



Gateway at Cochrane Lake:

Partial Neighbourhood Plan for Neighbourhood A, Cochrane Lake



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1 Introduction

This Partial Neighbourhood Plan is submitted in support of Land Use and Planning approval applications for lands known municipally as 42019 and 42029 Cochrane Lake Road West. The lands are located within the Hamlet of Cochrane Lake. The Partial Neighbourhood Plan has also been submitted to demonstrate conformity to the Cochrane Lake Hamlet Plan and to the Rocky View County Plan.

Section 3.2.1 of the Hamlet Plan provides the ability for landowners representing a minimum of 8.1 ha (20.0 ac) to submit a Partial Neighbourhood Plan in a community centre area. The subject lands form part of Neighbourhood A and also the East Hamlet Centre, which also include lands immediately north of Cochrane Lake Road West.

The property owners wish to develop their properties for commercial and residential development. An application for Land Use Redesignation has been filed concurrent with this application, which proposes the existing Residential, Rural (R-RUR) designation to be replaced with Residential, Urban (R-URB), Mid-Density Urban District (R-MID), Commercial, Local Urban District (C-LUD), and Special Public Service District (S-PUB).

The residential component would range between 90-96 dwelling units, primarily comprised of single and semi-detached dwellings. The commercial area (a new feature for Cochrane Lake) would be intended to serve hamlet residents and pass-by traffic on Highway 22. In the interim, the landowner wishes to retain their existing dwelling and accessory building, as it also serves as an office for their business undertakings. The plan proposes two street intersections at Cochrane Lake Road, where there are three existing driveway approaches. It is expected that the commercial area would retain one existing driveway entrance on at least an interim basis. Two green spaces are proposed: one is a centrally located park space with amenity feature and the second is linear open space located in the north central part of the plan area, a public utility lot for stormwater management located south and west of the proposed commercial site will also contain a pathway system.

1.1 Objectives of this Partial Neighbourhood Plan

The objectives of this Partial Neighbourhood Plan are as follows:

- To confirm that the Partial Neighbourhood Plan conforms to the County's policy framework, including the Calgary Metropolitan Region Board Growth Plan, County Plan, Cochrane Lake Hamlet Plan, and Rocky View County Land Use Bylaw, along with non-statutory policies and procedures.
- To define lands within the Plan Area, including current and adjacent land use.
- To identify lands for open space and passive recreation, that shall be dedicated as municipal reserve.
- To confirm appropriate land use designations and development standards for all lands within the Plan Area.
- To identify the transportation and mobility network, which includes connections to the commercial development within the Plan Area.
- To outline a servicing policy that supports regional stormwater, wastewater, and potable water servicing required for the Plan Area.
- To summarize the community engagement undertaken to date.

2 Plan Area

2.1 Location

The Hamlet of Cochrane Lake is located in Rocky View County, approximately 1.6 km (1.0 mile) north of the Town of Cochrane on Highway 22. The Hamlet measures approximately 512 hectares (1,254 acres) and features a large lake (Cochrane Lake) as an amenity.

The Plan Area defined by this report is in the east portion of the Hamlet at the southwest corner of the intersection of Cochrane Lake Road West and Highway 22. The subject lands are part of Neighbourhood 'A.'

Exhibit 1 Location Plan, shows the location of the subject lands in relation to the Cochrane Lake Hamlet.

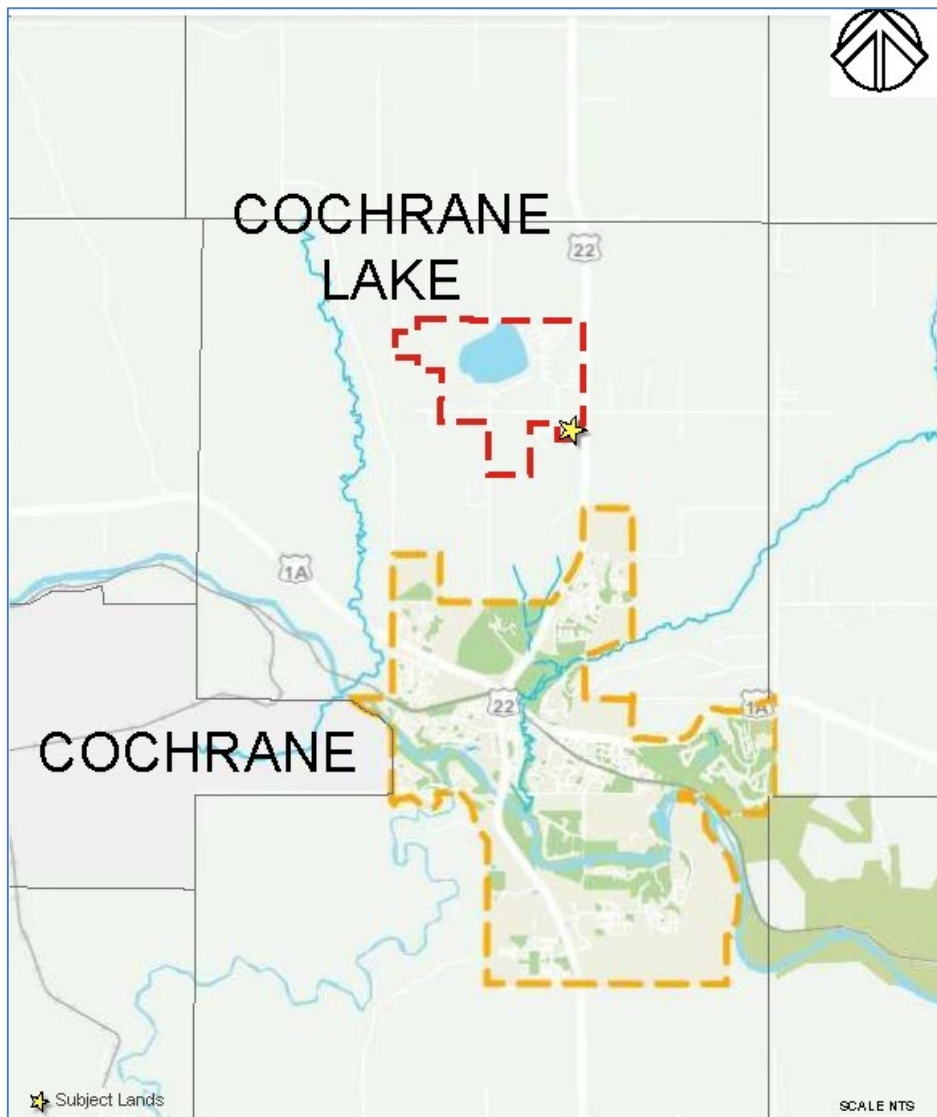


Exhibit 1: Location Plan

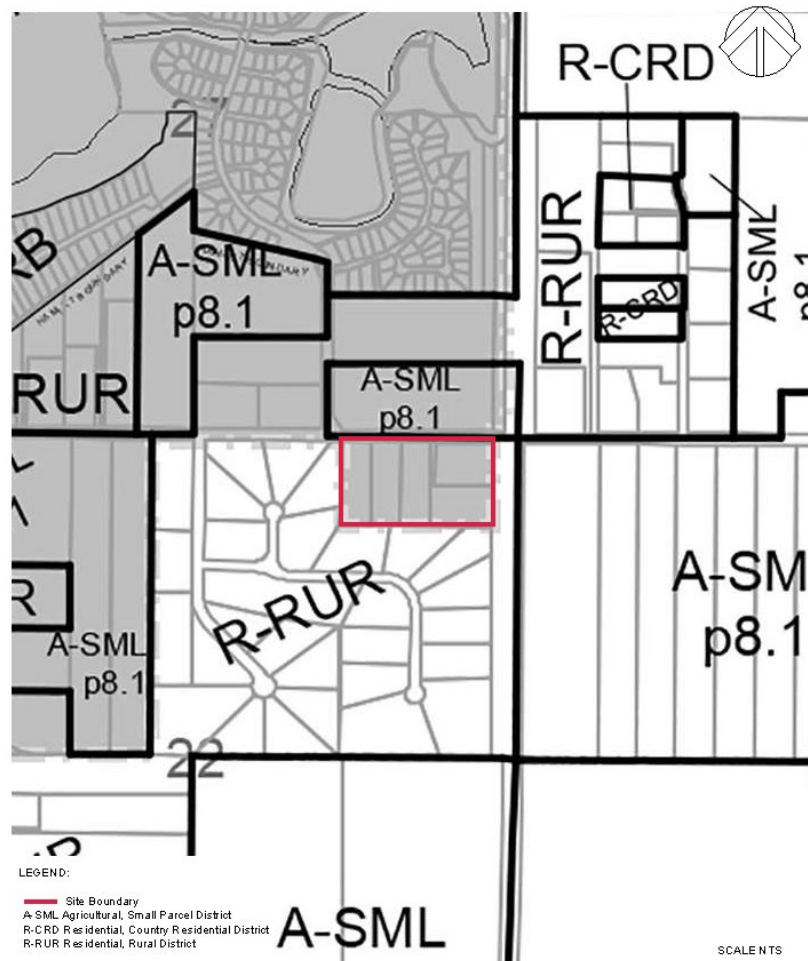


Exhibit 3: Existing Land Use

2.2.2 Site Conditions

The Plan Area currently has one residential dwelling with an accessory building. The existing dwelling is currently serviced by a groundwater well and private septic treatment system. Much of the land is vacant, but trees have been planted surrounding the existing residence.

2.2.3 Existing Access and Transportation Network

The Plan Area currently has one developed access from Cochrane Lake Road West along the north frontage, with two stubbed entrances to the west of the existing entrance. This is the primary connection to the transportation network.

Cochrane Lake Road is paved and intersects Highway 22 (the primary north-south highway connecting the hamlet to the Town of Cochrane and major east-west transportation routes) at the northeast corner of the Plan Area. The intersection of Highway 22 and Cochrane Lake Road West is approximately 147 metres (482 feet) east of the entrance to the existing residence.

Sherriff Road is a north-south local road connecting the existing Monterra development with Cochrane Lake Road West. The intersection of Sherriff Road and Cochrane Lake Road is approximately 36 metres (118 feet) west of the Plan Area boundary.

Pleasant View Estates is the main access to Diamond Ridge Estates, the estate residential subdivision to the west and south of the Plan Area. The intersection of Pleasant View Estates

and Cochrane Lake Road West is approximately 360 metres (1181 feet) west of the Plan Area boundary.

2.2.4 Oil and Gas Sites

There are no present or former oil and gas well sites or pipelines located in the Plan Area.

2.2.5 Topography and Surface Drainage

The site is generally flat with a gentle slope from the south end of the Plan Area to the north at Cochrane Lake Road West. Low points were identified along the south and west property boundaries which would be taken into account with proposed site grading plans. **Exhibit 4** shows the existing site contours.

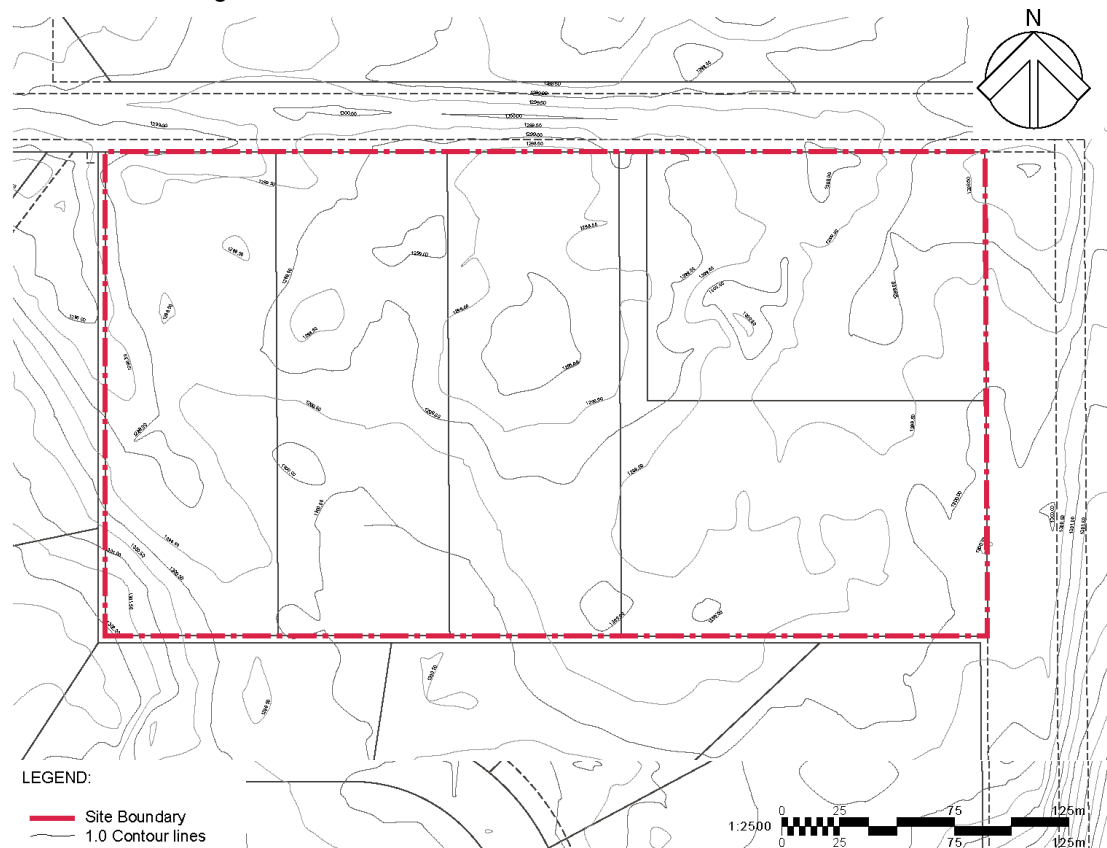


Exhibit 4: Existing Topography

2.2.6 Geotechnical Conditions

A geotechnical investigation was undertaken by Almor Testing Services Ltd. in November 2022. The investigation involved the drilling of eight test holes, which found the subsurface ground conditions to generally consist of silty clay till, overlying bedrock. Topsoil was encountered at each test hole location with thickness ranging from 300mm to 400mm.

