m of the property line are shown on the property line.
This plan is not valid unless it bears an original signature (in blue ink) and Douglas Surveys Inc. permit stamp (in red ink.)

DOUGLAS SURVEYS INC.
610, 1300 - 8th Street S.W.
Calgary, Alberta, T2R 1B2
Phone : 228-7005 Fax : 228-4144

Job No. : 022020

PERMIT DRAWINGS

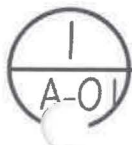
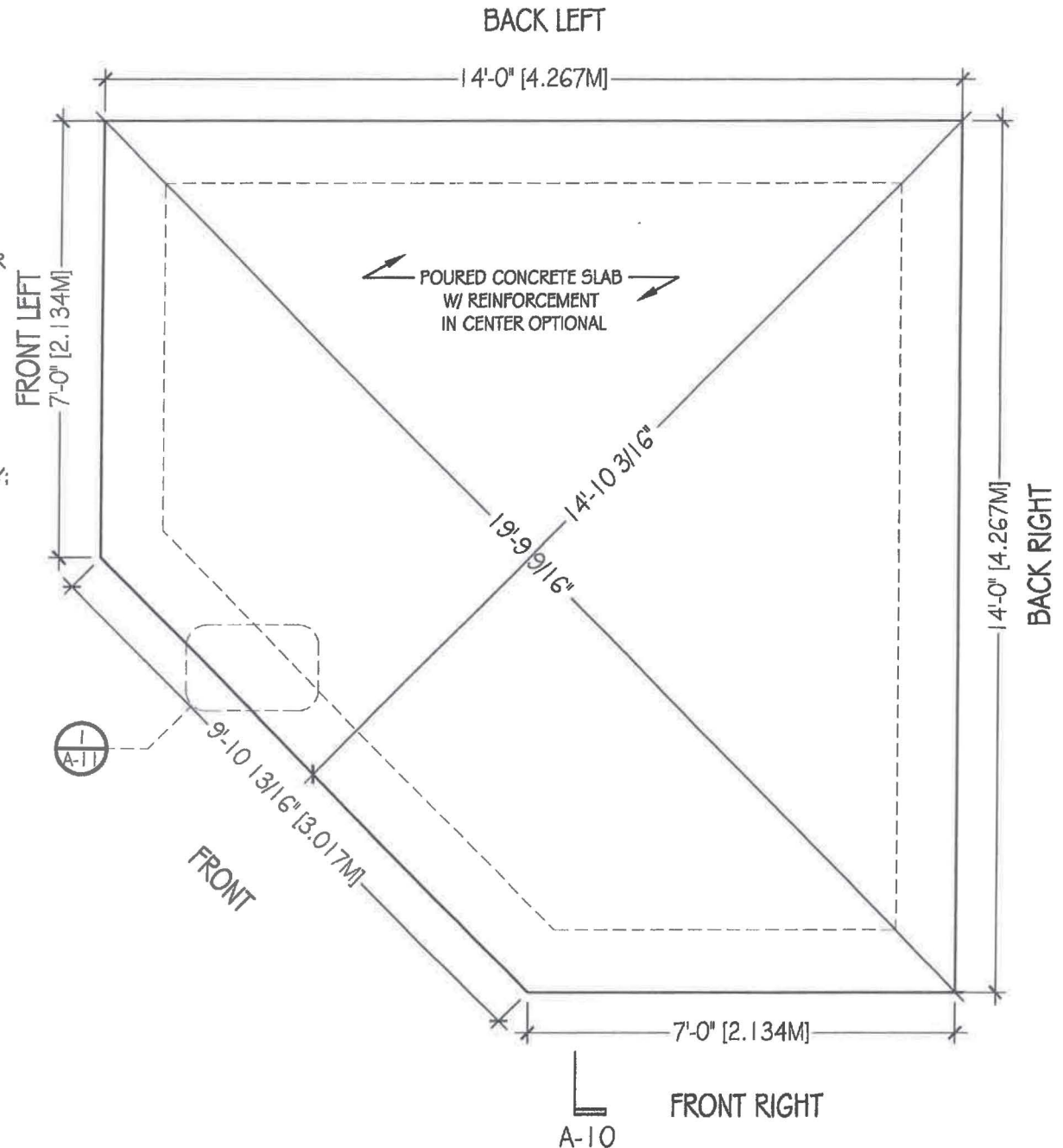
PROJECT: 14' CATALINA
 CUSTOMER: MR. DONALD MORRIS
 ADDRESS: 315 CHURCH RANCHES DR., CALGARY
 AB, CANADA, T3R 1B1
 DATE: OCTOBER 08, 2019
 VERSION: V1.01

	TITLE:	ORDER ID:	SALES APPROVAL:	CURTIS NOOYEN	 	PAGES:
	PERMIT DRAWINGS	51459	PROD. APPROVAL:	JIM HICKEY		11

Tel: 416 498 93 79 / 1-800 663 50 42 / Fax: 416 431 24 54 / www.summerwood.com / design@summerwood.com

GENERAL NOTES:

1. ALL LUMBER TO BE NO. 1 # 2 SPRUCE OR BETTER UNLESS OTHERWISE NOTED.
2. ALL PLYWOOD/OSB SHALL BE STAMPED EXTERIOR GRADE.
3. ALL FOOTINGS TO BE IN UNDISTURBED SOIL.
4. FOUNDATION TO BE DESIGNED AND PROVIDED BY OWNER / CONTRACTOR, AND SHOULD MEET OBC.
5. ALL TIES AND MECHANICAL CONNECTORS TO BE INDICATED BY A QUALIFIED PERSON, AND TO BE PROVIDED AND INSTALLED BY OWNER / CONTRACTOR TO MEET OBC.
6. LINTELS AND BEAMS TO BE DESIGNED BY A QUALIFIED PERSON FOR SPANS GREATER THAN 16' [4.90M].
7. WHEN ROOFING SYSTEM REQUIRES, USE PLY CLIPS OR SOLID BLOCKING AT ALL ROOF SHEATHING EDGES NOT SUPPORTED BY FRAMING MEMBERS.
8. ALL BEAMS MUST HAVE FULL WIDTH BEARING ON POSTS.
9. ALL ENGINEERED LUMBER (LVL) TO BE GRADE 2.0E
10. NAILING SIZES AND PATTERN AS PER OBC.
11. ALL MEMBERS SHALL BE SO FRAMED, ANCHORED, FASTENED, TIED AND BRACED TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY; AND ALL WORK TO BE DONE IN ACCORDANCE WITH OBC / LOCAL BUILDING CODE.
12. IT IS THE RESPONSIBILITY OF CONTRACTOR TO VERIFY THAT ALL OTHER CODE REQUIREMENTS ARE MET AND THAT THE ENGINEERING RECOMMENDATIONS ARE CORRECTLY INCORPORATED IN THE CONSTRUCTION.
13. FOUNDATION TO BE PLACED ACCORDING TO THIS LAYOUT. THE CONCRETE SLAB SHALL SLOPE AWAY.

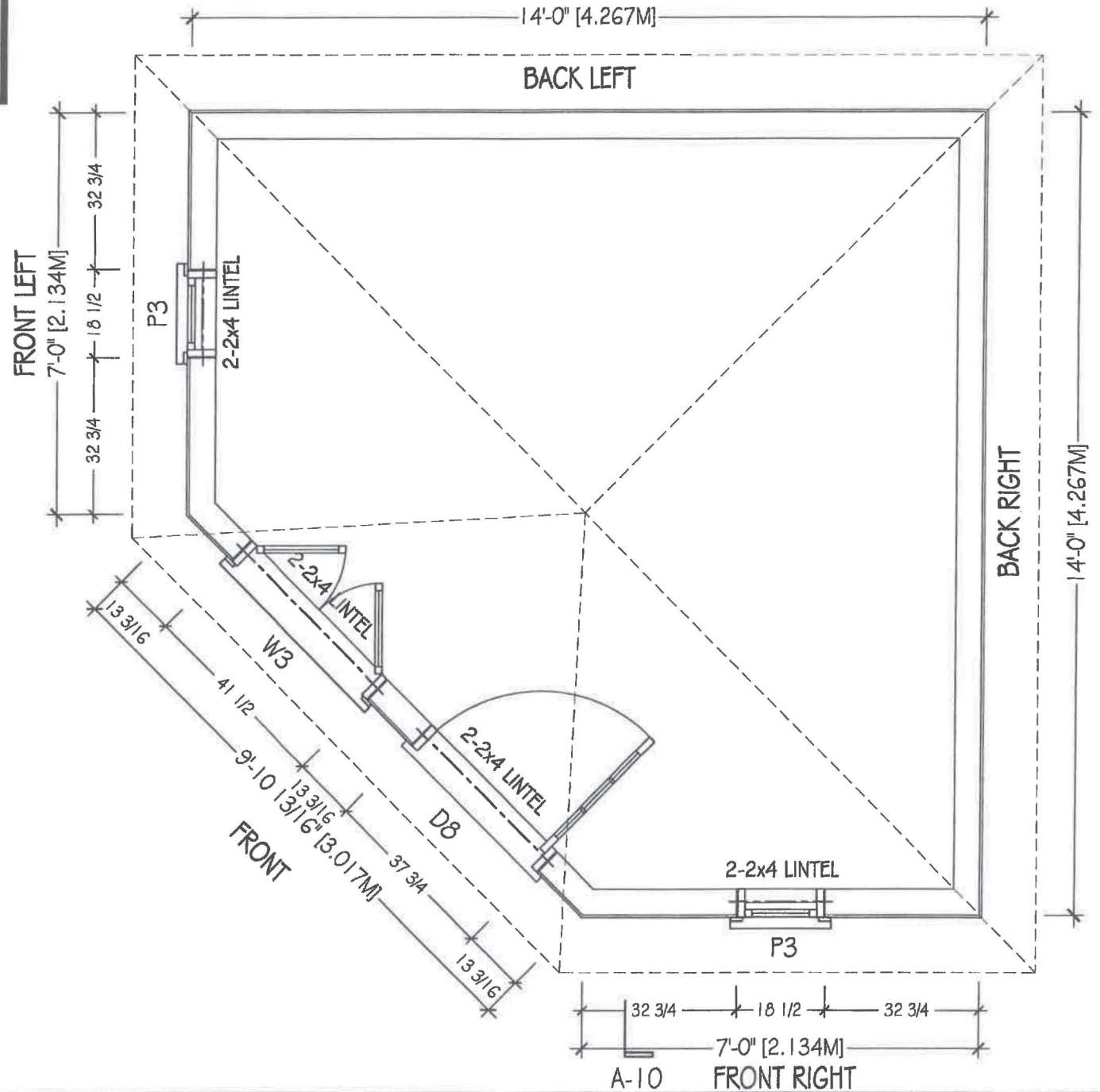


FOUNDATION PLAN

SCALE: 3/8" = 1'-0"

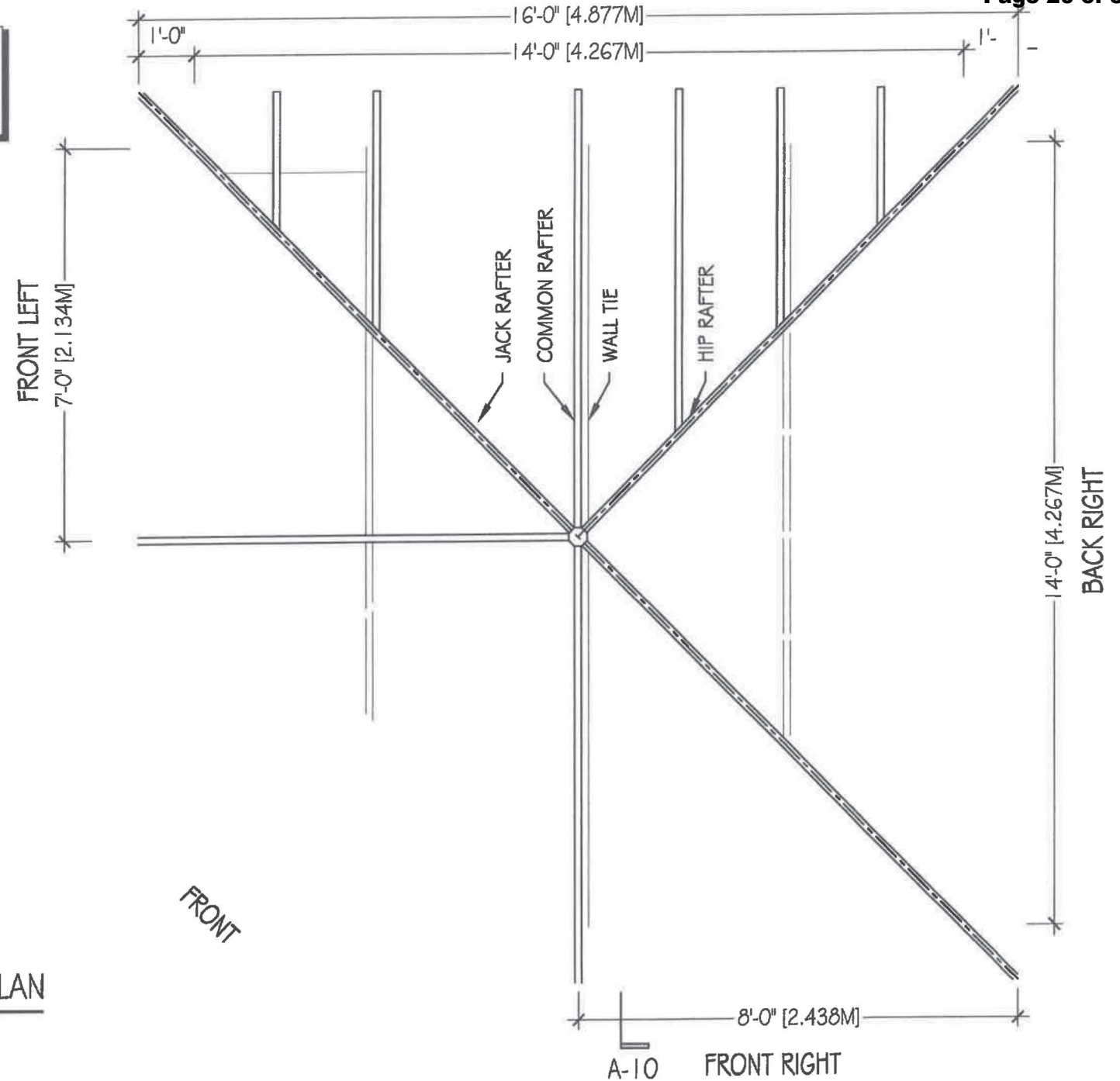
NOTES:
ALL DOOR AND WINDOW DIMENSIONS SHOWN
ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.

AREA:
171.50 sq. ft.



1 FLOOR PLAN
A-02 SCALE: 3/8" = 1'-0"

NOTES:
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ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.



1
A-03

ROOF FRAMING PLAN

SCALE: 3/8" = 1'-0"

PERMIT DRAWINGS

PROJECT: 14' CATALINA
CUSTOMER: MR. DONALD MORRIS
ADDRESS: 315 CHURCH RANCHES DR., CALGARY
AB, CANADA, T3R 1B1
DATE: OCTOBER 08, 2019
VERSION: V1.01



TITLE:
PERMIT DRAWINGS

ORDER ID:
51459

SALES APPROVAL:
PROD. APPROVAL:

CURTIS NOOYEN
JIM HICKEY

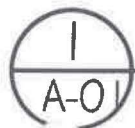
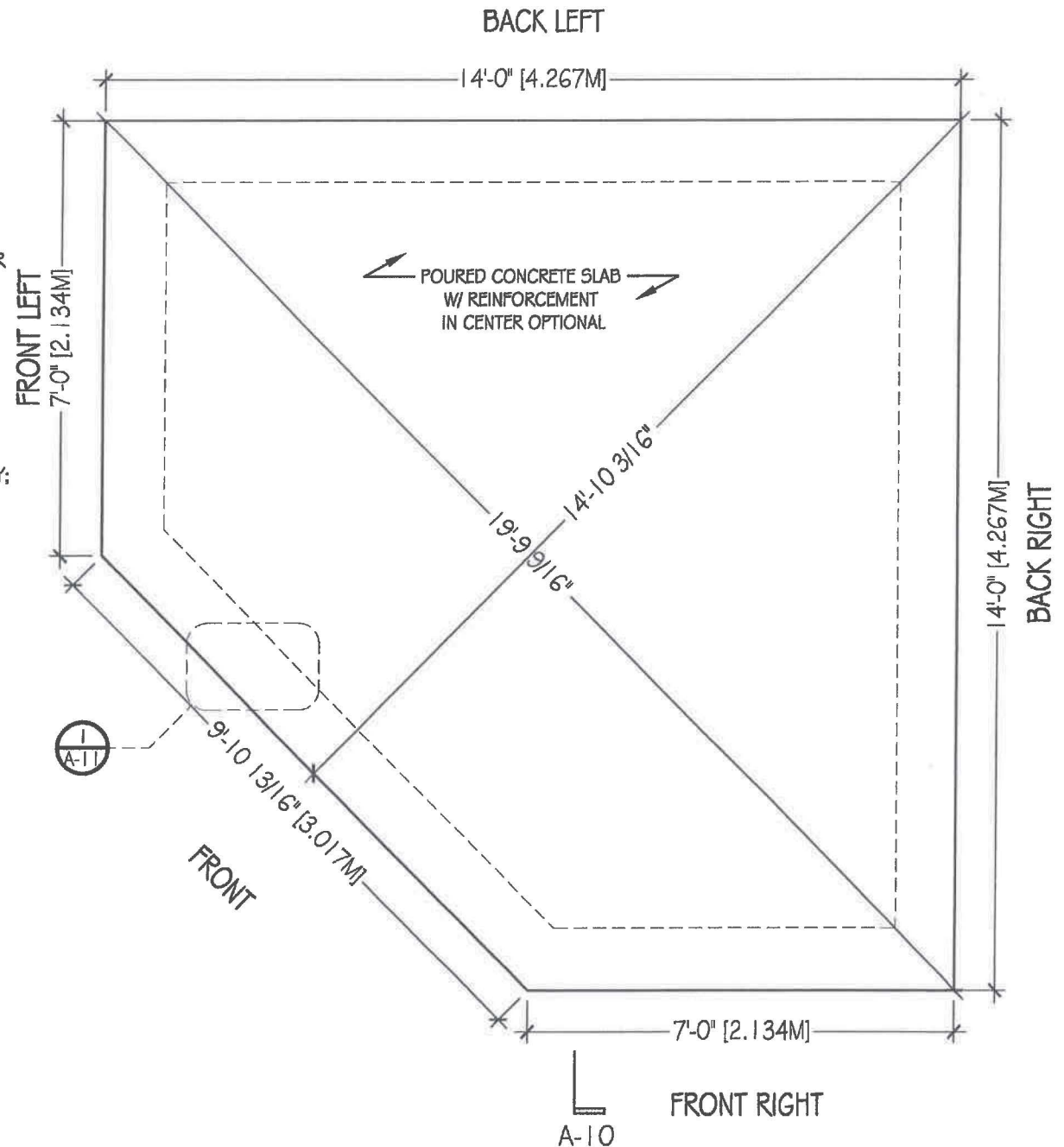
CW
JH

PAGES:
11

Tel: 416 498 93 79 / 1-800 663 50 42 / Fax: 416 431 24 54 / www.summerwood.com / design@summerwood.com

GENERAL NOTES:

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13. FOUNDATION TO BE PLACED ACCORDING TO THIS LAYOUT. THE CONCRETE SLAB SHALL SLOPE AWAY.

