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Kineticor Data Centre Campus

Area Structure Plan

Draft Submission for Review


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1.0 INTRODUCTION

1.1 Purpose of the Plan

The purpose of the Kinetikor Area Structure Plan (ASP) is to provide a land use and servicing framework to guide future planning and development of the plan area consisting of ±448 hectares (± 1107 acres) situated immediately north of Highway 566 and approximately 7km (3 mi) east of the Balzac East Area Structure Plan in Rocky View County (RVC). This statutory policy document is intended to provide a strategic long-term policy framework intended to guide decisions affecting more detailed planning stages, including subsequent land use amendment and subdivision applications.

As outlined in Section 33 of the *Municipal Government Act*, Revised Statutes of Alberta 2000, Chapter M-26:

633(1) For the purpose of providing a framework for subsequent subdivision and development of an area of land, a council may, by bylaw, adopt an Area Structure Plan.

633(2) An Area Structure Plan

- a) must describe
 - i. the sequence of development proposed for the area,
 - ii. the land uses proposed for the area, either generally or with respect to specific parts of the area,
 - iii. the density of population proposed for the area either generally or with respect to specific parts of the area, and
 - iv. the general location of major transportation routes and public utilities,
- and
- b) may contain any other matters, including matters relating to reserves, as the council considers necessary.

This ASP describes a general framework for future land use and servicing for the Plan area and includes various policies intended to facilitate the overall vision for the development project.

1.2 Plan Organization

The Kinetikor Area Structure Plan (the Plan) is organized into four parts and supported by appendices.

1.2.1 Introduction

Sections 1-3 of the Kinetikor ASP outline the Plan's purpose, boundaries, policy terminology, relationship to other plans, and physical attributes of the Plan area. This section also includes a vision of what the Kinetikor ASP could be at full build out and provides 12 goals that will guide the development.

1.2.2 Plan Policies

Sections 4 – 8 of the Plan contain the policy direction that will guide development within the Kinetikor ASP. Policies address land uses, servicing, and infrastructure in the Plan area. Each section contains a description of its purpose, the intent of policy, and a series of policy statements addressing the subject area. Where provided, purpose and intent statements are provided to enhance the understanding of policy.

1.2.3 Implementation and Monitoring

Section 9 of the Plan outlines the implementation process, providing information on development criteria and outlining specific requirements to ensure that the Kinetikor ASP policies and strategies are adhered to. The ASP also provides direction on the process for review and amendment of the Plan.

1.2.4 Public Engagement

Section 10 summarizes the public engagement process conducted as part of the planning process of the Kinetikor ASP, and which informed policies contained within the Plan.

1.3 Policy Interpretation

Where a descriptive section or an intent statement accompanies a policy, it is provided for information purposes to enhance the understanding of the policy. Should an inconsistency arise between the intent and a policy, the policy will take precedence.


Policies are written using “shall”, “should”, or “may” statements. The interpretation of “shall”, “should”, and “may” is as follows:

- Where “shall” is used in a policy, the policy is considered mandatory. Nevertheless, where quantities or numerical standards are contained within mandatory policies, such quantities or standards may be varied so long as the intent of the policy is still achieved, and the variation is necessary to address unique circumstances that would render compliance impractical or impossible.
- Where “should” is used in a policy, the intent is that the policy is strongly encouraged but can be varied where unique or unforeseen circumstances provide courses of action that would satisfy the general intent of the policy.
- Where “may” is used in a policy, it means that there is a choice in applying the policy and denotes discretionary compliance or the ability to vary the requirements as presented.

1.4 Map Interpretation

Unless otherwise specified within the ASP, the boundaries or locations of any symbols or areas depicted on a map are approximate only, not absolute, and will be interpreted as such.

Measurements of distance or areas should not be taken from the maps in the Plan and its appendices.



Land Use Areas identified in the Plan may not reflect actual site conditions over time. As such, additional site assessment may be required prior to development permit application in accordance with municipal and provincial policies and regulations.

This ASP provides broad policy direction relative to the intended uses and development of an area. The ultimate definition and approval of land uses and site development will be further delineated at the land use amendment, subdivision, and development permit stages.

1.5 Appendix Interpretation

The appendices do not form part of the statutory portion of the Plan. The intent of the appendices is to provide information and illustrate the policies of the Plan.

1.6 Legislative & Policy Framework

The Kinetikor Area Structure Plan (the Plan) is to be read in conjunction with the documents listed in **Figure 1: Relationship of Plans**.

The Plan is a local area plan that provides statutory policy direction specific for the Plan Area.

The Plan is to be applied in conjunction with the *Municipal Government Act* (MGA); South Saskatchewan Regional Plan (SSRP); Rocky View Municipal Development Plan (the County Plan); Rocky View County *Land Use Bylaw*, and other Rocky View County policy and guiding documents, unless otherwise indicated.

Where policies in the Plan differ from the County Plan and other municipal policy and guiding documents, the difference is intentional and not an inconsistency, as policy has been tailored specifically to the Plan Area.

Figure 1: Relationship of Plans



2.0 MOTIVATION & RATIONALE

2.1 Vision

The Kinetikor Area Structure Plan is envisioned to be the future home of a world-class data processing and Artificial Intelligence (AI) technology hub, housed within data centre campuses, delivering high-quality computing power for a wide variety of applications and outcomes. The establishment of data center campuses will broaden the economic growth prospects for Rocky View County and create job opportunities for its residents. The proposed land use framework will provide the foundational components required to guide development over the next 5-15 years.

2.2 Goals & Objectives

There are 12 goals and objectives that have been used to guide the formation of the Kinetikor Area Structure Plan. These goals are based on policy direction from the County Plan, the existing physical characteristics of the area, and the key issues, constraints, and opportunities identified in the planning process. The goals of the ASP include the following:

Land Use

1. Position Rocky View County as a regional hub and economic driver for the AI data centre sector.
2. Establish a strategy to support the advancement of data centre campuses in the Rocky View Technology Park, in alignment with Provincial initiatives and local economic development opportunities, taking advantage of the regional electrical transmission grid and fibre interconnection, and future energy infrastructure available in proximity to the site.
3. Explore opportunities for co-location of complementary business operations.
4. Provide for high-quality development adjacent to Highway 566 and Range Roads 281 and 282 that meet high standards of building design, siting, and landscape design.
5. Support the continuation of existing agricultural operations until development of those lands to another use is deemed desirable.
6. Establish land development patterns that complement the natural topography and natural features of the existing landscape.
7. Provide appropriate transitions and buffers for existing developments to minimize potential conflicts with existing adjacent agricultural and country residential land uses.



Servicing

8. Accommodate appropriate regional and local transportation infrastructure to ensure that the ASP area can evolve over time.
9. Design interim and ultimate servicing strategies that accommodate changing business uses over time.
10. Establish a development phasing strategy that is adaptable to future site demands.
11. Manage stormwater through innovative stormwater solutions including source control methods, bio-swales, re-use of rainwater and treated stormwater, and other Low Impact Development (LID) measures.
12. Protect natural drainages, where appropriate, through integration with stormwater water management and open space systems.

2.3 Powering the Future of Artificial Intelligence – Alberta’s AI Data Centre Strategy

The Government of Alberta has launched an ambitious strategy to position the province as North America’s leading destination for AI-powered data centres. Building on its strong technology sector, abundant resources, competitive tax regime, cold climate, and business-friendly regulatory environment, Alberta aims to attract significant private investment, drive economic growth, and support technological innovation.

The strategy is built around three core pillars:

- **Pillar 1: Power Capacity:** The Plan area is located directly adjacent to three (3) 240 kV regional power lines, which will provide high-capacity, reliable, and affordable power solutions for AI data centres. Rocky View County is rich with natural gas infrastructure, providing opportunities for future generation within the site if required.
- **Pillar 2: Sustainable Cooling:** Rocky View’s cold climate is ideal for efficient, environmentally responsible data centre cooling. The province is partnering with local innovators to develop next generation cooling technologies, ensuring long-term sustainability and operational efficiency.
- **Pillar 3: Economic Growth:** Rocky View County provides a competitive environment for AI-driven data centres. The expected benefits of the development of data centre campuses within the Kinetikor ASP include job creation, diversified employment opportunities, increased tax revenue for public services, and a balanced approach to growth that maintains affordability for citizens and businesses within the County.

2.4 Local and Regional Economic Benefits

A Fiscal Impact Assessment (FIA) was completed to assess the potential impacts of the proposed project on Rocky View County. The fiscal impacts were estimated based upon the current project design, costs, and forecast municipal expenditures and revenues at full project build out.

Development within the Plan area has the potential to positively and profoundly alter the assessment base of Rocky View County. When fully absorbed, the impact to the assessment base from the combined residential and non-residential growth is estimated at \$34.8 billion, which is a 136% increase to the 2024 assessment base.

Additionally, the project will have a large positive effect on the composition of the overall assessment base in the County, with the relative share of non-residential assessment increasing from 23.9% in 2024 to 67.2% at full build, and the share of residential assessment decreasing from 67.3% to 29.1%. This outcome reflects the high-value non-residential development that drives a comparatively small increase in residential growth commensurate with the labour force associated with the project.

The addition of the Kinetikor ASP to the assessment base of the County, coupled with the increased expenditures driven by the project and the new residents it attracts, are expected to result in an overall positive impact on the municipal corporation. Specifically:

- the residential mill rate is expected to drop from the 2024 baseline rate of 2.1773 to 0.5986.
- the non-residential mill rate is expected to drop from the 2024 baseline rate of 7.6205 to 2.0952.

In summary, the tax revenue contribution of residential properties in Rocky View County will drop from 37% to 11% whereas the tax revenue contribution from non-residential properties in the County will increase from 46% up to nearly 85% - a shift that is almost entirely due to the tremendous increase in non-residential assessment within the Kinetikor ASP site.

The financial impact of the project at full build out, under the assumptions of the FIA, is positive and on a scale that will fundamentally improve the financial position of Rocky View County.

3.0 PLAN AREA DESCRIPTION

3.1 Location

The Kinetikor Area Structure Plan contains a combined areas of ±448 hectares (± 1107 acres) and includes existing agricultural lands as well as one farm building site, oil and gas infrastructure, and existing infrastructure rights-of-ways. The Plan area is generally bounded by Highway 566 to the south, Range Road 281 to the east, and Range Road 282 to the west.

The Kinetikor ASP lands are ideally located adjacent to regional power transmission lines, as illustrated in **Figure 2: Regional Context**. The lands are also in close proximity to the City of Calgary, the Calgary International Airport, and industrial development in East Balzac, as illustrated in **Figure 3: Local Context**.

Figure 2: Regional Context

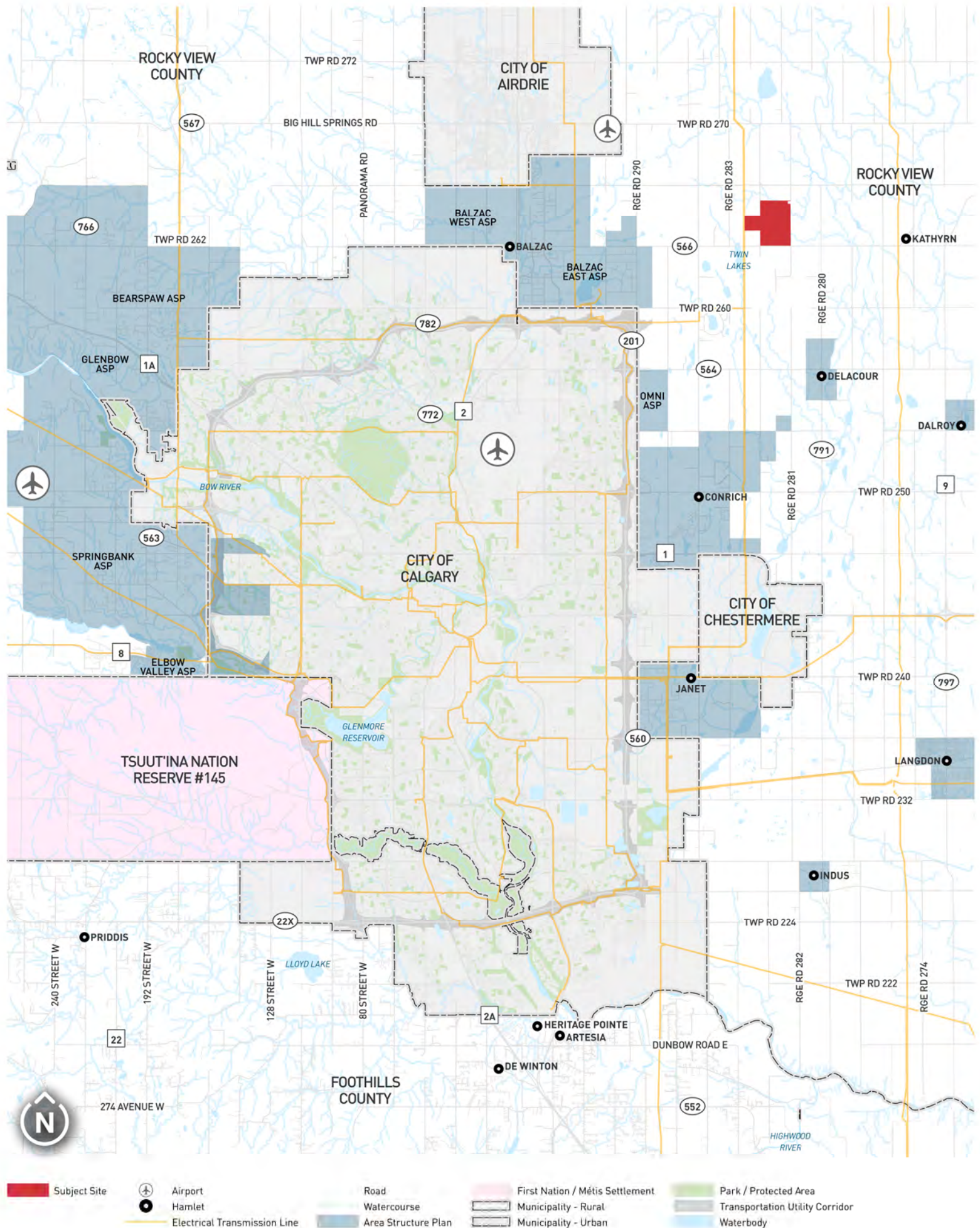
Figure 3: Local Context

3.2 Legal Land Description

The Plan area currently consists of 7 parcels, as outlined below:

