



ROCKY VIEW COUNTY
Cultivating Communities



HAMLET OF BRAGG CREEK DESIGN STANDARDS

CONTENTS

1.0 INTRODUCTION	2
1.1 PURPOSE	2
1.2 APPLICATION AND SCOPE	2
1.3 RELATIONSHIP AND LINKAGE TO OTHER POLICY DOCUMENTS	3
1.4 TERMINOLOGY	4
1.5 APPLICATION PROCESS AND REQUIREMENTS	4
1.5.1 PUBLIC ENGAGEMENT REQUIREMENTS	4
1.5.2 SUBMISSION REQUIREMENTS	5
2.0 DESIGN PRINCIPLES	6
3.0 PRIVATE REALM STANDARDS	7
3.1 SITE PLANNING AND DESIGN	7
3.1.1 TREE MANAGEMENT	7
3.1.2 RESILIENCE DESIGN	7
3.1.3 FENCING	8
3.2 COMMERCIAL, INSTITUTIONAL, MIXED-USE, AND MULTI-UNIT RESIDENTIAL DEVELOPMENT	9
3.2.1 BUILDING PLACEMENT	9
3.2.2 BUILDING PROPORTIONS AND SCALE	10
3.2.3 BUILDING STYLE	11
3.2.4 BUILDING MATERIAL AND COLOUR	13
3.2.5 UTILITY AND SERVICE AREAS	13
3.2.6 PARKING AND SITE ACCESS	14
3.2.7 LANDSCAPING	15
3.2.8 LIGHTING	15
3.2.9 BUSINESS SIGNAGE	16
4.0 PUBLIC REALM STANDARDS	18
4.1 STREETSAPES	18
4.2 STREET FURNITURE	20
4.3 WAYFINDING & GATEWAY FEATURES	21
4.4 CIVIC NODES AND PUBLIC OPEN SPACES	23
4.5 PUBLIC ART	23
5.0 DESIGN STANDARDS CHECKLISTS	24

INTRODUCTION

1.1 PURPOSE

These Design Standards provide design direction for development, redevelopment, and enhancement of buildings, streetscapes, public open space, and natural areas. They build on a vision of the hamlet that supports the conservation of the natural environment, and an attractive and functional public realm.

Sensitive development enhancements, as well as other street and park improvements, will help advance the community goal of fostering a vibrant, inviting, and connected commercial core. They address the way buildings shall relate to each other, the public realm, and the overall physical appearance of the hamlet, to ensure a consistent community character.

These standards will help improve the visual aesthetic of local buildings and landscapes, reduce the visual clutter of commercial signs, and promote the integration of individual buildings to create an attractive and cohesive public environment.

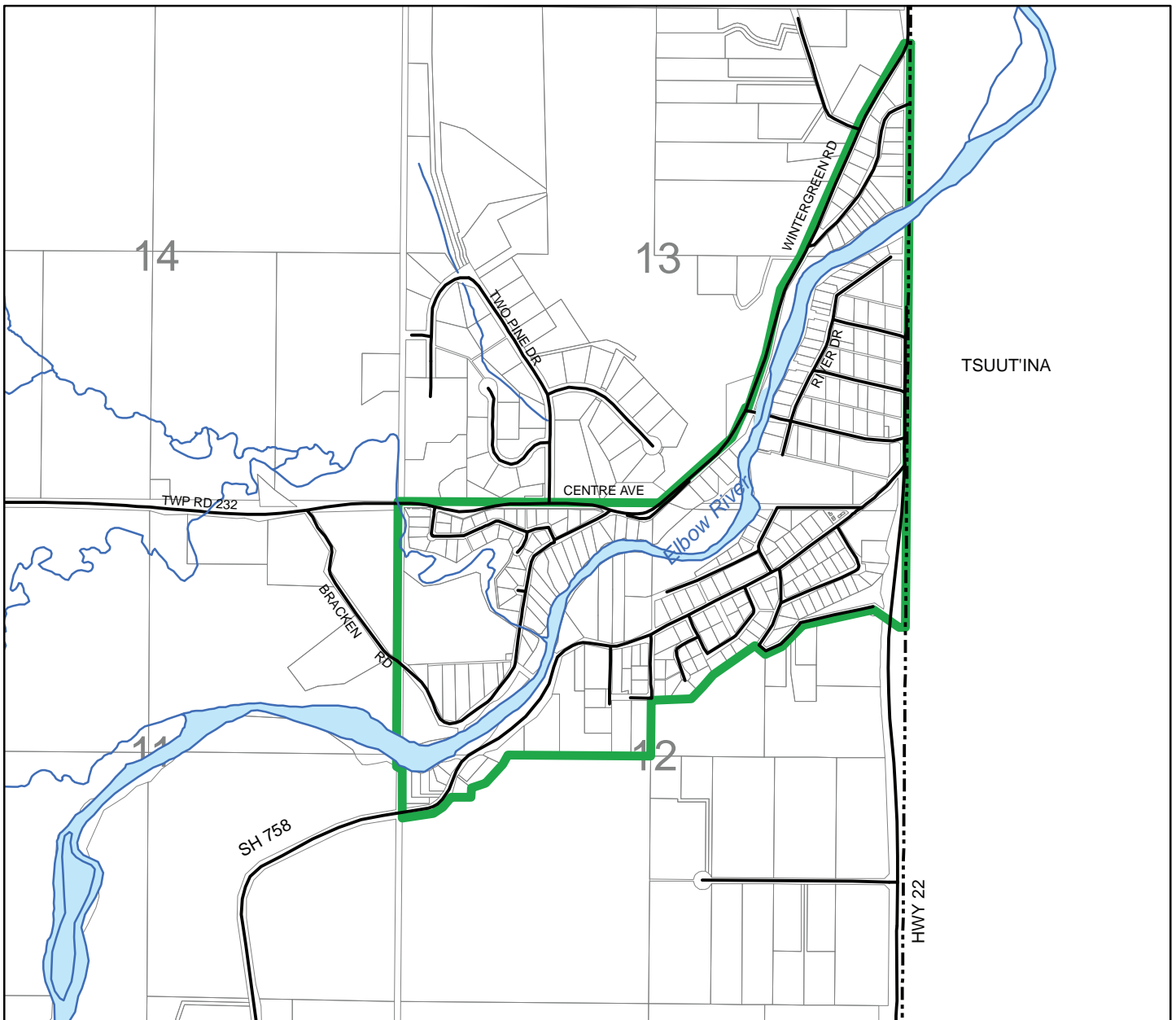
The standards are meant to guide appropriate development of private and public property to enhance the unique character and sense of place in Bragg Creek. Applicants are encouraged to consider their property development as an opportunity to make a positive contribution to the betterment of the built environment and the community as a whole.

1.2 APPLICATION AND SCOPE

The Design Standards have been prepared to provide clear direction for all participants involved in the planning and design process. These participants include:

- a) Property owners and developers, when preparing applications;
- b) Rocky View County Administration, when reviewing applications, and when undertaking public improvement projects; and
- c) Rocky View County Council, and any other relevant approval authorities, when evaluating applications and public improvement projects.

The Design Standards apply to all properties within the hamlet, as outlined in the following map:



This map is conceptual in nature. No measurements or area calculations should be taken from this map.

All development, regardless of use, shall comply with the site planning and design standards, including tree management, fencing, and resilience design.

Commercial, institutional, mixed-use, and multi-unit residential developments (greater than two units), shall comply with specific standards.



1.3 RELATIONSHIP AND LINKAGE TO OTHER POLICY DOCUMENTS

The Design Standards act as a companion to the Greater Bragg Creek Area Structure Plan, the Land Use Bylaw (LUB), and the County's Servicing Standards. They will guide the physical design of buildings and the streetscape, within the specifications provided by higher order policy documents and standards.