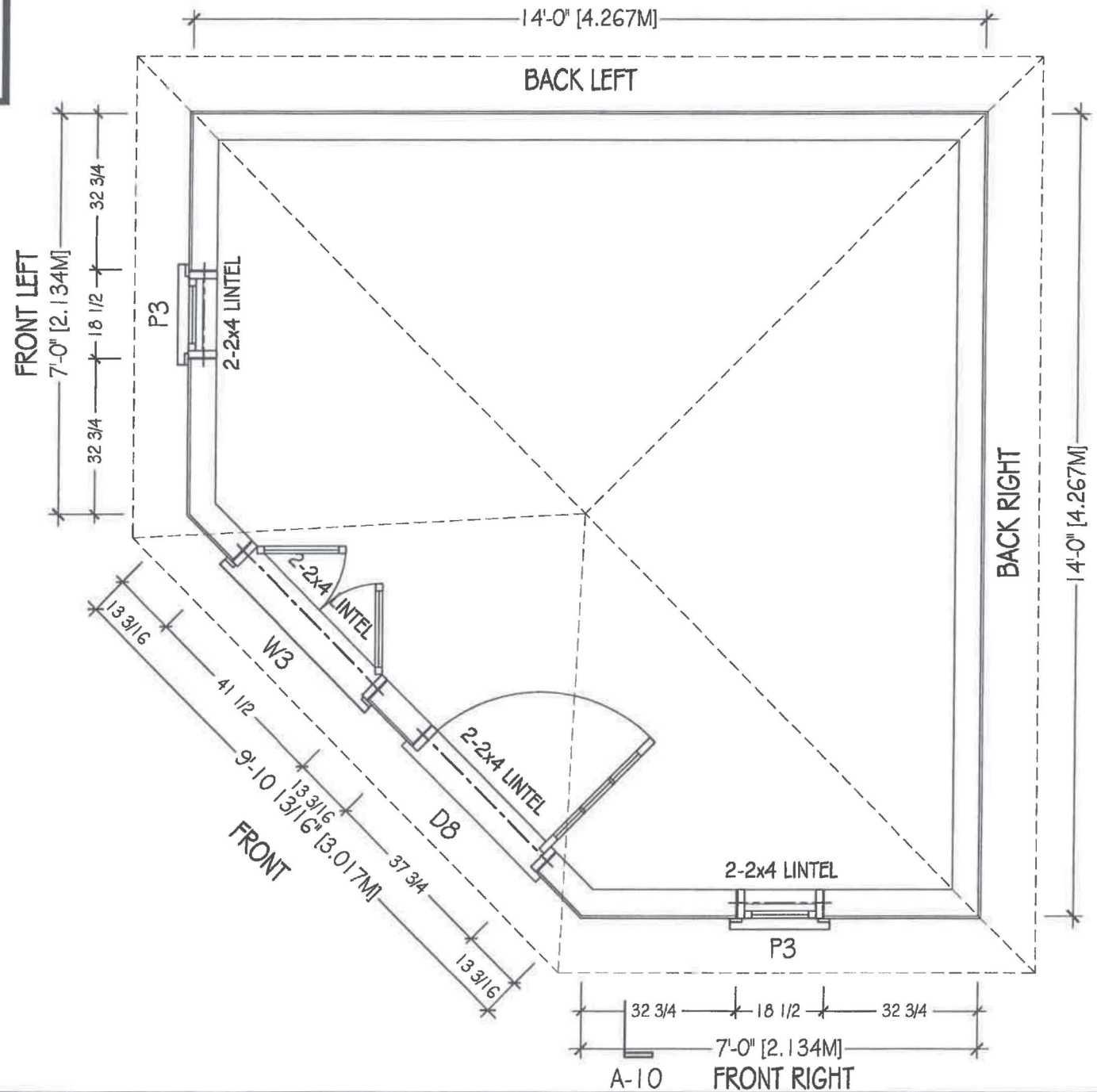


FOUNDATION PLAN

SCALE: 3/8" = 1'-0"

NOTES:
ALL DOOR AND WINDOW DIMENSIONS SHOWN
ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.

AREA:
171.50 sq. ft.



1
A-02

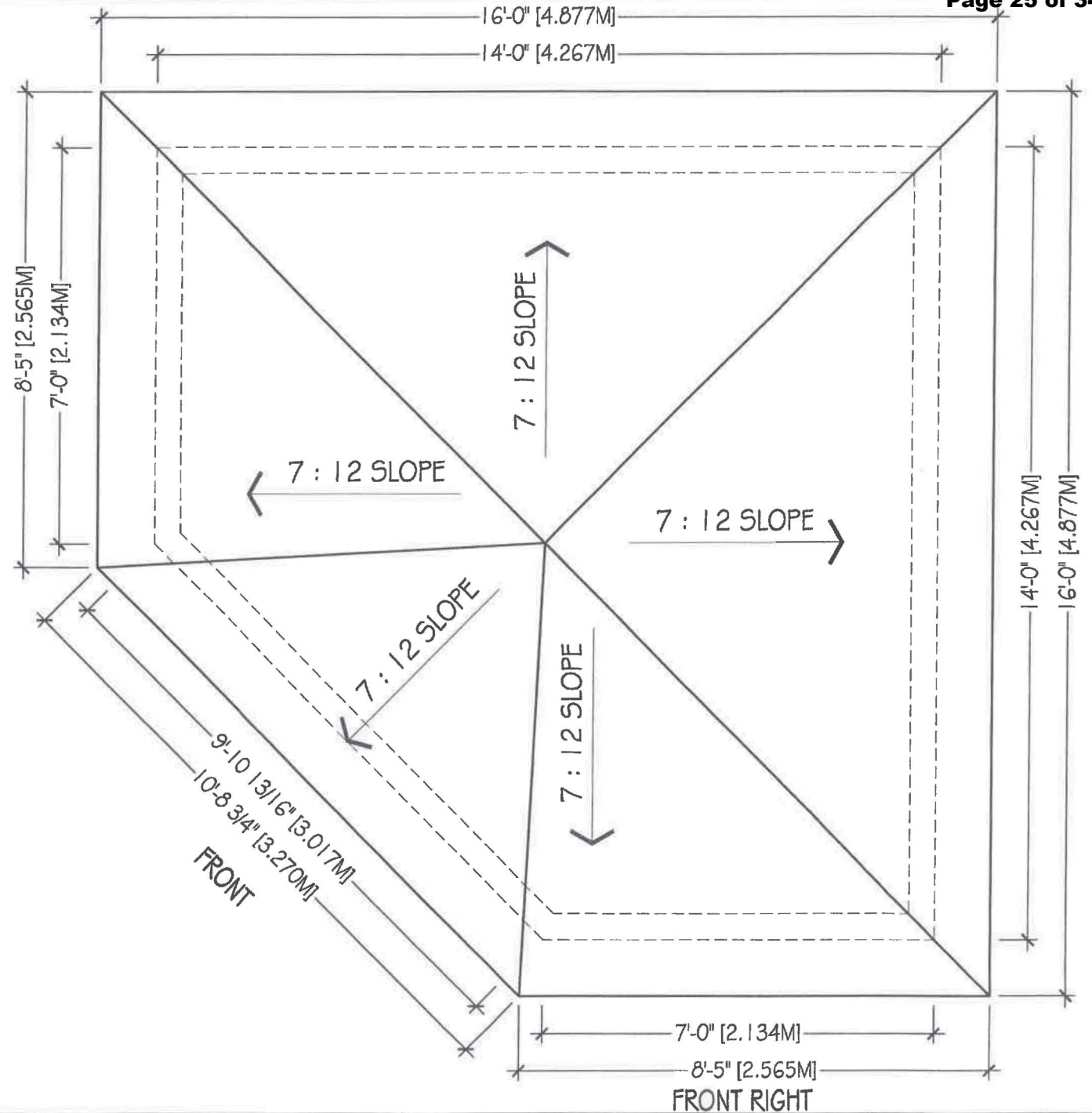
FLOOR PLAN

SCALE: 3/8" = 1'-0"

Page 482 of 527

NOTES:
ALL DOOR AND WINDOW DIMENSIONS SHOWN
ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.

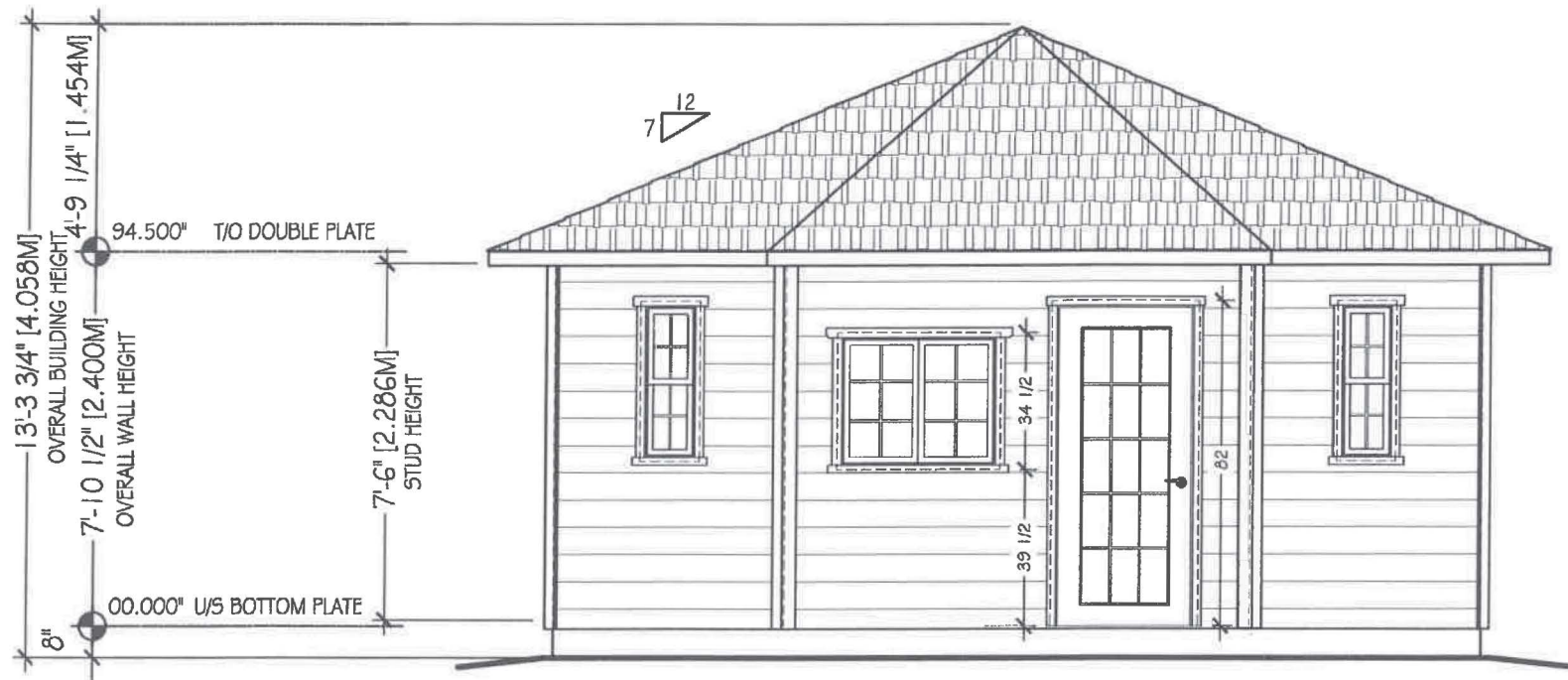
ROOF COVERAGE: 227.23 Sq. Ft



ROOF PLAN

SCALE: 3/8" = 1'-0"

NOTES:
ALL DOOR AND WINDOW DIMENSIONS SHOWN
ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.



(FINISHED GRADE TO BE DETERMINED
BY OWNER / CONTRACTOR)

FOUNDATION IS TO BE DESIGNED AND PROVIDED BY OWNER OR
CONTRACTOR, AND SHOULD MEET LOCAL BUILDING CODE STANDARDS

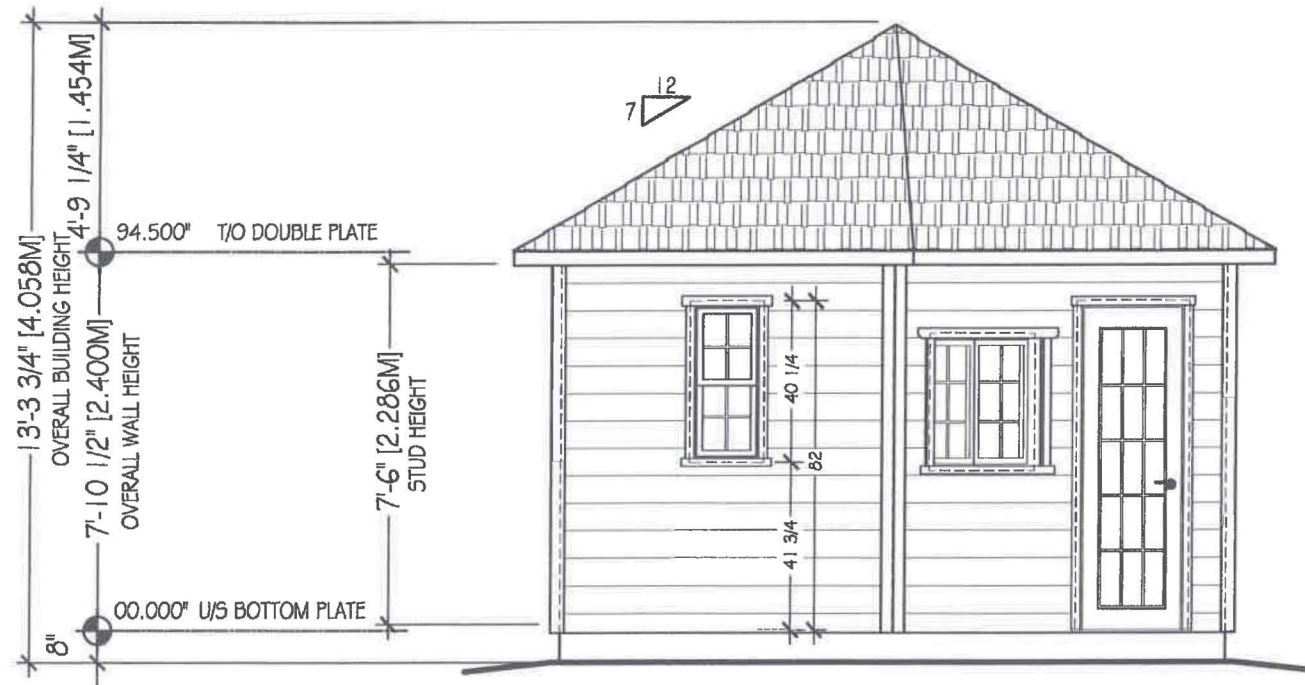
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A-05

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

NOTES:

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ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
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(FINISHED GRADE TO BE DETERMINED
BY OWNER / CONTRACTOR)

FOUNDATION IS TO BE DESIGNED AND PROVIDED BY OWNER OR
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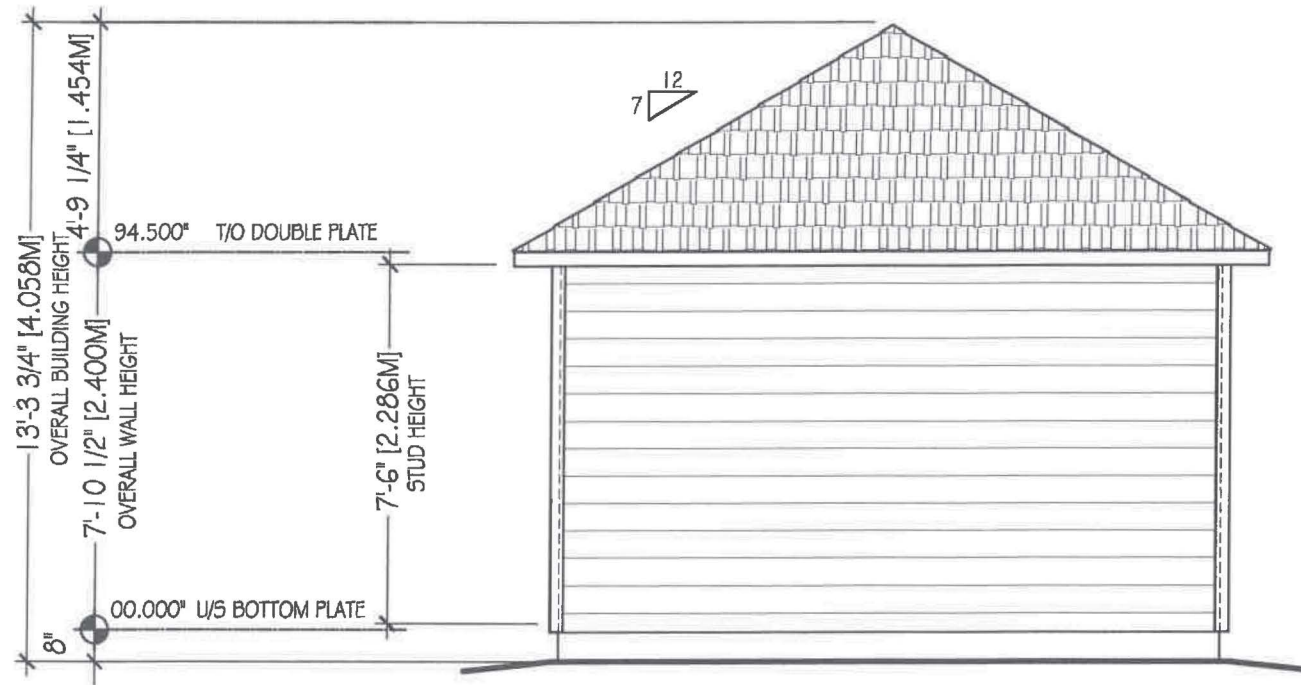
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A-06

FRONT LEFT ELEVATION

SCALE: 1/4" = 1'-0"

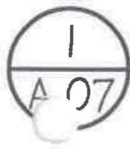
NOTES:

ALL DOOR AND WINDOW DIMENSIONS SHOWN
ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.