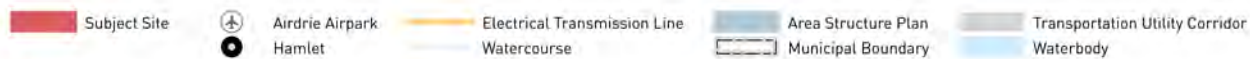
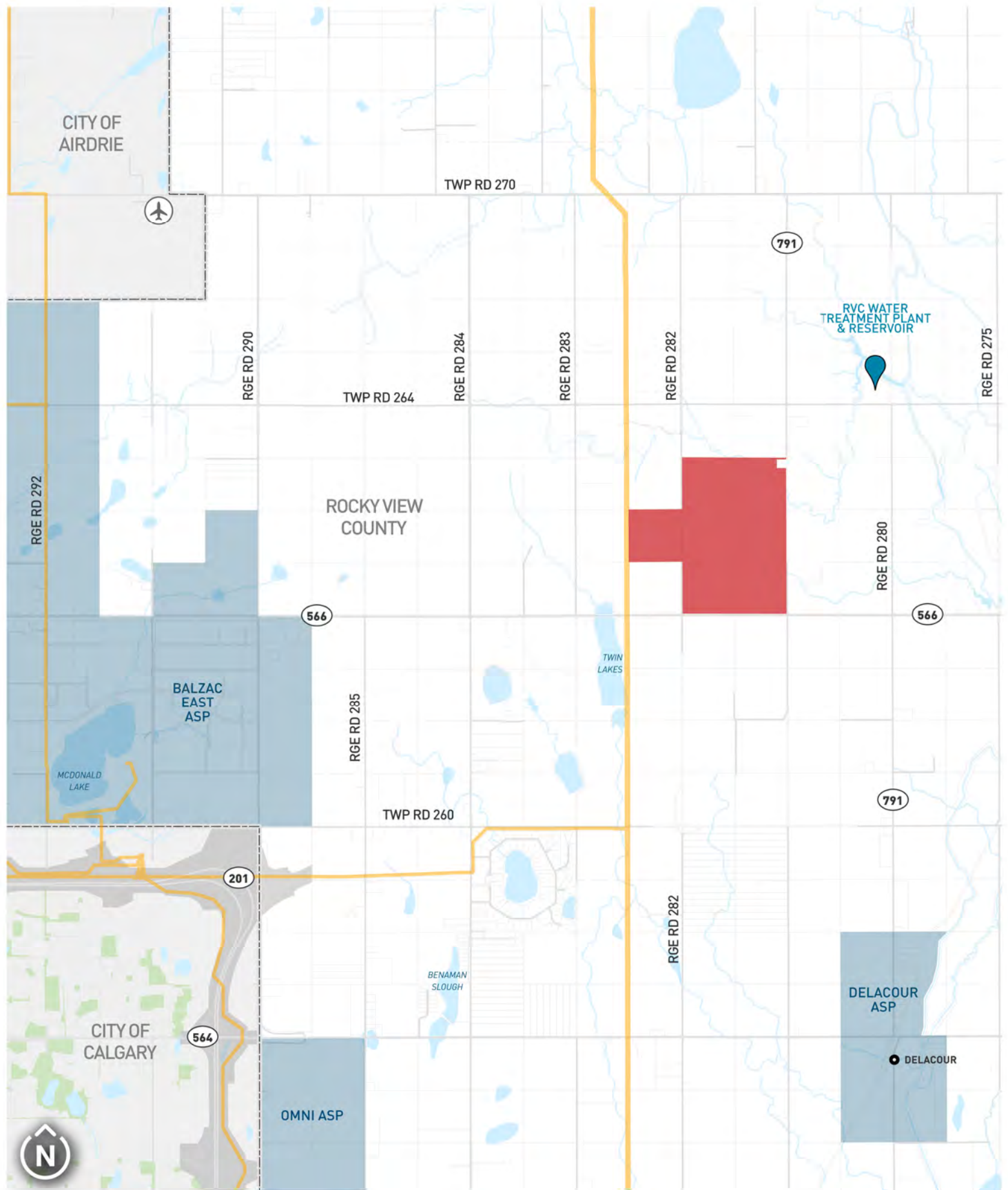
Table 1: Legal Land Description

Legal Parcel Description
NE 15-26-28-4
SW 23-26-28-4
SE 23-26-28-4 (exception Lot 1 Block 1 Plan 1612564)
NW 14-26-28-4
NE 14-26-28-4
SE 14-26-28-4
SW 14-26-28-4



1:250,000 0 2 4 8 Kilometers

Figure 2: Regional Context



1:75,000 0 2 4 6 Kilometers

Figure 3: Local Context

3.3 Site Conditions

The Plan area is characterized by agricultural land uses, and includes pipeline infrastructure, well sites, and natural drainages, as illustrated in **Figure 4: Site Conditions**. One farmyard is located within the Plan area, and includes a variety of structures including houses, granaries, and barns. The farmyard is serviced by a groundwater well and private sewage treatment system.

A Phase I Environmental Site Assessment (ESA) was prepared to assess the potential for previous activities on the site to have resulted in environmental conditions that may impact future development within the Plan area. The Phase I ESA concluded that the Plan area appears in good condition, and that historic and current operations have not caused off-site environmental impacts. A Phase II ESA was not recommended at the time of assessment. Additional work may be required if decommissioning of any structures on site occurs.

The site contains oil and gas infrastructure owned and operated by Harvest Operations Corp. and Rocky View Gas Co-op Ltd. Environmental liability associated with this infrastructure is the responsibility of the associated owner and operator of that infrastructure.

Figure 4: Site Conditions

3.4 Existing Land Use and Surrounding Context

The subject lands fall within the Agriculture, General District (A-GEN) land use district and are currently being used for agricultural use and production. Surrounding land use is predominantly Agriculture, General District (A-GEN), including one first parcel out, in addition to one parcel of Commercial, Local Rural District (C-LRD), one parcel of Industrial, Heavy (I-HVY), and one rural residential (R-RUR) parcel adjacent to the Plan area.

Figure 5: Existing Land Use

3.5 Historical and Archaeological Resources

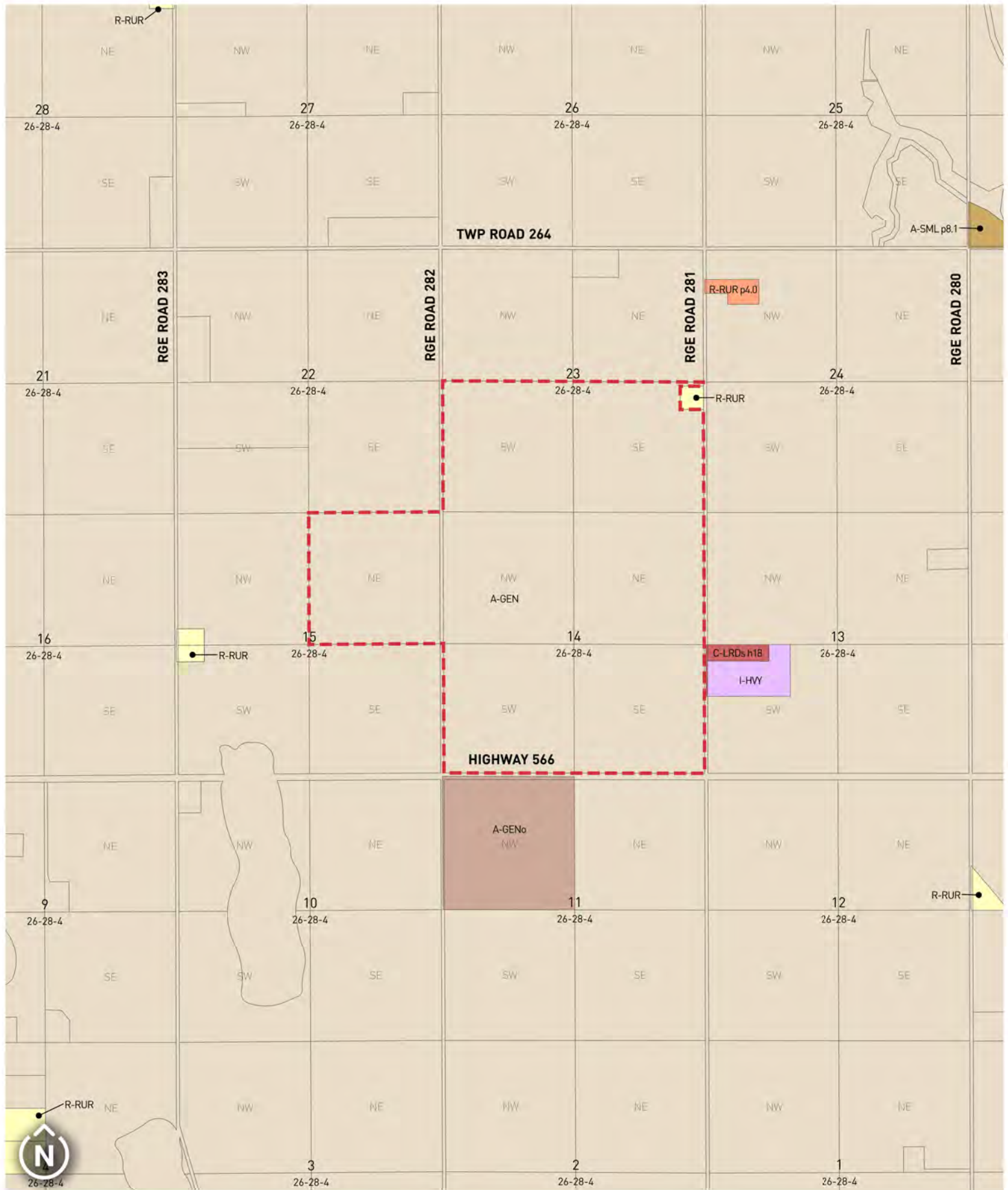
Historical and archaeological resources on site were assessed by Lifeways of Canada, and a Historic Resources Application was submitted to Government of Alberta outlining findings. While some Historical Resources Impact Assessments (HRIAs) have been completed in the area in support of energy projects, there is no record of any historic resources sites within the ASP boundary. The ASP lands have also not been assigned a Historic Resources Value (HRV) by the Province.

Additional archaeological work may be required by the Province, on previously unimpacted lands within the Plan area, prior to stripping and grading.



1:14,000

Figure 4: Site Conditions



1:30,000

Figure 5: Existing Land Use

3.6 Topography and Surface Drainage

The Plan area contains gently undulating topography, generally sloping to the northeast, with elevations ranging between 1,082 metres above sea level (masl) to 1,021 masl. No provincially significant or other notable land features are present within the site. There are two drainage courses present within the Plan area.

Figure 6: Topography and Surface Drainage

3.7 Vegetation and Wetlands

Lands within the Plan area are primarily cultivated, with some small areas of both native and non-native grasslands. The site also contains several natural wetlands and dugouts. Wetland permanence ranges from ephemeral to semi-permanent, with all wetlands impacted by farming operations over time. Native vegetation within the site is limited to isolated wetlands and grasslands.

Figure 7: Biophysical Features

3.8 Existing Infrastructure & Utilities

The ASP lands contain two pipelines licensed to Harvest Operations Corp., aligned north to south through the centre of the Plan area, containing fuel gas and sour gas. The pipelines tee off at the section line between NE 14-026-28-W4 and SE 14-026-28 W4 and run east to an existing well site (ID 100/08-14) and continue outside of the Plan area. Two low pressure gas pipelines, licensed to Rocky View Gas Co-op, are located near the rural residential lands in the northeast corner of the Plan area.