- **Greater Bragg Creek Area Structure Plan:** the Area Structure Plan provides policies to direct land use and subdivision, outlines the conditions under which development will occur, and provides criteria by which to evaluate an application's suitability.
- **Rocky View County Land Use Bylaw:** the Land Use Bylaw outlines appropriate uses and development regulations within each land use district.
- **Rocky View County Servicing Standards:** the Servicing Standards guide the technical design, preparation and submission of plans and specifications for infrastructures, such as roads, servicing systems, and stormwater management facilities.

Developers, designers, and planners should consult the standards in conjunction with any relevant policies and standards.

1.4 TERMINOLOGY

Within the standards, the following terms are used with respect to compliance:

- **"Shall" or "Must":** this indicates the design standard is mandatory. Rocky View County has determined that the standard is required, and best reflects the community's desires, with no flexibility.

- **“Should”:** this indicates the design standard is strongly advised. Rocky View County realizes that there will be cases where the intention of the standard may be achieved through alternate actions, but it strongly advises that the action be taken if no other suitable alternative is determined. The applicant shall still respond to the specific standards, but with an acceptable equivalency or appropriate response. Disregard for the standard is unacceptable.
- **“May”:** the community recognizes that the standard is identifying a matter of consequence, but that a choice can be made without negatively impacting the balance of interests that the community has identified.

1.5 APPLICATION PROCESS AND REQUIREMENTS

1.5.1 PUBLIC ENGAGEMENT REQUIREMENTS

- The applicant shall gather public input from Bragg Creek residents and landowners as part of the application submission, through either an open house or public notification, at the discretion of the development authority. These requirements shall apply to:
 - new construction of commercial, institutional, mixed-use building, and multi-residential development; and
 - infill and re-development of an existing commercial and institutional site that is equal to or greater than 50% of the existing building footprint.

PUBLIC NOTIFICATION

- The applicant shall be responsible for the public notification prior to the Development Permit submission.
- Public notification should include all properties within 400 metres of the property, or another distance satisfactory to the development authority.
- Public notification packages shall include all relevant information related to the proposed development, including location map, site plan drawings, description of the proposal, and contact information.
- The public notification period should last a minimum of 21 days.
- After the public notification period, the applicant shall provide a feedback summary as part of the Development Permit submission for the County's review and consideration.

PUBLIC OPEN HOUSE

- The applicant shall be responsible for the public open house prior to the Development Permit submission.
- The open house shall be advertised in the local newspaper at least two weeks in advance of the event.
- The open house shall include all relevant information related to the proposed development, including location map, site plan drawings, description of the proposal, and contact information.
- After the public open house, the applicant shall provide a feedback summary, as part of the Development Permit submission, for the County's review and consideration.



1.5.2 SUBMISSION REQUIREMENTS

The following items shall be required as part of the submission for all development:

- a) **Pictures of the proposed site** from the north, south, east, and west;
- b) **Pictures or cross section drawings of adjacent properties**, to provide reference for existing building heights, setbacks, use of materials, and architectural styles of the surrounding area;
- c) A **site plan** showing building and sign placement and scale, landscaping and site lighting details, and relationship to the adjacent properties;
- d) **Samples of building materials and colours**, including roofing and cladding materials; and
- e) A **site landscape plan**, prepared by a registered professional landscape architect, or a person qualified to perform such work, which illustrates the location of any vegetation that is to remain undisturbed, and any new vegetation to be planted. The landscape plan should:
 - i. describe the type, age, and size of existing trees, and an assessment of their health;
 - ii. describe the type, age, and size of the proposed new vegetation; and
 - iii. incorporate existing trees as much as is possible, in order to form a backdrop for new developments, and to act as a buffer between commercial and residential areas.

In addition to the above listed requirements, the following items shall be required as part of the submission for commercial, institutional, mixed-use, and multi-residential development:

- f) **Design Standards checklist** (Section 5), including a short description as to how each standard has been included in the proposed design, OR a rationale to demonstrate why a particular element is not applicable or has not been addressed;
- g) **All public submissions** from the open house/public notification, including the open house date, location, agenda, name, addresses of attendees, and summary of stakeholder feedback;
- h) **Signage** details, including details of design and lettering styles;
- i) **Building elevations**, including window and door treatment details;
- j) A **parking plan** in compliance with the Land Use Bylaw's parking and loading requirements;
- k) A **traffic impact assessment** to identify the magnitude of impacts on both pedestrian and vehicular circulation patterns, at the County's discretion;
- l) An **irrevocable letter of security** taken by Rocky View County and refunded at the completion of development when it can be demonstrated, to the satisfaction of the development authority, that existing trees and terrain have been retained as much as possible, and any cleared areas have been replanted and re-landscaped, in accordance with an approved landscaping plan; and
- m) Other technical studies in support of the proposed development, such as a site specific stormwater plans, at the County's discretion.

20

DESIGN PRINCIPLES

The following design principles represent the community values that are the foundation for the hamlet design standards. These design principles reflect the vision in the Greater Bragg Creek Area Structure Plan, which was reaffirmed in the revitalization plan process, and further validated in both public open houses, held on April 28, 2016 and June 30, 2016. Future development and community design shall uphold the following principles:



NATURAL

Promote the conservation and enhancement of healthy, diverse ecosystems, recognizing the intrinsic value as well as the significant community value they embody.



CONNECTED

Developments and site improvements that are designed to connect with the surrounding community in terms of pedestrian and vehicle linkages, main street linkages, and natural environment linkages.



CONTEXT SENSITIVE

Promote the conservation, enhancement, and celebration of the Bragg Creek character, contributing to a distinct sense of place, with development built to the pedestrian-scale that is complementary to that of its neighbours.



SUSTAINABLE

Promote the maintenance and well-being of the environmental, social, and economic structures and values within the community for present and future generations.



INVITING

Buildings and public spaces that are designed to attract people, and encourage them to stay, socialize, and take part in the public life of the community.



SAFE

Promote the creation of safe and comfortable spaces for all members of the community, through lighting, visibility, and security features.



RESILIENT

Consider the local environment and minimize the risks and costs associated with natural disasters, such as flooding and forest fire.

PRIVATE REALM

The private realm is defined as property that is privately owned and maintained. Improvements to the private realm will be the responsibility of private landowners and developers. Although the private realm is not public property, the public still has an interest in maintaining a certain design continuity in the community. As a result, standards associated with respecting and enhancing the qualities and characteristics of the private realm are critical to the overall character and coherence of the hamlet.

3.1 SITE PLANNING & DESIGN

The site planning and design section applies to all development within the hamlet, including but not limited to single dwellings and accessory buildings, as well as more complex development such as commercial, institutional, mixed-use, and multi-residential development.

3.1.1 TREE MANAGEMENT

Design goal: Trees are to be planted, protected, maintained, and ultimately removed or replaced in a way that is sustainable and socially acceptable by the community.

Tree management standards:

**Tree management standards should cross-reference with the FireSmart standards under the resilience design section.*

- a) Trees and associated vegetation shall be retained where possible during site preparation and construction to retain the “cabin in the woods” effect that is a unique characteristic of the hamlet.
- b) Trees shall be relocated or replaced
 - i. when trees cannot be maintained, as they are deemed to be in hazard conditions, and/or
 - ii. when trees are located within the proposed foundation footprint, or too close to the proposed building foundation.

Except when there are physical constraints on-site, such as topography, limited building envelope, soil conditions, drainage, and other factors that are deemed appropriate by the development authority.

- c) Replaced trees shall be native and hardy species that fit with the existing natural landscape character, in accordance with the County’s Parks and Pathways Guidelines.
- d) In cases where existing trees are maintained, a snow fence secured by posts should be erected at the edge of the tree canopy prior to construction, to protect these trees from soil compaction, storage of construction materials, or damage associated with vehicles.
- e) Top soil shall be retained on-site by stockpiling and redistributing, and shall be seeded after building construction is complete, as part of site restoration.