(FINISHED GRADE TO BE DETERMINED
BY OWNER / CONTRACTOR)

FOUNDATION IS TO BE DESIGNED AND PROVIDED BY OWNER OR
CONTRACTOR, AND SHOULD MEET LOCAL BUILDING CODE STANDARDS

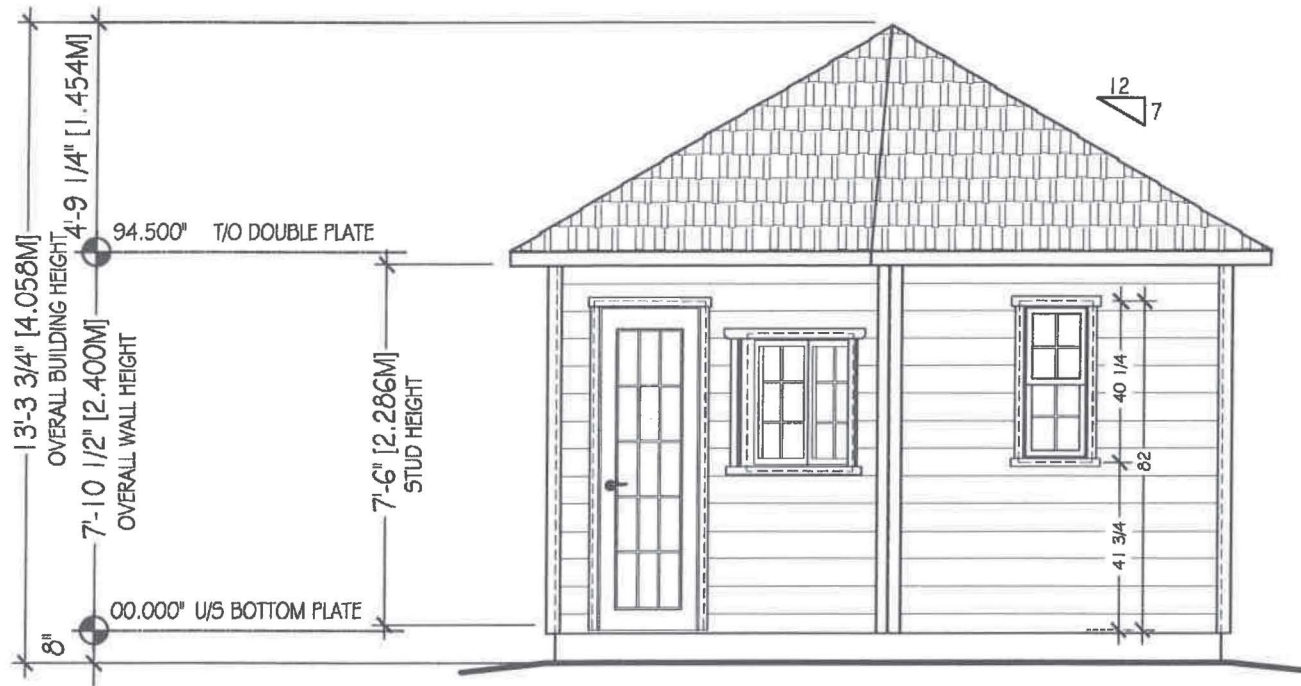


BACK LEFT ELEVATION

SCALE: 1/4" = 1'-0"

NOTES:

ALL DOOR AND WINDOW DIMENSIONS SHOWN
ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.



(FINISHED GRADE TO BE DETERMINED
BY OWNER / CONTRACTOR)

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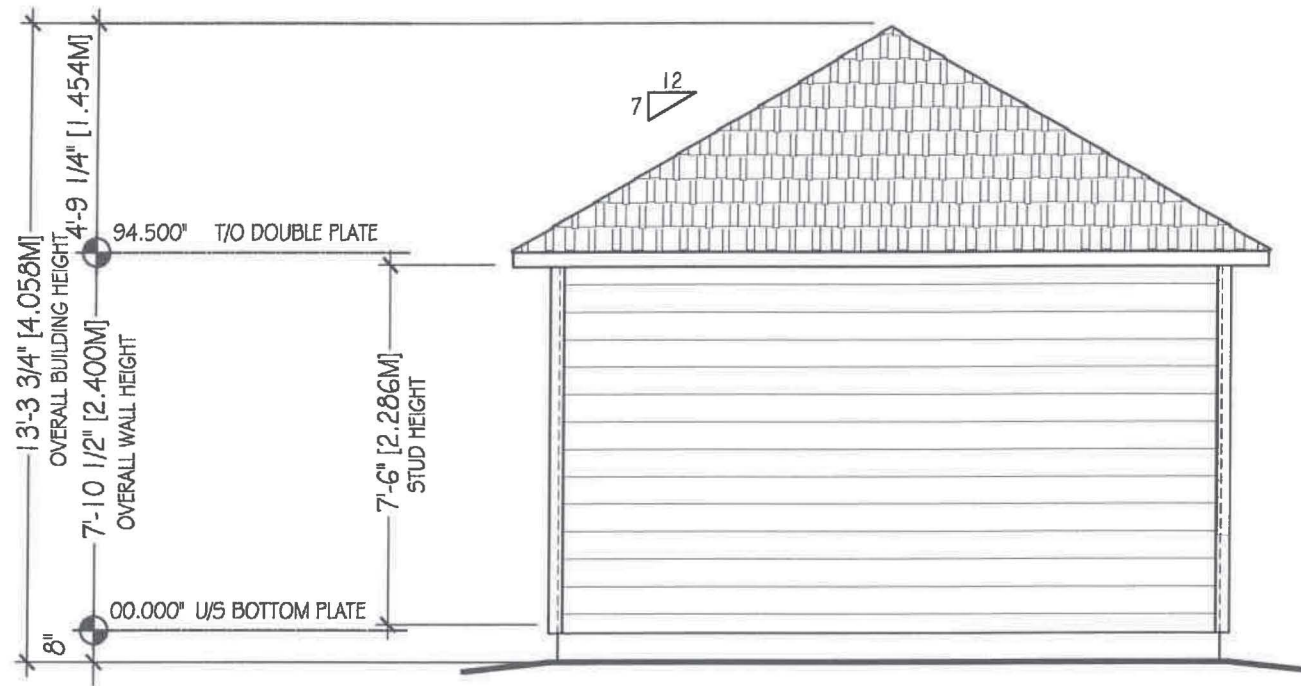
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A-08

FRONT RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

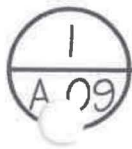
NOTES:

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ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.



(FINISHED GRADE TO BE DETERMINED
BY OWNER / CONTRACTOR)

FOUNDATION IS TO BE DESIGNED AND PROVIDED BY OWNER OR
CONTRACTOR, AND SHOULD MEET LOCAL BUILDING CODE STANDARDS

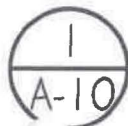
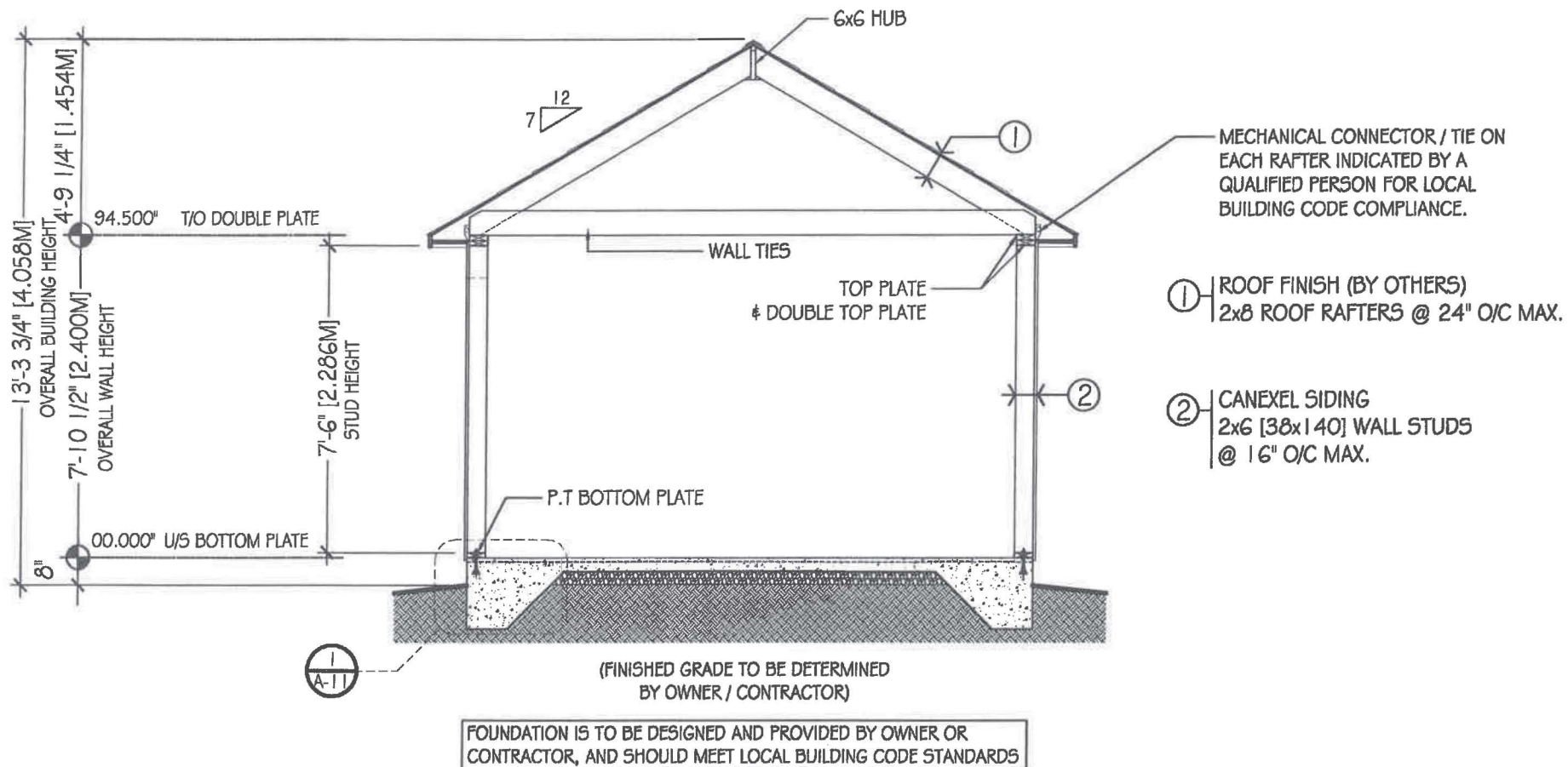


BACK RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

NOTES:

ALL DOOR AND WINDOW DIMENSIONS SHOWN
ARE R.S.O. (ROUGH STUD OPENINGS) UNLESS
OTHERWISE SPECIFIED.



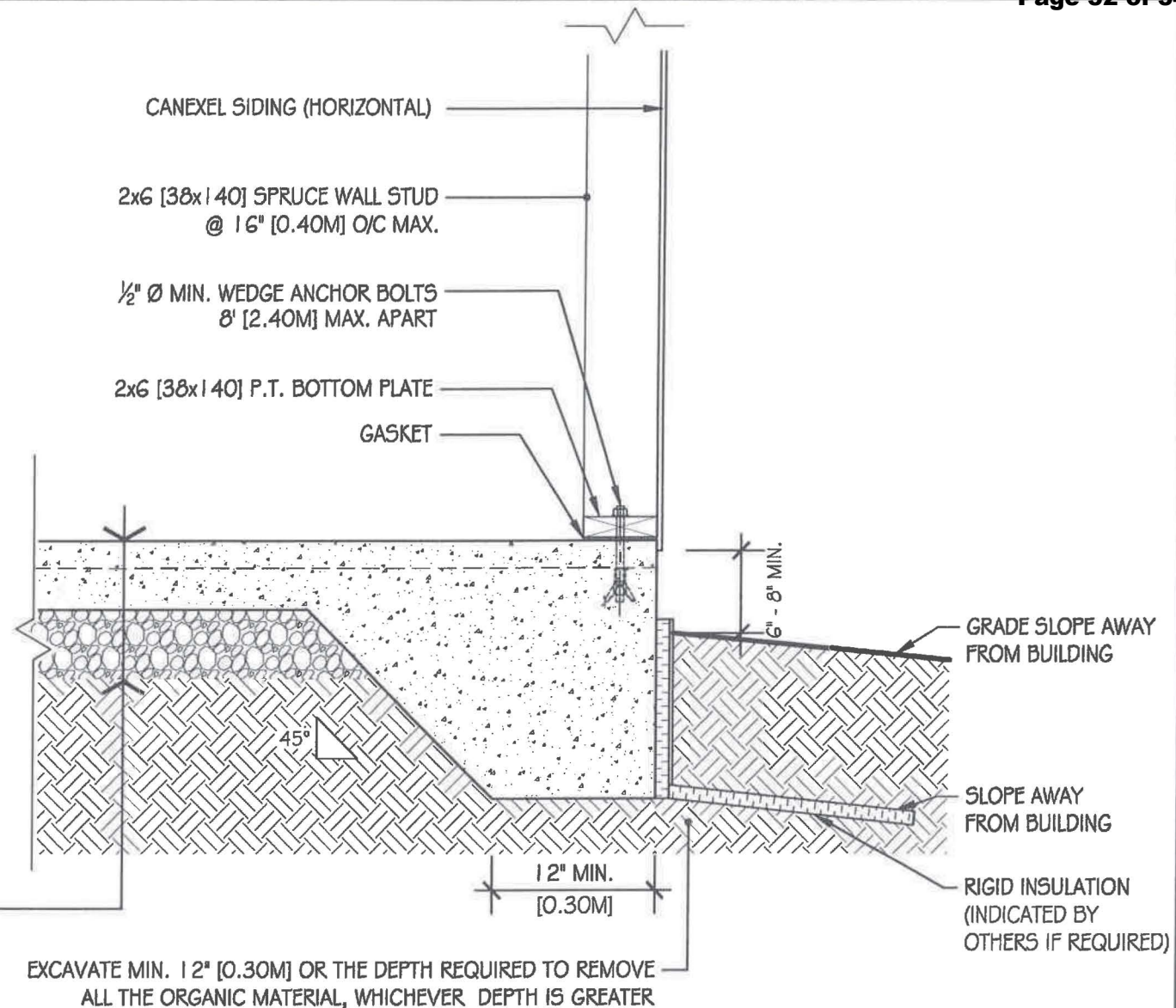
BUILDING SECTION

SCALE: 1/4" = 1'-0"

NOTES:

- MIN. ALLOWABLE BEARING CAPACITY OF SOIL ASSUMED 100 KPA.
- THIS IS A STANDARD DETAIL AND THE TECHNICAL INFORMATION SHOWN ON THIS SET OF DRAWINGS REGARDING FOUNDATIONS IS GENERAL IN NATURE, AND MAY OR MAY NOT REFLECT THE SPECIFIC SITE CONDITIONS. THIS IS NOT A SUBSTITUTE FOR ENGINEERING ADVICE. THE CUSTOMERS / CONTRACTORS ARE RESPONSIBLE FOR INDEPENDENTLY VERIFYING ANY AND ALL THE TECHNICAL INFORMATION ACCORDING TO THE SPECIFIC CONDITIONS OF THE SITE AND THE LOCAL BUILDING CODE.

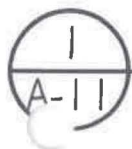
CONCRETE SLAB TO SLOPE AWAY FROM THE BUILDING.