Groundwater recoding was conducted during drilling operations and two weeks following. No seepage was indicated in any of the test holes and all holes were observed to be dry at the time of drilling and two weeks following.

Based on these findings, the report concludes that the subsurface conditions are generally suitable for the proposed development, with continuous and spread footing foundations would be acceptable with downspouts directing drainage away from foundations.

2.2.7 Biophysical Conditions

An Environmental Screening was undertaken by Sage Environmental Ltd. in November 2022. The screening included desktop review of publicly available materials, and a site inspection by consultant. This included information regarding:

- Landforms and soils – *The site topography is described as generally flat to slightly undulating; sloping very gently from south to north. Native soil material consists of moderately well-drained Black Chernozem on medium textured till.*
- Vegetation – *Rare plants or ecological communities are not expected on the property. Ecological communities present include:*
 - *Non-native grassland (former pastureland) - dominated by non-native forage grasses, and weedy herbaceous species.*
 - *Residential Acreage - characterized by manicured yard with hedgerow/ornamental trees and shrubs including planted mature spruce, lodgepole pine, and poplar trees and caragana.*
- Wildlife – *Results show no Species of Conservation Concern recorded within the subject lands and the potential for Species of Conservation Concern and biodiversity are low due to the low native integrity of vegetation on site, and high human disturbance from residential acreages. Incidental observations of wildlife recorded during the reconnaissance-level field visit include black-billed magpie, red-breasted nuthatch, and black-capped chickadee. Tracks of deer and red squirrel were observed in snow.*
- Hydrology – *No mapped watercourses, wetlands, or waterbodies occur within the property boundaries. The FWMIS internet mapping tool shows an Indefinite Stream (STR-INDEF) Strahler order 1 in the SW corner of the property.*
- Historical Resources – *A search of the Fall 2022 version of the Alberta Culture’s Listing of Historic Resources was conducted. The property is not listed and the potential to contain a historic resource is considered low.*
- Environmentally Significant Areas – *No provincially mapped ESAs occur within or adjacent to the subject property. The area is mapped as having low potential to contain an ESA.*

The report, issued in December 2022 indicates that no Valued Ecosystem Components were identified during the Environmental Screening that would warrant a Biophysical Impact Assessment under the County’s Servicing Standards.

2.2.8 Historical Resources Act

Arcadis IBI Group prepared and submitted a Historical Resource application to the Province of Alberta, who noted that the Plan Area appears to be free of Historical Resources as of August 25, 2022. Therefore, further study was not required by the Province of Alberta.

2.2.9 Policy Framework

Policy 2.2.9.1

Existing structures within the Plan Area may continue to remain until a subdivision plan has been registered in accordance with the Proposed Land Use as approved within this plan.

Policy 2.2.9.2

Existing water wells, septic tanks, and septic fields shall be decommissioned in accordance with the appropriate legislation, regulations, and guidelines, when no longer in use.

3 Development Concept

3.1 Neighbourhood A

Within the County’s Hamlet Plan for Cochrane Lake, the lands are considered part of Hamlet Neighbourhood A. Neighbourhood A encompasses lands on the east side of the Hamlet of Cochrane Lake, including the existing Monterra development.

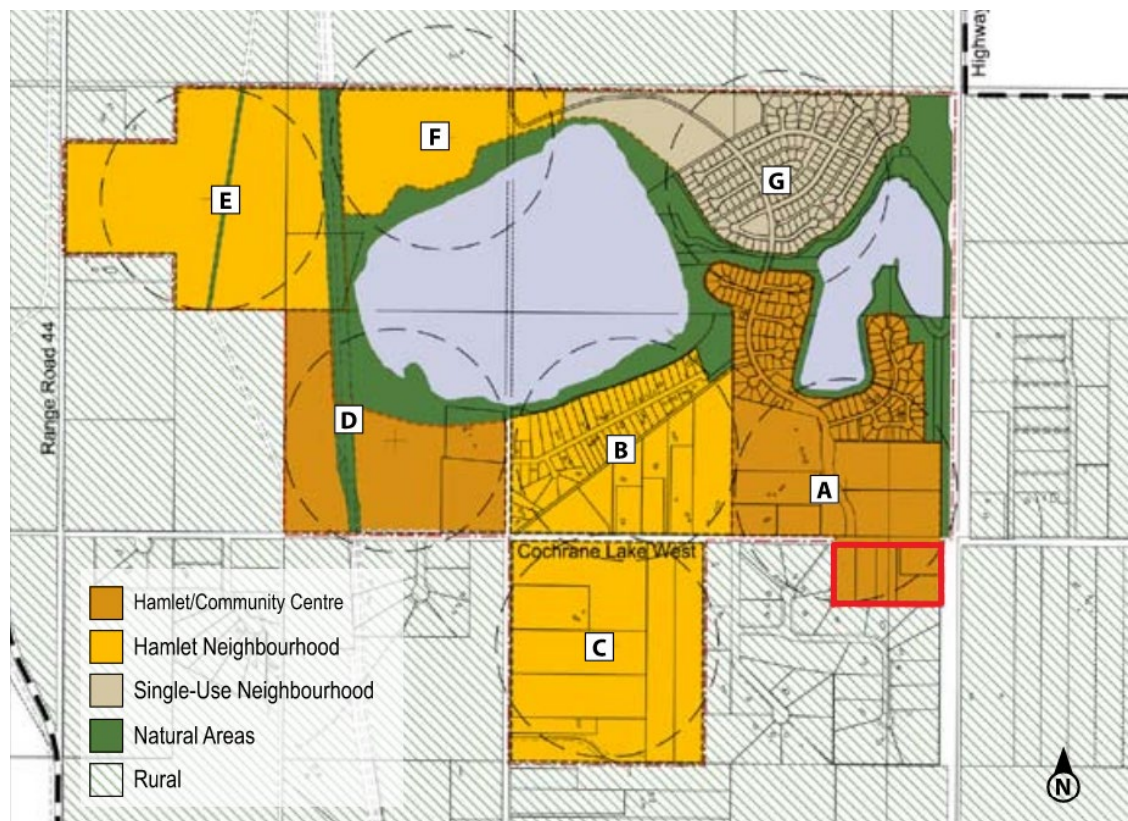


Exhibit 5: Cochrane Lake Hamlet Plan (Area Structure Plan) - Neighbourhood Plan

Of the vacant lands within Neighbourhood A, six land parcels are located north of Cochrane Lake Road, and south of the Monterra development, and five land parcels forming the Plan Area south of Cochrane Lake Road. As the Plan Area is not contiguous to the lands north of Cochrane Lake Road West, a Partial Neighbourhood Plan concerning only the lands to the south has been prepared. The proposed commercial lot meets the intent established in the CLHP Neighbourhood A Plan by adding civic spaces and retail/employment uses within a walkable

distance. The inclusion of these uses will encourage public interaction between the north and south sides of the road, thus supporting the subject site’s integration with the remainder of Neighbourhood A. The Hamlet Plan envisions the centre (commercial) in three areas of the subject site (west, centre, and northeastern). Combined with the remainder of Neighbourhood A, this represents a large portion of commercial, beyond what is viable for the subject site development and the area. As such, the northeastern portion was selected for commercial. This location will be more easily accessed by employees and customers living outside of the subject site area and removes through traffic within the proposed residential street, thus limiting traffic and creating a more enjoyable/pedestrian friendly environment. The site also does not represent a larger scale than the Hamlet Plan contemplated northeastern commercial site. Design measures will be implemented for the commercial site which adds to the desired gateway experience along Cochrane Lake Road West including locating parking away from the road.

As all existing development lands in Cochrane Lake are located north of Cochrane Lake Road West, a neighbourhood plan for the balance of Neighbourhood A, and vacant lands within Neighbourhood B to the south of the historic hamlet (and north of Cochrane Lake Road West) may be more appropriate.

Exhibit 6 shows the subject lands in relation to the greater Neighbourhood A.

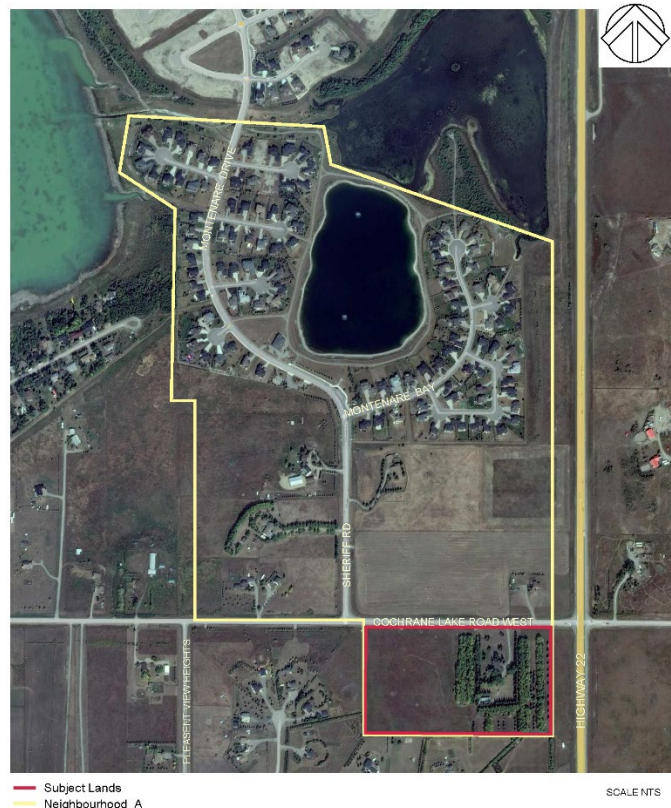


Exhibit 6:Neighbourhood 'A' Location

The Hamlet Plan identifies that the development of the East Community Centre Area presents challenges for creating a pedestrian-friendly, mixed-use centre. This is exacerbated by the proposed development consisting only of the lands south of Cochrane Lake Road West. Therefore, the Hamlet Plan outlines that “it is anticipated that alternate versions will be considered and tested as guided by the General Neighbourhood Design Policies and the overall vision of this Hamlet Plan, and as regulated by the associated land use districts.” In recognizing the Hamlet Plan identified need for flexibility in designing the East Community Centre Area, the

proposed Partial Neighbourhood Plan is consistent with the general layout of the Hamlet Plan. The proposed plan contains an internal circulation road with blocks of residential oriented around it. This road is accessed at two access points from Cochrane Lake Road West. In addition, one public space (S-PUB) is provided along Cochrane Lakes Road. The specific use and design of the space can be refined during subsequent applications. The largest change to the layout relates to the southeastern corner. The Hamlet Plan identified a small area for a stormwater pond and park buffer space which did not accurately account for the stormwater management needs post development for the subject site. As such, during the stormwater engineering analysis, the location and scale of the SWM area was altered with the proposed location located along the eastern portion of the subject site.

Exhibit 7 shows the proposed Hamlet development districts within the subject lands. As noted within the Hamlet Plan, the area captioned by the Partial Neighbourhood Plan consists of Edge, Transition and Centre Districts. “Edge” district is characterized by single-detached dwellings and are separated from adjacent estate residential properties by a 3.0 (10 ft.) reserve registered at the west and south boundaries of the Plan Area. “Transition” district is those proposed single detached and semi-detached/duplex dwellings, located between the Edge district, Cochrane Lake Road West, and the Centre district, The ‘Centre’ district consists of the proposed commercial area along with semi-detached or townhouse dwellings, and will provide services for all hamlet residents. The Commercial, Local Urban District (C-LUD) will allow for a similar range of services described in Section 2.8 of the Hamlet Plan.

Table 2: Neighbourhood Districts

DEVELOPMENT DISTRICT	EXPECTED PROPORTION OF NEIGHBORHOOD A	PROPORTION OF SUBJECT LANDS	TOTAL AREA PROPOSED (HA)	RESIDENTIAL NET DENSITY
Edge District	0-20%	19.6%	1.59	20.7 uph (8.4 upa)
Transition District	25-60%	28.3%	2.29	23.6 uph (9.6 upa)
Center District	10-20%	15.8%	1.29	3.4 uph (1.9 upa)
Public Space/MR <i>(MR previously paid cash in lieu)</i>	10%	2.3%	0.19	N/A
SWM/ PUL	N/A	17.0%	1.38	N/A

Table 2 Neighbourhood Districts, identifies the anticipated district percentages for Neighbourhood A, as prescribed by the Section 3.2 of the Hamlet Plan, and the proposed percentages and areas within this Partial Neighbourhood Plan. The Development Districts’ expected proportions correspond with those of the Hamlet Plan.