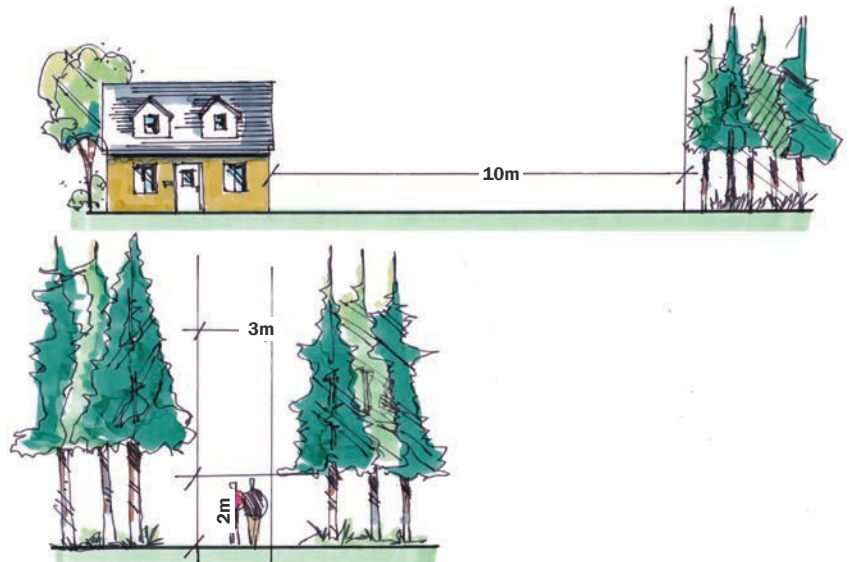
3.1.2 RESILIENCE DESIGN

Design goal: Development that minimizes the risks and costs associated with emergency events without negatively impacting the streetscape.

FireSmart design standards:

**Standards for FireSmart design are not standard-specific. All development must comply with the Alberta Building Code, as amended, and any applicable provincial regulations for proper use of building materials.*

- a) FireSmart design standards should be demonstrated on a landscaping plan, prepared by a landscape architect or a person qualified to perform such work, as part of the Development Permit application. FireSmart design standards include, but are not limited to:
 - i. creating a fuel-reduced buffer between structures and flammable wildland vegetation;
 - ii. spacing trees apart to help reduce the intensity of wildfire; and
 - iii. pruning tree branches within 2 metres (6.56 feet) of the ground.
- b) Conifer trees are highly flammable and shall not be planted within 10 metres (32.8 feet) of new development.
- c) Redevelopment of existing structures should consider replacement of existing conifer trees within 10 metres of the building. Acceptable trees to plant include poplar, birch, aspen, cottonwood, maple, alder, ash, and cherry (see provincial FireSmart guidelines for the list of FireSmart vegetation).
- d) All roofs shall be constructed of fire-resistant materials, in compliance with the Alberta Building Code, as amended. Metal, tile, asphalt, ULC-rated treated shakes, and non-combustible materials are the most fire-resistant, and remain effective under severe fire exposure. Unrated wood shakes provide no fire protection.



FireSmart Rules of Thumb include:

- Keeping a fuel-reduced buffer between structures and flammable wildland vegetation;
- Spacing trees to reduce the intensity of wildfire; and
- Pruning all tree branches within 2 metres of the ground.

- e) Building exterior shall be constructed of fire-resistant materials, in compliance with the Alberta Building Code, as amended. Non-combustible siding such as stucco, brick, cement shingles, concrete block, poured concrete, and rock offer superior fire resistance. Log or heavy timbers also provide a more fire-resistant building exterior than board siding. Untreated wood or vinyl siding, or wood shakes offer very little protection against wildfire.

Flood mitigation standards:

**All property within the flood hazard area must comply with the flood hazard development restrictions section of the Land Use Bylaw, and any applicable provincial regulations.*

- f) All habitable areas should be located above the flood elevation.
- g) All utilities and equipment shall be located above the flood elevation.
- h) Floor slabs, footings, and foundations should be designed to withstand all the effects of loads and other influences expected during a flood, in accordance with the Alberta Building Code, as amended.
- i) Trees and landscaping may be located in the pathway of potential flooding to protect building foundations and footings, and to reduce the effects of soil erosion.
- j) Integration of flood-resilient design on-site, such as elevated earth mounds mixed with landscaping, may be considered. In instances where re-grading of the site is proposed, a site specific stormwater management plan may be required, at the development authority's discretion, to ensure proper drainage.



When elevating buildings in residential neighborhoods, consider adding elements that enhance visual connectivity to the street such as planting along the streetwall, open or covered porches, stair turns, or raised yards.



3.1.3 FENCING

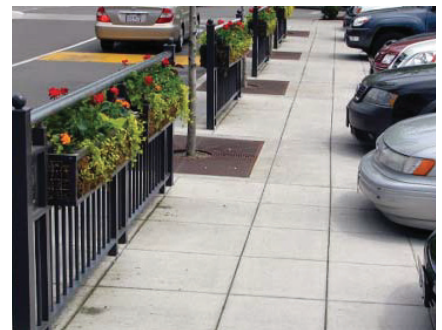
Design goal: Decorative fences, retaining walls, and other similar privacy features, which delineate public and private boundaries and complement the overall streetscape.

Fencing and wall standards:

- a) Decorative fencing, walls, and landscaping should be located along the property edge, and be coordinated with the location of driveway entrances and pedestrian connections to the site.
- b) Decorative fencing and walls should be compatible with the architecture of the respective built form in terms of style, materials, and details.
- c) Fencing should be constructed using high quality, natural materials, such as brick, stone, wood, and metal. Vinyl and or other low quality substitutes shall be prohibited in the hamlet.
- d) Landscape materials should be included to add visual interest along a fence or wall.
- e) To avoid potential entrapment areas, or blocked views for both pedestrians and vehicular traffic, the maximum height of fencing and walls shall be:
 - i. 2 metres (6.56 feet) in the rear yard;
 - ii. 1 metre (3.28 feet) in the front yard;
 - iii. 1 metre (3.28 feet) in the side yard for corner lots; and
 - iv. 1 metre (3.28 feet) in the side yard for commercial, institutional, mixed-uses development.
- f) Variances in fencing height may be considered, at the discretion of the development authority and in accordance with the Land Use Bylaw, where evidence is provided regarding security or other special situations.
 - i. Where variation in height is considered, additional planting and special fencing that buffers the visual impact should be required, at the discretion of the development authority, to ensure smooth transition with the street and adjoining uses.
- g) Consider opportunities to design walls for comfortable seating. The walls can be designed with benches built onto a concrete form, or similar low wall made of wood materials. This intermittent seating along the wall or fencing can be combined with accent planting and street furniture, to help add interest, and divide the wall into sections.