6" [0.15M] MIN. COMPACTED GRANULAR FILL
WWM REINFORCING IN CENTER OF SLAB
OPTIONAL
5%-8% AIR ENTRAINMENT
32MPa @ 28 DAYS
6" [0.15M] MIN. POURED CONC. SLAB

EXCAVATE MIN. 12" [0.30M] OR THE DEPTH REQUIRED TO REMOVE
ALL THE ORGANIC MATERIAL, WHICHEVER DEPTH IS GREATER

FINISHED GRADE ELEVATION TO BE CONFIRMED BY OWNER / CONTRACTOR,
FOUNDATION TO BE DESIGNED AND PROVIDED BY OWNER/CONTRACTOR, AND
SHOULD MEET LOCAL BUILDING CODE STANDARDS



FOUNDATION DETAIL

SCALE: 1" = 1'-0"

STRUCTURAL PLANS - POOL CABANA

315 CHURCH RANCHES DRIVE
ROCKVIEW COUNTY, ALBERTA

STRUCTURAL NOTES



15,4511 GLENMORE TRAIL S.E.
CALGARY, AB, T2C 2R9
OFFICE : (403) 457-1557
FAX : (403) 457-5587

DATE:	NOVEMBER 27, 2019
JOB NUMBER:	193758
CUSTOMER NAME:	PRIVATE RESIDENT
CUSTOMER JOB #:	-
PROJECT LOCATION:	315 CHURCH RANCHES DRIVE ROCKVIEW COUNTY, ALBERTA
DRAWN BY:	PT
REVIEWED BY:	TZ
TIMELINES	
DATE	ISSUED FOR
2019-11-27	BUILDING PERMIT

**ISSUED FOR
BUILDING PERMIT**

GENERAL STRUCTURAL NOTES FOR RESIDENTIAL BUILDINGS, PART 2: STRUCTURES

DESIGN CODE

1. THE STRUCTURAL ELEMENTS DETAIL HEREIN HAVE BEEN DESIGNED IN ACCORDANCE WITH THE ALBERTA BUILDING CODE 2019 (ABC 2019), WHICH IS BASED ON THE NATIONAL BUILDING CODE OF CANADA 2015 (NBCC 2015)

DESIGN LOADS

1. ROOF DEAD LOAD
 - a. SELF WEIGHT TO VARY WITH THE STRUCTURAL ELEMENT AND SHALL BE INCLUDED BY THE COMPONENT DESIGNER
 - b. SUPERIMPOSED DEAD LOAD = 10 psf
4. ROOF SNOW LOAD
 - a. SLOPPED ROOF (slope > 2/12) = 21 psf
5. WIND LOAD
 - a. Q(150) = 0.48 kPa
 - b. TERRAIN CATEGORY CE = 0.7 (ROUGH TERRAIN)
 - c. PRESSURE CATEGORY (CPI) = 0.45 TO 0.3 (CATEGORY 2)

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. ALL DISCREPANCIES IN DETAILS AND DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF BRAVURA ENGINEERING PRIOR TO COMMENCING RELATED WORK.
2. DRAWINGS ARE NOT TO BE SCALED.
3. IN ANY CASE OF CONFLICT BETWEEN NOTES, DETAILS OR OTHERWISE, THE MOST RECENT REQUIREMENTS SHALL GOVERN.
4. THE CONTRACTOR SHALL MAKE NO DEVIATION FROM DRAWINGS WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
5. THE INFORMATION CONTAINED IN THESE STRUCTURAL DRAWINGS APPLIES ONLY TO THE DESIGN OF THE STRUCTURAL ELEMENTS PROVIDED BY BRAVURA ENGINEERING. THE PROPER DESIGN, SPECIFICATION AND ATTACHMENT OF ALL OTHER COMPONENTS REMAINS THE RESPONSIBILITY OF THE SUPPLIER OF THOSE COMPONENTS (E.G. HANDRAILS, AWNINGS, SIDING, ROOFING MATERIAL, ETC.).

STRUCTURAL SITE REVIEW NOTES:

1. STRUCTURAL SITE REVIEWS SHALL BE UNDERTAKEN BY THE STRUCTURAL ENGINEER OR DESIGNEE OF THE ENGINEER.
2. STRUCTURAL SITE REVIEWS ARE TO VERIFY THAT THE CONSTRUCTION GENERALLY CONFORMS WITH THE STRUCTURAL DRAWINGS PREPARED BY BRAVURA ENGINEERING, AND DOES NOT GUARANTEE THE CONTRACTORS WORK. IT REMAINS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL CONSTRUCTIONS ARE CARRIED OUT AS PER THE DRAWINGS AND SPECIFICATIONS.
3. IN ORDER FOR BRAVURA ENGINEERING TO COMMENT ON ANY STRUCTURAL ELEMENT, THAT ELEMENT MUST BE REVIEWED PRIOR TO CONSTRUCTION.
4. ALL WORK SHALL BE MADE ACCESSIBLE FOR REVIEW. FAILURE TO PROVIDE ADEQUATE NOTIFICATION OR ACCESSIBILITY MAY RESULT IN REMOVAL / REPLACEMENT OF COVERING MATERIALS TO EXPOSE THE WORK AT THE CONTRACTORS EXPENSE.
5. IT IS THE CONTRACTORS RESPONSIBILITY TO SCHEDULE SITE REVIEWS AT THE APPROPRIATE TIMES AS LISTED BELOW.
6. THE CONTRACTOR SHALL GIVE THE ENGINEER 24 HOURS NOTICE FOR LOCAL PROJECTS AND 72 HOURS NOTICE FOR OUT OF TOWN PROJECTS.
7. A REVIEW OF ALL CONCRETE REINFORCING IS TO BE MADE BY THE STRUCTURAL ENGINEER PRIOR TO POURING CONCRETE. ALL REINFORCEMENT OR WELDED WIRE MESH MUST BE IN PLACE AT THE TIME OF REVIEW.
8. AT THE TIME OF FRAMING REVIEW, ALL FRAMING INCLUDING POSTS, STUDS, BEAMS AND BLOCKING SHALL BE IN PLACE.
9. THE CONTRACTOR SHALL PRE-INSPECT THE WORK TO CONFIRM IT IS COMPLETED AS PER THE STRUCTURAL DRAWINGS. RE-INSPECTIONS REQUIRED BY DEFICIENT OR INCOMPLETE WORK SHALL BE AT THE EXPENSE OF THE CONTRACTOR.
10. STRUCTURAL ELEMENTS LISTED AS "BY OTHERS" ARE CONSIDERED TO BE DESIGNED AND REVIEWED BY SUB-CONSULTANTS RETAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE A LETTER OF COMPLIANCE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE PROVINCE HAVING JURISDICTION.

COLD WEATHER REQUIREMENTS:

1. IN COLD WEATHER, ALL NECESSARY HEATING EQUIPMENT AND PROTECTIVE COVERINGS SHALL BE ON SITE READY FOR USE IMMEDIATELY AFTER CONCRETE PLACEMENT.
2. WHENEVER THE TEMPERATURE IS 5 DEGREES CELSIUS OR LOWER, OR THERE IS A POSSIBILITY OF IT FALLING BELOW 5 DEGREES, PROTECTIVE ENCLOSURES AND HEATING SHALL BE APPLIED TO MAINTAIN THE CONCRETE TEMPERATURE AT 5 DEGREES CELSIUS FOR THE FIRST SEVEN DAYS, AND AT LEAST TO DEGREE THEREAFTER, UNTIL THE FULL CURING PROCESS HAS COMPLETED.
3. CONCRETE PLACED IN THE FORMS SHALL HAVE A TEMPERATURE OF BETWEEN 10 AND 20 DEGREES CELSIUS. REINFORCEMENT AND FORMS SHALL BE PROTECTED FROM FORMING AN ICE FILM PRIOR TO POUR.
4. ENSURE PROTECTIVE ENCLOSURES ARE NOT IN CONTACT WITH THE CONCRETE, BUT PERMIT FREE CIRCULATION OF THE AIR AROUND ALL WALLS, COLUMNS, AND OVER THE TOP OF THE WALLS.
5. ENSURE THE WALLS ARE PROTECTED AGAINST FREEZING WITH

TEMPORARY MEASURES UNTIL THE BACKFILLING IS COMPLETE AND ADEQUATE PERMANENT FROST PROTECTIONS ARE IN PLACE

BRAVURA ENGINEERING NOTIFIED IMMEDIATELY TO PROVIDE RECOMMENDATIONS

TEMPORARY SUPPORTS AND SHORING:

1. THE DESIGN, SUPPLY AND INSTALLATION OF ALL TEMPORARY SUPPORTS AND SHORING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

TIMBER:

1. ALL LUMBER, SHEATHING AND MANUFACTURED WOOD PRODUCTS SHALL MEET OR EXCEED THE CSA STANDARD FOR THAT PRODUCT. USE ONLY PRODUCTS SUITABLE FOR THE INTENDED FINAL USE AND CONDITIONS PREVALENT DURING CONSTRUCTION. PROTECT ALL MATERIALS FROM THE WEATHER DURING STORAGE AND INSTALLATION.
2. FLOOR BEAMS SHALL BE DESIGNED FOR A MAXIMUM LIVE LOAD DEFLECTION OF L/800.
3. DIMENSIONAL LUMBER JOISTS, BEAMS, LINTELS, HEADERS AND COLUMNS SHALL BE 8-P-F #182 GRADE OR BETTER.
4. BEAMS, LINTELS, HEADERS AND COLUMNS WHERE NOTED AS LVL SHALL BE LVL 2.0E.

5. BEAMS, LINTELS, HEADERS AND COLUMNS WHERE NOTED AS LVL SHALL BE LVL 1.05E.
6. BEAMS, LINTELS, HEADERS AND COLUMNS WHERE NOTED AS PSL SHALL BE PSL 2.0E.
7. LOAD BEARING WALL STUDS SHALL BE 8-P-F #1 #2 OR BETTER, UNLESS NOTED OTHERWISE. DO NOT USE FINGER JOINTED MATERIAL IN EXTERIOR WALLS.
8. ALL LUMBER SHALL CLEARLY BEAR THE MARK OF A RECOGNIZED LUMBER GRADING AGENCY INDICATING THE GRADE OF THE MATERIAL.
9. ALL FRAMING LUMBER SHALL BE KILN DRIED TO A MOISTURE CONTENT OF LESS THAN 19% AT THE TIME OF MANUFACTURE.

10. ALL WOOD FRAMING TO CONFORM TO PART 8 OF THE ALBERTA BUILDING CODE 2019 UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.
11. ALL BUILT UP WOOD DIMENSIONAL LUMBER TYPE BEAMS SHALL BE SUPPORTED BY A POST CONSISTING OF A MINIMUM OF ONE (1) STUD FOR EACH PLY OF A BEAM WHEN INCORPORATED IN A WALL. FREE STANDING BUILT UP POSTS SHALL BE A MINIMUM OF THREE (3) LAMINATIONS. SEE DRAWING FOR EXCEPTION TO THE REQUIREMENT.

12. ALL BUILT UP WOOD DIMENSIONAL LUMBER TYPE BEAMS SHALL BE SUPPORTED BY A POST CONSISTING OF A MINIMUM OF ONE (1) MORE STUD THAN THE NUMBER OF PLYS OF BEAM WHEN INCORPORATED IN A WALL. FREE STANDING BUILT UP POSTS SHALL BE A MINIMUM OF THREE (3) LAMINATIONS. SEE DRAWING FOR EXCEPTION TO THE REQUIREMENT.
13. ALL BUILT UP WOOD LINTELS FOR WINDOWS AND DOORS NOT LOCATED IN A TAIL WALL (UNDER 18" IN HEIGHT) SHALL BE SUPPORTED BY A POST CONSISTING OF JACK AND KING STUDS AS PER THE FOLLOWING TABLE AT EACH END, SECURELY TIED INTO THE WALL. INTERMEDIATE POSTS FOR CONTINUOUS LINTELS SHALL MEET THE BEAM REQUIREMENTS ABOVE. SEE DRAWINGS FOR EXCEPTION TO THE REQUIREMENT.

- a. OPENING WIDTH UP TO 4" 1 KING STUD + 1 JACK STUD
- b. OPENING WIDTH FROM 4" TO 8" 2 KING STUD + 2 JACK STUD

14. COLUMNS DESIGNATED AS (JC - 1) (TY - K) SHALL BE CONSTRUCTED WITH (2) JACK STUDS AND (2) KING STUDS. ETC: 6-28 (2X36) INDICATES 2 JACK STUDS PLUS 3 KING STUDS
15. JOIST HANGERS, WHERE REQUIRED, SHALL BE GALVANIZED BANGLE TYPE ONLY, NAILLED AS PER MANUFACTURERS RECOMMENDATIONS TO DEVELOP FULL CAPACITY OF THE HANGER.
16. DO NOT SPlice BUILT-UP BEAMS OR COLUMNS.
17. BUILT-UP BEAMS OR COLUMNS SHALL BE BOLTED OR NAILLED TOGETHER IN ACCORDANCE WITH PART 8 OF THE ALBERTA BUILDING CODE 2019.

18. ALL SUBFLOORING SHALL BE PLYWOOD OR ORIENTED STRANDBOARD, 1/2" / 0.2 GRADE, TONGUE AND GROOVE, INSTALLED SUBFLOORING WITH PANEL END JOINTS LOCATED ON FLOOR JOISTS AND STAGGERED AT LEAST 30". PROVIDE PANEL EDGE SUPPORT.
- a. PANEL THICKNESS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:

1. JOIST SPACING AT 19" O.C. - 5/8"
2. JOIST SPACING AT 24" O.C. - 7/8"

19. ALL SUBFLOORING SHEATHING SHALL BE GLUED TO THE JOISTS IN ADDITION TO NAILS OR SCREWS UTILIZING A PRODUCT SUITABLE FOR CONSTRUCTION AND THE PREVALENT WEATHER CONDITIONS.
20. ROOF SHEATHING SHALL BE PLYWOOD OR ORIENTED STRANDBOARD, 1/2" / 0.2 GRADE, UNLESS NOTED OTHERWISE. INSTALL SHEATHING WITH PANEL END JOINTS LOCATED ON ROOF FRAMING STAGGERED AT LEAST 30".

- a. PANEL THICKNESS SHALL BE AS FOLLOWS
1. EDGE SUPPORT PROVIDED - 5/8"
2. EDGES UNSUPPORTED - 1/2"

21. ABOVE GRADE WALL SHEATHING SHALL BE PLYWOOD OR ORIENTED

STRANDBOARD, 1/2" / 0.2 GRADE, 3/8" THICKNESS, UNLESS NOTED OTHERWISE. INSTALL SHEATHING WITH PANEL END JOINTS LOCATED ON VERTICAL WALL STUDS AND STAGGERED AT LEAST 30". PROVIDE PANEL EDGE SUPPORT.

22. ENSURE 1/8" GAP BETWEEN ALL EXTERIOR SHEATHING MATERIALS TO ALLOW FOR EXPANSION.
23. WALL SHEATHING SHALL BE NAILLED WITH MIN. 1" STAPLES @ 4" O.C. AT EDGES OF SHEATHING PANEL AND 12" O.C. ELSEWHERE OR 2" COMMON WIRE NAILS @ 12" O.C. AT EDGES AND 12" O.C. ELSEWHERE.
24. FLOOR SHEATHING SHALL BE GLUED WITH PLANK AND NAILLED WITH MIN. 2" COMMON WIRE NAILS @ 12" O.C. AT EDGES AND 12" O.C. ELSEWHERE.
25. WALLS OVER 10' IN HEIGHT SHALL HAVE BLOCKING INSTALLED AT A MINIMUM 4' O.C.
26. ALL WOOD IN DIRECT CONTACT WITH CONCRETE FOUNDATIONS SHALL BE PRESURE TREATED.
27. ALL NAILS SHALL BE COMMON WIRE NAILS UNLESS NOTED OTHERWISE.

28. FLOOR SHEATHING SHALL BE GLUED WITH PLANK AND NAILLED WITH MIN. 2" COMMON WIRE NAILS @ 12" O.C. AT EDGES AND 12" O.C. ELSEWHERE.
29. WALLS OVER 10' IN HEIGHT SHALL HAVE BLOCKING INSTALLED AT A MINIMUM 4' O.C.
30. ALL WOOD IN DIRECT CONTACT WITH CONCRETE FOUNDATIONS SHALL BE PRESURE TREATED.
31. ALL NAILS SHALL BE COMMON WIRE NAILS UNLESS NOTED OTHERWISE.

CONCRETE NOTES:

1. ALL CONCRETE, REINFORCEMENT, ACCESSORIES AND PROCEDURES SHALL MEET OR EXCEED THE APPLICABLE CSA STANDARD FOR THAT PRODUCT. PROTECT ALL MATERIALS FROM THE WEATHER DURING STORAGE AND INSTALLATION.
2. CEMENT: PORTLAND CEMENT AS REQUIRED CONFORMING TO CAN/CSA-A23.1-M14.
3. AGGREGATES: CLEAN, WELL-GRADED, UNCOATED SAND AND COARSE AGGREGATES CONFORMING TO CAN/CSA-A23.1-M14.
4. WATER: POTABLE FROM AN APPROVED MUNICIPAL SOURCE.
5. ADMIXTURES: SHALL CONFORM WITH CAN 5-A308M.
6. READY MIX CONCRETE: DESIGNED AND SUPPLIED BY THE SUPPLIER CONFORMING TO CAN/CSA-A23.1-M14. UNLESS NOTED OTHERWISE, CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 30 MPa. SEE EXPOSURE CATEGORIES BELOW FOR FURTHER REQUIREMENTS.
7. DETERMINATION OF EXPOSURE CATEGORY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. CONCRETE EXPOSED TO FREEZE-THAW CONDITIONS SHALL MEET EXPOSURE CLASSIFICATION C-2, 35 MPa, MAXIMUM WATER/CEMENT RATIO 0.45, AIR CONTENT CATEGORY 2 AS SPECIFIED IN CAN/CSA-A23.1-M14, UNLESS NOTED OTHERWISE.
9. CONCRETE EXPOSED TO MODERATE OR SEVERE SULFATE CONDITIONS SHALL MEET EXPOSURE CLASSIFICATION S-2 OR S-3 RESPECTIVELY, 35 MPa, MAXIMUM WATER/CEMENT RATIO 0.45, AIR CONTENT CATEGORY 2 AS SPECIFIED IN CAN/CSA-A23.1-M14, UNLESS NOTED OTHERWISE.
10. CONCRETE EXPOSED TO DE-ICING CHEMICALS SHALL MEET EXPOSURE CLASSIFICATION C-2, 35 MPa, MAXIMUM WATER/CEMENT RATIO 0.45, AIR CONTENT CATEGORY 1 AS SPECIFIED IN CAN/CSA-A23.1-M14, UNLESS NOTED OTHERWISE.
11. CONCRETE EXPOSED TO MULTIPLE EXPOSURE CONDITIONS SHALL MEET THE COMBINED EXPOSURE CLASSIFICATION REQUIREMENTS TO THE MOST SEVERE COMBINATION AS SPECIFIED IN CAN/CSA-A23.1-M14, UNLESS NOTED OTHERWISE.
12. SLUMP SHALL BE WITHIN THE RANGE OF 3" TO 4". GREATER SLUMPS SHALL NOT BE ACCEPTED UNLESS OTHERWISE SPECIFIED.
13. PLACE CONCRETE AS A CONTINUOUS OPERATION. STOPPING ONLY AT CONSTRUCTION JOINTS. CONSTRUCTION JOINTS SHALL BE ADEQUATELY DOVELEDED AND KEVED, DETAILS AND LOCATIONS OF CONSTRUCTION JOINTS SHALL BE APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO WORK COMMENCING.
14. CONTRACTOR TO USE APPROPRIATE MEASURES FOR CURING AND FINISHING.
15. CURING PROCEDURES AND PROTECTION OF CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD CAN/CSA-A23.1-M14. NEW CONCRETE SHALL NOT BE ALLOWED TO FREEZE UNDER ANY CIRCUMSTANCES. THE CONTRACTOR SHALL PAY THE COSTS RELATED TO DAMAGE BY UNDER STRENGTH OR IMPROPERLY CURED CONCRETE.
16. SUBMIT CONCRETE SLIPS TO STRUCTURAL ENGINEER FOLLOWING ALL POINTS.