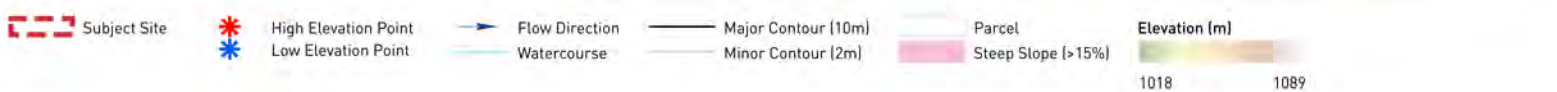
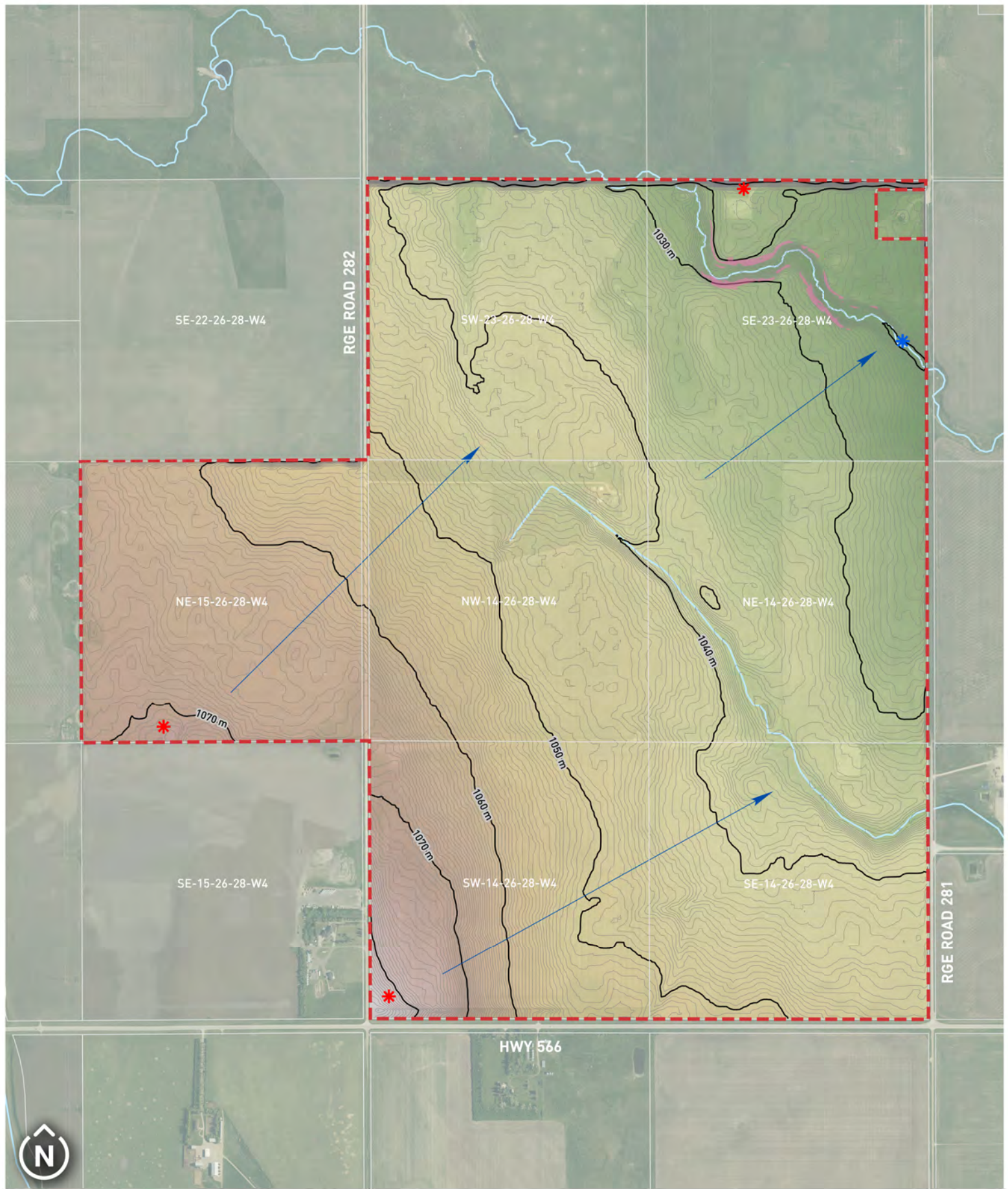
The Plan area contains domestic water wells, drilled to depths ranging from ~45m-80m. Additional domestic water wells are located within 300m of the Plan area boundary.

Figure 8: Existing Infrastructure & Utilities

3.9 Unique Site Attributes

Data centres benefit from many different site attributes that Rocky View County provides, including cooler weather and access to ample land area to accommodate both data centre facilities as well as their accompanying infrastructure.

The Kinetikor ASP lands are ideally situated in the County, adjacent to three (3) 240 kV electrical transmission lines and with direct transportation access from Highway 566. The project is also in proximity to the Rocky View County Water Treatment Plant and the Western Irrigation District (WID) canal system.



1:14,000

Figure 6: Topography & Surface Drainage

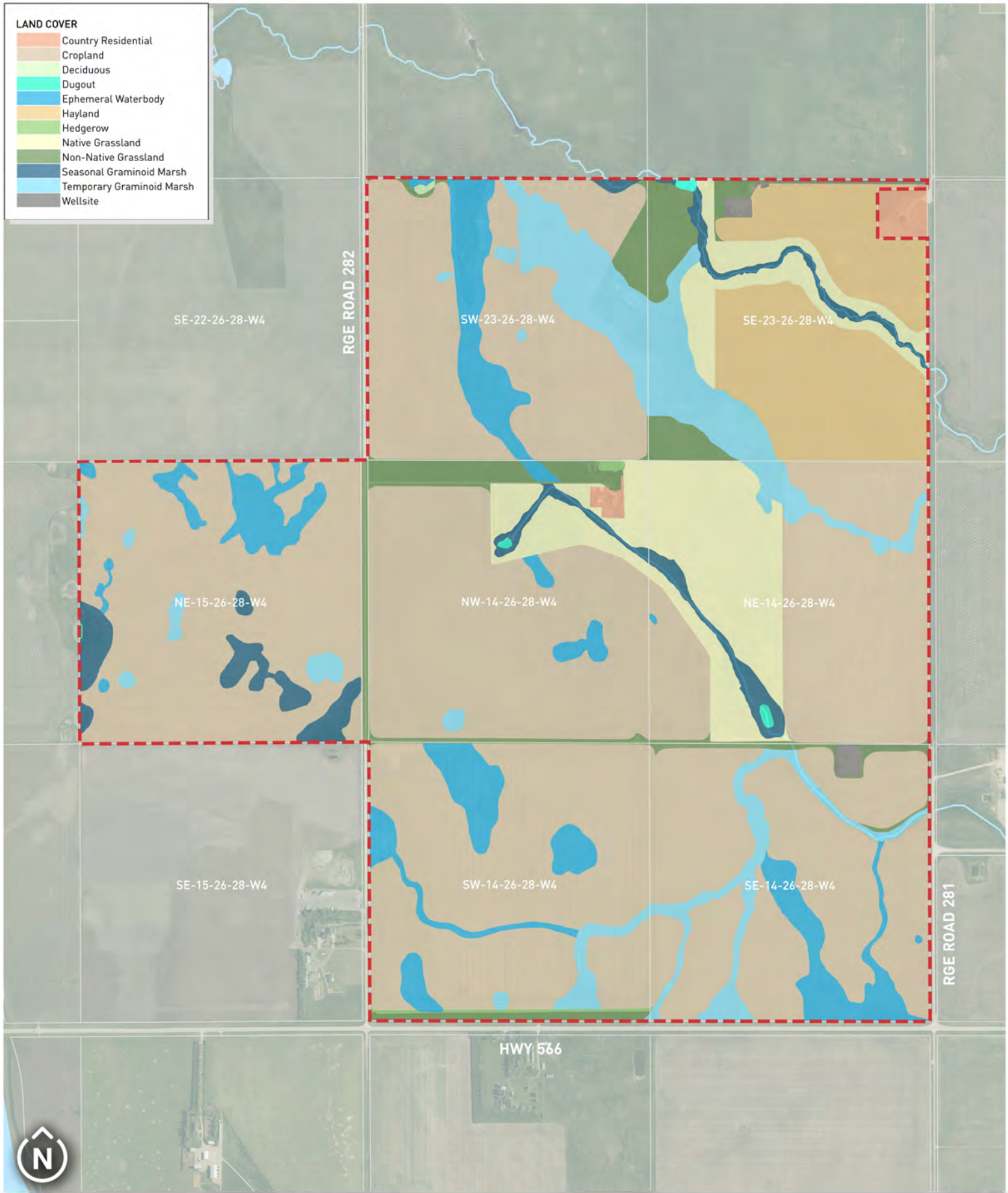


Figure 7: Biophysical Features

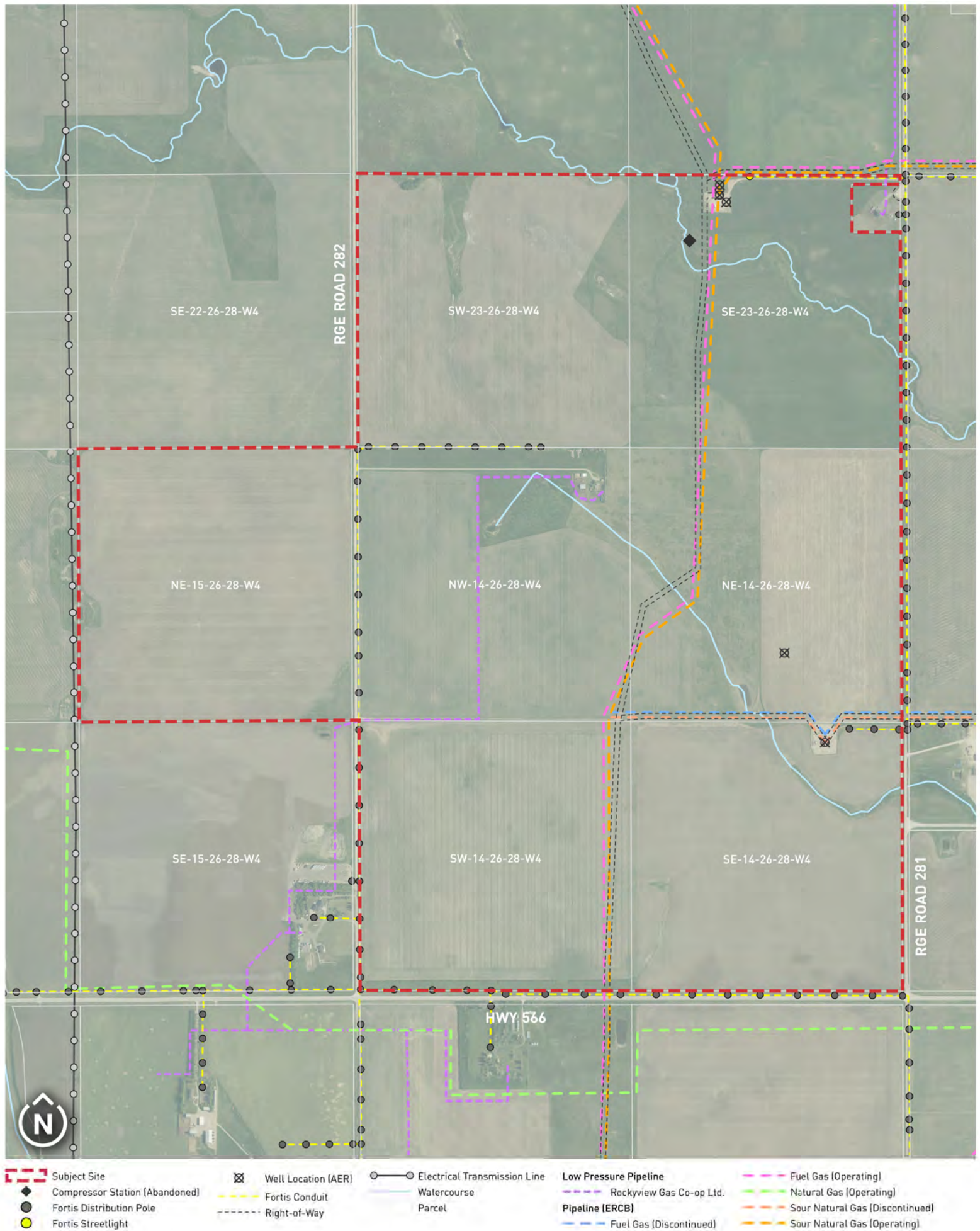


Figure 8: Existing Infrastructure & Utilities

4.0 DEVELOPMENT CONCEPT

4.1 Land Development Strategy

The Kinetikor ASP outlines a development strategy to guide growth and achieve the goals and objectives outlined for the Plan area. While the strategy outlines the development opportunity within the Plan area, it also acknowledges growth and transition pressures that impact the surrounding community. As development advances within the Plan area, agricultural uses are expected to transition and be replaced with data centre uses. During this transition period, continued agriculture uses are encouraged within the Plan area.

INTENT

- To set the framework for the development of the Plan Area that provides land uses that are consistent with The County's planning and growth objectives and supports continued economic development in the region.

POLICIES

1. The Kinetikor ASP, and its associated policies, shall apply to all lands outlined in **Figure 9: Kinetikor ASP Boundary**.
2. Future development within the ASP should generally proceed as illustrated in **Figure 10: Development Concept**. Changes to the development concept, such as building layout and siting, shall not require an amendment to this ASP.
3. Refinement to the Development Concept may be made during the Land Use Amendment application stage in accordance with **Section 1.3 Policy Interpretation**.
4. Existing agricultural operations within the Plan area are encouraged to continue until development of those lands to another use is approved in accordance with the policies of this Plan.