Section 3.2.5 of the Hamlet Plan outlines overall neighbourhood design and target densities for the six designated neighbourhoods within Cochrane Lake. The plan does acknowledge that densities will be lower at the outset of development and will evolve over time. It is not expected that the subject lands will densify given new construction, however as housing options evolve, some Neighbourhood A lands north of Cochrane Lake Road West may see higher forms of density.

Overall, the net density (subject lands minus the area dedicated for municipal reserve plus public utility lot) of the Partial Neighbourhood Plan area is 13.7-14.68 units per net hectare, or 5.56 - 5.94 units per net acre and 11.11 -11.85 units per gross hectare or 4.49 -4.79 units per gross acre which aligns with the goal of 4 to 6 units per acre, as noted in Section 3.2.4 of the CLHP.

Exhibit 7 shows the subject lands and corresponding Hamlet Development Districts. Section 3.2.5 of the CLHP identifies minimum net densities for each Hamlet District:

- Edge: 10 units/ha (4 units/acre)
- Transition: 15 units/ha (6 units/acre)
- Centre: 15 units/ha (6 units/acre)

Table 2 demonstrates that the Edge and Transition both exceed the minimum net densities identified in the CLHP. The Centre district is primarily intended to serve a commercial purpose for the community. As such, only a small portion of residential is planned for the district which results in the lower than minimum density. The stated goal of the minimum District net densities is to “to ensure a base density appropriate for future transit support and community vibrancy” (CLHP 3.2.5 D). Due to the size of the subject site and proximity of the proposed Districts, the goals of transit support and community vibrancy will still be achieved. This is further demonstrated in Section 3.4.2 below which identifies the walkability of the proposed development and connection with the Neighbourhood A lands to the north.

Along with the Density metrics, the Edge and Transition Districts are differentiated primarily through the proposed implementation of land use districts (Edge: R-URB & Transition: R-URB & R-MID). The two districts include different Parcel Size, Parcel Width, and Side/Rear Yard Setback provisions, with R-MID permitting smaller sizes. As such, the Transition district will have greater flexibility in future lotting and built form to establish differentiation between the proposed Districts.

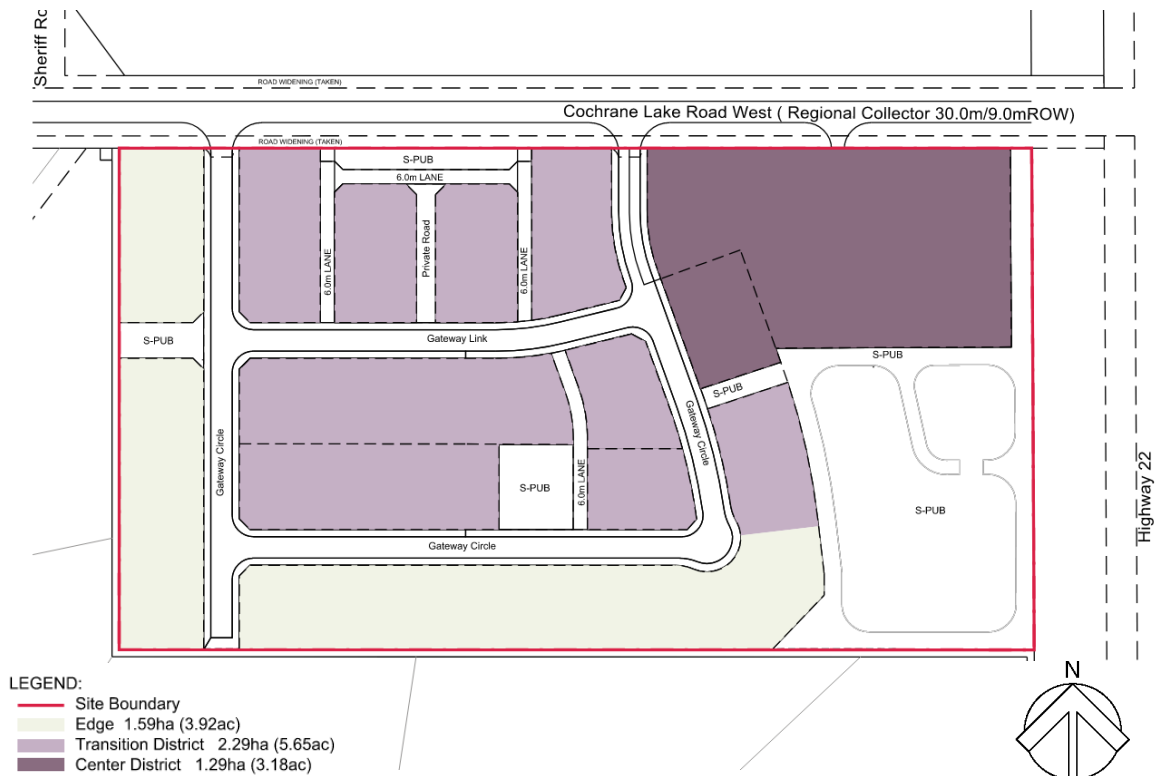


Exhibit 7: Hamlet Development Districts

3.1.1 Policy Framework

Policy 3.1.1.1

- i. The minimum net residential density shall be 4 units per hectare.
- ii. The maximum net residential density shall be 6 units per hectare.

3.2 Land Use Statistics

Concurrent with this Partial Neighbourhood Plan, the following stock land use districts are proposed to implement the plan:

- Residential, Urban District (R-URB) for single detached dwelling lots;
- Residential Mid-Density Urban District (R-MID) for single/semi-detached and/or townhouse dwelling lots;
- Commercial, Local Urban District (C-LUD) for the commercial parcel; and
- Special Public Service District (S-PUB) for the park, and stormwater management public utility lots.

Exhibit 8 shows the proposed land use districts. **Table 3** shows the area breakdown of land use districts and roads within the subject lands. **Exhibit 9** shows the proposed Land Use overlaid with the proposed road system.

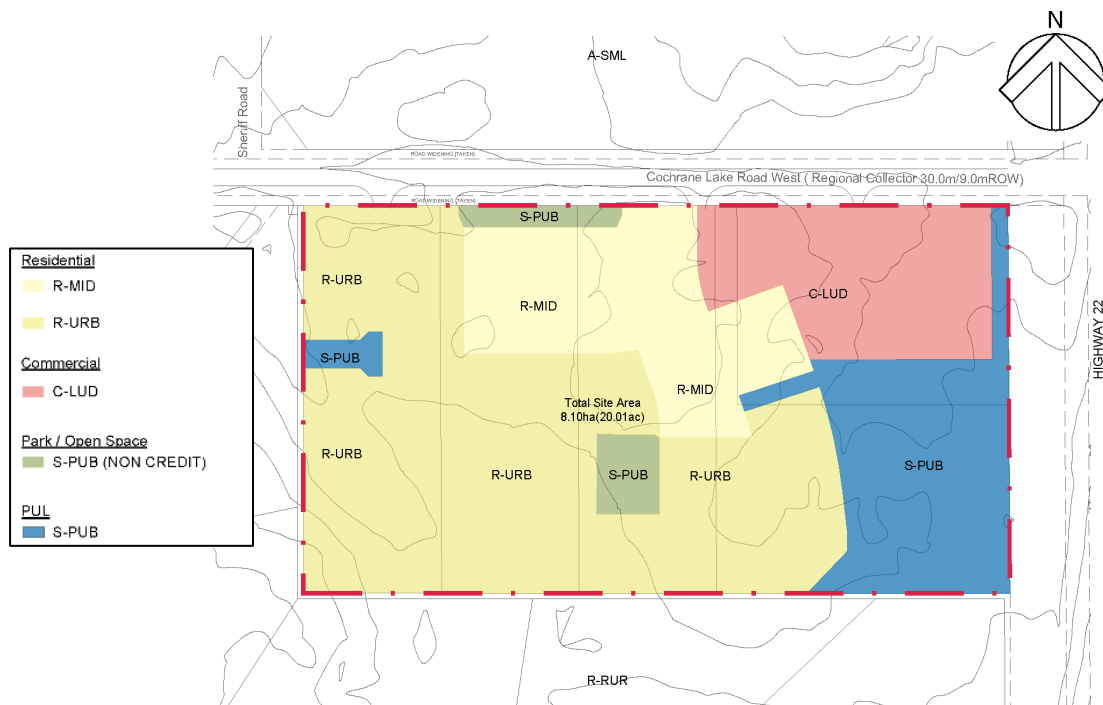


Exhibit 8: Proposed Land Use

GATEWAY AT COCHRANE LAKE:
PARTIAL NEIGHBOURHOOD PLAN FOR NEIGHBOURHOOD A, COCHRANE LAKE

Prepared for Kuldip (Keep) Sekhon

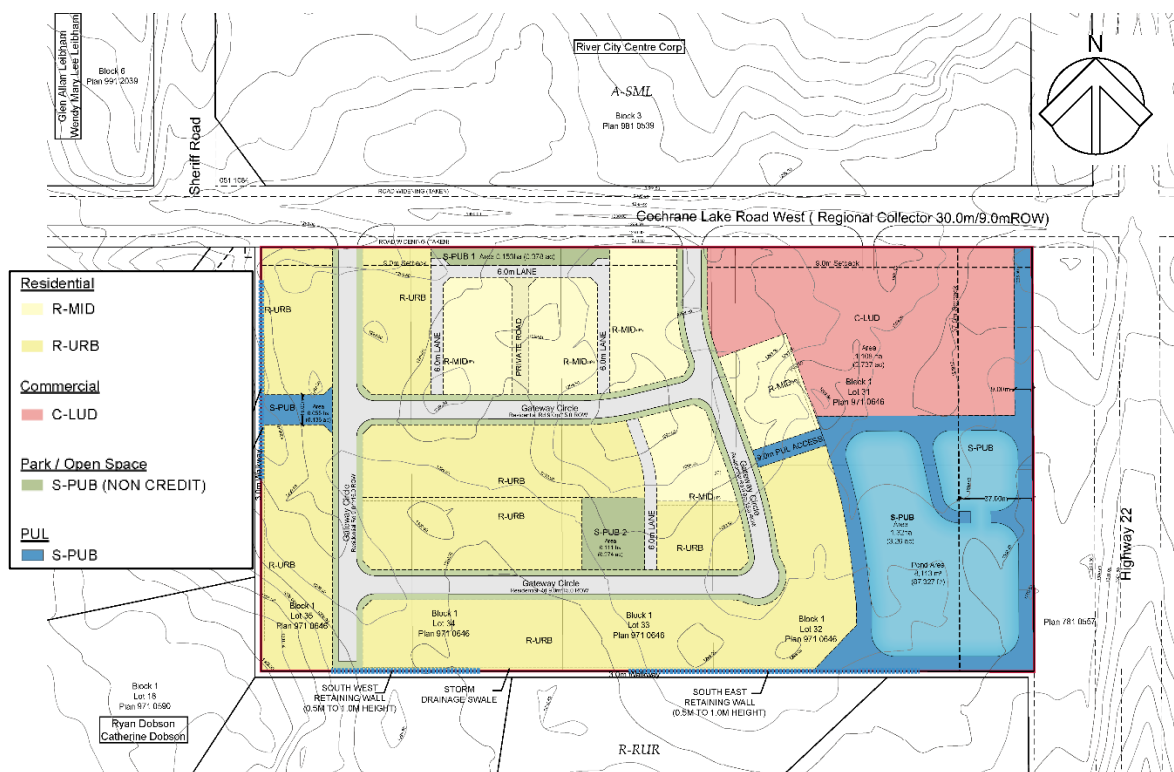


Exhibit 9: Proposed Land Use with Overlaid Road System

Table 3: Land Use Statistics

LAND USE	AREA (HA)	AREA (AC.)	AREA PERCENTAGE
R-URB	3.90	9.64	48%
R-MID	1.39	3.43	17%
C-LUD	1.15	2.84	14%
S-PUB (MR)	0.25	0.62	3%
S-PUB (PUL)	1.41	3.48	17%
TOTAL	8.10	20.01	100%

Development following Council approval of this Partial Neighbourhood Plan shall proceed by subdivision application, approval, and registration. As noted, the Partial Neighbourhood Plan proposes between 90 and 96 residential units, 1 commercial lot, and 4 public use areas for parks and stormwater management.

3.3 Utility and Stormwater Servicing

3.3.1 Water Service

The proposed development will be serviced with potable water by extending the existing Cochrane Lake water distribution system. The connection to the existing system will occur at the intersection of Montenaro Bay and Sheriff Road. Currently there is a Conceptual Scheme for Neighbourhood C in circulation. If Neighbourhood C was to move forward with construction of

GATEWAY AT COCHRANE LAKE:
PARTIAL NEIGHBOURHOOD PLAN FOR NEIGHBOURHOOD A, COCHRANE LAKE

Prepared for Kuldip (Keep) Sekhon

the proposed servicing, the point of potable water servicing would occur at the intersection of Cochrane Lake Road and Sheriff Road. A dual 200mm water connection will be required from the intersection of Montenaro Bay and Sheriff Road to the first entrance to the proposed development. The watermain installed within Sheriff Road will also service the adjacent lands east and west of Sheriff Road and will be subject to the County's current Cost Recovery Policy.