FOUNDATION NOTES:

1. ALL FOOTINGS THAT BEAR ON NATIVE UNDISTURBED SOIL SHALL HAVE AN ALLOWABLE BEARING CAPACITY OF 3000 psf. PRIOR TO PLACEMENT OF CONCRETE FOR FOOTINGS, THE CONTRACTOR SHALL RETAIN THE SERVICES OF A GEOTECHNICAL ENGINEER TO VERIFY THAT THE SOIL IS ACCEPTABLE TO ACHIEVE THE SPECIFIED BEARING CAPACITY.
2. FOOTING ELEVATIONS AND WALL DEPTH SHALL BE CONFIRMED AND ADJUSTED IN ACCORDANCE WITH THE SOIL CONSULTANTS REQUIREMENTS. IN NO CASE SHALL THE DEPTH BE REDUCED TO LESS THAN THE REQUIRED FROST COVER WITHOUT WRITTEN INSTRUCTIONS FROM BRAVURA ENGINEERING AND THE GOVERNING AUTHORITIES.
3. UNLESS NOTED OTHERWISE, FOUNDATIONS SHALL BE BACK FILLED EVENLY ON BOTH SIDES TO PREVENT MOVEMENT. BACKFILL HEIGHT DIFFERENTIALS SHALL NOT VARY BY MORE THAN 12" FROM ONE SIDE TO THE OTHER. EXPOSED EXTREME CAUTION DURING BACKFILL OPERATIONS TO PREVENT DAMAGE TO THE CONCRETE.
4. IN ALL CASES, BACKFILL ON FOUNDATION WALLS SHALL NOT EXCEED 48" PRIOR TO THE INSTALLATION OF THE MAIN FLOOR SYSTEM, OR THE INSTALLATION OF ADEQUATE BRACING OF THE FOUNDATION WALLS.
5. DESIGN, SUPPLY AND PLACEMENT OF ALL TEMPORARY SHORING AND BRACING IS THE CONTRACTORS RESPONSIBILITY AND SHALL MEET ALL APPLICABLE STANDARDS AND LAWS.

CONCRETE SLAB ON GRADE NOTES:

1. REMOVE ALL TOP SOIL, ORGANICS, FROZEN SOIL, WET AND/OR WEAK SOILS. REFER TO THE SOILS REPORT FOR AVERAGE DEPTHS OF POOR SOIL. PROOF ROLL SUB-GRADE TO FURTHER DETECT SOFT AREAS. NATIVE UNDISTURBED SOIL SHALL BE COMPACTED TO A UNIFORM DENSITY OF 98% STANDARD PROCTOR MAXIMUM DRY DENSITY.
2. BACKFILL PROCEDURES SHALL BE AS PER THE GEO-TECHNICAL REPORT RECOMMENDATIONS OR AS SPECIFIED IN ABC 2019-8.12.
3. ALL OF THE ABOVE SHALL BE REVIEWED BY AN APPROVED SOILS TESTING FIRM INCLUDING ALL LABS OF THE BACKFILLING.
4. REINFORCEMENT SHALL BE CHAINED OFF THE SUB-GRADE PRIOR TO PLACING CONCRETE. PRE-MOISTEN THE GRAVEL PRIOR TO PLACING CONCRETE DIRECTLY ON IT, REFER TO ARCHITECTURAL FOR POLY-ETHYLENE BARRIER REQUIREMENTS.
5. CONCRETE SHALL BE PLACED, WORKED AND FINISHED TO ENSURE A WELL COMPACTED, VOID FREE SLAB. THE FLOOR FINISH TOLERANCE SHALL BE CLASSIFIED AS "CONVENTIONAL" (WITHIN 0.1" OF A 10'-0" STRAIGHT EDGE) IN ACCORDANCE WITH CAN/CSA-A23.1-M14.
6. FINISH SHALL BE IN ACCORDANCE WITH CSA STANDARDS AND AS SPECIFIED ON THE DRAWINGS.

CONCRETE CURING:

1. CONCRETE INSERTS (EXPANSION ANCHORS, EPOXY ANCHORS, POWDER ACTUATED FASTENERS, ETC.) SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT NO DAMAGE IS DONE TO ELECTRICAL, MECHANICAL OR ANY OTHER COMPONENT.

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Bravura Engineering Permit
to Practice #P11957



November 27, 2019

FRASER TAYLOR, P.Eng.

S0.1

DATE:	NOVEMBER 27, 2019
JOB NUMBER:	193758
CUSTOMER NAME:	PRIVATE RESIDENT
CUSTOMER JOB #:	-
PROJECT LOCATION:	313 CHURCH RANCHES DRIVE ROCKYVIEW COUNTY, ALBERTA
DRAWN BY:	FT
REVIEWED BY:	TZ
TIMELINES	
DATE	ISSUED FOR
2019-11-27	BUILDING PERMIT

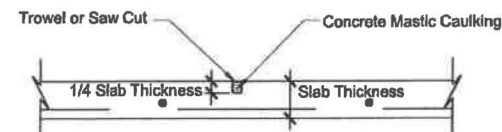
**Bravura Engineering Permit
to Practice #P11957**



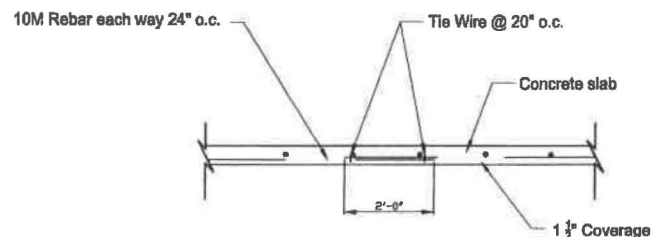
\$2.0



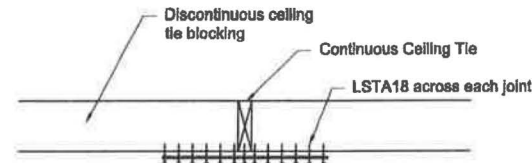
For non heated slab:
- Install saw or trowel cut control joint 1/4 depth of slab and fill with concrete mastic caulking as dimensioned on plan.



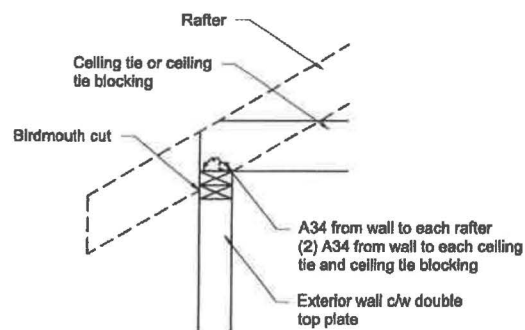
CONTROL JOINT DETAIL



REBAR SPLICING DETAIL



CEILING TIE BLOCKING SPLICING DETAIL

**RAFTER / CEILING TIE TO TOP OF WALL**

PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission

DATE: March 9, 2020

DIVISION: 02

APPLICATION: PRDP20194061

SUBJECT: Development Item: Dwelling, Accessory Dwelling Unit (Garden Suite)

APPLICATION: Construction of an Accessory Dwelling Unit (Garden Suite) and relaxation of the maximum habitable floor area

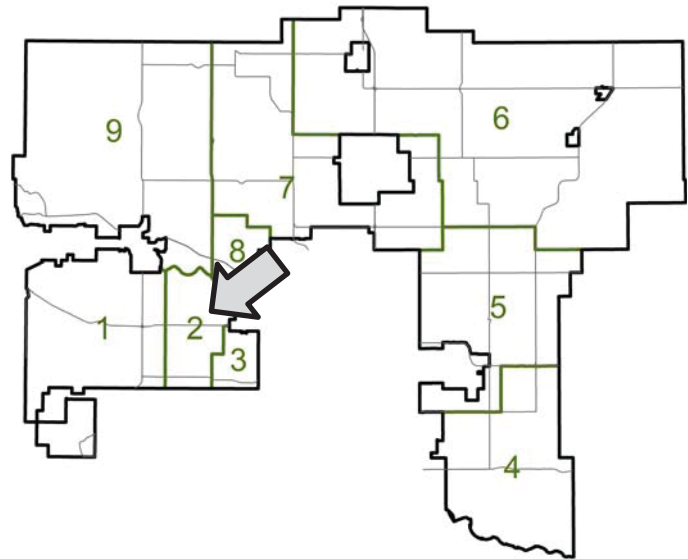
GENERAL LOCATION: located approximately 0.81 km (1/2 mile) north of Hwy. 1 and 0.25 km (1/4 mile) west of Rge. Rd. 31A

LAND USE DESIGNATION: Residential Two (R-2)

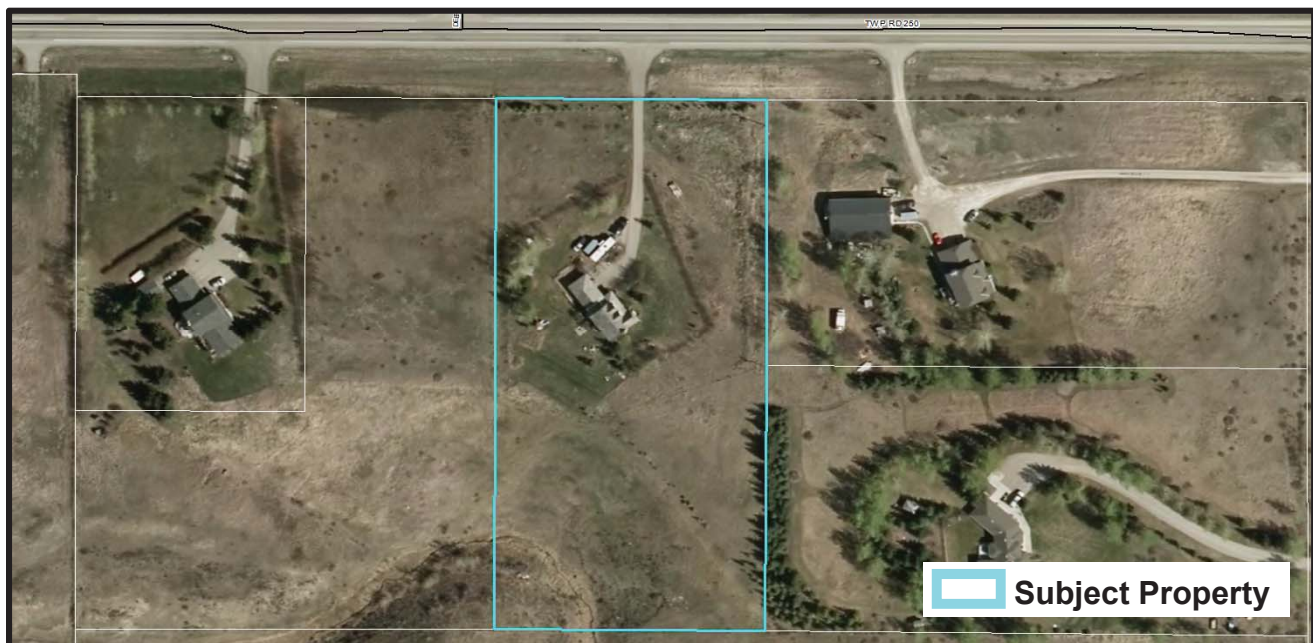
ADMINISTRATION RECOMMENDATION:
Administration recommends approval in accordance with Option #1.

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20194061 be approved with the conditions noted in the Development Permit Report, attached.
- Option #2: THAT Development Permit Application PRDP20194061 be refused as per the reasons noted.



AIR PHOTO & DEVELOPMENT CONTEXT:



Administration Resources

Althea Panaguiton- Planning and Development Services

DEVELOPMENT PERMIT REPORT

Application Date: November 7, 2019	File: 04735026
Application: PRDP20194061	Applicant/Owner: Ac, Patricia A.
Legal Description: Lot 4, Plan 8810395, NE-35-24-03-W05M	General Location: located approximately 0.81 km (1/2 mile) north of Hwy. 1 and 0.25 km (1/4 mile) west of Rge. Rd. 31A
Land Use Designation: Residential Two (R-2) District	Gross Area: ± 4.00 acres (± 1.62 hectares)
File Manager: Althea Panaguiton	Division: 02

PROPOSAL:

The proposal is for the construction of an Accessory Dwelling Unit (Garden Suite) and relaxation of the maximum habitable floor area.

General:

- The proposed ADU is approximately 118.73 sq. m. (1,278.00 sq. ft.) which exceeds the maximum habitable floor area by 7.94% as per Section 28.4 (d)(ii) of the Land Use Bylaw.
- The ADU includes three bedrooms, kitchen, one bathroom, living space, attached deck, basement, and an attached garage.
- The proposed height maximum is 5.18 m (17.00 ft.).
- Aside from the earthwork to dig up the basement, there will be minor regrading required as the site is quite flat.
- There is an existing dwelling, single detached on the property where the applicant currently resides in and an accessory building (shed).
- The applicant states that they wish to construct the ADU to allow additional family members to live on- site to assist with the maintenance of the property and to be available to assist with their healthcare needs.

Property History:

- Building Permits:
 - 1989-BP-1013 - Single Family Dwelling
 - 2006-PL-3811 - Plumbing
- Development Permit:
 - PRDP20152394: single-lot regrading and placement of clean fill, for construction of a berm – Closed- Approved

Land Use Bylaw Requirements:

Section 28 Accessory Building And Uses

28.4(a) All accessory dwelling units shall be constructed on a permanent foundation.

28.4(b) A lot shall be limited to one accessory dwelling unit, unless the lot is approved for two principal dwellings, single-detached.

- There is one dwelling, single detached with no other accessory dwelling units.



- 28.4(c)(i) *may be allowed within a Dwelling, Single Detached, within a building other than the principal dwelling, or as a detached Garden Suite;*
- The proposed ADU is a garden suite.
- 28.4(c)(ii) *An accessory dwelling unit shall be subordinate to a principal dwelling.*
- There is an existing two storey dwelling on site with a combined habitable floor area of 210.39 sq. m. (2,264.61 sq. ft.) excluding the attached garage area.
- 28.4(c)(iii) *An accessory dwelling unit shall comply with the height and setback regulations in the land use district, except where otherwise permitted in this Bylaw.*
- Section 50 of the Land Use Bylaw
 - Required Setbacks (m):
 - **Front:** 45.00
 - **West Side:** 3.00
 - **East Side:** 3.00
 - **Rear:** 7.00
 - Existing Setbacks (m):
 - **Front:** Lots
 - **West Side:** lots
 - **East Side:** 20.42
 - **Rear:** lots
 - Height Requirements
 - Maximum - 7.00 m (22.96 ft.)
 - Existing – 5.18m (17.00 ft.)
- 28.4(c)(iv) *shall have a minimum floor area of not less than 36.00 sq. m (387.49 sq. ft.).*
- Accessory dwelling unit area is 118.73 sq. m (1,278.00 sq. ft.)
- 28.4(c)(v) *shall contain at least two rooms and include sleeping, sanitary, and cooking facilities.*
- Accessory dwelling unit features three bedrooms, kitchen, bathroom, living room, and entry way.
- 28.4(c)(vii) *shall provide a minimum of one dedicated on-site parking stall in accordance with Section 30 of this Bylaw.*
- The applicant proposes an attached garage.
- 28.4(c)(viii) *shall have adequate sanitary sewer servicing*
- 28.4(c)(ix) *shall have adequate water servicing*
- The accessory dwelling unit to share existing water well and PSTS.
- 28.4(c)(x) *Shall have a distinct County address to facilitate accurate emergency response.*
- A preliminary address has already been created by Information & Technology Services.



28.4(d)(ii) *The maximum allowable habitable floor area of an Accessory Dwelling Unit shall be determined based on all story's, but excluding basements, the garage area and common area of egress, and shall be 110.00 sq. m (1,184.00 sq. ft.) with a maximum of two (2) bedrooms for a garden suite.*

- **Permitted:** 110.00 sq. m (1,184.00 sq. ft.);
- **Proposed:** 118.73 sq. m. (1,278.00 sq. ft.)

The maximum habitable floor area exceeds the requirement by 7.94% as per Section 28.4 (d)(ii) of the Land Use Bylaw. The requested variance appears to be minor in nature and therefore no issues.

28.4(f) *A Garden Suite:*

(i) *shall not exceed 5.50 m (18.04 ft.) in height;*

- As noted above, the existing height of the accessory building is 5.18m (17.00 ft.)

(ii) *shall not be a Dwelling, Mobile Home; and*

- The garden suite is not a dwelling, mobile home

(iii) *shall be considered an accessory building for the purposes of the total allowable number of accessory buildings and total building area.*

- There is an existing 13.01 sq. m. (140.00 sq. ft.) shed on the property and the proposed accessory dwelling unit with the attached garage is 209.03 sq. m. (2,250.00 sq. ft.). The total building area for accessory buildings is 222.04 sq. m. which meets the Land Use District's maximum of 225.00 sq. m. (2,421.88 sq. ft.).

Section 50 *Residential Two District*

50.3 *Uses, Discretionary*

Accessory Dwelling Unit (may be a Secondary Suite, a Suite within a Building, or a Garden Suite)

STATUTORY PLANS:

The property is located in the Central Springbank Area Structure Plan which has no policy guidelines for accessory dwelling units; the application is assessed on the Land Use Bylaw.

INSPECTOR'S COMMENTS:

January 29, 2020

- No construction started.
- Property gated.
- 1 accessory building or well cover.
- Surrounded (screened) by deciduous trees.
- 1 RV
- Quiet; tidy
- No issues.

CIRCULATION:

Alberta Transportation

- A permit is not required from Alberta Transportation.