Figure 9: Kinetikor ASP Boundary

Figure 10: Development Concept

4.2 Development Phasing

The purpose of the Kinetikor ASP is to facilitate the development of a comprehensively planned technology park that will accommodate multiple AI Data Centre users, arranged in campus fashion, and implemented in phases over time. Future development within the Plan area will be supported by an appropriate mix of public and private infrastructure servicing, including stormwater management, shallow utilities, and transportation. The development framework is prepared in accordance with the relevant MDP policies.



== Subject Site Parcel

1:14,000 0 100 200 300 Meters

Figure 9: Kinetikor ASP Boundary



INTENT

- To provide a framework for development accommodating AI data centre uses. Guidance in the Plan will ensure that the development integrates successfully with surrounding land uses.

POLICIES

1. Future development within the ASP should generally proceed as illustrated in **Figure 11: Preliminary Development Phasing**.
2. Changes to the development phasing shall not require an amendment to this Area Structure Plan.

Figure 11: Preliminary Development Phasing

4.3 Interface Design Guidelines

Minimizing the impact of development on existing uses within Rocky View County can be accomplished through careful design consideration.

INTENT

- Minimize the impact of non-residential development on existing adjacent development.
- Provide edge conditions that are designed to provide appropriate transition to adjacent land uses.
- Minimize the impact of development on agricultural land.

POLICIES

General

1. Interface design policies apply to those areas identified in **Figure 12: Interface Areas**.
2. The internal subdivision road network within the non-residential area should be separated from and/or buffered from the adjacent residential areas.
3. Interface areas shall be maintained by the Business Lot Owners Association.

Residential Interface

4. A buffer should separate adjacent residential uses from development within the Plan area. This may include, but is not limited to, building setbacks, berming, fencing, and/or landscaping.
5. Outside storage is not an acceptable use adjacent to the Residential Interface.

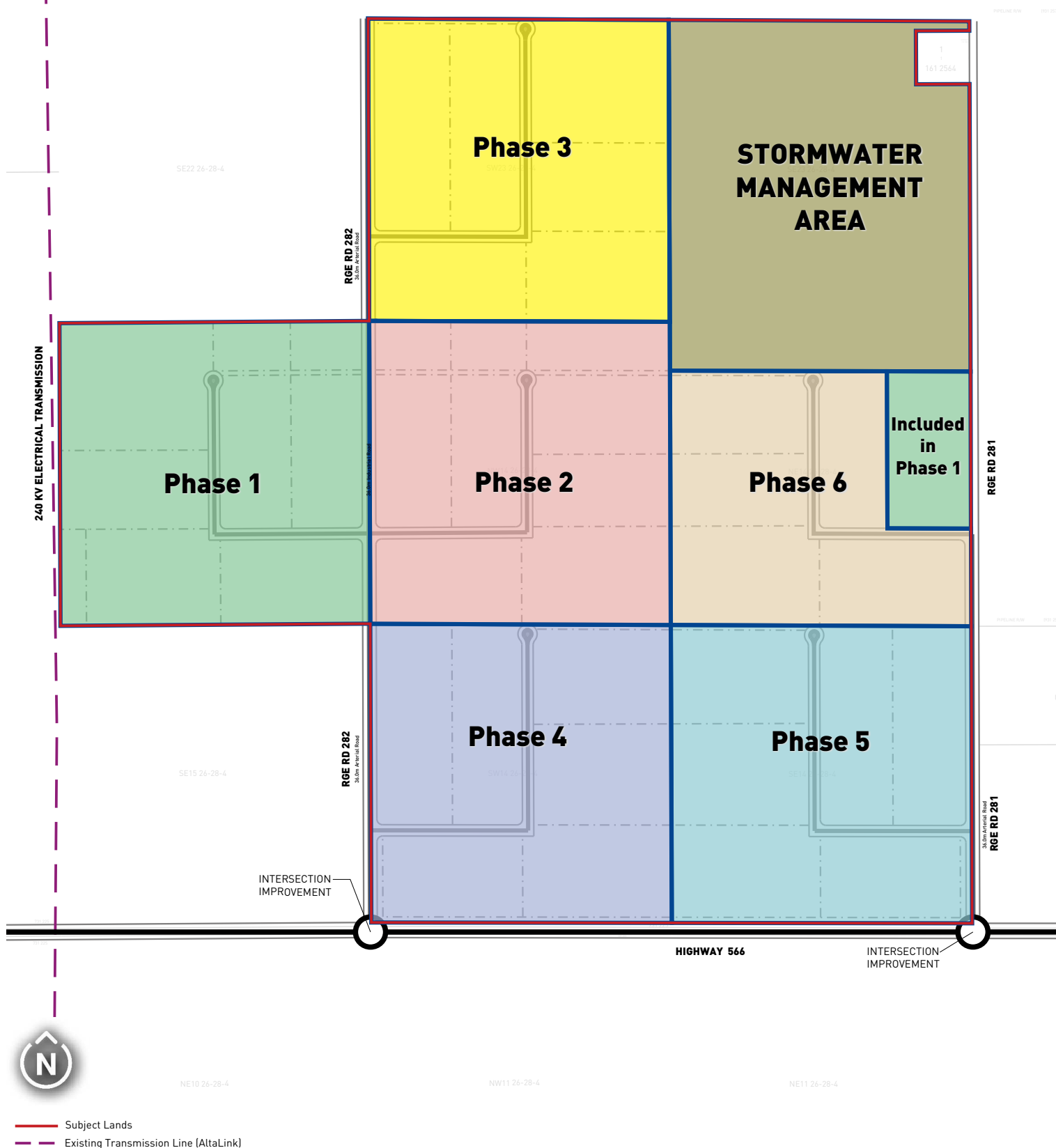



Figure 11: Preliminary Development Phasing

- 
6. Overnight trucking or automotive-related activities including loading, storage, or delivery should be located where off-site impacts, such as noise or light impacts, to the Residential Interface can be appropriately mitigated.

Agriculture Interface

7. Development adjacent to agricultural lands should adhere to the County's Agricultural Boundary Design Guidelines.
8. Proposals for non-agricultural development adjacent to agricultural lands should incorporate buffering, siting, and design techniques to minimize negative impacts on agricultural lands.

Highway Interface

9. Gateways and entrances into the development should be designed in accordance with the County's Commercial, Office, and Industrial Guidelines.
10. A buffer should be incorporated along the Highway Interface. This buffer may include, but is not limited to, setbacks, berming, fencing, pathways, and/or landscaping.
11. Outside storage is not an acceptable use adjacent to the Highway Interface.

Landscaping

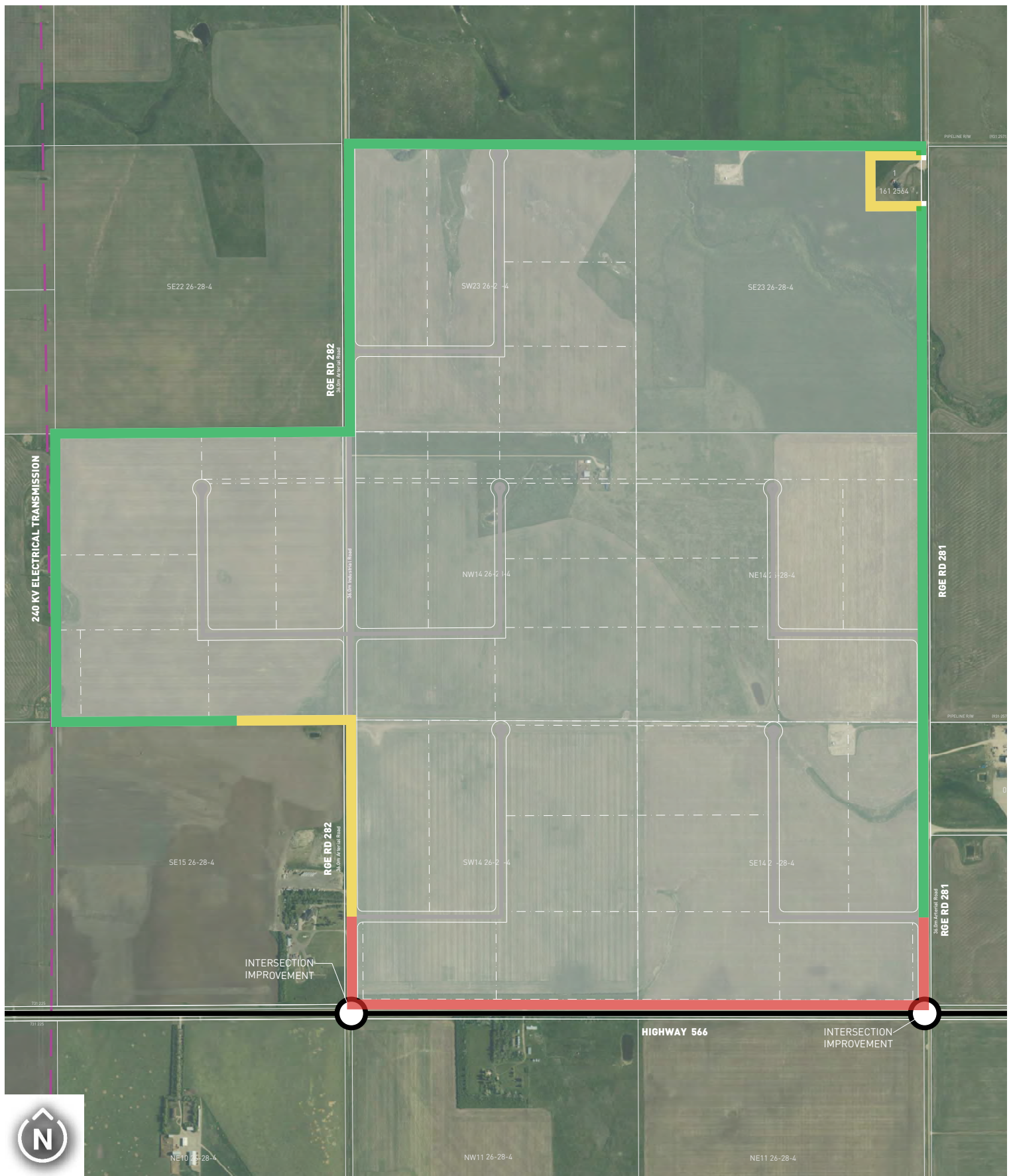
12. Trail networks may be provided within the interface areas, where appropriate, when the location of and access to the trail network does not conflict with site safety and security requirements of data centres operating within the Plan area.
13. Planting and/or berms may be incorporated within setback areas. Berms may incorporate natural contours and variations in height to achieve a natural landscape appearance.
14. A landscape plan shall be submitted with a subdivision application and address the County's *Land Use Bylaw* Appendix B and any applicable design guidelines.
15. Cross-sections shall be provided with associated subdivision and/or development permit applications to illustrate the proposed interface design.



Building Quality and Appearance

16. Building design shall address the County’s Commercial, Office, and Industrial Design Guidelines, and the design principles established within any application under this Plan adopted by the County. High quality building appearance should be considered where non-residential buildings face residential buildings and/or Highway 566.
17. Garbage storage, loading bays, loading doors, or other activities creating heavy truck movements on lots adjacent to a Residential Interface should not face any adjacent residential area.

Figure 12: Interface Areas



- Highway Interface
- Adjacent Residential / Farm Building Site Interface
- Agricultural Interface
- Existing Transmission Line (AltaLink)

1:14,000 0 100 200 300 Metres

Figure 12: Interface Areas

5.0 LAND USES

5.1 Data Centre Uses (S-DAT)

Data Centre facilities are intended to house computer systems

INTENT

- Facilitate the development of data centres in alignment with Provincial initiatives.
- Accommodate regional employment opportunities.
- Promote the orderly transition from existing agriculture uses to data centre uses.
- Promote financial sustainability by increasing the County's business assessment base.

POLICIES

1. The primary use of the ASP land will support data centre operations and will be designated as S-DAT in accordance with the Land Use Bylaw (C-8000-2020).
2. Small-scale commercial development including, but not limited to, restaurants and coffee shops that provide a service to the data centre use areas may be permitted within the S-DAT lands.
3. Supportive light industrial uses that complement the data centres may be permitted in the S-DAT lands.

5.2 Agricultural Uses (S-DAT)

The continued use of land for agriculture production within the Plan area is desirable until development occurs. Policies within this ASP encourage the co-location of innovative agriculture uses that are complementary to the data centre uses proposed within the Plan area.

INTENT

- Support the growth and development of agricultural operations until alternative forms of development are approved within the Plan area.
- Encourage the co-location of value-added agriculture and horticultural development uses that are complementary to development within the Plan area, where practicable.

POLICIES

1. Existing agricultural operations within the Plan area are encouraged to continue until development of those lands to another use is approved in accordance with the policies of this Plan.
2. Confined Feeding Operation (CFO) development shall not be permitted in the Plan area.
3. The co-location of value-added agriculture and horticultural development uses is encouraged on the site, where appropriate, and where such uses are complementary to the data centre use proposed within the Kinetikor ASP. The County will encourage value-added agriculture and horticultural development uses on site by:
 - a. Identifying existing programs and grants available to support value-added agriculture and horticultural development;
 - b. Providing written support of grant funding applications, where appropriate; and
 - c. Advocating to the Provincial and Federal governments for ongoing support and funding for value-added agriculture and horticultural development within the County.