Within the proposed development, 200mm and 150mm diameter watermain will be installed within the County rights-of-way to service the site. A water network analysis will be completed at time of subdivision to analyse the fire flow and pressure requirements to be in accordance with the County standards.

Exhibit 10 shows the proposed water servicing plan.

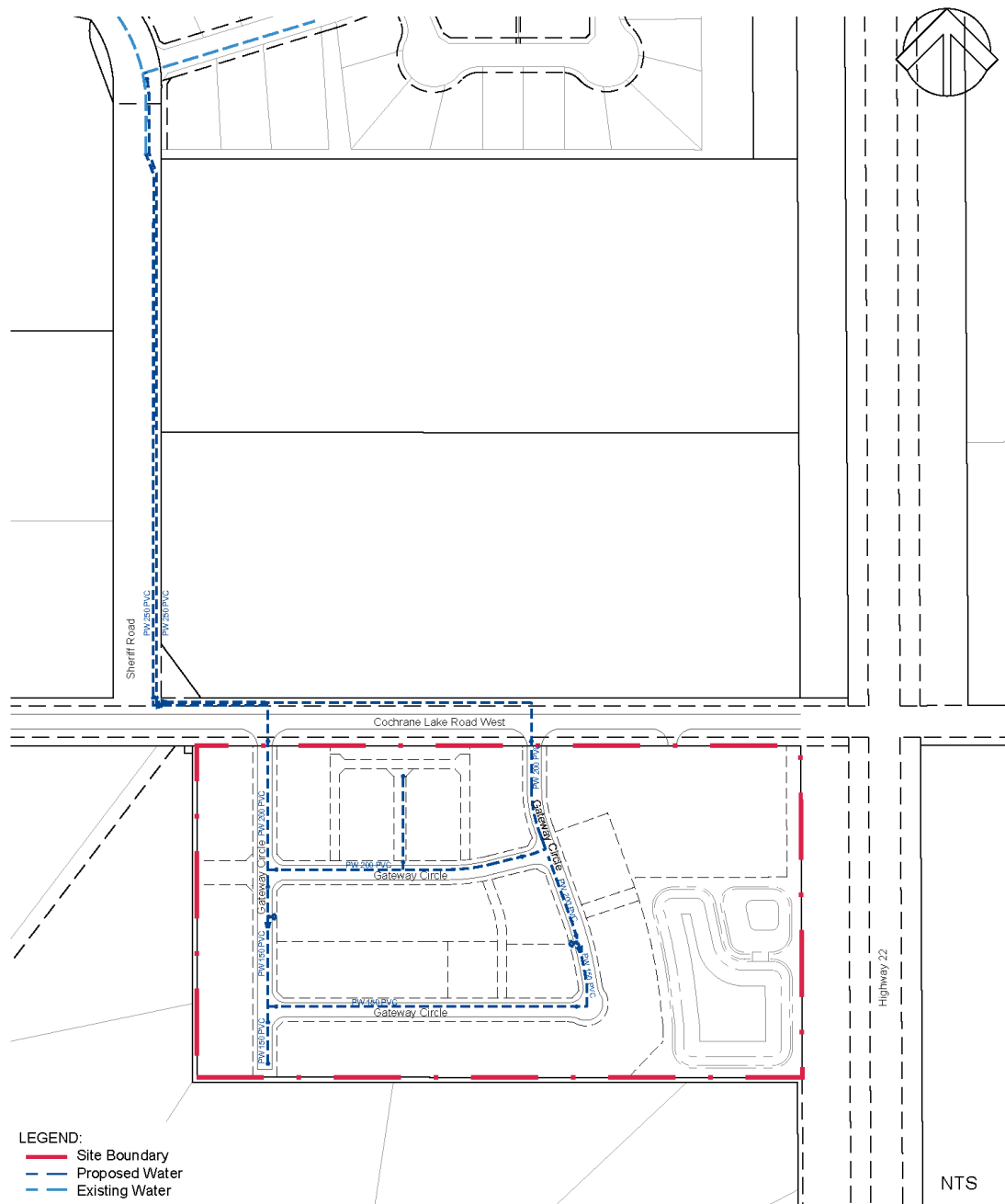


Exhibit 10: Water Servicing

3.3.2 Wastewater Service

Wastewater flows will be collected via sanitary sewer system within the development area. The sanitary sewer will flow via gravity to Cochrane Lake Road. The gravity line will flow west to Sheriff Road and then north to the connection point located at Montenaro Bay and Sheriff Road. The sanitary sewer system installed within Sheriff Road will also service the lands east and west of Sheriff Road and will be subject to the County's current Cost Recovery Policy.

Exhibit 11 shows the proposed wastewater servicing plan.

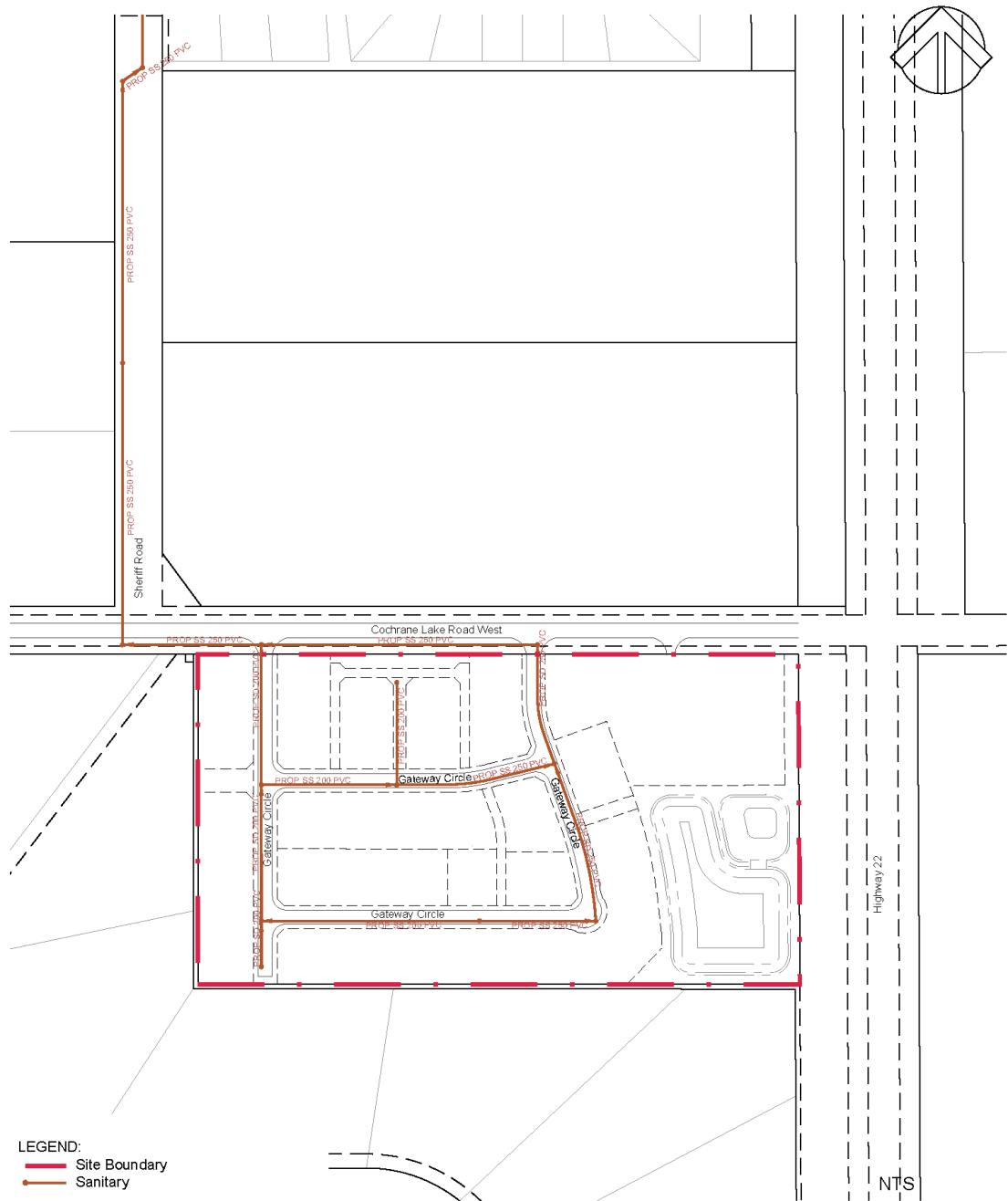


Exhibit 11: Wastewater Servicing

3.3.3 Shallow Utilities

Shallow utilities (e.g., electricity, telecommunications, natural gas) shall be provided by the developer at the subdivision stage of development, in consultation with all applicable utility providers.

3.3.4 Stormwater Management

The proposed Cochrane Lakes development is part of the larger watershed which drains to Cochrane Lake, via East Lake. The stormwater management system is designed to transition the urban neighbourhood to the existing downstream rural-based drainage system. An onsite pipe system will convey onsite stormwater runoff to a central stormwater management facility (SWMF), on the east side of the development, for quality and quantity control. Where necessary, perimeter retaining walls with overland swales will ensure all site drainage is routed through the pond.

The perimeter grading and retaining walls will also ensure that existing drainage patterns from upstream, adjacent properties are maintained. This offsite drainage collects in one of two depressions just outside the west and south property lines, the capacity and function of these depressions will not be impacted by the proposed development.

The site will incorporate two Low-Impact Development (LID) features and a large bioretention feature which will provide additional stormwater runoff control and integrate into the overall landscaping aesthetic. The site SWMF will discharge to the existing culvert network along Highway 22, discharging to East Lake. The site will adhere to all stormwater management targets and regulations set out in the previous Master Drainage Plans for the area.

Exhibit 12 shows the proposed storm sewer servicing plan.

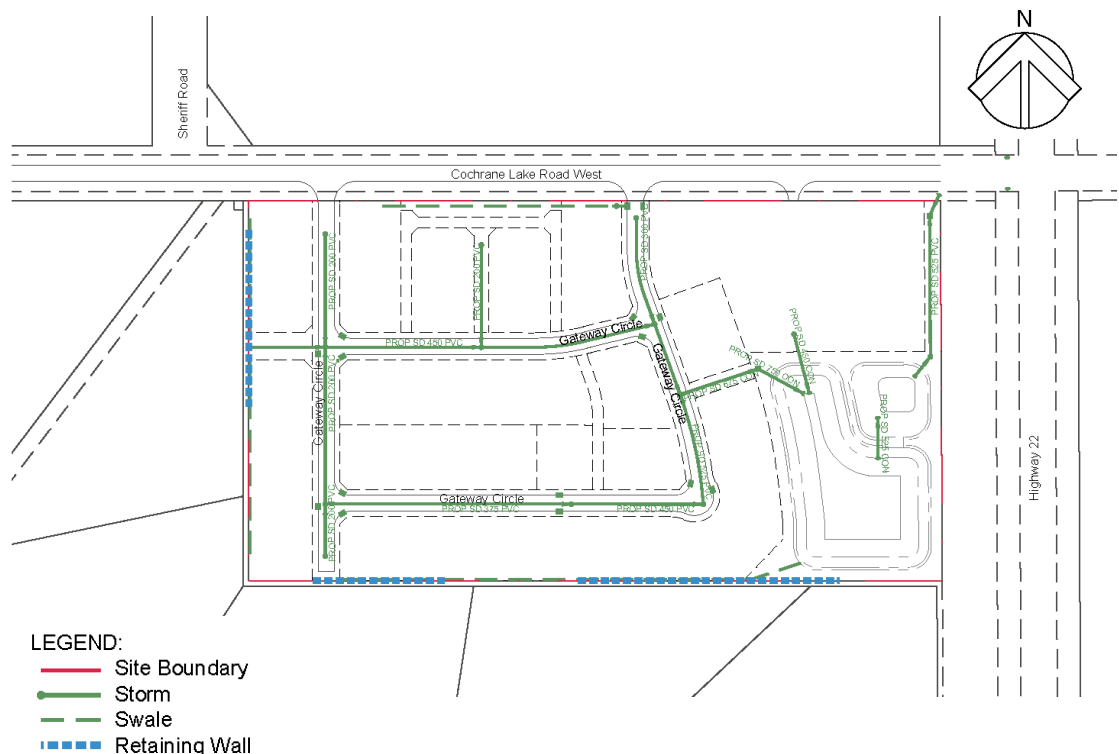


Exhibit 12: Stormwater Servicing

3.3.5 Policy Framework

Policy 3.3.5.1

All infrastructure costs to service the Plan Area shall be provided by the developer. Design and installation of on-site and off-site utility infrastructure shall be provided at the subdivision stage.

Policy 3.3.5.2

The developer shall be required to pay applicable Rocky View County Water and Wastewater Connection Charges at the subdivision stage.

Policy 3.3.5.3

Potable water service shall be provided within the Plan Area from Rocky View County's Horse Creek Water Services Inc. water system.

Policy 3.3.5.4

Wastewater service shall be provided within the Plan Area from Rocky View County's Horse Creek Sewer Services Inc. wastewater system.