City of Calgary

- No comments received.

Alberta Environment and Parks

- No comments received.

Building Services Review

- No objection to Garden Suite, subject to BP. Must follow “Accessory Dwelling Unit” checklist.
- Submit CSA and AB labels for RTM at BP stage.

Development Compliance Officer Review

- Development Compliance has the following recommendations regarding this application:
 - Recommend that noise control measures be required during construction.

Planning & Development Services - Engineering Services Review

General:

- The review of this file is based upon the application submitted. These conditions/recommendations may be subject to change to ensure best practices and procedures.

Geotechnical:

- Engineering has no requirements at this time.

Transportation:

- The proposed lot is accessible via road approach off of Township Road 250.
- The applicant/owner will not be required to pay the transportation offsite levy, as per the applicable TOL bylaw at time of approval, as the proposed development is directly associated with the construction of a dwelling.

Sanitary/Waste Water:

- Engineering has no requirements at this time.
- The applicant/owner indicated that the proposed development will be serviced via the existing PSTS system. A verification form conducted by a qualified professional was submitted as part of the application verifying that the existing PSTS is sufficient to accommodate the additional flow from the proposed development.

Water Supply And Waterworks:

- Engineering has no requirements at this time.
- The applicant/owner indicated that the proposed development will be serviced via the existing ground water well.

Storm Water Management:

- Engineering has no requirements at this time.
- Since the proposed development is within an existing building, impacts to drainage are expected to be minimal.



Environmental:

- It is the applicant's responsibility to obtain all required AEP licensing and approvals should the proposed development have a direct impact on any wetlands.

Operations Division Rocky View County:

Capital Project Management:

- No comments received.

Solid Waste and Recycling

- No Comments received.

Utility Services Review

- Utility Services: No Concerns.

Transportation Services

- No comments received.

OPTIONS:

Option #1 (this would grant the requested garden suite)

APPROVAL, subject to the following conditions:

Description:

1. That an accessory dwelling unit (garden suite), may be constructed in general accordance with the site plan submitted with the application and the conditions of this permit.
 - i. That the maximum habitable floor area of the accessory dwelling unit (garden suite) is relaxed from 110.00 sq. m. (1,184.00 sq. ft.) to 118.73 sq. m. (1,278.00 sq. ft.).

Prior to Issuance:

2. That prior to issuance of this permit, the Applicant/Owner shall confirm acceptance or refusal to participate in the Voluntary Recreation Contribution for Community Recreation Funding on the form provided by the County and that the contribution, if accepted, is \$800, calculated at \$800.00 for each new residential unit.

Permanent:

3. That the accessory dwelling unit (garden suite) shall be subordinate to the dwelling, single detached.
4. That there shall be only one permitted accessory dwelling unit on-site, unless approved by a separate Development Permit application.
5. That it is the Applicant/Owner's responsibility to obtain and display a distinct municipal address in accordance with the County Municipal Addressing Bylaw (Bylaw C-7562-2016), for each dwelling unit located on the subject site, to facilitate accurate emergency response.
6. That there shall be a minimum of one parking stall maintained on site at all times dedicated to the accessory dwelling unit (garden suite).
7. That there shall be no more than 1.00 m (3.28 ft.) of fill and topsoil placed adjacent to or within 15.00 m (49.21 ft.) of the accessory dwelling unit under construction that is used to establish



approved final grades and to establish basement grades, unless a Development Permit has been issued for additional fill and topsoil.

8. That there shall be adequate water servicing provided for the accessory dwelling unit (garden suite) and it is the Applicant's/Owner's responsibility to provide water quantity in accordance with the recommendations found in Module 2 of the document "Water Wells That Last for Generations" published by Agriculture and Agri-Food Canada, Alberta Environment, Alberta Agriculture and Food.
9. That it is the Owner/Applicant's obligation/responsibility to undertake water quality testing in accordance with the Guidelines for Canadian Drinking Water Quality and Alberta Health Services criteria. Should there be any adverse results or should questions arise concerning the interpretation of the results of the analyses, it will be the obligation/responsibility of the Owner/Applicant to contact the local Public Health Inspector for recommendations/requirements.
10. That there shall be adequate sanitary sewer servicing provided for the accessory dwelling unit (garden suite).
11. That the Applicant/Owner shall perform any required/necessary maintenance and upkeep of the Private Septic Treatment System, to maintain the system in good operating condition.
12. That any plan, technical submission, agreement, matter or understanding submitted and approved as part of the application, in response to a prior to issuance or occupancy condition, shall be implemented and adhered to in perpetuity.

Advisory:

13. That water conservation measures shall be implemented in the accessory dwelling unit (garden suite), such as low-flow toilets, shower heads, and other water conserving devices.
14. That during construction:
 - i. all construction and building materials shall be maintained on-site in a neat and orderly manner. Any debris or garbage shall be stored/placed in garbage bins and disposed of at an approved disposal facility.
 - ii. the Applicant/Owner shall implement adequate erosion and sediment control measures to avoid any impact to any site wetlands.
 - iii. the County's Noise Control Bylaw C-5772-2003 shall be adhered to at all times.
15. That a Building Permit and sub-trade permits shall be obtained through Building Services for the proposed accessory dwelling unit (garden suite), using the Accessory Dwelling Unit Checklist, prior to any construction taking place.
16. That if the development authorized by this Development Permit is not commenced with reasonable diligence within 12 months from the date of issue, and completed within 24 months of the issue, the permit is deemed to be null and void, unless an extension to this permit shall first have been granted by the Development Officer.
17. That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.
18. That if this Development Permit is not issued by **JUNE 30, 2020** or the approved extension date, then this approval is null and void and the Development Permit shall not be issued.

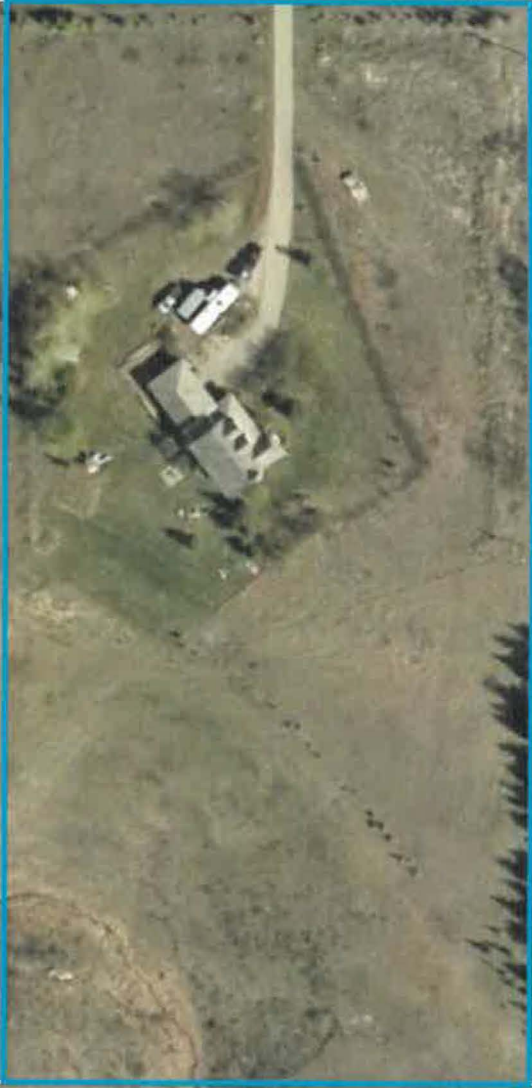
Option #2: (this would not allow the development to proceed)

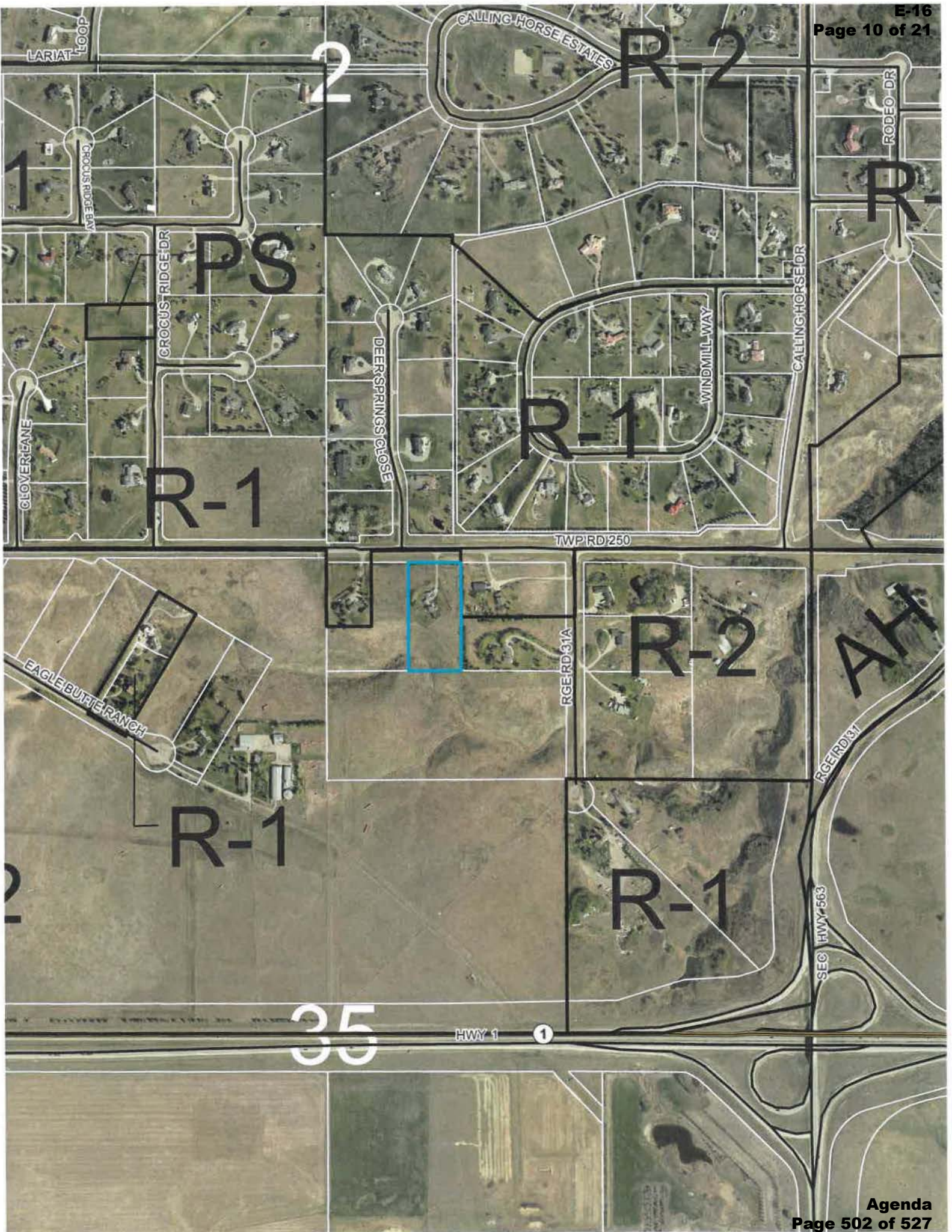
REFUSAL, for the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.

DEER SPRINGS CLOSE

TWP RD 250







ROCKY VIEW COUNTY
Cultivating Communities

20194061

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted \$ 530.00	File Number 04735026
Date of Receipt Nov 7/2019	Receipt # 2019022701

Name of Applicant Patricia A. Email [REDACTED]
Mailing Address [REDACTED]
Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]
For Agents please supply Business/Agency/ Organization Name _____

Registered Owner (if not applicant) _____
Mailing Address _____
Postal Code _____
Telephone (B) _____ (H) _____ Fax _____

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the NE $\frac{1}{4}$ Section 35 Township 24 Range 03 West of 05 Meridian
b) Being all / parts of Lot 4 Block _____ Registered Plan Number 8810395
c) Municipal Address 31097 Twop Rd 250 Calgary Alberta T3Z 1J9
✓ d) Existing Land Use Designation R2 Parcel Size 4 acres Division 2

2. APPLICATION FOR

Garden Suite (NEW)

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes _____ No ☒
b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes _____ No ☒
(Sour Gas facility means well, pipeline or plant)
c) Is there an abandoned oil or gas well or pipeline on the property? Yes _____ No ☒
d) Does the site have direct access to a developed Municipal Road? Yes ☒ No _____

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I PATRICIA A. A.C. hereby certify that ☒ I am the registered owner
(Full Name in Block Capitals)

_____ I am authorized to act on the owner's behalf

and that the information given on this form
is full and complete and is, to the best of my knowledge, a true statement
of the facts relating to this application.

**Affix Corporate Seal
here if owner is listed
as a named or
numbered company**

Applicant's Signature Patricia A.
Date Nov 3, 2019

Owner's Signature Patricia A.
Date Nov 3, 2019

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.



Patricia A. Ac

Applicant's/Owner's Signature

Please text before entering the yard, so I can get the dog in. She is friendly, but I do not want her to go out on the road. Her name is Stella.

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Patricia A. Ac, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

Patricia A. Ac

Signature

Nov 3, 2019

Date



ROCKY VIEW COUNTY
Cultivating Communities

20194061

FOR OFFICE USE ONLY	
Fee Submitted \$530.00	File Number 04735026
Date of Receipt Nov 7/19	Receipt # 2019022701

APPLICATION FOR AN ACCESSORY DWELLING UNIT

Name of Applicant Patricia Ac Email [REDACTED]
Mailing Address [REDACTED]
[REDACTED] Postal Code [REDACTED]
Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

1. ACCESSORY DWELLING UNIT

- ☐ Secondary suite within an existing dwelling ☐ Suite within an accessory building ☒ Garden suite

Total floor area of ADU 1296 sq ft Number of parking spaces for ADU 1

Describe availability of storage space accessible to the occupants of ADU ADU will have a 1 car garage. Additionally, mainhouse has a 3 car garage where there will be space.
Describe the outdoor space allocated to the ADU ~2 acres

2. WATER SOURCE

- ☐ Connection to Communal Water System (Provide Letter of Confirmation from system operator)

☒ Share Existing Groundwater Well

- ☐ New Well

(The location of new or existing wells is to be shown on a site plan; Groundwater Interference Report required when there are 6 or more parcels on a quarter-section) (only 3 other wells on quarter-section)

3. SEWAGE TREATMENT AND DISPOSAL

- ☐ Connection to Communal Sewage Collection System (Provide Letter of Confirmation from system operator)

☒ Connection to Existing Private Sewage Treatment System (show location on Site Plan)

- ☐ Expansion of Existing Private Sewage Treatment System (show location on Site Plan)

- ☐ Construction of New Private Sewage Treatment System (show location on Site Plan)

4. ADDITIONAL INFORMATION REQUIRED

Describe how the ADU will complement the primary dwelling (i.e. roof pitch, exterior finishing, windows, etc.)

ADU will have same roof pitch, matching siding, same shingles (see pictures)

Describe how the impact of the ADU on the neighboring properties is minimized (i.e. location of ADU on parcel, design of building, screening/landscaping etc.)

No neighbouring houses visible to the east. To the west, there is a gully separating houses. (See pictures)

Please provide a photograph of the primary dwelling along with a site plan of the proposed development.

Signature of Applicant Patricia Ac Date: Nov 3, 2019

NOTE: Remember to apply the Development Permit Application Review Fee (Engineering Services) - \$200.00



Private Sewage Treatment Systems for Additions & Renovations Verification Form

Date (Month/Day/Year): 10/20/2019

Related Building Permit Number (if applicable): _____

Property Owner Name(s): Patricia A.

Mailing Address: _____

City: _____

Prov: _____

Postal Code: _____

Phone: _____

Fax: _____

Cell: _____

Email: _____

Project Location:

Municipal Address: Rocky View, Alberta 31097 Twp Rd 250

Legal Address: Part of: NE Section: 14 sec Township: 35-24 Range: 03-05 West of: _____

Subdivision Name (if applicable) _____ Lot: 4 Block: _____ Plan: 8810395

Directions / Comments: go in side yard to the north, and then around back

The subject property is serviced by a private sewage treatment system.

It is a **REQUIREMENT** of Rocky View County that:

- 1) The applicant provides documentation from a certified installer to verify that the existing septic system is large enough to accommodate the addition of bedrooms and/or increase of load rates.
- OR
- 2) A certified installer conducts an onsite examination of the existing system to determine the appropriate size required for additional bedrooms and/or load rates. The certified installer will then complete the portion below, indicating whether the system is of sufficient size to accommodate extra usage, or if it will require upgrading or replacement.

CERTIFIED INSTALLER: Please confirm your findings and complete this form to be brought in by the home owner and/or applicant along with the building permit application. The building permit will not be released until this form is completed and verified by the authority having jurisdiction. Certified Installer information:

Contractor (Company): ABC Septic Inc. Address: 39176 twp rd 28A

City: Calgary Prov: AB Postal Code: 403-288-9500 Phone: 137289

Fax: _____ Cell: _____ Email: abcsepticinc@gmail.com

Certified Installers ticket #: PS10221 Installer's Name: Cody Rediger

I, Cody Rediger have inspected the existing private sewage treatment system at the above noted location and have determined that for the **EXISTING** 3 bedrooms, and for the **ADDITION** of 2 bedrooms in the proposed newly developed area: (please check the applicable box below)

- ☒ the existing system is sufficient to accommodate the above additional bedrooms and/or load rate
☐ the existing system is **NOT** sufficient at this time, to properly accommodate the above additional bedrooms and/or load rate and will require a Private Sewage Treatment System Permit. Please submit Private Sewage Permit Application

Description of Private Sewage Treatment System that was inspected: Septic tank w/ pump & below grade treatment field
 ie. Holding tank & field, etc.

Installer's Signature: Cody Rediger

The personal information provided as part of this application is collected under the Safety Codes Act and the Municipal Government Act and in accordance with the Freedom of Information and Protection of Privacy Act. The information is required and will be used for issuing permits, safety codes compliance verification and monitoring and property assessment purposes. The name of the permit holder and the nature of the permit is available to the public upon request. If you have any questions about the collection or use of the personal information provided, please contact the municipality.