-CABIN IN THE WOODS- CHARACTER





3.2 COMMERCIAL, INSTITUTIONAL, MIXED-USE, AND MULTI-UNIT RESIDENTIAL DEVELOPMENT

3.2.1 BUILDING PLACEMENT

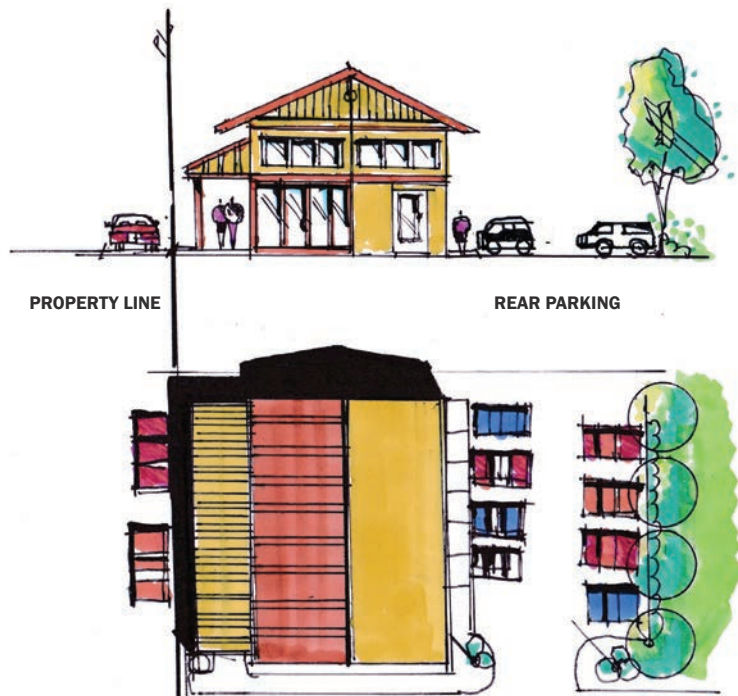
Design goal: Buildings that are situated and oriented to frame the public street edge, and that provide an intimate, comfortable, and visually interesting streetscape for pedestrians.

Building placement standards:

- Buildings shall be oriented parallel to the street, to maximize the frontage along the street.
- Where a desirable setback pattern already exists, buildings and additions should be positioned to follow the established setback of adjacent buildings to maintain the rhythm and structure of the streetscape.
- Buildings should be positioned close to the property edge, with windows and entrances fronting onto the street, in order to create a sense of enclosure, safety, and comfort. Variance in setback may be considered, at the discretion of the development authority and in accordance with the Land Use Bylaw.
- Setback areas may be used as a frontage area to accommodate seating, landscaping elements, and portable sidewalk signs (limited to the area adjoining the building).



Buildings should be positioned close to the property edge, with windows and entrances fronting onto the street.



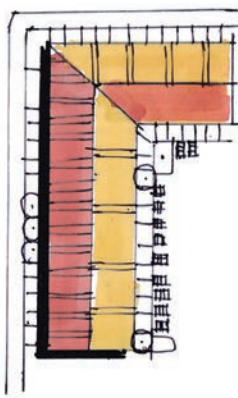
- e) Development should consider the principles of Crime Prevention Through Environmental Design (CPTED), including:
- i. Natural surveillance – This principle is commonly associated with the establishment of clear sightlines. People should be able to see and understand their surroundings through unobstructed views, adequate lighting, and avoidance of hidden spaces;
 - ii. Natural access control – This principle is based on the premise that a person who is confronted with a clearly defined and/or strategically developed boundary will typically show it some deference, by respecting the way it guides and influences their movement as they transition from public through private space. It can be achieved by using landscaping, low walls, and open spaces to provide natural barriers to conflicting activities; and
 - iii. Territorial reinforcement – This principle is based on a sense of ownership about a space (e.g. neighbourhood watch). This can be achieved by providing amenities in communal areas that encourage activity and use, and through proper maintenance and management of the built environment.
- f) Siting of buildings should minimize cut and fill on sloping sites. Dramatic grade changes should be avoided if possible. Any retaining walls should be ‘stepped’ and landscaped.



BUILDINGS POSITIONED TO DEFINE THE STREET EDGE



DO: INCLUDE ARCHITECTURAL FEATURES AND MASSING ELEMENTS THAT REDUCE THE PERCEIVED SCALE OF THE STRUCTURE



DON'T: DESIGN LARGE-SCALE BUILDINGS THAT APPEAR TO BE ONE SINGLE VOLUME.

i Larger buildings to be visually divided through changes in materials, building projections, columns, or other vertical architectural elements.



Building placement at major focal point standards:

- g) Special considerations shall be given to highly visible buildings located at major focal points, which may include, but are not limited to, major intersections, ends of streets, and corner lots. Considerations include:
 - i. inclusion of public open space, such as a small pocket-park or seating area;
 - ii. pedestrian connections with adjacent properties;
 - iii. preservation of view sheds;
 - iv. buildings oriented to face onto multiple streets, to activate the public realm;
 - v. sight lines for drivers; and
 - vi. inclusion of street furnishing, wayfinding features, and public art.
- h) Shopping plazas should be encouraged to develop the front portion of their lots to help define the street edge, provide attractive open spaces and pedestrian connections, and create shared parking opportunities.

3.2.2 BUILDING PROPORTIONS AND SCALE

Design goal: Buildings that are well balanced and proportioned to reinforce the human scale at the street level, and scaled to respond to both existing and future planned development.

Building proportions and scale standards:

- a) Small, one-of-a-kind business developments are encouraged, with a building footprint not exceeding 15% of the lot area for two-storey construction, or 20% of the lot area for single storey construction.

e.g. 1 acre lot business development:

15% of the lot area = ± 606 sq. m (± 6,523 sq. ft.)

20% of the lot area = ± 808 sq. m (± 8,697 sq. ft.)
- b) Buildings larger than 1,000 sq. m (± 10,000 sq. ft.) shall be de-emphasized by:
 - i. visually dividing the building into a minimum of three sections and/or components, through changes in materials, building projections, columns, or other vertical architectural elements; and
 - ii. physically dividing the building into a variety of massing elements and/or shapes to help reduce the perceived scale of the structure, including horizontal and vertical elements that help add perceived separation.
- c) Multi-unit residential development larger than 1,000 sq. m (± 10,000 sq. ft.) shall accentuate the residential scale of individual units on sections of the building.
- d) Buildings shall be scaled so that they do not interfere with neighbouring buildings, or create a significant contrast in scale and appearance between adjacent buildings, which is visually disruptive. Development should take cues regarding height and width from surrounding high quality buildings, and achieve complementary massing forms.

- e) Building height should be limited to two storeys, and generally should not extend beyond 10 metres (32 feet). Height relaxation may be considered to accommodate desirable architectural detailing.
- f) Buildings with three to four storeys may be considered in the hamlet core, if the development is supported by a conceptual scheme or master site development plan.

3.2.3 BUILDING STYLE

Design goal: Development that reflects the local context, adopts the existing cultural heritage, and fits in with its surroundings to create a distinct sense of place.

Architectural style standards:

- a) Buildings shall be designed to complement and reference existing local heritage buildings (e.g. The Trading Post) when selecting an architectural character and style.
- b) Designs incorporating rustic characteristic are encouraged. The architectural impression should give the appearance of being indigenous, natural, and handcrafted in style.
- c) Buildings that emphasize wood columns, exposed heavy timber trusses and brackets, stone pilasters, buttresses, and arches are encouraged.
- d) The proportion of structural elements, such as posts or columns, should be appropriate to the weight they appear to be carrying to avoid unauthentic looking reproductions.
- e) Flat roofs and large unarticulated roof surfaces should be discouraged. A combination of the primary roofline with secondary roofs is encouraged, to break down the scale of buildings.
- f) Roof design should consider snow management (i.e. the way that snow will accumulate and slide from a sloping roof). Special attention shall be given to pedestrian areas (e.g. stairs and ramps).
- g) Accessory buildings should be coordinated with the principal building in terms of form, scale, finishes, and colours.

Storefront window standards:

- h) Transparent glass shall be used for commercial, institutional, and mixed-use development to provide clear views of storefront displays, provide a pedestrian oriented environment, and allow natural surveillance of the street and adjacent outdoor spaces.
 - i. At least 50% transparent surfaces shall be provided on storefront facades, including storefront windows and doors;
 - ii. Opaque and solid material should be limited to no more than 10% of a window's area to avoid blocking visibility in and out of the window; and
 - iii. Reflective or heavily tinted glass should be avoided or limited to no more than 10% of a window's area.
- i) Window heights shall be aligned, and window sizes should be unified, to create a cohesive storefront appearance.