5.3 Power Generation Facilities and Electrical Inter-Connect (S-DAT)

An opportunity to provide a privately owned and maintained Power Generation Facility within the Plan area may exist. This type of Power Generation Facility could enhance local and regional power supply.

INTENT

- Enable the development of power generation facilities within the Plan area.

POLICIES

1. The operator of any power generation facility shall obtain all relevant provincial approvals and adhere to the development requirements of the ASP.
2. Both utility-scale and facility back up power generation shall be designed to minimize impact to adjacent properties.
3. Additional studies, as required by the Provincial approving body, shall be prepared in accordance with current standards. Once completed, reports shall be provided to the County for information.
4. Private utilities, such as an electrical inter-connect, shall be provided within the Plan area, where required.

5.4 Public Utility (S-PUB)

Public utilities, such as potable water, sanitary service, and stormwater management, are required within the Plan area to provide necessary services for the proposed development.

INTENT

- Provide public utilities within the Plan area, in accordance with County servicing standards.

POLICIES

1. Public Utility Lots (PULs) shall be dedicated within the Plan area, in accordance with County policy and servicing standards.

5.5 Open Space, Parks, and Pathways (S-PRK)

Open space, parks, and pathways provide health benefits for local workers by providing a variety of opportunities for passive recreation and environmental protection. Development within the Plan area should provide for a wide range of accessible open spaces. Since the land will be developed into a data centre campus, opportunities for public recreation amenities will be limited within the Plan area and occur primarily through a regional pathway to be constructed within a linear municipal reserve (MR) adjacent to Highway 566.

INTENT

- Provide linear open space within the Plan area, where appropriate.
- Ensure that open space and parks have an ecological, social, cultural, recreational, and/or aesthetic function, and that each space functions sustainably.
- Encourage opportunities for passive recreation amenities within each data centre.

POLICIES

General

1. The open space network should be developed in general accordance with **Figure 13: Open Space Network**.
2. Regional pathway alignment, as illustrated on **Figure 13: Open Space**, may be refined during the subdivision application.



Open Space

3. Open space may be provided in the Plan area through such means as:
 - a. The dedication of municipal reserve (MR), environmental reserve (ER), and public utility lots (PUL);
 - b. Publicly owned stormwater conveyance systems; and/or
 - c. Other mechanisms approved by the County.
4. Open space should be planned and integrated into the Plan area so that the function of each space will provide a positive and safe social, ecological, cultural, and/or recreational experience.

Parks and Pathways

5. Pathways and trails should be provided in general accordance with **Figure 13: Open Space Network**.
6. The design and construction of parks, pathways, trails and associated amenities shall adhere to the County's relevant construction and design standards.
7. Maintenance roads located around the perimeter of a stormwater management facility should be used as a pathway and connect to the pathway and trails network within the Plan area.

Figure 13: Open Space Network

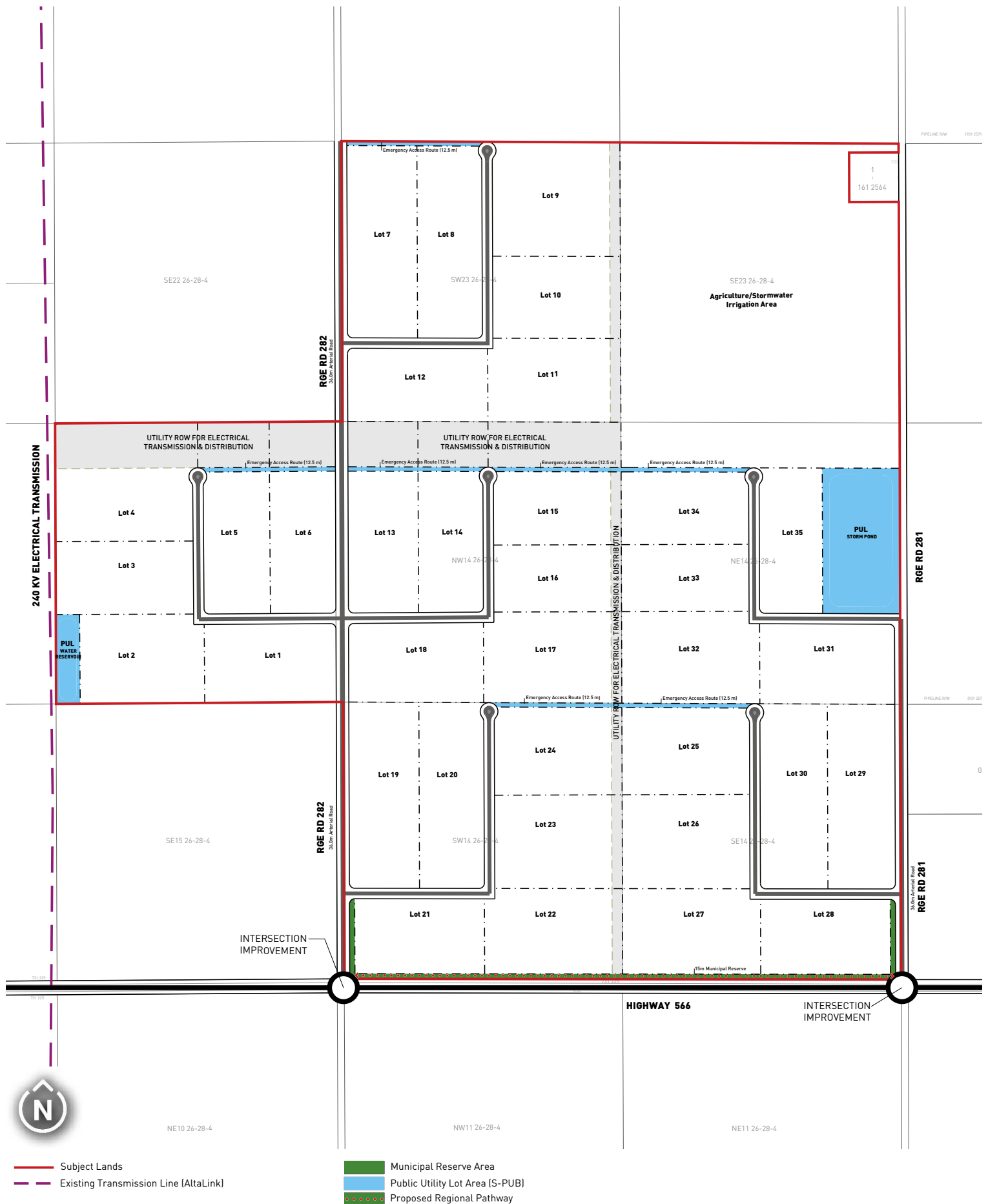


Figure 13: Open Space Network

5.6 Development Statistics

The anticipated land use districts in the Kinetikor ASP are outlined in **Table 2: Development Statistics**.

Table 2: Development Statistics

Concept Plan Statistics			
	Hectares (+/-)	Acres (+/-)	% of GDA
Total Area	447.96	1106.90	
Total Gross Developable Area	447.96	1106.90	100.00%
Data Centres (S-DAT)	334.53	826.62	74.7%
Public Utility Lot (S-PUB)	14.31	35.35	3.2%
Storm Pond	9.28	22.91	2.1%
Water Reservoir	1.76	4.36	0.4%
Emergency Access Routes	3.27	8.08	0.7%
Municipal Reserve (S-PRK)	2.97	7.35	0.7%
Public Roads (Range Road 281 and 282 upgrades)	3.22	7.95	0.7%
Public Road ROW Widening	5.52	13.63	1.2%
Private Internal Subdivision Roads	14.96	36.97	3.3%
Agriculture/Stormwater Irrigation Area	72.45	179.03	16.3%

6.0 OPEN SPACE NETWORK

6.1 Natural Areas

The Plan area is characterized by cultivated agricultural lands with wetlands and natural drainages scattered throughout the area. Due to the nature of development within the site, development will impact wetlands and drainages. Development permit applications may identify site-specific opportunities to integrate natural areas into the proposed developments, where appropriate.

INTENT

- Ensure that development identifies and appropriately considers natural assets within the Plan area.
- Evaluate wetlands and drainages in the Plan area.
- Protect riparian areas adjacent to retained wetlands and drainages, where appropriate.


POLICIES

General

1. At the time of development permit application, the Biophysical Impact Assessment (BIA) may require an update to evaluate site-specific impact of the project on wetlands, wildlife, vegetation, and environmentally significant areas.
2. Natural areas incorporated within the Plan area shall be maintained by the Business Lot Owners Association.

Wetlands

3. Decisions regarding wetlands shall be guided by both County Policy and Provincial Policy
4. Wetland classification shall be determined using the Alberta Wetland Classification System. Wetland boundaries shall be delineated as per the Wetland Delineation Directive. Relative wetland value shall be determined by the Province.
5. Determination of Crown-claimed wetlands shall be confirmed prior to subdivision application.
6. Crown-owned waterbodies within the Plan area should be protected and incorporated into the Master Drainage Plan.

- 
7. Wetlands and drainages that form part of a stormwater management system should be retained, where possible, in accordance with the approved Master Drainage Plan.
 8. Where wetlands are not retained, the developer shall mitigate wetland loss in accordance with Provincial policy and directives.

Riparian Areas

9. Decisions regarding riparian areas shall be guided by both County Policy and Provincial Policy.
10. Riparian setback areas may accommodate natural trails that are designed and programmed to have low environmental impacts.
11. Protected riparian areas should remain vegetated. Incorporation of native plant species is encouraged within riparian areas.

6.2 Reserves

Reserves are lands dedicated to the County as public land during the subdivision process. Municipal Reserves (MR) enhance the County by providing land for parks, schools, and recreational amenities. As the Plan area will be developed primarily as a data centre campus, municipal reserves (MR) within the Plan area are anticipated to primarily facilitate linear parks and pathways. Environmental reserves (ER) include lands dedicated to preventing damage in hazard areas (e.g. unstable slopes, land subject to flooding), reduce pollution, and provide public access to protected waterbodies.

INTENT


- Provide for the dedication of reserve to meet the educational, recreational, cultural, social, and other community service needs of the County.
- Provide for cash-in-lieu in place of land for municipal reserve, school reserve, or municipal school reserve.
- Provide direction on the timing of reserve dedication.
- Provide for the identification and protection of environmentally significant land or hazard land through the dedication of environmental reserves (ER) or environmental reserve easements (ERE) in accordance with the *Municipal Government Act*.



POLICIES

General

1. Reserves owing on a parcel of land shall be provided as:
 - a. Municipal Reserve, School Reserve, or Municipal and School Reserve;
 - b. Money in place of reserve land (cash-in-lieu); or
 - c. A combination of land and money
2. The acquisition and disposal of reserve land, and the use of money in place of reserve land, shall adhere to County policy and the requirements of the *Municipal Government Act*.
3. Provision and allocation of reserves shall be determined by the Approving Authority at the time of subdivision.
4. The amount, type, location, and shape of reserve land shall be suitable for public use and readily accessible to the public.
5. The dedication of reserves should meet the present and future needs of the Plan area by considering the recommendations of this Plan, the County's Parks and Open Space Master Plan, and any other relevant policies or agreements.
6. Within a subdivision boundary, reserve lands may be deferred by registering a deferred reserve caveat to a future subdivision.
7. A reserve analysis shall be required as a component of a subdivision application to determine the amount, type, and use of reserves owing within the application area.
8. The reserve analysis shall include a determination of:
 - a. The total gross area of the subdivision plan;
 - b. The type and use of reserves to be provided within the subdivision boundary;
 - c. Other reserves owing on an ownership basis;
 - d. The location of the reserve types and amounts in relation to the ASP area's overall open space system; and
 - e. The amount of residual reserves to be taken as money (cash-in-lieu) in place of land.

- 
9. Reserves owing on a parcel of land should be provided as land to support the local pathway network or as cash-in-lieu, as determined by the County.
 10. Municipal Reserve shall be provided through the subdivision process to the maximum percentage allowed by the *Municipal Government Act*.
 11. Lands that qualify as Environmental Reserve should be dedicated as such at the time of subdivision, in accordance with the *Municipal Government Act*.
 12. Environmental Reserve should be determined through technical studies, including:
 - a. Biophysical Impact Assessment; and/or
 - b. Geotechnical analysis.
 13. Reserve lands provided within Plan area should be maintained by the Business Lot Owners Association.

6.3 Historic Resources

Historic resources include archaeological and paleontological sites, Indigenous traditional use sites of a historic nature, historic structures, and geological or natural resources. Celebration of historical resources associated with such sites is guided by the Province.

INTENT

- Ensure that development identifies and considers heritage assets within the Plan area.

POLICIES

1. Provincial guidelines shall be followed to determine the appropriate assessments required under the *Historical Resources Act*.
2. Prior to subdivision, the applicant shall provide documentation that the *Historical Resources Act* requirements for the property have been completed to the satisfaction of the Government of Alberta.