FOR OFFICE USE ONLY:

☐ Certified Installer verified with AMA (Alberta Municipal Affairs) Checked by SCT _____
http://www.municipalaffairs.alberta.ca/CP_PrivateSewageContractorList

Lot 4
plan #
04735
026



Main house



Proposed house

E-16
Page 15 of 21
will have
same roof
- same colored
siding + same
brick facing
as main
house

*
Location
of
ADU



*location of ADU

fence
to be
moved



view towards Lot 5 (plan # 04735027)



-view toward Lot 6 (plan # 04735028)



view towards Lot 2
(plan # 04735015)



View toward
plan #
04735024
(across
gully)
- fence to be
moved.



View toward Lot 1 + 3
(plan # 04735014, +
04735034)

January 28, 2020

To: Rocky View County
Re: Development Permit for a Garden Suite
Lot 4, Plan #04735026
From: Patricia A. Ac

Dear Ms.Panaguiton

This is an update to my previous cover letter that was originally included with my application dated Nov 7, 2019. The reason for my wanting to build a Garden Suite is still the same –having osteoarthritis that is progressing from mild to severe, I would like to have family nearby to help with the yard work and maintenance on the acreage, along with some assurance of medical help should I need it.

Originally, I was going to move into the garden suite, however; we found it is more economically viable for my son and his family to do so. This would also reduce the stress on me as ultimately, I want to stay in the house that we not only built, but have lived in for 30 years, and raised all 3 children in. The main house would only need some minor changes once the arthritis progresses – either a stair lift, or changing the dining room on the main floor to a bedroom.

Being an active Springbank community member all these years (worked at Springbank Middle School for 22 yrs before retiring last year, Girl Guide leader for 12 yrs, SPFAS Board member for a number of years, plus other volunteering) I would love to be able to stay on the property and age in place, and this would be the only way that I accomplish that.

Please accept the revised house plan and site plan which shows the changes. The only other change that will happen is once everything is approved and we can proceed with the building, I will be selling the acreage to my son, Stefan Ac.

Thank you for your consideration,

Patricia A. Ac

[REDACTED]
[REDACTED]



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0012 914 636 8810395;;4 081 392 971

LEGAL DESCRIPTION
PLAN 8810395
LOT 4
EXCEPTING THEREOUT ALL MINES AND MINERALS
AREA: 1.62 HECTARES (4 ACRES) MORE OR LESS

ESTATE: FEE SIMPLE
ATS REFERENCE: 5;3;24;35;NE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 881 200 150

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
081 392 971	20/10/2008	TRANSFER OF LAND	\$776,500	SETTLEMENT

OWNERS

PATRICIA A AC

[REDACTED]

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
741 105 568	18/11/1974	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED.
761 141 577	17/11/1976	ZONING REGULATIONS SUBJECT TO SPRINGBANK AIRPORT ZONING REGULATIONS
881 124 704	20/07/1988	CAVEAT RE : EASEMENT CAVEATOR - MICHAEL H WOROBY

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
081 392 971

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

CAVEATOR - HELEN C WOROBY
BOTH OF:
C/O LAWS & PESTA, 1010, 600-6 AVE SW
CALGARY
ALBERTA T2P0S5
AGENT - LUBOS K PESTA

101 094 084 01/04/2010 MORTGAGE
MORTGAGEE - THE TORONTO DOMINION BANK.
500 EDMONTON CITY CENTER EAST, 10205-101 STREET,
5TH FLOOR
EDMONTON
ALBERTA T5J5E8
ORIGINAL PRINCIPAL AMOUNT: \$297,840

TOTAL INSTRUMENTS: 004

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 12 DAY OF
NOVEMBER, 2019 AT 01:23 P.M.

ORDER NUMBER: 38346944

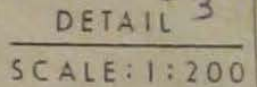
CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



Agenda
Page 512 of 527

1957

2nd floor:

$26 \times (13.94 + 18.2 + 8)$	1044.68
$7.25 + 7$	50.75
(spoon above) Scale: 1:1000	1095.43 metric
<u>Total sq ft:</u>	2264.61
(house only)	

Black Spruce

MAS2462-8749-C-1 (S60-008-749)

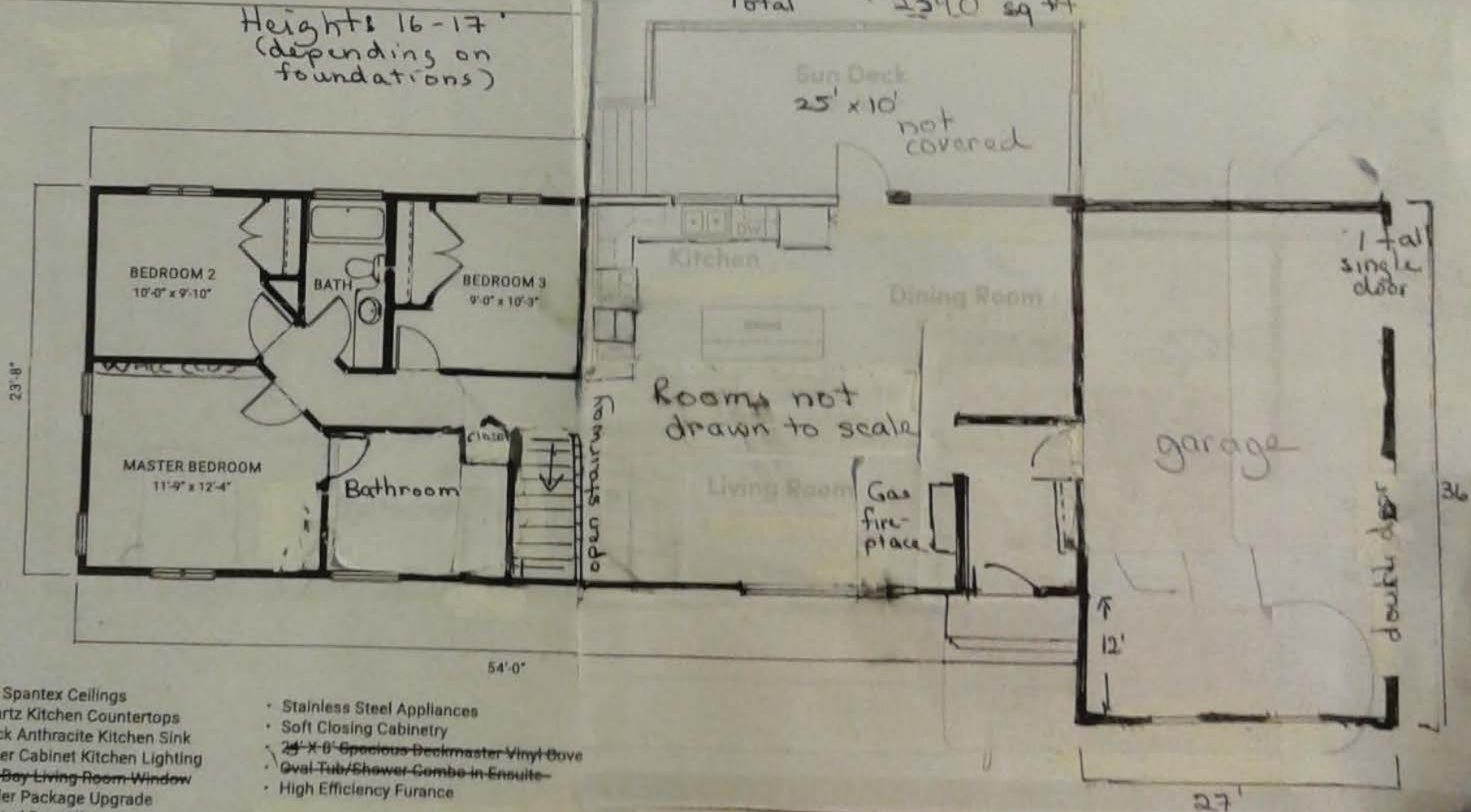


SQ. FT.
1278



DIMENSIONS

Heights 16-17'
(depending on foundations)



- 9ft. Spantex Ceilings
- Quartz Kitchen Countertops
- Black Anthracite Kitchen Sink
- Under Cabinet Kitchen Lighting
- ~~Box Bay Living Room Window~~
- Kohler Package Upgrade
- Painted Drywall
- Masterpiece Specifications

*Basement
utility room in
basement

- Stainless Steel Appliances
- Soft Closing Cabinetry
- 24' x 8' Spacious Deckmaster Vinyl Deck
- Oval Tub/Shower Combo in Ensuite
- High Efficiency Furnace

Toll Free: 1.800.461.7632

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PLANNING AND DEVELOPMENT SERVICES

TO: Municipal Planning Commission
DIVISION: 03
SUBJECT: Development Item: Dwelling, Single Detached

DATE: March 9, 2020
APPLICATION: PRDP20200024

APPLICATION: Dwelling, single detached (existing), relaxation of the minimum side (east) and front yard (north) setbacks.

GENERAL LOCATION: Located approximately 0.20 km (1/8 mile) south of Hwy. 8 and 1.61 km (1 mile) east of Rge. Rd. 31

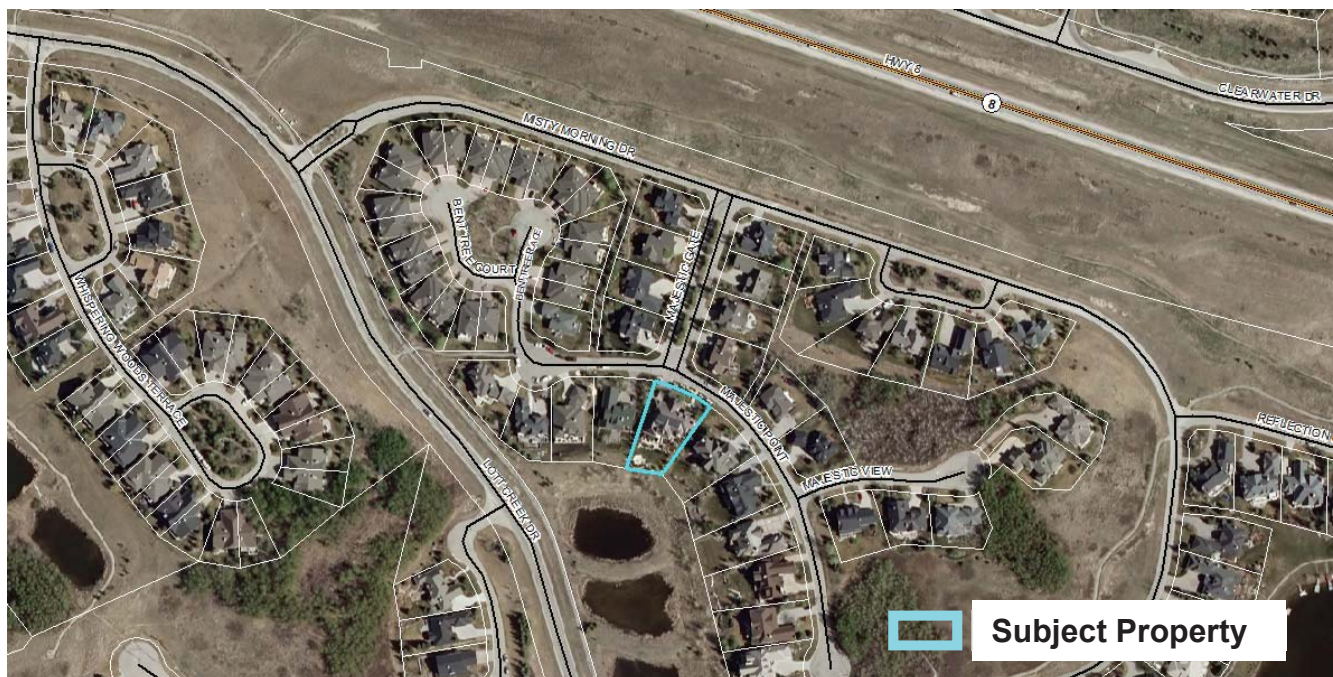
LAND USE DESIGNATION: Direct Control District (DC-13, Cell 2)

ADMINISTRATION RECOMMENDATION: Administration recommends APPROVAL in accordance with Option #1

OPTIONS:

- Option #1: THAT Development Permit Application PRDP20200024 be approved with the conditions noted within the report
- Option #2: THAT Development Permit Application PRDP20200024 be refused as per the reasons noted within the report

AIR PHOTO & DEVELOPMENT CONTEXT:



DEVELOPMENT PERMIT REPORT

Application Date: January 7, 2020	File: 04606101
Application: PRDP20200024	Applicant: Third Rock Geomatics (Mark Sutter) Owner: Robert S. Hutcheson
Legal Description: UNIT 58, Plan 9813459, SW-06-24-02-W05M (65 Majestic Point)	General Location: Approximately 0.20 km (1/8 mile) south of Hwy. 8 and 1.61 km (1 mile) east of Rge. Rd. 31
Land Use Designation: Direct Control District (DC 13 - Cell 2)	Gross Area: ± 0.15 hectares (± 0.37 acres)
File Manager: Sangeeta Vishwakarma	Division: 03

PROPOSAL:

Relaxation of the minimum front yard setback (north) requirement of 6.00m to 5.98m and side yard setback (east) requirement of 1.50m to 1.42m, for the existing *Dwelling, Single Detached* at the above-noted site. Note the following:

- Access to the site is from adjacent internal road, Majestic Point.
- Site is located at the intersection of Majestic Point and Majestic Gate junction.
- Dwelling built in 1999 with an addition/renovation approved in 2009 (2009-DP-13467).
- There are no accessory buildings on this site.

APPLICATION HISTORY:

- Real Property Report submitted November 2, 2019 was non-compliant due to encroachment within the required side and front yard setbacks.
- Applicant submitted development application in response to an advisory letter sent on January 6, 2020 outlining the encroachments.
- Compliance report noted that a site-specific amendment is required; however, since the amendment to section 67.5 of the Land Use Bylaw on February 14, 2020, Development Authority can make decision on variance applications such as this.

LAND USE BYLAW (Amended per Bylaw C-7968-2019):

Section 67 Direct Control District (DC)

67.5 Variance

Where a development does not comply with the approved DC Direct Control regulations for the site, the Development Authority may, if satisfied that the proposed variance will not unduly interfere with the amenities of the neighborhood nor materially interfere with or affect the use, enjoyment, or value of neighboring properties, issue a Development Permit granting a variance.

DIRECT CONTROL DISTRICT (DC 13 - Cell 2):

Section 2.6.0 Permitted Uses

2.6.1 Dwelling, single detached (where all of the parcel is out of the flood fringe)

*Section 2.9.0 Minimum Building Setbacks - (principal buildings)**2.9.1 Minimum side yard - 1.5 m (4.92 ft) PROPOSED 1.42m (4.66 ft.)**2.9.2 Minimum front/rear yard - 6 m (19.68 ft.) PROPOSED 5.98m (19.62 ft.)***STATUTORY PLANS:**

Area Structure Plan (ASP): Elbow Valley Area Structure Plan – plan does not provide guidance on setback variances of this nature.

Intermunicipal Development Plan (IDP): Calgary Intermunicipal Development Plan - plan does not provide guidance on setback variances of this nature.

NON-STATUTORY PLANS:

Conceptual Scheme (CS): Not applicable.

Application assessed in accordance with Sections 3.6 and 2.9 of DC-13 Bylaw and Section 67.5 of the Land Use Bylaw.

INSPECTOR'S COMMENTS:

Planning and Development Services (February 20, 2020)

- Single family dwelling on site located per site plan.
- Front projection is well screened by landscaping.
- Side yard projection (chimney) is several meters (4-6m) from adjacent east dwelling.
- Side of building (east) is not parallel to adjacent building, oriented in NE direction therefore no direct impact.
- Ample tree screening on east neighbor side yard, therefore no visual impact
- Dwelling fronts T-junction of Majestic Point and Majestic Gate, no direct impact to neighbour across (north).
- No visible concerns.

CIRCULATIONS:City of Calgary

- No comments received.

Alberta Transportation

- In reviewing the application, the proposed development falls within the control distance of a provincial highway as outlined in the Highways Development and Protection Act / Regulation. The proposed development, however, will not cause any concern for ongoing highway operation or future highway expansion.
- Pursuant to Section 25(3)(c) of the Highways Development and Protection Regulation, Alberta Transportation issues an exemption from the permit requirements for the development referenced herein.

Building Services, Rocky View County

- There are no comments from Building Services if the existing residence was permitted and inspected. It appears to be strictly a bylaw relaxation due to human error on site.

Enforcement Services, Rocky View County

- Recommend that any set back relaxations should not have a detrimental impact on neighbouring properties.

OPTIONS:

Option #1: (this would approve the proposed development)

APPROVAL subject to the following conditions:

Description:

- 1) That the minimum front yard setback requirement for the existing *Dwelling, Single Detached* is relaxed from **6.00m (19.69 ft.) to 5.98 m (19.62 ft.)** as shown on the Real Property Report prepared by Third Rock Geomatics (File #19-03149841), dated November 12, 2019.
- 2) That the minimum side yard setback for the existing *Dwelling, Single Detached* is relaxed **1.50m (4.92 ft.) to 1.42m (4.66 ft.)** as shown on the Real Property Report prepared by Third Rock Geomatics (File #19-03149841), dated November 12, 2019.

Advisory:

- 3) That any other government permits, approvals, or compliances are the sole responsibility of the Applicant/Owner.

Option #2: (this would not allow the proposed development)

REFUSAL as per the following reasons:

1. That in the opinion of the Municipal Planning Commission, the development unduly interferes with the amenities of the neighbourhood and materially interferes with and affects the use, enjoyment, and value of neighbouring parcels of land.
- 2.