CENTRAL ENTRANCES



COVERED WALKWAYS PART OF THE BUILDING



AWNINGS PROVIDING WEATHER PROTECTION

Door and entranceway standards:

- j) Main entrances to the primary ground floor should be positioned centrally within the façade. Secondary entrances to the upper storeys may be positioned to either side of the façade, or at the rear of the building.
- k) Doors and entrances shall be designed to meet universal design standards, and to ensure safe and comfortable access for users of varying mobility needs. Doors and entrances should be at grade with the sidewalk, or be accessed by a gentle-slope ramp.
- l) Commercial entrances should include transparent glass (preferably 50% of the coverage area).
- m) Recessed entries should be considered for all-weather protection, and for the prevention of doors swinging onto sidewalks.

Covered walkway standards:

**Covered walkways are considered part of the building structure, should be designed as one building unit, and may encroach into the front yard setback requirement to promote engagement with the street and pedestrian convenience.*

- n) Covered walkways should be incorporated into the building form to provide weather protection, additional opportunities for building signage, and visual interest to the façade, as well as to maintain visual continuity of eave lines, materials at base, fascias, and grade at entry locations.
- o) Covered walkways should be individualized for specific developments, but should typically be a minimum of 3 m (9.8 ft.), measured perpendicular from the wall, with a minimum height clearance of 2.74 m (9.0 ft.).

Awning standards:

- p) Awnings should provide weather protection for pedestrians, preferably a projection of 1.5 m (5.0 ft.) from the building.
- q) Backlit, metal, acrylic awnings, and awnings for which the primary function is signage should not be permitted.
- r) Awnings should be designed to fit within the dominant structural elements of the lower façade. This usually means fitting within the overall design of the shopfront, below the intermediate cornice, and between the vertical columns or pilasters.
- s) Multiple awnings should be used for larger building frontages, rather than a single continuous awning.
- t) Awnings shall align horizontally with neighbouring awnings, where structurally possible.

3.2.4 BUILDING MATERIAL AND COLOUR

Design goal: Building materials and façade design fundamentals that achieve visual interest, are of a high quality, and facilitate an improved pedestrian experience.

Building material and colour standards:

- a) Building façades shall be composed of principal “base materials”, limited to one or two materials, as well as possible secondary “accent” materials, limited to two or three materials.
 - i. Base materials for cladding include logs and heavy timber, stone, and other materials as deemed appropriate by the development authority.
 - ii. Accent materials may include concrete, stucco, and other materials as deemed appropriate by the development authority.
- b) The use of vinyl, aluminum siding materials, and other materials that are not compatible with the surrounding environment, as deemed by the development authority, shall be discouraged.
- c) Materials selected for a building’s façade shall be of high quality, durable, easily maintained, complementary to one another, and appropriate for the building’s architectural style.
- d) Buildings should use natural, muted shades for primary materials or colour theme. Brighter, more vibrant colours should be reserved for minor accents and highlights only. Painted surfaces should favour matte or satin finishes.
- e) The appearance of all sides of the building should be considered. Consistent exterior materials and colours should be used for all building façades.



BUILDING MATERIALS



3.2.5 UTILITY AND SERVICE AREAS

Design goal: Utility and service areas that are sensitively integrated into the overall site design and are appropriately located and screened to minimize visibility from the public realm.

Utility and service area design standards:

- a) Building design shall consider the appearance on all sides of the building, including the utility and services areas, such as loading bays, garage storage facilities, and recycling areas.
- b) Utility and service areas shall be located away from public streets, and should mitigate conflict between vehicle and pedestrian routes.
- c) Utility and service areas shall be screened on all sides through the use of landscaping, walls, and/or accessory buildings. Where solid screening and/or accessory buildings are provided, their materials should be similar or complementary to those of the building’s exterior finishes, and should follow the same high quality standards as specified for principal buildings.
- d) Where commercial development abuts residential property, the utility and service area should not be permitted in the area that interfaces with the residential property.
- e) Garbage compactors should not be permitted on-site unless noise



GARBAGE / UTILITY SCREENING

attenuation mitigation is instituted such that nearby residences are not disturbed.

- f) Garbage receptacles shall be certified bear-proof.
- g) The exhaust from food preparation areas and other odour-creating enterprises should be adequately vented and filtered in order to ensure that odours do not create a nuisance for nearby residences.

3.2.6 PARKING AND SITE ACCESS

Design goal: On-site parking areas and facilities that are visually attractive, and designed to promote safe and convenient movement of both pedestrians and vehicles.

General parking standards:

- a) Parking areas and facilities should be located at the side or rear of the building, not between the building front and street edge, to encourage the building connection and interaction with the streetscape.
- b) Parking areas and facilities shall not be located in the front yard setback area, with the exception of barrier-free and drop-off parking stalls.
- c) Parking areas and facilities should consider the principles of Crime Prevention Through Environmental Design (CPTED), and provide views and visibility to and from the parking area and facilities.
- d) Larger parking areas shall be divided into smaller segments or pods, through the use of landscaped parking islands that reduce the amount of impermeable surfaces, and enhance the aesthetic appeal and pedestrian comfort within the parking area.
- e) Loading docks, garage doors, and similar vehicular service elements shall be located to the side or rear of buildings, and shall be screened to the satisfaction of the development authority.

i Parking shall be located to the side or rear of the building. Parking shall not be located in the front yard setback area except for barrier free and drop-off parking stalls.



- f) Future development shall consider provision of shared parking areas or facilities. The shared parking areas or facilities should be:
 - i. located in close proximity to existing commercial areas;
 - ii. designed to incorporate pedestrian access;
 - iii. developed in an attractive aesthetic manner; and
 - iv. provided with appropriate lighting and landscaping to enhance public safety.

Pedestrian connection standards:

- g) A direct and continuous pedestrian walkway network shall be established within and adjacent to parking lots to connect building entrances, parking spaces, public sidewalks, and other pedestrian destinations.
- h) The pedestrian walkway network shall include upgraded pavement treatments, or pavement markings, that contrast with the drive aisle.
- i) The walkway network should be integrated with the landscaping for the parking area. For parking lots with greater than eight parking stalls, at least one tree for every eight parking spaces shall be planted along the boulevards between parking spaces, and intermittently along the parking lot.

Parking amenities standards:

- j) Wayfinding signage with key tourism information should be incorporated into larger, highly used parking areas. A consistent style and set of parking sign typologies should be developed as part of a hamlet-wide parking and wayfinding strategy.
- k) New commercial, institutional, mixed-use and multi-residential developments shall include functional and well-located parking facilities for bicycles or other non-motorized forms of transportation.

Site access standards:

- l) Site access should be located in a visible and prominent area, to minimize conflicts with off-site traffic and to allow easy and safe access.
- m) Drive-through facilities shall be discouraged; this area is pedestrian-focused, and should encourage active storefronts to attract pedestrians.
- n) The width, radii, and number of curb cuts should be minimized to lessen vehicular-pedestrian conflicts.
- o) The width of driveways and amount of paving should be minimized. Mutual access is encouraged where possible, in accordance with County Servicing Standards.
- p) Site entrance features such as gates and pillars should be set back from the access to reduce the obtrusiveness of site entryways.
- q) Where the proposed development lies adjacent to a residential property, provision should be made to ensure that traffic will not impact the residential property, including consideration for location of access points and parking locations. Mitigation measures should be provided, to the satisfaction of the development authority.



CONTINUOUS PEDESTRIAN CONNECTIONS



PEDESTRIAN CONNECTION



SHELTERED BICYCLE PARKING



PARKING LOT LANDSCAPING



3.2.7 LANDSCAPING

Design goal: Landscaping that takes into consideration and coordinates with the surroundings, providing adequate screening for adjacent properties, and complementing development on-site.