7.0 TRANSPORTATION & MOBILITY

7.1 Transportation Network

The transportation network for the Kinetikor Area Structure Plan must be planned and constructed to be a safe, functional, and efficient system. The network should integrate development within the Plan area with the surrounding regional road network, as illustrated in **Figure 15: Regional Transportation Network**, and, where appropriate, provide opportunities for walking and cycling. **Figure 15: Proposed Road Network** illustrates the anticipated access points and roadways in the Plan area, including connections to provincial highways.

INTENT

- Support a regional road network, based on the existing grid system, that efficiently accesses and aligns with provincial and regional highway networks.
- Provide an internal road network that contributes to a high-quality built environment while ensuring site security and emergency access.

POLICIES

General

1. A site-specific Transportation Impact Assessment (TIA) update and/or memo may be required as part of the development permit application process, if the development varies significantly from the TIA completed in support of the Kinetikor ASP.
2. Any costs associated with transportation improvements that are a result of site-generated traffic, as identified through a TIA, shall be the developer's responsibility.
3. Development proponents shall be required to pay the County's Regional Transportation Offsite Levy as per the bylaw requirements and/or oversize infrastructure capacity contributions in accordance with County policies.
4. Land required for road network improvements shall be identified as part of the applicable subdivision application process.
5. All roads within the Plan area shall be constructed by the developer in accordance with the County's Servicing Standards.



Regional Transportation Network

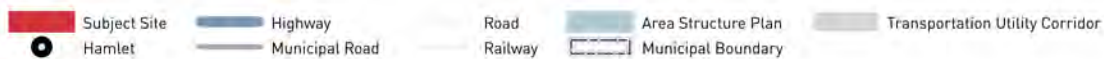
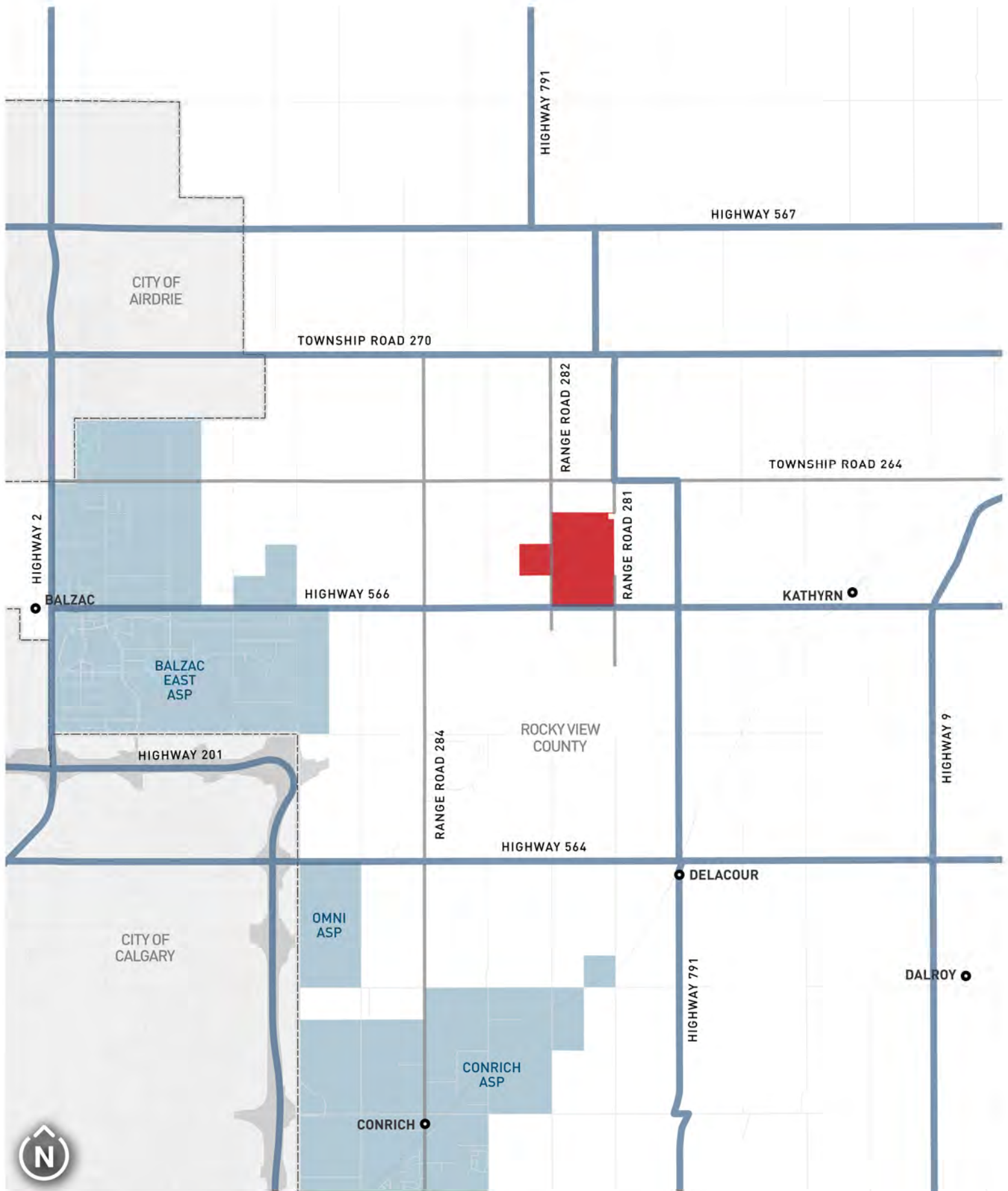
6. The regional transportation system should be developed in general accordance with **Figure 14: Regional Transportation Network**.
7. Rocky View County shall work collaboratively with Alberta Transportation and Economic Corridors (ATEC) on any required transportation upgrades.

Local Road Network

8. The local transportation network should be generally located as illustrated in **Figure 15: Proposed Road Network**.
9. Access to the regional transportation network shall utilize sound access management principles and be in accordance with County servicing standards and provincial requirements.
10. The designation and design of local roads within the regional transportation network, including classification, street sizing, and intersection spacing shall be determined at the time of the applicable subdivision application.
11. It is anticipated that the internal subdivision roads within the Plan area will restrict public access via security gates, to be installed in proximity to the intersections with the County's Range Roads, as illustrated in **Figure 15: Proposed Road Network**.
12. Emergency access routes shall include breakaway access gates in accordance with the County Servicing Standards.
13. The type of industrial road cross-section shall be determined, at the time of the applicable subdivision application, in accordance with County Servicing Standards.

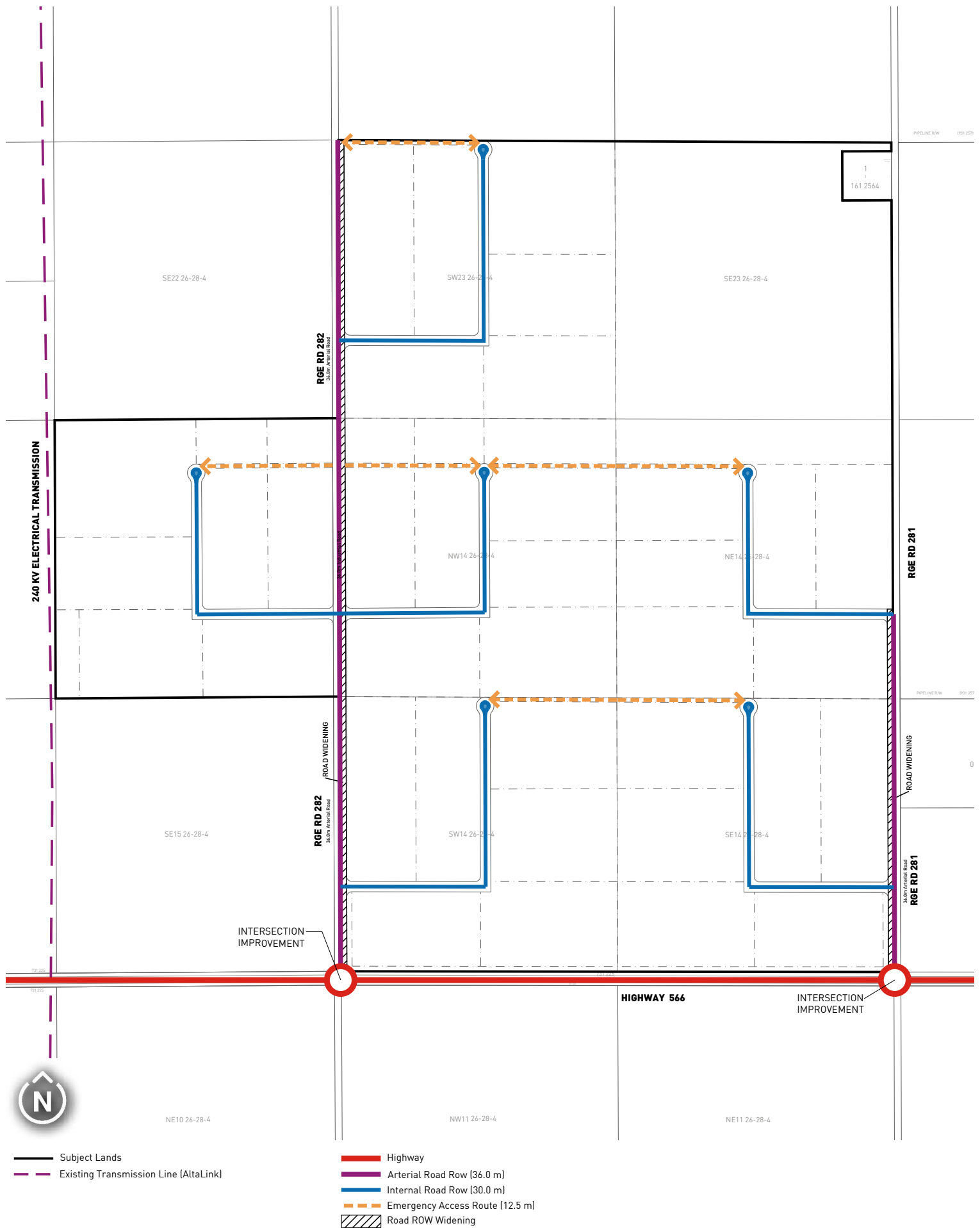
Figure 14: Regional Transportation Network

Figure 15: Proposed Road Network



1:125,000 Kilometers

Figure 14: Regional Transportation Network



1:14,000 0 100 200 300 Metres

Figure 15: Proposed Road Network

7.2 Highway Access

Highway 566 is a major east/west traffic corridor and provides the majority of direct access into the Plan area. This two-lane road was originally designed and constructed by the Province. The highway accommodates local and regional traffic both east and west of the Plan area.

INTENT

- Provide safe and efficient access to Highway 566.

POLICIES

1. New approaches onto Highway 566 may be approved in collaboration with Alberta Transportation and Economic Corridors (ATEC). If new approaches are proposed, they should consider the following:
 - a. Recommendations of a Transportation Impact Assessment (TIA);
 - b. Traffic mitigation measures, management tools (including a review of signage and speed limits), and intersection upgrades; and
 - c. Municipal and Provincial standards.
2. Provisions for future intersections along Highway 566 should be considered at locations identified within the County's Servicing Standards and in accordance with provincial requirements.
3. The County may require additional right-of-way (ROW) within the Plan area to accommodate future widening of the regional transportation network.


7.3 Active Mobility

INTENT

- Encourage an interconnected network of pedestrian infrastructure within the private data centre sites.
- Provide opportunities for passive recreation in open space areas.

POLICIES

1. Subdivision applications prepared for the Plan area should provide for a pathway, trail, and/or sidewalk network within private sites. Active mobility networks should:
 - a. Provide connections within the Plan area, where appropriate;
 - b. Wherever possible, be located within, or align with, a park, landscape buffer, utility easement, natural area, and/or the stormwater management conveyance system;

- 
- c. Be adaptive to the required security requirements within the Plan area; and
 - d. Incorporate Crime Prevention Through Environmental Design (CPTED) features.
2. Paved shoulders are encouraged within roadways, where appropriate, in accordance with the County's Active Transportation Plan and Servicing Standards.
 3. The design and construction of pathways and trails should adhere to the County's Servicing Standards and the Parks and Open Space Master Plan design criteria.

Pathways and trails shall be maintained by the Business Lot Owners Association.

8.0 UTILITY INFRASTRUCTURE

8.1 Site Servicing

Appropriately designed water and wastewater servicing infrastructure is the foundation of a successful technology park. To ensure the provision of sufficient, safe, and efficient distribution in the Plan area, the utility servicing infrastructure network will be designed to serve the anticipated needs of the development area, the systems accommodate overall demand at full build out.

The Plan area will be serviced with potable water provided by the County's Graham Water Treatment Plant. Essential components of the water system within the Plan area are anticipated to include a potable water reservoir and pump station, feeder mains, a localized distribution system, and potential to connect with the Balzac Water System.

The Plan area will be serviced by the County's East Rocky View Wastewater Transmission Line. The local wastewater systems will be designed to adequately service anticipated development at full build out. Essential components of the wastewater system within the Plan area are anticipated to include a gravity wastewater sewer system, sanitary lift stations, and a sanitary force main to convey wastewater from the Plan area to the East Rocky View Wastewater Transmission Line.

The wastewater system is designed to adequately serve the anticipated development needs, ensuring a network capable of meeting demand at full build-out. Essential local infrastructure may include a gravity wastewater sewer system, force mains, and lift stations.