Development Authority

SV/llt







ROCKY VIEW COUNTY
Cultivating Communities

20200024

APPLICATION FOR A DEVELOPMENT PERMIT

FOR OFFICE USE ONLY	
Fee Submitted \$315.00	File Number 04606101
Date of Receipt Jan 7/20	Receipt # 2020023198

Name of Applicant Third Rock Geomatics Email mark@ThirdRockGeomatics.com
 Mailing Address PO Box 216, Suite 104-1240 Kensington Road NW
Calgary Postal Code T2N 3P7
 Telephone (B) 587-333-4413 (H) [REDACTED] Fax [REDACTED]
 For Agents please supply Business/Agency/ Organization Name Third Rock Geomatics

Registered Owner (if not applicant) Scott Hutcheson
 Mailing Address [REDACTED]
[REDACTED] Postal Code [REDACTED]
 Telephone (B) [REDACTED] (H) [REDACTED] Fax [REDACTED]

1. LEGAL DESCRIPTION OF LAND

- a) All / part of the 1/4 Section 1 Township 24 Range 3 West of 5 Meridian
 b) Being all / parts of Lot [REDACTED] Unit 58 Registered Plan Number 981 3459
 c) Municipal Address 65 Majestic Point SW, Calgary
 d) Existing Land Use Designation DC13-6612 Parcel Size .37 Division [REDACTED]

2. APPLICATION FOR

Encroachment into the required set back. The existing cantilever encroaches in the sideyard by 8cm's.

relaxation of side setback and front setback of existing dwelling

3. ADDITIONAL INFORMATION

- a) Are there any oil or gas wells on or within 100 metres of the subject property(s)? Yes [REDACTED] No X
 b) Is the proposed parcel within 1.5 kilometres of a sour gas facility? Yes [REDACTED] No X
 (Sour Gas facility means well, pipeline or plant)
 c) Is there an abandoned oil or gas well or pipeline on the property? Yes [REDACTED] No X
 d) Does the site have direct access to a developed Municipal Road? Yes Y No [REDACTED]

4. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I Mark Sutter hereby certify that [REDACTED] I am the registered owner
 (Full Name in Block Capitals) X I am authorized to act on the owner's behalf

and that the information given on this form
 is full and complete and is, to the best of my knowledge, a true statement
 of the facts relating to this application.

**Affix Corporate Seal
 here if owner is listed
 as a named or
 numbered company**

Applicant's Signature Mark Sutter
 Date December 9, 2019

Owner's Signature [REDACTED]
 Date [REDACTED]

5. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter the above parcel(s) of land for purposes of investigation and enforcement related to this Development Permit application.

Mark Sutter

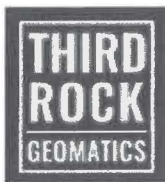
Applicant's/Owner's Signature

Please note that all information provided by the Applicant to the County that is associated with the application, including technical studies, will be treated as public information in the course of the municipality's consideration of the development permit application, pursuant to the Municipal Government Act, R.S.A 2000 Chapter M-26, the Land Use Bylaw and relevant statutory plans. By providing this information, you (Owner/Applicant) are deemed to consent to its public release. Information provided will only be directed to the Public Information Office, 262075 Rocky View Point, Rocky View County, AB, T4A 0X2; Phone: 403-520-8199.

I, Mark Sutter, hereby consent to the public release and disclosure of all information contained within this application and supporting documentation as part of the development process.

Mark Sutter
Signature

December 9, 2019
Date



PO Box 216 – Suite 104 – 1240 Kensington
Rd. NW, Calgary, AB T2N3P7
Phone: 587.333.4413
Email: Mark@ThirdRockGeomatics.com

Attn: Natalie Robertson – Rocky View County

Re: Request for Development Permit Application

Please accept this as our application for a Development Permit Application. The application is in regard to 65 Majestic Point, Rocky View County. The purpose is associated to a “cantilever”, 0.08m into the set-back side yard zone, as well as the 5.98m tie to the street at the front of the house. The deficiency is 0.02m.

I have reviewed the Checklist found on your website and believe I have attached all necessary documents associated with the parcel. I have also attached a digital copy of the Real Property Report as an attachment even though you have paper copies within your file.

I have provided a credit card form, but did not complete all the digits on the form. Please call for my card number so payment can be attained.

Mark Sutter

Mark Sutter, ALS
CEO, Third Rock Geomatics



LAND TITLE CERTIFICATE

S

LINC	SHORT LEGAL	TITLE NUMBER
0027 760 959	9813459;58	051 322 642

LEGAL DESCRIPTION

CONDOMINIUM PLAN 9813459

UNIT 58

AND 82 UNDIVIDED ONE TEN THOUSANDTH SHARES IN THE COMMON PROPERTY

EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

ATS REFERENCE: 5;2;24;6;SW

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 011 220 196

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
051 322 642	06/09/2005	TRANSFER OF LAND	\$1,690,000	CASH & MORTGAGE

OWNERS

ROBERT SCOTT HUTCHESON



ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
981 386 876	09/12/1998	AGREEMENT (RE: SEE INSTRUMENT)
981 388 143	10/12/1998	AGREEMENT (RE: SEE INSTRUMENT)
981 389 356	11/12/1998	ENCUMBRANCE ENCUMBRANCEE - ELBOW VALLEY RESIDENTS CLUB. 2750, 801-6TH. AVENUE S.W. CALGARY

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
051 322 642

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

ALBERTA T2P3W2

101 015 562 15/01/2010 CAVEAT
RE : UTILITY RIGHT OF WAY
CAVEATOR - FORTISALBERTA INC.
320-17 AVE SW
CALGARY
ALBERTA T2S2V1
AGENT - MARK HAMEISTER

181 075 942 16/04/2018 RELEASE OF DOWER RIGHTS
BY - KATHRYN LEE HUTCHESON

181 075 943 16/04/2018 MORTGAGE
MORTGAGEE - HSBC BANK CANADA.
LENDING ADMINISTRATION CENTRE
3RD FLOOR, 2910 VIRTUAL WAY
VANCOUVER
BRITISH COLUMBIA V5M0B2
ORIGINAL PRINCIPAL AMOUNT: \$2,012,000

* ADDITIONAL REGISTRATIONS MAY BE SHOWN ON THE CONDOMINIUM ADDITIONAL
PLAN SHEET

TOTAL INSTRUMENTS: 006

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 6 DAY OF
JANUARY, 2020 AT 04:48 P.M.

ORDER NUMBER: 38596074

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



ROCKY VIEW COUNTY

262075 Rocky View Point
Rocky View County AB T4A 0X2

403-230-1401
questions@rockyview.ca
www.rockyview.ca

LETTER OF AUTHORIZATION

I, (We) Scott Hutcheson being the owner (s) of
Unit 58
Lot Block Plan 981 3459

Legal:

NW/NE/SE/SW Section 1 Township 24 Range 3 W 5 M
give Third Rock Geomatics - Mark Sutter, A.L.S. permission to act on my
(our) behalf in applying for a Development Permit for the above subject property.



Signature

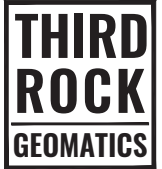
Signature

December 9, 2019
Date

ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

THIRD ROCK GEOMATICS

PO Box 216, Suite 104 1240 Kensington Road NW
Calgary, Alberta T2N 3P7 Phone 587-333-4413



Description of Property:

Civic Address: 65 Majestic Point SW, Rocky View County, Alberta

Legal Address: Unit 58, Plan 981 3459

and 82 Undivided One Ten Thousandth Shares In The Common Property

Certificate of Title: 051 322 642

Owner(s): Robert Scott Hutcheson

Registered instrument affecting the extent of property:

981 386 876 Agreement

981 388 143 Agreement

981 389 356 Encumbrance

101 015 562 Caveat

181 075 942 Release of Dower Rights

181 075 943 Mortgage - HSBC Bank Canada

Date of Title Search: October 15, 2019

Date of Survey: November 12, 2019

I, Mark A. Sutter, Alberta Land Surveyor, hereby certify this Report, which includes the Plan and related Survey, was prepared and performed under my personal supervision and in accordance with the Manual of Standard Practice of the Alberta Land Surveyor's Association and supplements thereto. Accordingly within those standards and as of the date of this Report, I am of the opinion:

1. The Plan illustrates the boundaries of the Property, the improvements as defined in Part D, Section 8.5 of the Alberta Land Surveyors Association Manual of Standard Practice, registered easements and right of way affecting the extent of the title to the property;
2. The improvements are entirely within the boundaries of the property except: NONE IDENTIFIED
3. No visible encroachments exist on the Property from any improvements situated on an adjoining property except: NONE IDENTIFIED
4. No visible encroachments exist on registered easements, right of way or other registered instruments affecting the extent of property except: NONE IDENTIFIED

This is **Page 1 of 2** for a **Real Property Report**
and is ineffective if detached from Page 2

Notes:

Distances are in metres and decimals thereof, bearings are assumed from plan 981 3459.

All ties are perpendicular to property line. Side yard and setback distances are measured to concrete walls, except otherwise shown. All fences are within 0.20m of the property line unless otherwise noted.

Eaves are measured to the foundation, unless otherwise noted.

Fd. - Found, Mk. - Mark, C.S. - Countersunk, Δ - Central angle of curve, R - Radius, A - Arc Length

Statutory Iron Post found shown thus ● Fd. I.

Title boundary shown thus

Fence shown thus

Dated at the City of Calgary, Alberta, November 13, 2019

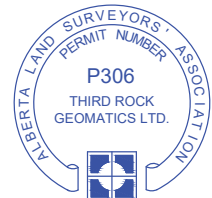
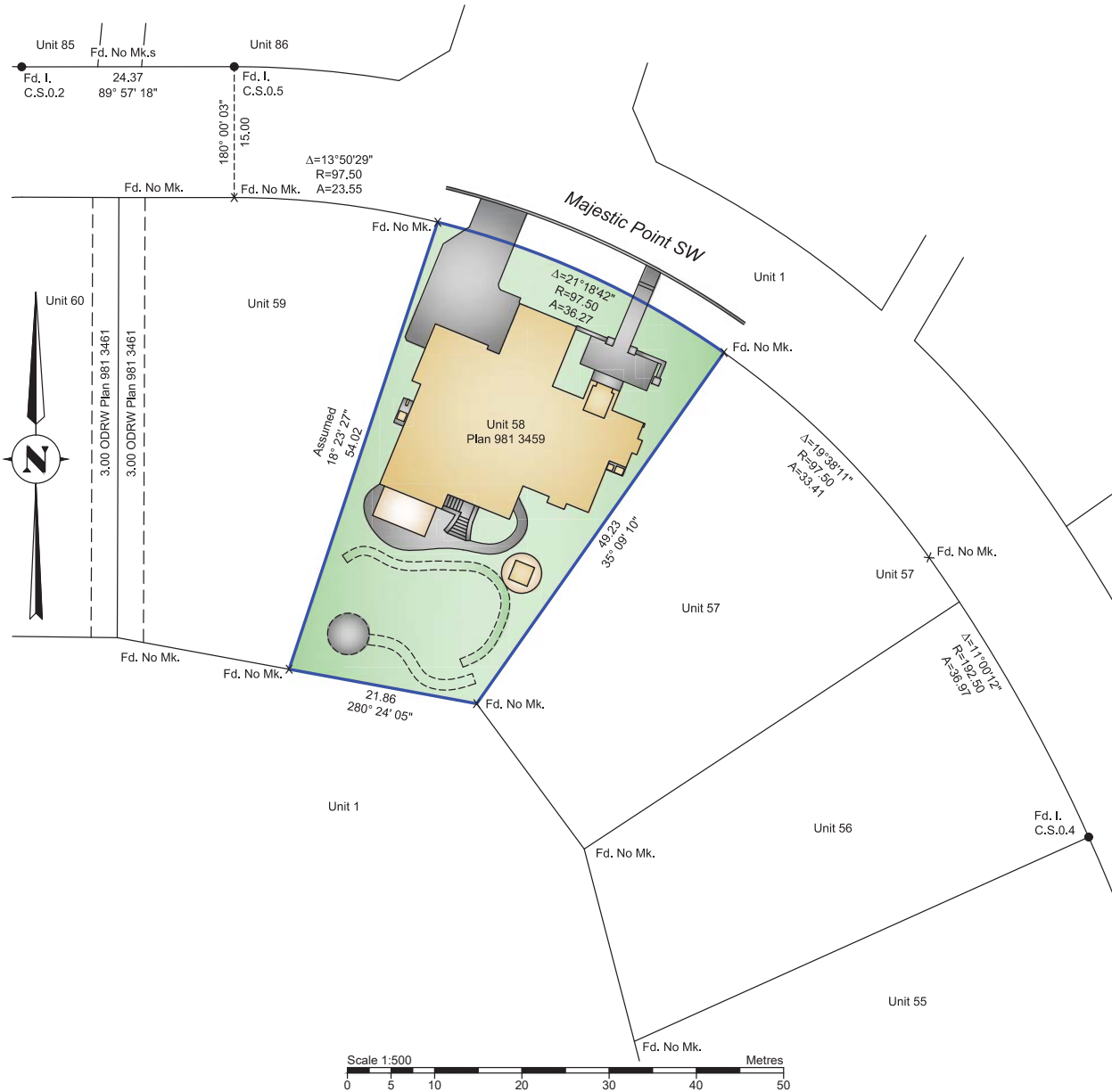
Mark A. Sutter, A.L.S. (Copyright reserved)

This document is not valid unless it bears an original signature (in blue) and a Third Rock Geomatics Ltd. permit stamp (in blue).

Purpose: This report and attached plan have been prepared for the benefit of the property owner, subsequent owners, and any of their agents for the purpose of land conveyance, a mortgage application, or a submittal to the municipality for a compliance certificate. © Copying is permitted only for the benefit of these parties.

Where applicable, registered easements and utility right of way affecting the extent of the property have been shown on the plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report. The plan should not be used to establish property boundaries due to the risk of misinterpretation or measurement error by the user. The information shown on this Real Property Report reflects the status of this property as of the date of survey only. Users are encouraged to have Real Property Reports updated for future requirements.

File: 19-0314 981 3459;Unit 58 | Drawing Name: 19-0314.dwg | Plot Date: 2019-11-13 10:52 AM



ALBERTA LAND SURVEYOR'S REAL PROPERTY REPORT

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All ties are perpendicular to property line. Side yard and setback distances are measured to concrete walls, except otherwise shown. All fences are within 0.20m of the property line unless otherwise noted.

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Title boundary shown thus

Fence shown thus

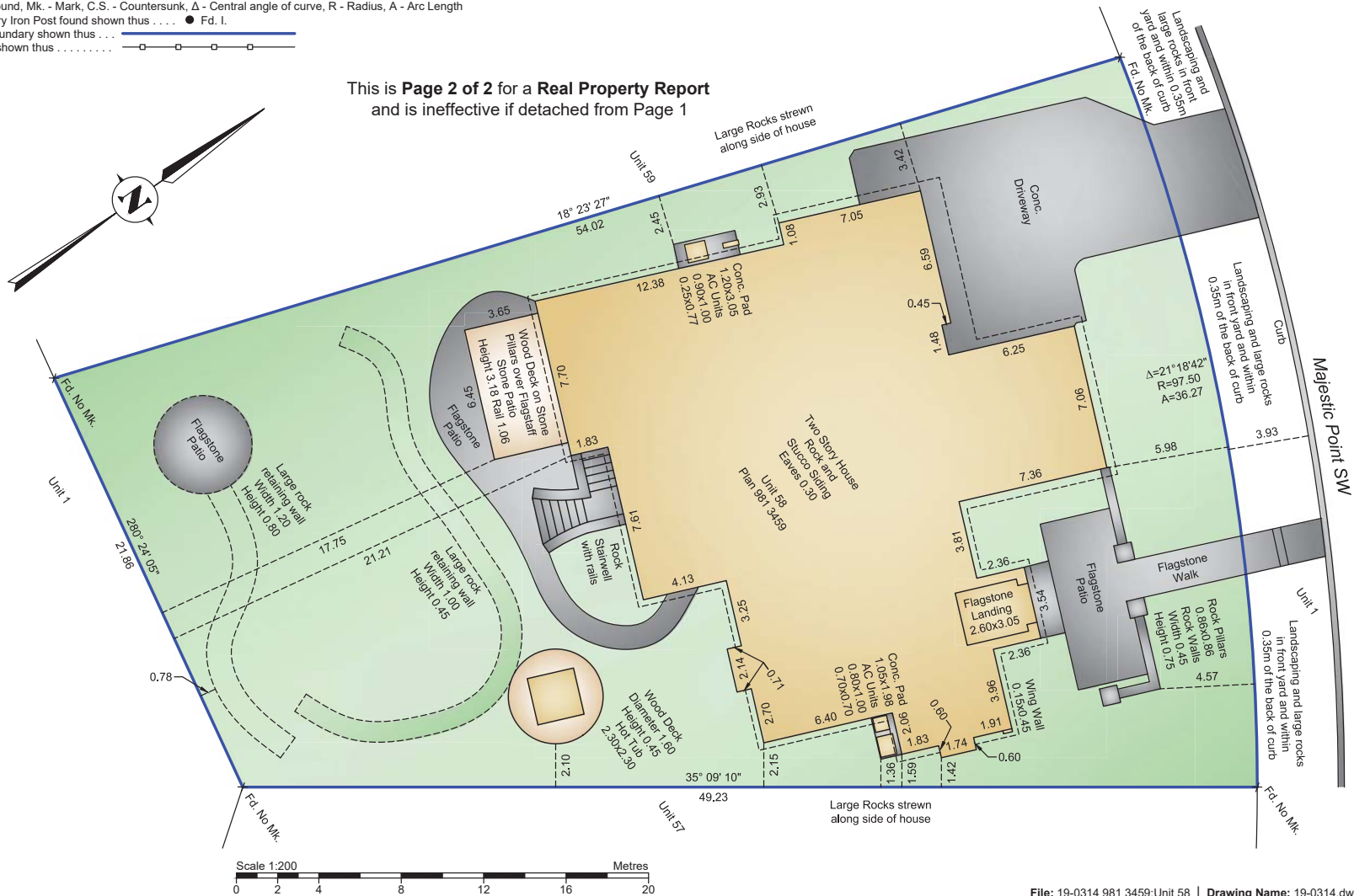
This is **Page 2 of 2** for a **Real Property Report**
and is ineffective if detached from Page 1

THIRD ROCK GEOMATICS

PO Box 216, Suite 104 1240 Kensington Road NW
Calgary, Alberta T2N 3P7 Phone 587-333-4413

Description of Property:

Civic Address: 65 Majestic Point SW, Rocky View County, Alberta
Legal Address: Unit 58, Plan 981 3459
Date of Survey: November 12, 2019



File: 19-0314 981 3459;Unit 58 | **Drawing Name:** 19-0314.dwg | **Plot Date:** 2019-11-13 10:52 AM