Landscaping standards:

- a) Where a commercial development abuts or lies adjacent to a residential area, a dense landscaping strip of a minimum 3 metres (10 ft.) in perpendicular width, composed of native and newly planted indigenous species, should be installed adjacent to the residential area for screening and buffering purposes.
- b) Plant material selected for the landscaping in parking areas shall be suitable to the growing environment. Species that are hardy, drought-and salt-tolerant, and resistant to the stresses of compacted soils and weather exposure should be used.
- c) A variety of deciduous and coniferous trees and shrubs shall be incorporated for year-round interest and appearance; including native grasses, wildflowers, groundcover, shrubs, and trees if possible.
- d) Landscaping and low level screening should be provided around the perimeter of parking areas to soften and screen parking lot edges, create pleasant pedestrian conditions, and maximize shade and stormwater benefits.
- e) Rainwater and snowmelt shall be managed on-site with designs that encourage infiltration and water re-use.

3.2.8 LIGHTING

Design goal: Exterior building lighting that complements the individual architecture of a building and extends the life of a streetscape into the nighttime hours. Site lighting design should provide a sense of safety, security, and pedestrian comfort, while also avoiding excessive lighting levels and glare, and adhering to dark skies design principles.

Exterior façade lighting standards:

- a) Façade lighting elements shall be evaluated based on their aesthetics and their consistency with the type and style of lighting standards in the hamlet.
 - i. The scale and style of light fixtures should be consistent with the façade, and complement a building's architectural details; and
 - ii. Façade lighting shall be oriented in a night-sky friendly fashion that limits horizontal and vertical light spillover as well as glare.
- b) Principles of Crime Prevention Through Environmental Design (CPTED) should be incorporated to illuminate entranceways and recessed areas on a building's façade.

On-site lighting standards:

- c) On-site lighting should consider all building and user needs, with particular attention to pedestrian areas, barrier-free travel paths, parking, and service areas.
- d) Pedestrian-scaled lighting, such as bollards or lower scale pole fixtures, should be provided along pedestrian routes. Lower scale pole fixtures and bollards may be considered in the landscaping area at the development authority's discretion.
- e) On-site light shall be directed downward by choosing "full cut-off" designated or "fully shielded" fixtures to effectively control glare and light trespass, and be dark-sky compliant.
- f) Consideration shall be given for the proposed lighting for details such as pole style and colour, bulb type, and mounting height. LED lights shall be encouraged.
- g) Lighting shall be appropriately scaled for its purpose to avoid "over-lighting."
- h) Sensor lighting for parking and security purposes should be restricted to directional lighting, particularly at the rear of the development, such that adjacent properties are not adversely affected by light pollution.



FAÇADE LIGHTING



PROHIBITED SIGNAGE

3.2.9 BUSINESS SIGNAGE

Design goal: Signs that are designed and scaled to reinforce the overall character of the hamlet while still allowing businesses to clearly identify themselves, their goods, and their services. Signs should enhance the architectural properties of a building and lend visual interest, as opposed to cluttering the hamlet.

General signage standards:

- a) Signage shall be in accordance with the County's most current signage bylaw in terms of size, location, and other applicable restrictions.
- b) Signs should be coordinated with the design of the building and site in terms of location, scale, materials, finishes, and colours.
- c) The use of individually-mounted, raised or recessed letters, symbols, borders, and framing is encouraged.
- d) All signs should be kept in a safe, clean, and tidy condition, and may be required to be renovated or removed, if not properly maintained.

Prohibited signage standards:

- e) The following sign types, which may undermine the hamlet's quaint rustic character, shall not be permitted:
 - i. Backlit signs;
 - ii. Neon signs;
 - iii. Billboards; and
 - iv. Trailer signs.



Fascia sign standards:

- f) Fascia signs shall be located within a sign band on the façade, a horizontal section that divides the storefront windows from the upper façade. They should be located so as to avoid obscuring or covering façade features including windows, doors, building entrances, cornices, and columns.
- g) Fascia signs shall use durable, weatherproof materials that complement the building façade. Internally lit, neon, or plastic materials shall not be used.
- h) Fascia signs shall be attached flush and parallel with the building wall.
- i) Fascia sign lettering should be clear and easy to read. Lettering and images of fascia signs should provide depth to the sign, such as raised, individually cut or carved lettering, and/or colouring, to accent the overall façade and enhance the readability of the sign.
- j) Externally mounted lighting may be used to illuminate fascia signs, in a dark-sky compliant fashion that limits horizontal and vertical light spillover.

Projecting sign standards:

- k) Projecting signs should be installed perpendicular to the building façade, oriented towards pedestrians, from a mounted wall brace. Mounting hardware should coordinate with the overall sign design and hardware used on other parts of the façade.
- l) A projecting sign shall not project more than 1.5 m (5.0 ft.) from the face of a building, with a minimum vertical clearance of 2.74 m (9.0 ft.) from the ground.
- m) Projecting signs shall be limited to one per business frontage, mounted near the storefront entrance. For multi-tenanted buildings with multiple entrances, one projecting sign per storefront entrance may be permitted.
- n) The shape, colour, height, material, and lettering of the projecting sign should be coordinated to be complementary to the primary wall signage.
- o) Pole mounted signs should not exceed 5 m (16 ft.) in height

Sidewalk sign standards:

- p) Sidewalk signs should be limited to one per business, in order to reduce the visual clutter within the hamlet.
- q) Sidewalk signs should be located in front of, and on the same side of the street as, the building or business it advertises. It should be located adjoining the building so that it does not obstruct pedestrian movements along the sidewalk.
- r) The use of sidewalk signs shall be limited to business operating hours. Sidewalk signs used for specific events should be removed within 24 hours after the event.
- s) Sidewalk signs should be no wider than 0.6 m (2.0 ft.), with a maximum height of 1 m (3.28 ft.).

- t) Sidewalk signs should be designed with a sufficient weight and quality to resist wind gusts. Signs constructed of impermanent materials, including but not limited to cardboard, chipboard, particleboard, and paper shall be prohibited.
- u) Sidewalk signs should be designed to be read by pedestrians, and should be complementary to the form, colours, size, and materials of the building and adjacent landscape. Informally designed stenciled signs or spray painted signs should be discouraged.

Ground sign standards:

- v) Ground signs should be considered as the primary business signage for the conversion of residential buildings to commercial uses, in order to maintain the integrity of the residential building's architectural form and pattern.
- w) Ground signs should be designed to add to the character of the streetscape, with complementary accent landscaping to focus viewers.
- x) Ground signs should be constructed of durable, weatherproof, high quality materials that complement the building façade and reflect the nature of the business.
- y) Externally mounted lighting may be used to illuminate ground signs, in a dark-sky compliant fashion that limits horizontal and vertical light spillover.
- z) Appropriate ground-oriented signage should be located at the entrance to commercial, institutional, mixed-use, and multi-unit residential development.
- aa) Ground signs shall be designed and scaled to the space in which they are located, and should not be so large as to be a dominant feature on the site.

Covered walkway sign standards:

- bb) The form, colour, height, and lettering of covered walkway signs should be coordinated to be complementary to the primary wall signage as well as the architecture of the covered walkway.
- cc) Covered walkway signs should be hung perpendicular to the building façade, oriented towards pedestrians, using simple brackets. Mounting hardware should coordinate with the overall sign design and hardware used on other parts of the façade.
- dd) Covered walkway signage shall be limited to one per business, and be designed to fit within the space of a covered walkway, with significant space in between.



GROUND SIGNS



COVERED WALKWAY SIGNS

PUBLIC REALM STANDARDS

POTENTIAL LOW-IMPACT DEVELOPMENT



The public realm generally consists of the outdoor areas within the hamlet that are held in common, and by large are owned by the County or by the Crown. These may include, but are not limited to, County and Provincial rights-of-way, municipal reserves, parks and open spaces, trails network, and other public facilities.