Policy 3.3.5.5

Where the alignment of the potable water service network or the wastewater service network is demonstrated to provide benefit to lands outside the participating area of this Plan, the County shall implement a Cost Recovery in accordance with the Infrastructure Cost Recovery Policy C-406.

Policy 3.3.5.6

The design of water, wastewater and stormwater systems shall be in accordance with the County's Servicing Standards and Alberta Environment.

Policy 3.3.5.7

Shallow utilities shall include electricity, gas, cable, high speed internet and telephone. All shallow utilities shall be installed at the expense of the developer in accordance with the development agreement with the County.

Policy 3.3.5.8

The location of shallow utilities and provision of rights-of-way and easements and line assignments should be addressed to the mutual satisfaction of the County, the developer, and the utility companies. The location of the identified utility locations shall be agreed upon at the subdivision stage.

3.4 Transportation

3.4.1 Transportation Impact Assessment

A Transportation Impact Assessment (TIA) was completed by Bunt and Associates Engineering Ltd. in December 2022. The TIA considers the proposed connections to Cochrane Lake Road West, as well as any impacts to the intersection of Cochrane Lake Road West and Highway 22.

The TIA forecasts total vehicle trip generation from the development of 107 vehicle trips in the AM Peak hour, and 150 vehicle trips in the PM Peak Hour. This is based upon approximately 86 residential units, 16,100 sq. ft. of commercial space, and 7,900 sq. ft. of office space being

developed within the Plan Area. The TIA notes that some vehicle trips into the commercial area will be from outside of the Plan Area.

The TIA assessed the proposed driveway accesses to Cochrane Lake Road West and have confirmed that they meet Transportation Association of Canada (TAC) minimum spacing requirements.

Finally, the TIA notes that the development will contribute, along with several other proposed developments in the Cochrane Lake area to changes to the Highway 22 and Cochrane Lake Road West intersection. TIAs analyzing other proposed area developments have recommended signalization of the intersection within a 10-year horizon. Further, the addition of an eastbound turn lane to allow traffic to turn southbound onto Highway 22 will also be warranted with the general increase in traffic from the proposed developments.

Exhibit 13 shows the proposed internal road network.

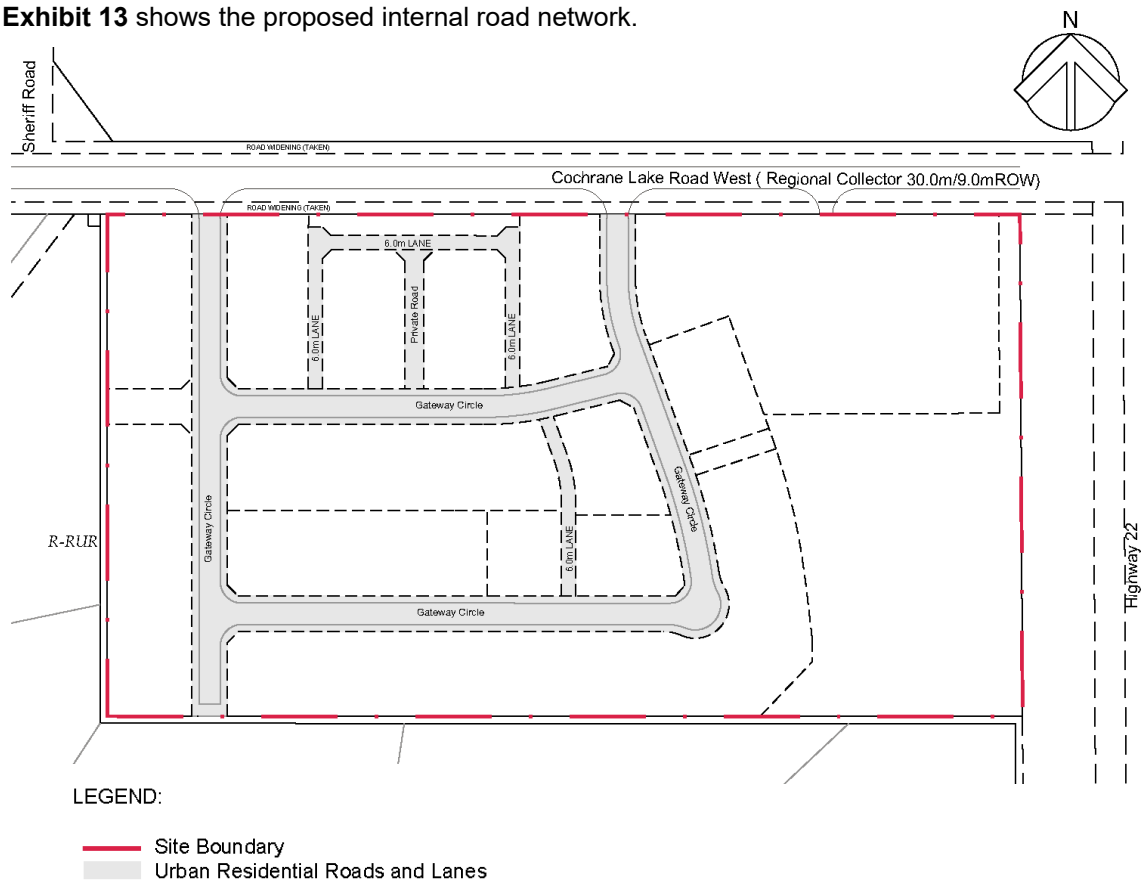


Exhibit 13: Internal Roads

3.4.2 Walkability and Block Design

At full development, Cochrane Lake will be considered a walkable hamlet, with amenities and services within a 400 metre or 5-minute walkshed to residences. The entire subject lands will be within a 200-metre radius of the planned park and commercial area. The balance of lands within Neighbourhood A, to the north of Cochrane Lake Road area also within the 400-metre radius. This should ensure the desired walkability of Neighbourhood A as it develops north of Cochrane Lake Road West. Road cross sections within the subject lands will be at urban residential standards pursuant to Section 2.9.5 of the Hamlet Plan. Therefore, the subject lands conform to this principle, as shown in **Exhibit 14**.

GATEWAY AT COCHRANE LAKE:
PARTIAL NEIGHBOURHOOD PLAN FOR NEIGHBOURHOOD A, COCHRANE LAKE

Prepared for Kuldip (Keep) Sekhon

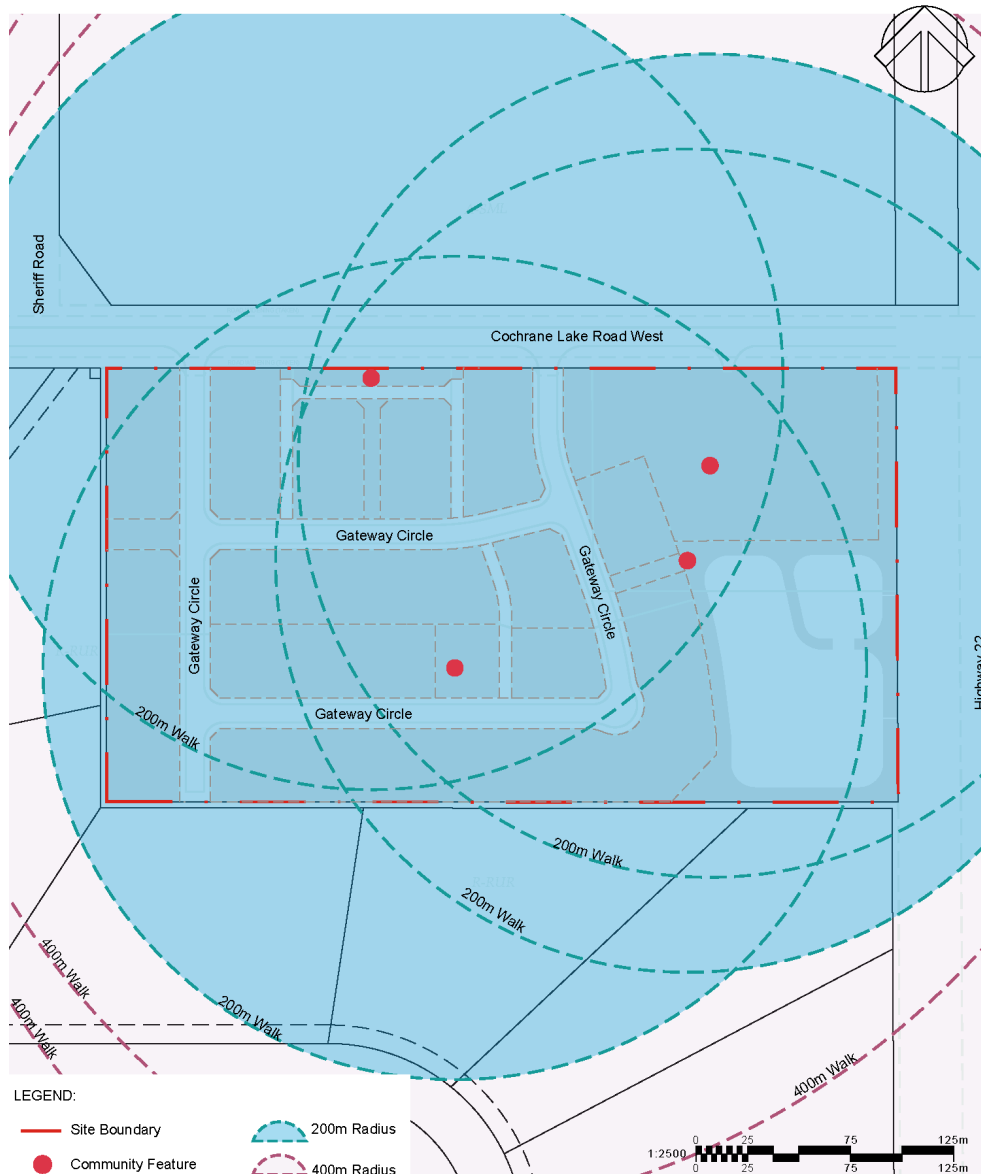


Exhibit 14: Walkability radius within Neighbourhood A

The road design of the subject lands is based on a grid, with laneways for semi-detached/duplex dwellings. A further design element captured within the Hamlet Plan is the desire for varied block lengths within each hamlet development district. Section 3.2.2 notes that blocks within each the areas described should be a maximum of: Edge: 1000m; Transition: 800m; Centre 600m.

Exhibit 15, shows the block design within the Partial Neighbourhood Plan, varying in length from 68 m to 220 m in length. The addition of laneways for the duplex/semi-detached dwelling product allows for mid-block breaks on one side of each street. Therefore, the block and street design comply with the relevant policies of the Hamlet Plan.

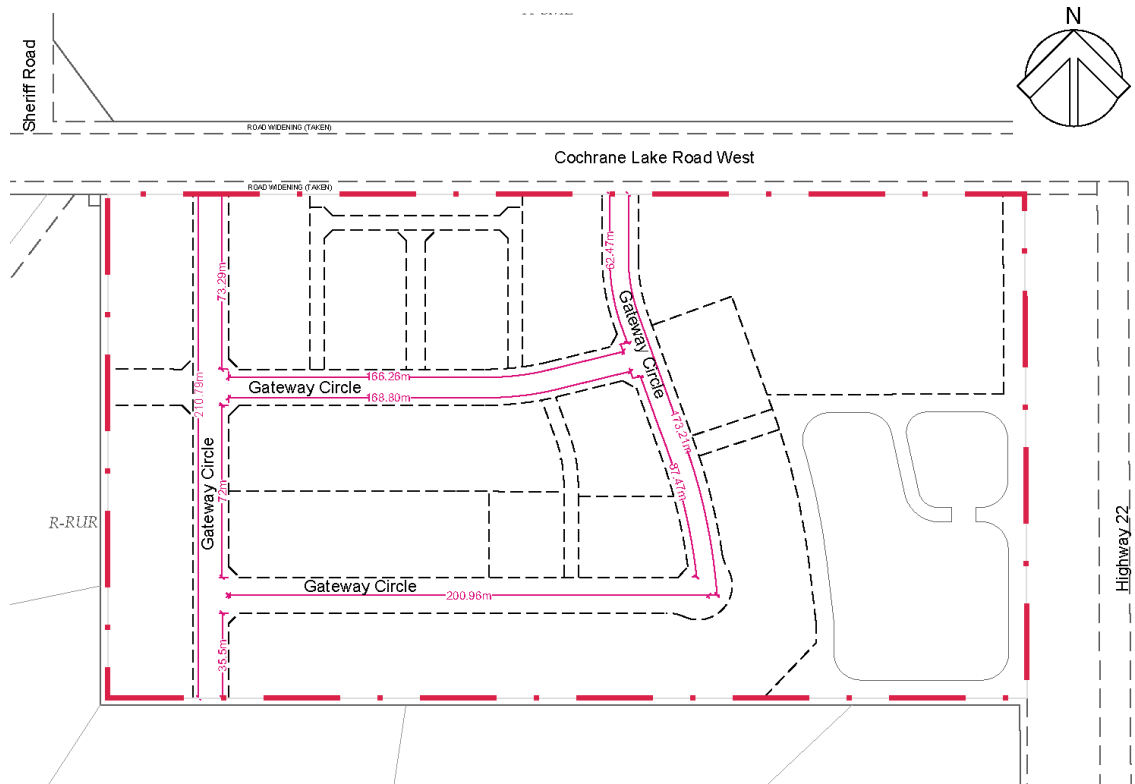


Exhibit 15: Block Design

3.4.3 Connectivity to Potential Future Development Areas

A road stub to the south property line has been included in the internal road design for potential connectivity if Diamond Ridge Estates were to be redeveloped and incorporated into the Hamlet of Cochrane Lake. This is not expected to occur in the short- or medium-term.