INTENT

- Support an orderly, logical, and sequential pattern of site servicing and infrastructure development.
- Provide water and wastewater systems to service the Plan area in a safe, cost effective, and fiscally sustainable manner.
- Allow for interim water and wastewater services in the Plan area, until such time as piped services are brought to the area.
- Identify and protect utility service alignments.
- Ensure water supply infrastructure provides the appropriate level of fire protection.
- Support water conservation.




POLICIES

General

1. Water, wastewater, and shallow utility services shall be provided by the developer to the Plan area.
2. The location of regional and local infrastructure corridors, utility rights-of-way and easements, and related line assignments are identified on **Figure 16: Water Supply** and **Figure 18: Sanitary Forcemain Network**. Subdivision applications in proximity to regionally significant servicing corridors should identify and protect the corridor to the satisfaction of the County, utility company, and easement holder.
3. Changes to the proposed land use, employment forecast, or transportation network outlined within the Plan may require a re-evaluation or modification of proposed and existing utility infrastructure.

Water

4. The provision, alignment, and capacity of the water distribution system should be in general accordance with **Figure 16: Water Supply** and applicable site servicing reports.
5. The design and construction of the water distribution system within the Plan area shall be in accordance with County Servicing Standards.
6. The regional water transmission infrastructure required to bring water to the Plan area from the Graham Water Treatment Plant shall be designed and constructed by the developer at the subdivision stage, in accordance with County Servicing Standards.
7. The internal water distribution network shall be constructed by the developer, at the subdivision stage, in accordance with County Servicing Standards.
8. All water systems servicing within the Plan area shall be designed to provide adequate fire suppression in accordance with the County Servicing Standards and other applicable regulatory requirements.
9. Infrastructure and land related to the distribution of water shall be identified prior to the approval of the applicable subdivision application and dedicated to the County as per the requirements of the Development Agreement.


- 
10. Reduction and reuse of potable water is encouraged in accordance with Provincial policies and regulations.
 - a. Where possible, the reuse of water is encouraged for energy generation, industrial processing, and other uses allowed for by the Province.
 - b. Potable water shall not be used for irrigation.

Wastewater

11. The provision, alignment, and capacity of the wastewater system should be in general accordance with **Figure 19: Sanitary Sewer Network** and applicable site servicing reports.
12. The design and construction of the wastewater collection and distribution system within the Plan area shall be in accordance with the County Servicing Standards.
13. The regional wastewater transmission infrastructure required to convey effluent from the Plan area to the East Rocky View Wastewater Transmission Line shall be designed and constructed by the developer, at the subdivision stage, in accordance with the County Servicing Standards.
14. The internal wastewater collection network shall be constructed by the developer, at the subdivision stage, in accordance with County Servicing Standards.
15. Infrastructure and land related to the collection and conveyance of wastewater shall be identified prior to the approval of the applicable subdivision application and dedicated to the County as per the requirements of the Development Agreement.
16. If supplemental non-potable water or potable water from a high demand user is returned to a wastewater system, updates to servicing studies and the Master Servicing Agreement may be required, as deemed necessary by the County.
17. Sump pumps and stormwater drainage systems shall not connect to the wastewater system.

Shallow Utilities

18. Shallow utility alignment should be:
 - a. Determined at the subdivision stage;
 - b. Located within a utility right-of-way and not within a road allowance or under sidewalks or pathways; and
 - c. Located to avoid identified natural areas, tree plantings, and open spaces, and minimize the impact on natural features.

- 
19. Shallow utility rights-of-way, public utility lots, and easements shall be provided at the subdivision or development permit stage, as deemed necessary by the utility provider.
 20. Shallow utilities shall be installed and/or financed by the developer at the subdivision stage, in consultation with the applicable utility providers.
 21. The alignments for shallow utility installations shall be determined at the subdivision stage in accordance with County Servicing Standards.

Approvals

22. Subdivision and/or development permit applications shall be aligned with servicing plans completed for the Plan area.
23. The location and size of utility rights-of-way and easements, and related line assignments, should be determined as part of subdivision applications to the mutual satisfaction of the County, the developer, and utility companies.

Figure 16: Water Supply

Figure 17: Water Distribution Network

Figure 18: Sanitary Forcemain Network

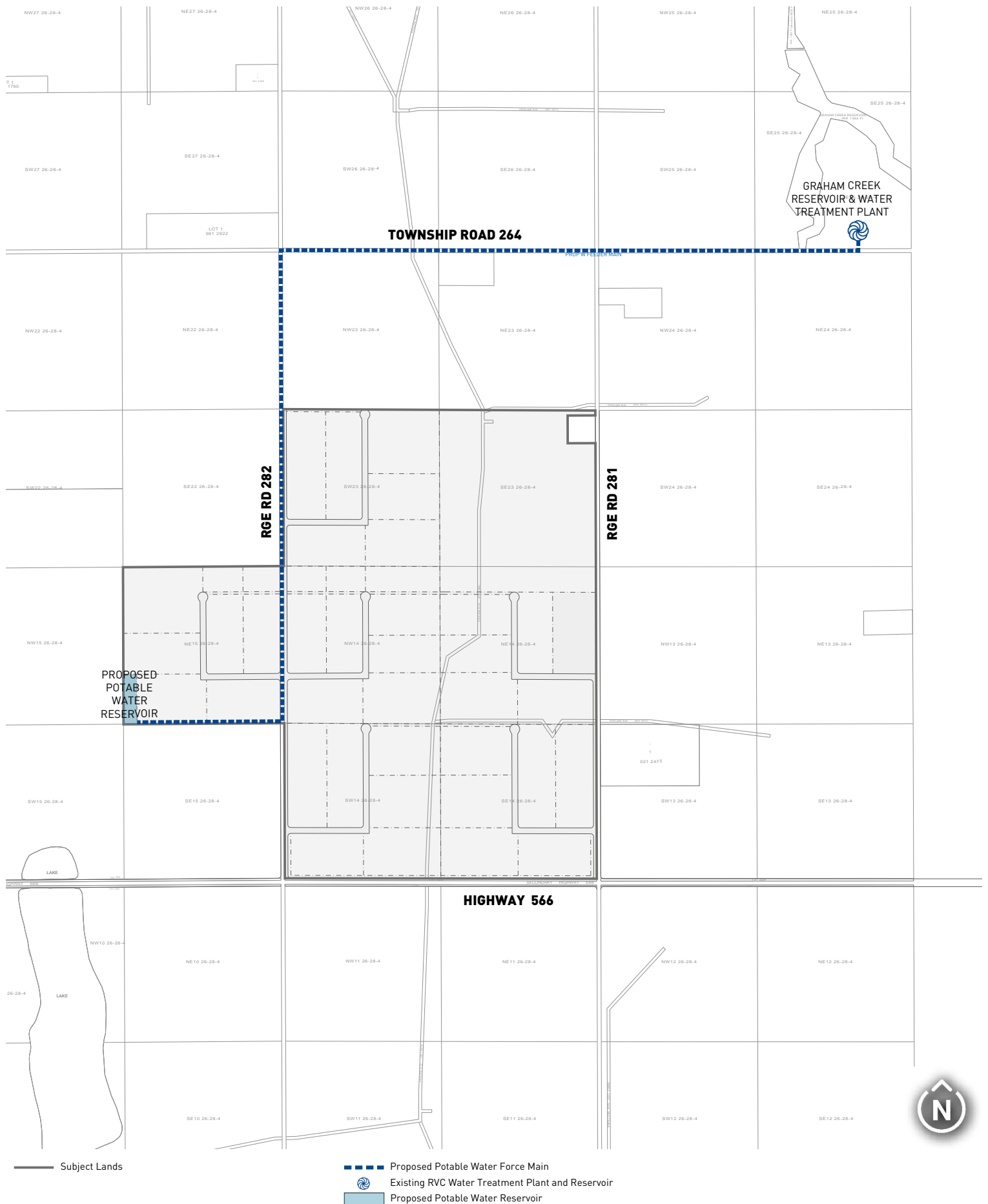
Figure 19: Sanitary Sewer Network

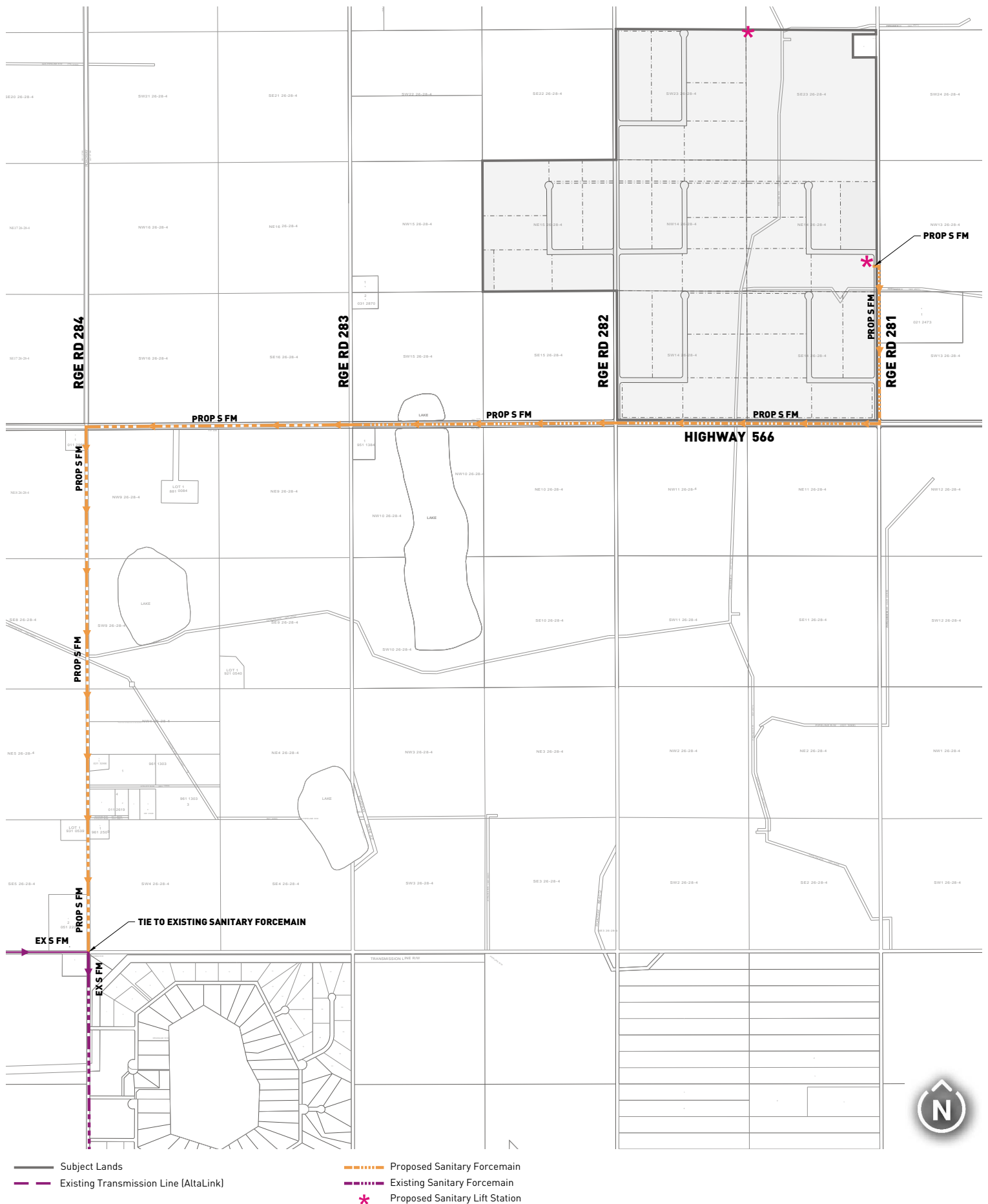
8.2 Stormwater Management

A single stormwater management facility is proposed in the northwest quadrant of the Plan area, which will be sized and designed to incorporate a discharge not exceeding the pre-development rate and volume of the site. The balance of stormwater within the Plan area will be managed through a combination of evaporation, transpiration, and/or irrigation.

INTENT

- Incorporate the policies and best practices contained within the Master Drainage Plan to ensure effective stormwater management.
- Ensure effective, sustainable, and responsible stormwater management service to the Plan area.
- Support innovative conservation methods and best management practices with respect to stormwater management including stormwater reuse and recycling opportunities.
- Maximize the use of natural stormwater drainage conveyance, including natural drainages within the Plan area, where possible.