A developer proposing subdivision and development may trigger upgrades to the public realm (e.g. dedication of parks, trails or open spaces, road improvements, and intersection upgrades). The Province (i.e. Alberta Transportation and Infrastructure), the County, and relevant stakeholder groups, such as the trail association, may also be involved in the development and improvement of the public realm through capital projects and ongoing maintenance.

SLOW VEHICLE TURNING SPEEDS



4.1 STREETSCAPES

Design goal: Streetscapes shall enrich the public realm, accommodating a range of ages, abilities, and modes of travel in a manner that is safe, convenient, and comfortable. Streetscapes shall prioritize public safety, pedestrian comfort, pathways or sidewalks, landscapes, and other amenities where possible and practical, as part of the integrated street design throughout the hamlet.

**The proposed streetscapes are conceptual only, and are intended to support a more pedestrian-oriented environment in the hamlet. Detailed engineering will be required to confirm the final configurations of these streetscapes.*

General design standards:

- a) Future street improvement or development should consider incorporating low impact development standards, in accordance the County's Servicing Standards.
- b) Short-term upgrades should consider the ultimate street design to be accommodated in the long run (e.g. dedication of rights-of-way for future improvements).
- c) Streets shall be designed to reduce excess speeds while maintaining vehicular and pedestrian safety standards.
- d) Where pedestrian activity is intensive, curb-return radii should be as small as possible, to slow vehicle turning speeds, and increase safety for all users.
- e) Durable construction materials and resilient construction specifications shall be considered in the design of streets.

White Avenue (Highway 758) design standards:

- f) Future road design and improvement along White Avenue should consider:
 - i. continuous sidewalks or pathways on the north side, in accordance with County Servicing Standards and the County's Parks and Open Space Guidelines; and
 - ii. mechanisms to provide a safe and comfortable environment for pedestrians, such as the use of landscape buffers, street amenities, crosswalks, traffic calming measures, and on-street parallel parking.

ON-STREET PARKING / BUFFERED SIDEWALKS



Balsam Avenue design standards:

- g) Future road design and improvement along Balsam Avenue should consider:
 - i. continuous sidewalks or pathways on both sides of the street along Balsam Avenue, in accordance with County Servicing Standards and the County's Parks and Open Space Guidelines; and
 - ii. mechanisms to provide a safe and comfortable environment for pedestrians, such as the use of landscape buffers, street amenities, cross-walks, traffic calming measures, and on-street parallel parking.



HIGHLY VISIBLE CROSSWALKS

River Drive design standards:

- h) Pedestrian and vehicular connection between River Drive and River Drive North should be considered as part of any future subdivision and development to ensure connectivity with the hamlet core.
- i) Future subdivision, development, and improvement should consider extending River Drive to the west, connecting with an extension of Park Place north of White Avenue.



THE ZONE SYSTEM

Crosswalk design standards:

- j) Crosswalks should be provided at key pedestrian connections within the hamlet core.
- k) A pedestrian crosswalk sign should be erected on both sides of the crosswalk in full, unobstructed view of motorists. In high volume areas, a pedestrian-activated light should be considered for night visibility.
- l) Crosswalk surface treatments shall be highly visible, through differentiation in colour and/or texture from the roadway and/or public sidewalk. Reflective paint, coloured asphalt or concrete, or a combination of the above is appropriate for treatment of crosswalks.
- m) Crosswalk materials shall be selected from materials and textures that are durable and easy to maintain, with consideration of seasonal impacts such as snowplowing and de-icing.



Sidewalks and pathways design standards:

- n) Sidewalks and pathways shall be designed to provide a safe, durable, accessible, and comfortable walking environment for all users.
- o) Pathways shall be constructed of asphalt in accordance with County Servicing Standards, and shall not be intended nor designed for conveying stormwater.



4.2 STREET FURNITURE

Design goal: Street furniture that accommodates activity along pedestrian thoroughfares and within public space, providing comfort to those walking within the hamlet.

General design standards:

- a) Commercial, institutional, mixed-use, and multi-residential development should provide street furniture and public amenities, such as public washroom facilities.
- b) Street furniture includes, but is not limited to, benches, waste receptacles, bicycle racks, streetlights, public washrooms, and other similar amenities, forming a coordinated streetscape and amenities package.
- c) Street furniture shall be of high quality, durable materials and finishes, with a consistent style that complements the overall desired character and identity of the community, and fits with any gateway features and wayfinding signage.
- d) Ongoing maintenance and associated responsibilities shall be an important consideration in the selection and placement of outdoor furniture.
- e) Street furniture should be:
 - i. located along the streetscape in line with street landscapes, so as to maintain an unobstructed pedestrian route on the sidewalk;
 - ii. placed and spaced in a consistent pattern along the streetscape;
 - iii. grouped together, such as congregating seating nodes with waste receptacles within close proximity; and
 - iv. focused in particular areas of higher activity, such as key intersections and corner lots.

Street lights design standards:

- f) Street lighting should be located in line with the street landscapes, so as to maintain an unobstructed pedestrian route on the sidewalk.
- g) Lighting elements should be considered based on their aesthetic and environmental design value.
 - i. The type and style of lighting standards, including consideration of pole style and colour, bulb type, and mounting height should be consistent for the hamlet; and
 - ii. LED lighting should be considered as a standard for new lighting.
- h) Lighting standards should accommodate roads and/or attachments that allow for the hanging of banners and/or flower pots, with consideration of minimum heights for clearance purposes.

- i) Lighting standards shall be directed downward and be dark-sky friendly by choosing “full cut-off” designed or “fully shielded” fixtures: partial cut-off lighting is not acceptable.
- j) Specific pedestrian-scale lighting fixtures should be directed to the sidewalk for pedestrian comfort at night.
- k) Lighting shall be coordinated with primary wayfinding features and, where possible, secondary wayfinding signage.

Street landscaping design standards:

- l) Trees should be planted in odd numbered, linear clusters within mulched beds to allow for easier maintenance and succession planting. Crown canopy, based on the specific species selected, shall determine spacing of trees.
- m) Trees should be planted with continuous mulch beds containing an appropriate growing medium, such as structural soil mixtures that provide opportunity for healthy root growth and development.
- n) Tree species shall be native, hardy species that fit with the existing natural landscape character in accordance with the County’s Parks and Pathways Guidelines.
- o) Trees and shrubs shall be selected to provide seasonal interest, texture, form, and colour, while allowing visibility at intersections and to business signage.
- p) Plantings, furnishings, and other vertical elements shall not impede pedestrian movement along the sidewalk or pathways space, or limit views at street intersections or private driveway accesses.



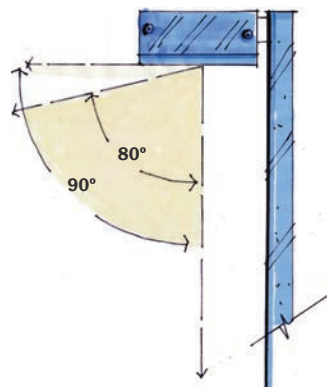
METAL TREE GRATES



NON-CUTOFF



FULL-CUTOFF



i Non-Cutoff Lights allow: Unrestricted distribution of light at any angle.