3.4.4 Policy Framework

Policy 3.4.4.1

Access to the Plan Area shall be consistent with **Exhibit 15: Block Design** and according to the County Servicing Standards.

Policy 3.4.4.2

Infrastructure improvements to the road network shall be provided by either a special transportation levy or cost sharing arrangements with the existing developers or as an endeavor to assist at the subdivision stage, in accordance with the recommendations of the Transportation Impact Assessment.

Policy 3.4.4.3

Road rights-of-way will be dedicated at the subdivision stage and developed in accordance with the Cochrane Lake Hamlet Plan and County Servicing Standards.

Policy 3.4.4.4

Residents shall have access to Commercial or Public Space opportunities within 200 m of their residence.

3.5 Open Space

3.5.1 Public Space Allocation

Five public spaces are proposed for the subject lands. Cash in lieu has been paid for all municipal reserves for these lands. All proposed municipal reserves are over and above the minimum 10% requirement of the MGA and therefore only constitutes 2% of the plan area. A small tot-lot public park is identified within the proposed community. The park is centrally located and generally aligns the illustrative examples for the East Hamlet Centre within the Hamlet Plan. **Exhibit 16** shows the lands identified for park space.

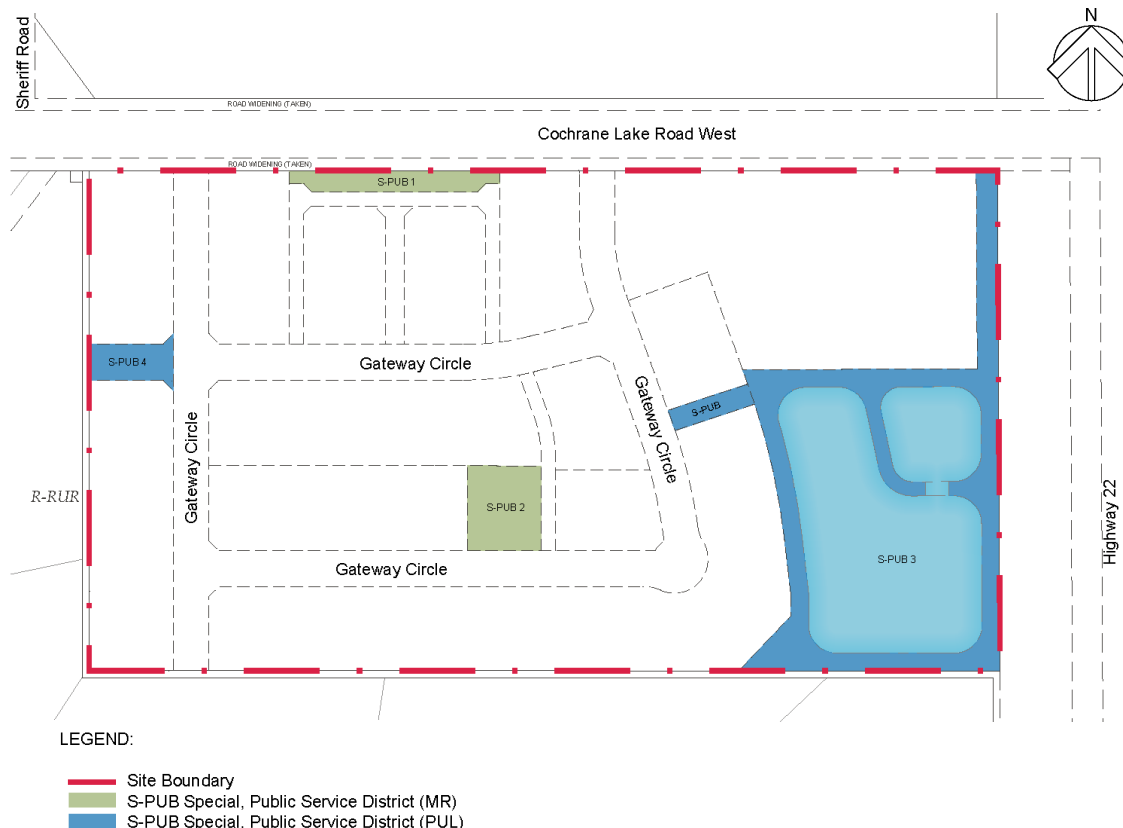


EXHIBIT 16: Public Space Allocation

3.5.2 Existing Vegetation

There are several deciduous and coniferous trees along with hedgerow and ornamental trees and shrubs that have been planted as wind breaks and visual screens for the existing residence on the subject property. The trees are non-native and have been introduced to the environment. The trees are large and either at the end of their lifecycle, too large to cost effectively move or in locations that will not be conducive with preservation. All trees and shrubs will be removed as a result of the development. It is expected that all other trees will be removed as part of preparations to develop roadways and lots.

4 Implementation

4.1 Proposed Subdivision

The Plan Area is expected to be between 90-96 residential lots, and one commercial lot with a net area of 1.11 ha (2.74ac.). The remainder of the lands shall be allocated to a park, roads, and a stormwater management facility.

4.2 Development Phasing

Development within the Partial Neighbourhood Plan area is proposed to involve 2 to 3 phases as illustrated in **Exhibit 18: Proposed Phasing**. Final phase boundaries and timing will be dependent on future of transportation and infrastructure, subject to market demand.

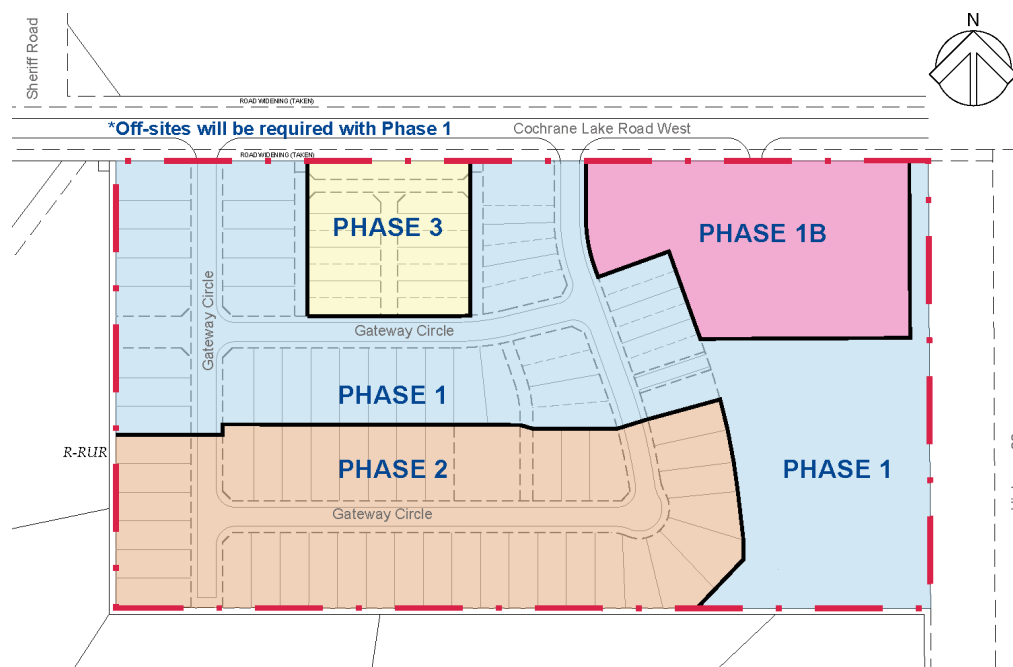


Exhibit 18: Phasing Plan

4.3 Buffering to Adjacent Properties

Diamond Ridge Estates has dedicated a 3.0 m (10.0 ft.) walkway that will also serve as a buffer area along the south and west property lines of the plan area. In addition, small retaining walls are identified on the proposed plan along the western and southern property boundary for erosion control and stormwater management purposes. Heights range between 0.5-0.9 m. The walls will be designed to a high degree of aesthetic quality to present no negative visual impact.

4.4 Building Design Standards

Residential building design shall reflect a mix of styles, depending upon the proposed development district (i.e., Edge, Transition, or Centre). Building designs for residential dwellings will also be at a smaller scale from those currently under development within the Monterra development in Cochrane Lake. Elements of building design, particularly for the Edge and Transition Districts shall be consistent with the Site Design and Building Illustrations found within Appendix B of the Cochrane Lake Hamlet Plan. It is expected that a comprehensive set of

Architectural Control standards will be created for the residential development, like residential development elsewhere in the County.

Commercial building design within the Centre District shall be consistent with the Commercial, Office and Industrial Design Guidelines in Rocky View County and shall be confirmed at the Development Permit stage.

4.5 Policy Framework

Policy 4.5.1

Amendment to the proposed phasing plan may occur without amendment to this Conceptual Scheme.

Policy 4.5.2

Buffering to adjacent properties along the south and west property line shall incorporate screen fencing. Height and fencing materials shall conform to the County's Land Use Bylaw and shall be confirmed at the subdivision stage of development.

Policy 4.5.3

Residential building design shall be consistent with Appendix B of the Cochrane Lake Hamlet Plan and shall be confirmed at the Development Permit stage.

Policy 4.5.4

Commercial building design shall be consistent with the Commercial, Office and Industrial Design Guidelines in Rocky View County and shall be confirmed at the Development Permit stage.

5 Policy Conformity

5.1 Calgary Metropolitan Region Growth Plan

The Regional Growth Plan for the Calgary Metropolitan Region Board came into effect on August 15, 2022. Rocky View County is a member municipality of the CMRB, and therefore all statutory plans must be consistent with the Growth Plan's policy framework.

Section 3.1 of the Growth Plan generally directs growth to Preferred Growth Areas, which fall into three categories:

- urban municipalities (e.g., Town of Cochrane),
- joint planning areas which allow municipalities to collaborate in area where growth impacts more than one municipality and where a high level of municipally provided services is needed to support the full potential of the area (e.g. Highway 2 corridor from Calgary through Balzac to Airdrie),
- hamlet growth areas, which in Rocky View County include Langdon, Harmony, and Bragg Creek.

As part of the Cochrane Lake Hamlet Plan, the subject lands are identified as outside of a Preferred Growth Area, but part of an existing Area Structure Plan (ASP) on Growth Plan Schedule 1. Section 3.1.10.1 allows for existing ASPs adopted prior to the date of the Growth Plan coming into force, to remain in effect. Section 3.1.10.3 also notes that existing ASPs outside of Preferred Growth Areas shall not increase the overall projected population within the plan area.

As the proposed Partial Neighbourhood Plan will implement the Cochrane Lake Hamlet Plan, but not impose additional population beyond what is contemplated within the ASP, the proposed plan aligns with the CMRB Growth Plan.

5.2 Rocky View County Plan

Section 9.0 of the County Plan provides a policy framework for Hamlets within the County. The proposed Partial Neighbourhood Plan complies with this section as follows:

- Section 9.2 of the County Plan identifies the Hamlet of Cochrane Lake as a small rural community with basic services, in accordance with their area structure plan. *The proposed partial neighbourhood plan proposes services that are consistent with those for existing lots in Cochrane Lake.*
- Section 9.4 identifies potential land uses, including residential local commercial, and recreational and cultural uses. *The proposed Partial Neighbourhood Plan proposes the same uses identified in Section 9.4.*
- Section 9.7 notes that multi-lot residential subdivisions proposed within a hamlet shall require the preparation of a subordinate plan to the area structure plan. *The proposed partial neighbourhood plan proposes a subordinate plan to the Cochrane Lake Hamlet Plan's land use concept.*
- Section 9.10 supports hamlets in providing an attractive community and distinct identity, and a high-quality built environment. *The proposed partial neighbourhood plan addresses built form within Section 4.3 of this conceptual scheme.*
- Section 9.11 encourages a variety of housing forms to be developed in order to provide a range of affordability and lifestyle opportunities for county residents. *The proposed partial neighbourhood plan proposes single and semi-detached residential housing.*
- Section 9.12 encourages local employment and small business opportunities in hamlets. *The proposed partial neighbourhood plan allows for the first commercial area to be developed in Cochrane Lake, thus encouraging opportunities for locally serving businesses to be established in the hamlet.*
- Section 9.13 encourages well-designed public gathering places that are pedestrian and cyclist-friendly, safe, accessible, and attractive; respect and enhance community character; encourage social interaction; address the needs of residents of all ages and abilities; are connected by pathways and sidewalks; and allow for passive and active recreation and cultural activity. *The proposed partial neighbourhood plan includes the development of a neighbourhood park, which will be within a 200m radius of all proposed residential lots. The park will be connected by sidewalks from residences and will be accessible by local residential streets. The park will allow for a range of recreation activities and is intended for the use of local residents.*

Appendix C of the County Plan lists several items that a Conceptual Scheme application should consider. The items are listed below, with the corresponding section of this partial neighbourhood plan where they have been addressed:

1. A description and evaluation of the existing plan area:
 - a) topography, soils, vegetation, geotechnical considerations (constraints);
 - b) environmental sensitivity and significance;
 - c) agricultural capability, natural resources;
 - d) existing land use, ownership, development, and adjacent land uses;

- e) archaeological and historical considerations; and
 - f) existing utilities and transportation routes.
2. A land use concept which includes:
 - a) a future land use scenario;
 - b) demonstration of consistency with a higher order plan;
 - c) design controls/guidelines, where appropriate;
 - d) reserve area dedication and strategy (municipal/school/environmental);
 - e) transportation network and pedestrian network;
 - f) stormwater management plan;
 - g) servicing strategy;
 - h) anticipated improvements to existing infrastructure;
 - i) population densities, population projection, and an indication of target market to determine impact on the area's School District;
 - j) phasing of development; and
 - k) landscaping and aesthetic details that will enhance the development.
 3. A summary of the Applicant's community consultation and results (*Section 6*).
 4. Any other matter identified by the County.