Full-Cutoff Lights allow: NO light at or above 90°



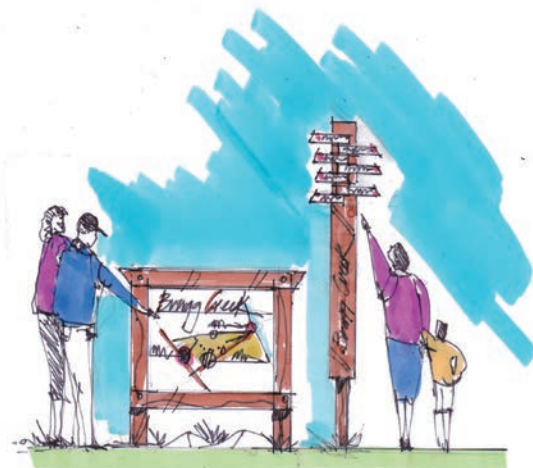
i Wayfinding signage directs people to their desired destination, be it key public facilities or community destinations.

4.3 WAYFINDING & GATEWAY FEATURES

Design goal: Wayfinding features that reflect and enhance the identity and character of Bragg Creek, and provide an attractive and effective directional system that clearly guides visitors to key destination within the hamlet and surrounding area. Gateway features at key vehicular and pedestrian entry points into the hamlet, reinforcing the Bragg Creek identity, and creating a sense of arrival for residents and visitors.

Wayfinding design standards:

- a) The wayfinding program should include but not be limited to the following:
 - i. Parks, open spaces and trails network;
 - ii. Parking and staging areas;
 - iii. Public facilities;
 - iv. Pedestrian facilities – sidewalks, pathways, and trails;
 - v. Commercial areas; and
 - vi. Other community destinations.
- b) Wayfinding features should be:
 - i. designed with a consistent style, look, colour palette, and branding scheme; consider composite materials with lettering either carved or superimposed, and framed with a border for longevity and cost efficiency;
 - ii. constructed of sturdy material and hardware with easy-to-clean surfaces;
 - iii. vandal-resistant, durable, and resistant to degradation due to weathering;
 - iv. stained for weather protection (the stain shall use earth-tones, with limited accents to draw emphasis);



WAYFINDING SIGN PROGRAM - FAMILY OF SIGNS

- v. oriented and sited to balance the needs of all people, and be legible to both vehicular and pedestrian traffic; and
 - vi. designed to emphasize the use of symbols and map images to reduce confusion, and to provide information to a variety of users in all age groups and backgrounds.
- c) Primary wayfinding features should be located at principal orientation points in the hamlet (such as key intersections and street ends) and be more detailed in nature (e.g. kiosks or gateway signs).
- i. Each of the primary wayfinding signs should be a minimum dimension of 0.2 m x 0.2 m (8" x 8") and a maximum dimension of 1.5 m x 1.5 m (5 ft x 5 ft).
- d) Secondary wayfinding features may be located on sidewalks or trails, and include but are not limited to blade signage.
- i. Each of the secondary signs should be a minimum dimension of 0.15 m x 0.15 m (6" x 6"), and a maximum dimension of 0.15 m x 0.30 m (6" x 12").
- e) Wayfinding features should be reviewed regularly to ensure that new attractions are reflected in the existing signs, or to identify if and where new signs should be installed.

Gateway design standards:

- f) Gateway features should:
- i. be consistent with the style and branding associated with the wayfinding program;
 - ii. include taller architectural elements that symbolize entry into the hamlet, such as customized lighting fixtures, landscape features, flags, special signage, and banners;
 - iii. accommodate opportunities for night-time illumination that complies with dark-sky friendly policies;
 - iv. be designed with high quality, durable, and locally relevant materials that reflect the character of the community, such as stone, metal, and heavy timber;
 - v. have simple and universally readable letters, either carved or superimposed, for the signage component; and
 - vi. be stained for weather protection; the stain should use earth tones with limited accents.



SYMBOLIZE ENTRY INTO THE HAMLET



HIGH QUALITY, DURABLE, LOCALLY RELEVANT MATERIALS



4.4 CIVIC NODES AND PUBLIC OPEN SPACES

Design goal: The provision of high quality “places for staying”, such as public squares, plazas, viewpoints, river enjoyment areas, and centralized open spaces that attract a variety of users, and contribute to a healthy and thriving civic life in the hamlet

Public open space design standards:

- a) Public squares, plazas, parks, and trails should be connected with surrounding land uses to create a network of public open space. Adjacent development should provide active frontages that engage the open space, create a dynamic public realm, and increase the sense of safety and security.
- b) Connections with the Elbow River should be prioritized as a means of preserving this important natural amenity for public enjoyment. Treatment and style of the open spaces/access points along the river should be consistent in order to create a series of unified public waterfront spaces
- c) Public open space should be designed in such a way as to:
 - i. foster social interaction;
 - ii. allow for passive or informal recreation;
 - iii. uphold the principles of Crime Prevention Through Environmental Design (CPTED), with visibility, lighting, and connectivity as three important considerations;
 - iv. accommodate larger gatherings or special community events, where appropriate;
 - v. be universally accessible, in relation to key points and features, and at primary entrances; and
 - vi. include seating, and be fully furnished with landscape amenities such as certified bear-proof garbage and recycling bins, bicycle racks, and pedestrian level lighting. The inclusion of public art within central open spaces is strongly encouraged.
- d) Local groups should be encouraged to support the maintenance and stewardship of the trails and parks system through an “adopt-a-park” or “adopt-a-trail” programs.

4.5 PUBLIC ART

Design goal: Public art pieces located at key points within the hamlet contributing to the sense of place through enhanced visual interest and memorable spaces.

Public art standards:

- a) Public art pieces must be an original piece of artwork, with the primary function of providing visual interest without any commercial advertising function.
- b) A range of different purposes for public art pieces should be encouraged, including functional, interpretive, abstract, and historical aspects.
- c) Public art should be:
 - i. located within key focal points in the community, such as gateways and open spaces;
 - ii. designed to be vandal-resistant, durable, and resistant to degradation due to weathering, so that maintenance and replacement is minimized; and
 - iii. produced locally, if possible.
- d) Public art shall be located so as to limit any conflicts with vehicular, bicycle, or pedestrian traffic.



MEMORABLE SPACES



5.0

DESIGN STANDARDS CHECKLISTS

The following checklists shall be used by applicants, Rocky View County Administration, and approving authorities as a reference for the completeness of an application. Some of the standards may not apply in all cases.

When submitting an application, a short description should be provided, detailing how each standard has been met in the proposed design, **OR** a rationale to demonstrate why a particular element is not applicable or has not been addressed.

DESIGN PRINCIPLES CHECKLIST

STANDARD	COMMENTS (APPLICANT)	COMMENTS (RVC ADMINISTRATION)
3.0 DESIGN PRINCIPLES		FOR OFFICE USE ONLY
Natural		
Connected		
Inviting		
Safe		
Context Sensitive		
Sustainable		
Resilient		

PRIVATE REALM STANDARDS CHECKLIST

STANDARDS		COMMENTS (APPLICANT)	COMMENTS (RVC ADMINISTRATION)
PRIVATE REALM STANDARDS			FOR OFFICE USE ONLY
Site Planning and Design	Tree Management		
	Resilience Design		
	Fencing		
Commercial, Institutional, Mixed-Use, and Multi-Residential Development	Building Placement		
	Building Proportions and Scale		
	Building Style		
	Building Material and Colour		
	Utility and Service Areas		

PRIVATE REALM STANDARDS CHECKLIST (CONTINUED)

STANDARD	COMMENTS (APPLICANT)	COMMENTS (RVC ADMINISTRATION)
PRIVATE REALM STANDARDS		FOR OFFICE USE ONLY
Parking and Site Access		
Landscaping		
Lighting		
Business Signage		

PUBLIC REALM STANDARDS CHECKLIST

STANDARD	COMMENTS (APPLICANT)	COMMENTS (RVC ADMINISTRATION)
		FOR OFFICE USE ONLY
Streetscapes		
Street Furniture		
Wayfinding & Gateway Features		
Civic Nodes and Public Open Spaces		
Public Art		





ROCKY VIEW COUNTY
Cultivating Communities