5.3 Cochrane Lake Hamlet Plan

Section 4.3.2 of the Cochrane Lake Hamlet Plan identifies supporting information to be submitted by an applicant at the Neighbourhood Plan stage. This information provides guidance for Hamlet Plan conformity, and has been addressed throughout this report, including:

1. Residential Density Analysis (*Section 3.1*)
2. Thoroughfare and Pathway Network Analysis (*Section 3.4*)
3. Public Space Allocation (*Section 3.5.1*)
4. Tree and Vegetation Analysis and Protection Plan (*Section 3.5.2*)
5. Application of Design Standards (*Section 4.3*)

6 Community Engagement

The Project Team that assisted in preparing this Partial Neighbourhood Plan has shared information with surrounding property owners both inside and out of the Hamlet of Cochrane Lake. The project team conducted pre-application engagement to introduce the project to the adjacent community and understand concerns that were expressed. The pre-application engagement program included:

- Development of a project website: <http://www.ibiengage.com/cochranelake>
- Identification of a project email-address: cochranelake@ibiengage.com

- Telephone communication with the President of the Diamond Ridge Estates Water Co-op, for internal communication with Diamond Ridge Estates Residents
- Written notice to adjacent landowners, including landowners north of Cochrane Lake Road and east of Highway 22 of the proposed development, along with the project website and opportunities for feedback.

Feedback received from both email communications and website commentary is listed in Appendix C of this report.

Upon finalization of the proposed plan, additional one-on-one engagement discussions were conducted with surrounding landowners by the subject site's landowner. These landowners were located abutting the subject site to the west and south of the subject site, along with additional landowners located north of Cochrane Lake Road West.

Through the discussions the following items were identified:

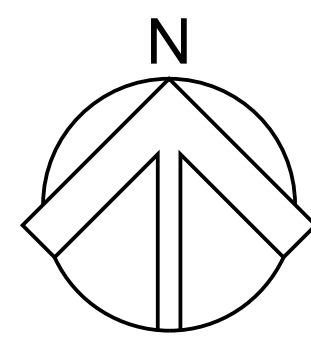
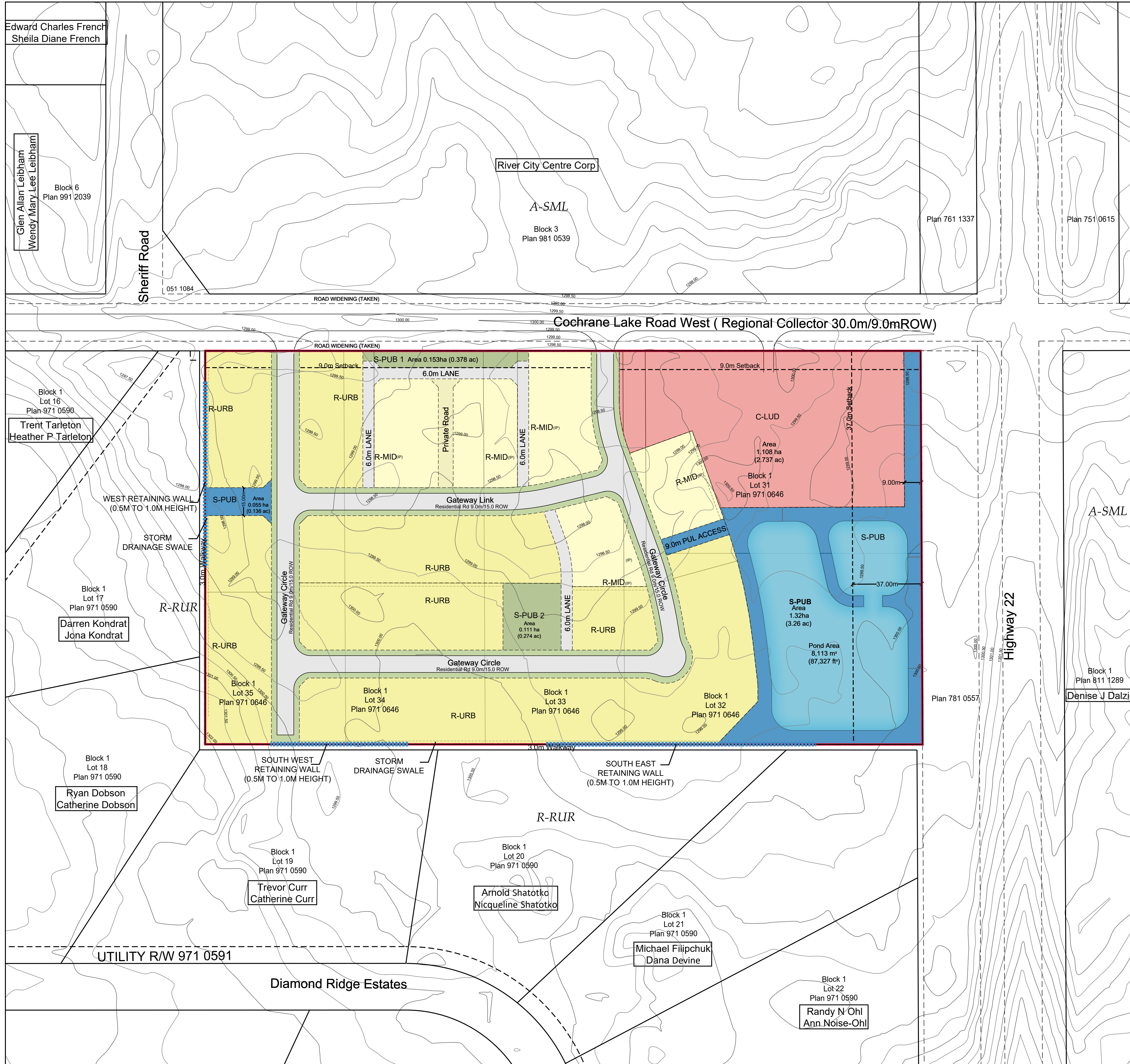
- *Potential access to water wells.*
 - This is an item which will be discussed outside of the current application process.
- *Importance of screening including fencing along property lines.*
 - Future development will comply with zoning setbacks and design guidelines related to property screening.
- *Concerns regarding higher density forms of housing (i.e., duplex).*
 - The subject site is envisioned within the Hamlet Plan to contain a mixture of densities. Proposed uses which abut adjacent lands are proposed to be the lowest density, thus transitioning to higher densities away from the adjacent properties.
- *Location of commercial land use. Why not closer to the highway?*
 - The commercial land use is proposed as close as possible to the highway. Due to stormwater management requirements, a small strip between the commercial land use and highway is required.
- *What is the purpose of the S-PUB on the west side?*
 - The S-PUB on the west side provides the opportunity for a future road connection should the adjacent properties to the west be developed.
- *Do alternatives exist for the proposed retaining walls?*
 - These provide the most effective means for controlling stormwater from flowing onto adjacent properties.
- *What is the purpose of the west road running all the way to the south end of the property?*
 - This alternative to a cul-de-sac was desired by the landowner to avoid pie shaped lots. In addition, the road can serve as an additional access point should the properties to the south ever be further developed.

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GATEWAY AT COCHRANE LAKE:
PARTIAL NEIGHBOURHOOD PLAN FOR NEIGHBOURHOOD A, COCHRANE LAKE

Prepared for Kuldip (Keep) Sekhon

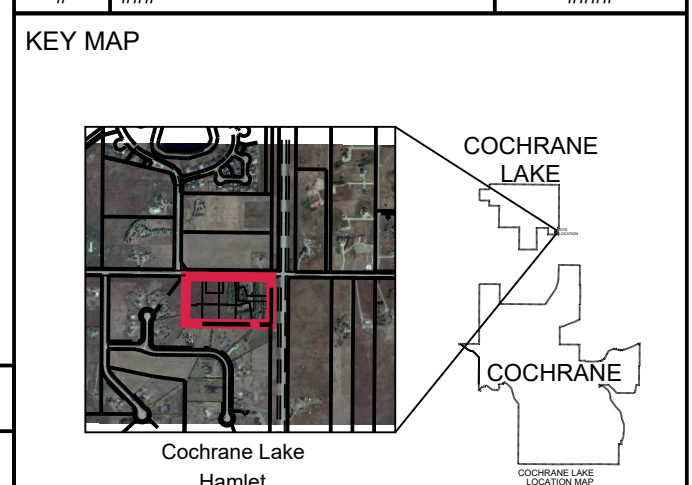
Appendix A – Plan Exhibits



CLIENT
Kuldip (Keep) Sekhon
 42019 Cochrane Lake Road West,
 Cochrane AB T4C 2B4

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REVISIONS		
No.	DESCRIPTION	DATE
1	CONCEPT REVISIONS	2023-03-15
2	NEW CONCEPT	2023-03-17
3	REVISED CONCEPT	2023-03-21
4	CONCEPT REVISIONS	2023-07-03
5	NEW CONCEPT-ROAD ALIGNMENT	2023-08-27
6	CONCEPT REVISIONS	2023-10-20
7	ROAD WIDTH REVISION	2023-11-03
#	###	###
#	###	###
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Outline Plan Statistics:

Gross Area:	±8.10 ha	±20.01 ac
Gross Developable:	±8.10 ha	±20.01 ac
Residential		
R-MID	±1.03ha	±2.53ac 13%
R-URB	±3.07 ha	±7.60 ac 38%
Commercial		
C-LUD	±1.11 ha	±2.74 ac 14%
Park / Open Space		
S-PUB (NON CREDIT)	±0.19 ha	±0.46 ac 2%
PUL		
S-PUB	±1.38 ha	±3.41 ac 17%
Roads		
Road Type (9.0m/15.0m ROW)	±1.32 ha	±3.25 ac 16%
Total	±8.10ha	±20.01 ac 100%

LEGEND

- OUTLINE/LAND USE PLAN BOUNDARY
- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- PROPOSED BOULEVARD
- 0.5m Contours
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER LINE
- - - EXISTING SANITARY SEWER
- - - EXISTING STORM SEWER
- - - EXISTING WATER LINE
- A-SML EXISTING LAND USES
- [Name] PROPOSED LAND USES
- [Name] EXISTING LANDOWNERS
- ▬▬▬▬▬ PROPOSED RETAINING WALL

Density/Intensity:

Residential R-MID ±1.03 ha (±2.53 ac) Frontage ±227.91m (±747.73ft)
 Residential R-URB ±3.07 ha (±7.59ac) Frontage ±853.68m (±2800.77ft)
 Anticipated Average Lot Width (±11.75m): 92 Lots

Anticipated Density $\frac{92}{\pm 8.10 \text{ ha } (\pm 20.01 \text{ ac})} = 11.36 \text{ upha } (4.60 \text{ upa})$

Land Use Statistics:

Lands to be Redesignated		
R-RUR to R-MID	±1.39 ha	±3.43 ac
R-RUR to R-URB	±3.90 ha	±9.64 ac
R-RUR to C-LUD	±1.15 ha	±2.84 ac
R-RUR to S-PUB (MR)	±0.25 ha	±0.62 ac
R-RUR to S-PUB (PUL)	±1.41 ha	±3.48 ac
Total:	±8.10 ha	±20.01 ac

PRIME CONSULTANT

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 arcadis.com

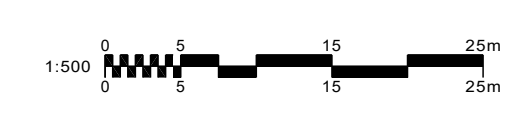
PROJECT
COCHRANE LAKE
 42019-42029 Cochrane Lake Road W
 Ptn. OF NE ¼ Sec 22-26-4-5W/
 Plan 9710646, Blk 1, Lots 31, 32, 33, 34, 35

PROJECT NO:
 135504

DRAWN BY: CP CHECKED BY: EK/HS/AP/DT

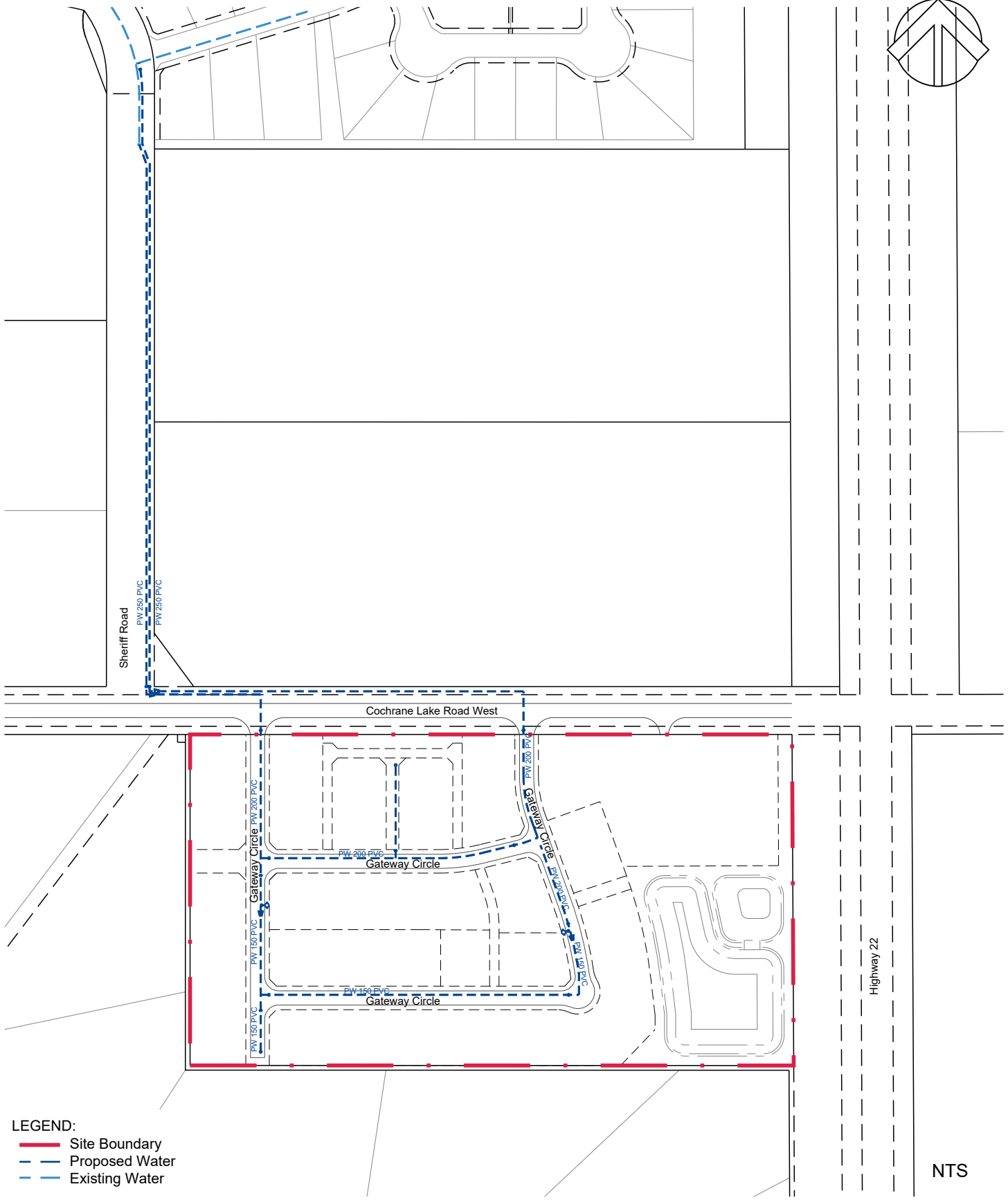
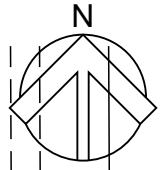
SHEET TITLE
**Land Use/
 Outline Plan**

SHEET NUMBER
9.0



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WATER SERVICING



- LEGEND:
- Site Boundary
 - Proposed Water
 - - - Existing Water

NTS



Cochrane Lake - Neighbourhood A

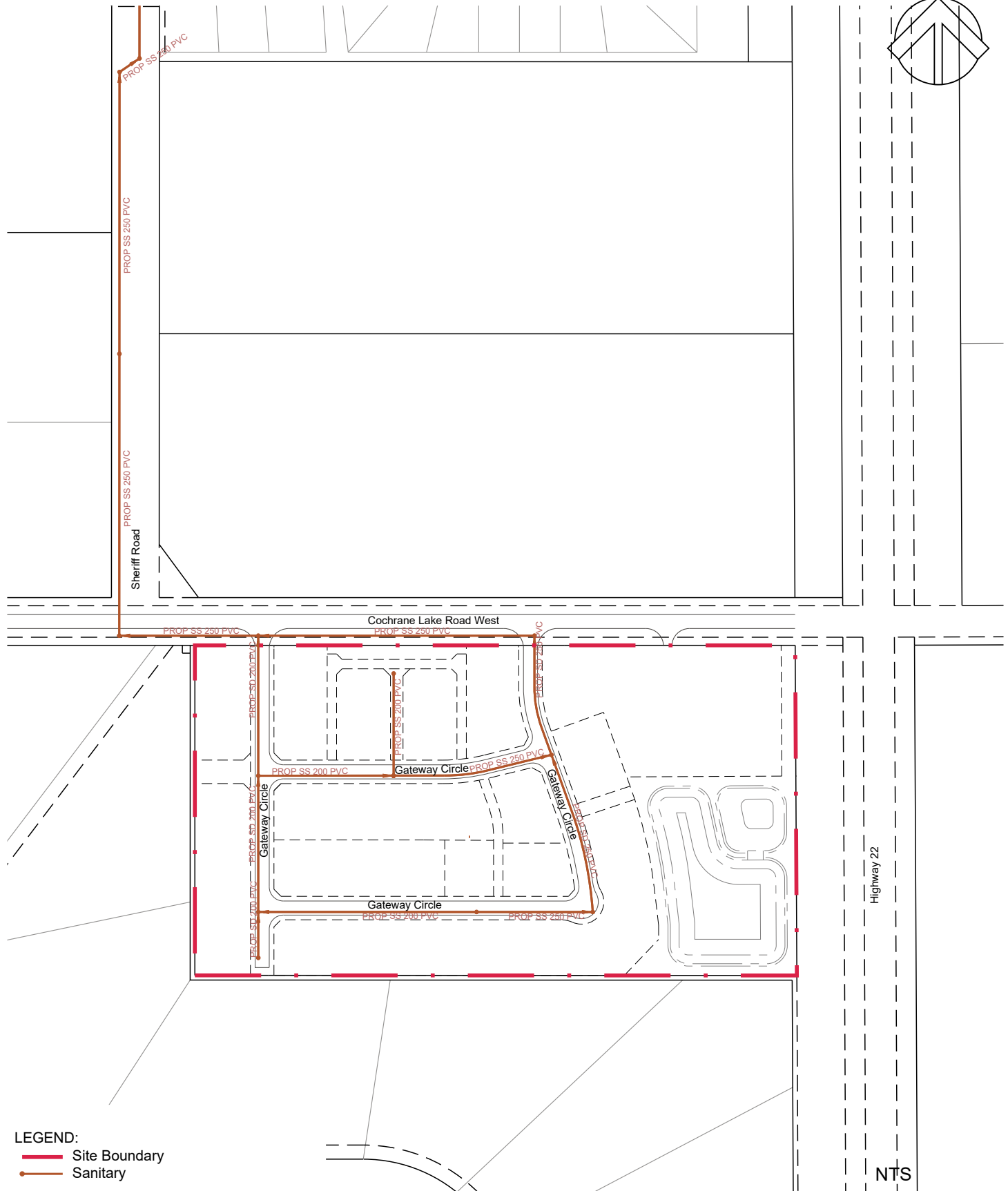
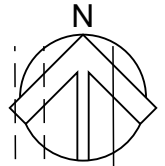
Kuldip (Keep) Sekhon

Gateway at Cochrane Lake

PTN. OF NE ¼ Sec 22-26-4-5W/
Plan 9710646, Blk 1, Lots 31,32,33,34,35
November, 2023

10.0

WASTEWATER SERVICING



- LEGEND:
- Site Boundary
 - Sanitary

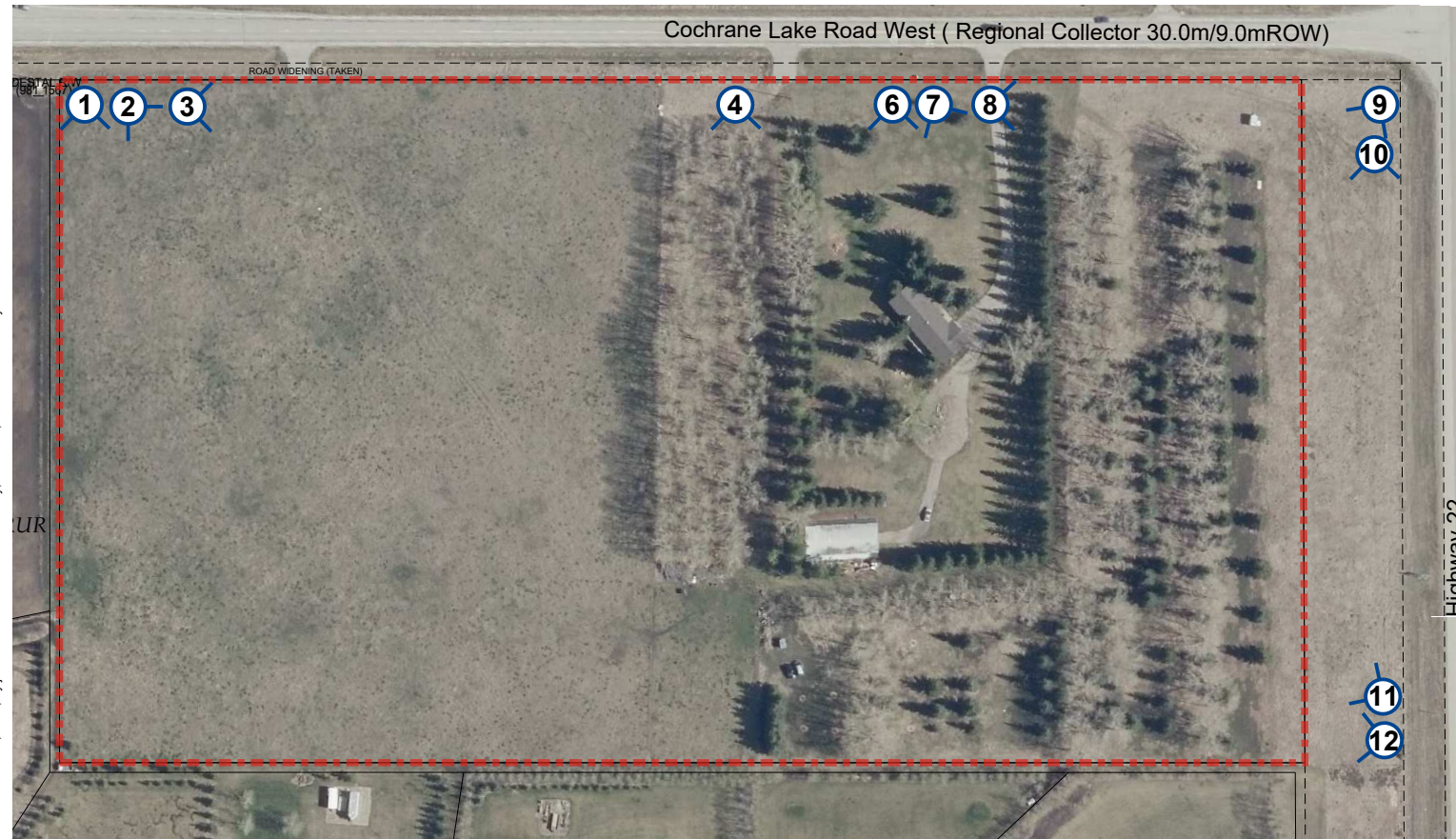
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GATEWAY AT COCHRANE LAKE:
PARTIAL NEIGHBOURHOOD PLAN FOR NEIGHBOURHOOD A, COCHRANE LAKE

Prepared for Kuldip (Keep) Sekhon

Appendix B – Site Photos

SITE PHOTOS



— Subject Lands ① Camera View



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GATEWAY AT COCHRANE LAKE:
PARTIAL NEIGHBOURHOOD PLAN FOR NEIGHBOURHOOD A, COCHRANE LAKE

Prepared for Kuldip (Keep) Sekhon

Appendix C – Public Engagement Summary

Summary of Online Community Input

DATE	COMMENT
Oct 30, 2022 (website comment)	We are very upset to see more homes being built on these beautiful sprawling acres. We bought here to get away from the compact town feel and wanted to have the “life in the country” feel to our life. Our safe country roads are going to get busy and backed up, light pollution is going to ruin our star filled dark skies. We are so upset to hear about all the new developments going up around our home.
Nov 6, 2022 (email comment)	We would like and support the development if Diamond Ridge Estates could also be tied into at time development, municipal water, and sewer. Is this something we could ask the developers in the plan? They want the road through our development so a trade? We do have an existing water line tie in stub in place at the south ditch on Cochrane Lake Road, but the sewer would be all new build.
Nov 12, 2022 (website comment)	I would not be in favour of the proposed land use change and commercial development adjacent to Diamond Ridge Estate.
Nov 23, 2022	I am preparing a response on behalf of the community of Diamond Ridge Estates. Please advise the name and e-mail address of who it should be addressed to. Thank you.