1:30,000

Figure 18: Sanitary Forcemain Network

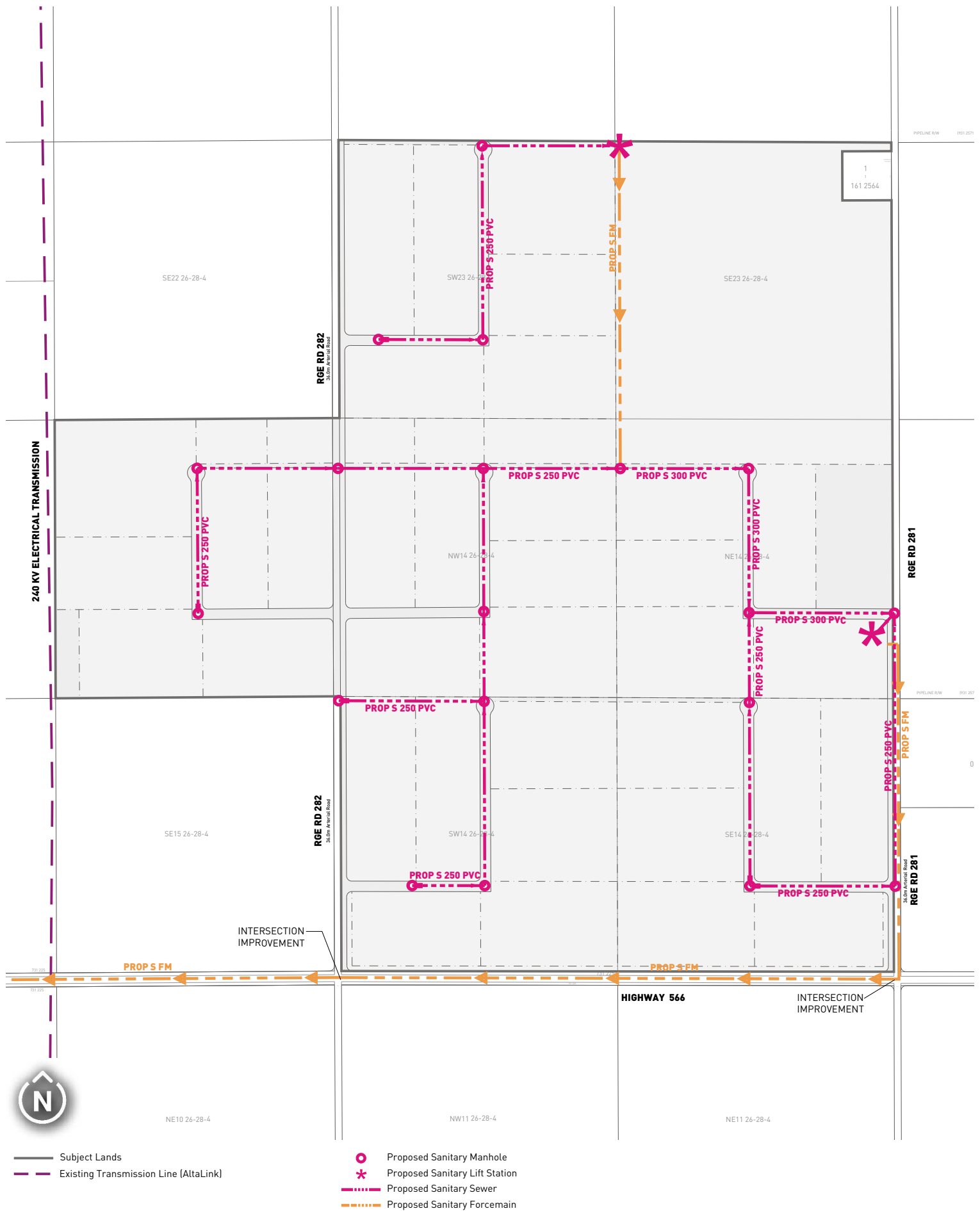


Figure 19: Sanitary Sewer Network



POLICIES

General

1. The stormwater drainage system (conveyance and storage areas) should be designed in general accordance with **Figure 20: Stormwater Management Plan**.
2. Interim solutions shall align with and complement the ultimate drainage system.
3. The stormwater management facility shall be constructed by the developer within a Public Utility Lot (PUL) to be dedicated at the time of subdivision in accordance with County Servicing Standards.

Standards and Designs

4. Stormwater infrastructure within the Plan area shall be designed, constructed, and maintained in accordance with County servicing standards, County policy, the Master Drainage Plan, and Provincial regulations.

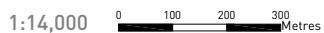
Reduce, Reuse, and Recycle

5. Stormwater best management practices are encouraged within the Plan area. Stormwater design should consider:
 - a. Design of source control practices to reduce the amount of water moving downstream and the need for end-of-pipe stormwater treatment solutions;
 - b. Incorporation of Low Impact Development (LID) principles;
 - c. Reduction of impermeable surface runoff; and
 - d. Use of stormwater for irrigation and other non-potable purposes.
6. Use of stormwater in the Plan area will be supported, in accordance with Provincial requirements.

Approvals

7. Infrastructure and land related to stormwater treatment and conveyance shall be identified and dedicated to the County at the subdivision stage.
8. Development permit and subdivision applications shall adhere to the approved Master Drainage Plan.
9. Development permit applications shall incorporate on-site stormwater management requirements, as outlined in the Master Drainage Plan.

Figure 20: Stormwater Management Plan



8.3 Solid Waste and Recycling

Solid waste management policies address all stages of development, from construction and demolition to full build out. Policies emphasize the reduction and diversion of waste through the recycling and re-use of materials.

INTENT

- Ensure development approvals are in alignment with the County’s Solid Waste Master Plan and address solid waste management at all stages of development.
- Promote proper disposal and recycling of solid waste material from construction sites.
- Provide direction on the expected level of post-construction waste management service to be provided by the County.

POLICIES

1. Solid waste management shall be guided by Rocky View County’s Solid Waste Servicing Strategy.
2. The developer shall be responsible for the management and disposal of solid waste generated through all stages of construction.
3. Waste minimization and waste diversion practices are encouraged within the Plan area.
4. Development permit applications shall:
 - a. Address solid waste management through all stages of development, including occupancy;
 - b. Conform to the policies of the County’s Solid Waste Master Plan; and
 - c. Set a solid waste diversion target to inform construction management plans.
5. A Business Lot Owners Association shall contract solid waste management services within the Plan area to a qualified waste management provider.

8.4 Oil & Gas Infrastructure

Oil and gas facilities, associated infrastructure, and operations have the potential to affect public safety, development patterns, and the natural environment. The co-existence of oil and gas infrastructure with other forms of development in the Kinetikor ASP is an important consideration that may impact development.

INTENT

- Ensure appropriate and safe land development in proximity to oil and gas infrastructure.

- Allow for the continued safe operations of oil and gas infrastructure.

POLICIES

1. Applicants proposing to develop land in the vicinity of oil and gas infrastructure shall adhere to the setback requirements and policies of this ASP, subdivision and development regulations, and the Directives and Bulletins of the Alberta Energy Regulator.
2. At the time of applicable subdivision or development permit, the developer shall register a restrictive covenant that prevents the construction of any building within the required setback area of existing oil and gas infrastructure within the Plan area.
3. At the time of applicable subdivision, the developer should determine if an Emergency Planning Zone (EPZ) has been established around a sour gas facility, well, or pipeline.
4. Prior to the submission of a Development permit, Applicants shall obtain a land development information package from the Alberta Energy Regulator and identify the location of all wells and pipelines, of all status types, within the application area.
5. Prior to the submission of a Development permit for lands adjacent to a facility with an Emergency Planning Zone, the Applicant shall prepare, update, or replace an Emergency Response Plan in consultation with the County and the facility operator.
6. The location of oil and gas infrastructure, development setbacks, Emergency Planning Zones, and emergency response planning shall be identified on applicable applications and disclosed to future landowners and tenants.
7. All setbacks from pipelines or wells shall be in accordance with Provincial regulations.
8. All land uses on pipeline rights-of-way shall have regard for the safe, ongoing operation of the pipeline.
9. Pipeline crossing and access agreements shall be in place prior to construction for lands encumbered by a pipeline right-of-way.
10. Pathways and other recreational uses may be allowed on pipeline rights-of-way with the consent of the easement holder and at the discretion of the Approving Authority.

8.5 Emergency Services

Emergency services within the Kinetikor Area Structure Plan area are focused on fire and protective service needs.

INTENT

- Ensure an appropriate and efficient level of fire and protective services is made available to provide safe development and operation of data centres.
- Ensure development is designed and constructed to optimize the delivery of fire and protective services.

POLICIES

1. An adequate level of emergency services shall be provided to meet current as well as future needs within the Plan area.
2. Fire services in the Plan area will be provided from existing and/or proposed County emergency service facilities and, where appropriate, by contract from adjacent municipalities.
3. Policing in the Plan area will be provided by the RCMP as per the Provincial Policy Service Agreement, until such time as another policing solution is required or sought out.
4. Development permits shall address fire and protection response measures and on-site firefighting requirements through consideration of road design, safe and efficient access for emergency service vehicles, and fire control measures.
5. Crime Prevention Through Environmental Design (CPTED) features should be considered and incorporated into the design and construction of buildings in the Plan area.
6. All buildings shall provide fire suppression systems in compliance with the Alberta Building Code and the County's Fire Suppression Bylaw.
7. Development permits shall address fire suppression requirements and ensure water and necessary infrastructure is available to support development. The fire suppression plan should consider building siting that allows for shared infrastructure.

8.6 Limited Servicing Opportunities

In support of a land use amendment and subdivision in the Plan area, a Limited Servicing Strategy may be required to facilitate development. This strategy must demonstrate how the development can be supported by lower levels of municipal servicing while accommodating appropriate levels of fire suppression and stormwater management.

INTENT

- Outline a process for provision of potential limited servicing strategy intended to support the initial phase of development within the Plan area.

POLICIES

1. Developers within the Plan area may prepare a Limited Servicing Strategy in support of the first subdivision and/or development permit application proposing data centre uses within the Plan area. The Limited Servicing Strategy should:
 - a. Establish how the Plan area can be supported by lower levels of municipal servicing such as potable water cisterns, sanitary holding tanks, and road right-of-way cross sections with open ditches.
 - b. Accommodate appropriate levels of fire suppression and a stormwater management strategy designed to accommodate surface drainage within the subdivision area within the larger context of the overall ASP.
 - c. Demonstrate how the initial development phase will connect to the County's potable water and wastewater systems.
2. Rocky View County shall register a Deferred Servicing Agreement against the certificate of title affecting all lands within the initial phase of development within the Plan area to outline responsibilities of existing/future landowners to tie into municipal utility and stormwater infrastructure when such becomes available.

9.0 IMPLEMENTATION

9.1 Plan Adoption

The Kinetikor Area Structure Plan (ASP) outlines the vision for future development and provides guidance regarding infrastructure, land use, subdivision, and development. Rocky View County recognizes the Kinetikor ASP as a significant economic opportunity for the municipality as well as the region and is committed to supporting future development in accordance with the vision, goals, objectives, and policies outlined in the Kinetikor ASP.

INTENT

- Ensure development adheres to the vision, goals, objectives, and policies of the Plan.

POLICIES

1. In accordance with Part 7 of the *Municipal Government Act*, once it receives three readings, the Kinetikor ASP shall become a statutory planning document of Rocky View County.

9.2 Monitoring, Review, and Amendments

The Kinetikor ASP development will be driven by market demand. While the Plan is written to be flexible and adaptive to change, periodic review and amendment of the Plan may be required. From time to time, amendments to the ASP may be initiated by an application. Any request for amendment to this ASP will require supporting information necessary to evaluate and justify the potential amendment. In accordance with the *Municipal Government Act*, changes to the text or maps within the ASP will require Council approval for an amendment to the ASP.

To ensure the Plan is a living document that reflects new policies adopted by Council over time, the Plan should be reviewed and/or updated every 10 years from the time it is initially adopted. Any significant changes to the County Plan, or other statutory County planning documents that have implications for the future of the Plan Area, should be accounted for in future amendments to this ASP and may necessitate an earlier review.

INTENT

- Provide guidance for the review and amendment of the Area Structure Plan, as required.

POLICIES

1. The Kinetikor ASP should be subject to an assessment and possible review every 10 years, or at the County's discretion, in accordance with the County Plan, County policies, and the *Municipal Government Act*.

9.3 Land Use Redesignation, Subdivision & Development Permit Applications

Policy within this ASP identifies the unique requirements that must be addressed at the time of land use redesignation, subdivision, and/or development permit approvals, due to the location and/or specific conditions of the proposed development.

INTENT

- Implement key actions to facilitate development and provide guidance on requirements for land use amendment, subdivision, and development permit approvals.

POLICIES

1. A land use amendment shall be submitted to redesignate the lands within the Plan area in general accordance with **Figure 21: Proposed Land Use**.
2. Applications for redesignation, subdivision, and/or development permit do not require the concurrent or prior adoption of a Local Plan (i.e. Conceptual Scheme and/or Master Site Development Plan).
3. Subdivision and development permit applications shall address and adhere to the requirements of the Kinetikor Area Structure Plan and the County Plan, to the satisfaction of the County.
4. Applications for redesignation, subdivision, and development shall comply with the policies and requirements of the following plans and standards, as amended or replaced, unless otherwise directed by the policies of this Plan:
 - a. Kinetikor Master Drainage Plan;
 - b. Recreation and Parks Master Plan;
 - c. Rocky View County Solid Waste Master Plan;
 - d. Rocky View County Servicing Standards; and
 - e. Fire Services Master Plan.

Figure 21: Proposed Land Use

9.4 Infrastructure Costs and Levies

Development will require infrastructure improvements within and external to the Plan area. The cost of improvements will be provided primarily by the developer, but may be augmented through a variety of revenue sources such as provincial grants and user fees. Cost contributions are recovered through development levies and may be returned to the contributors by cost recovery agreements or other methods.

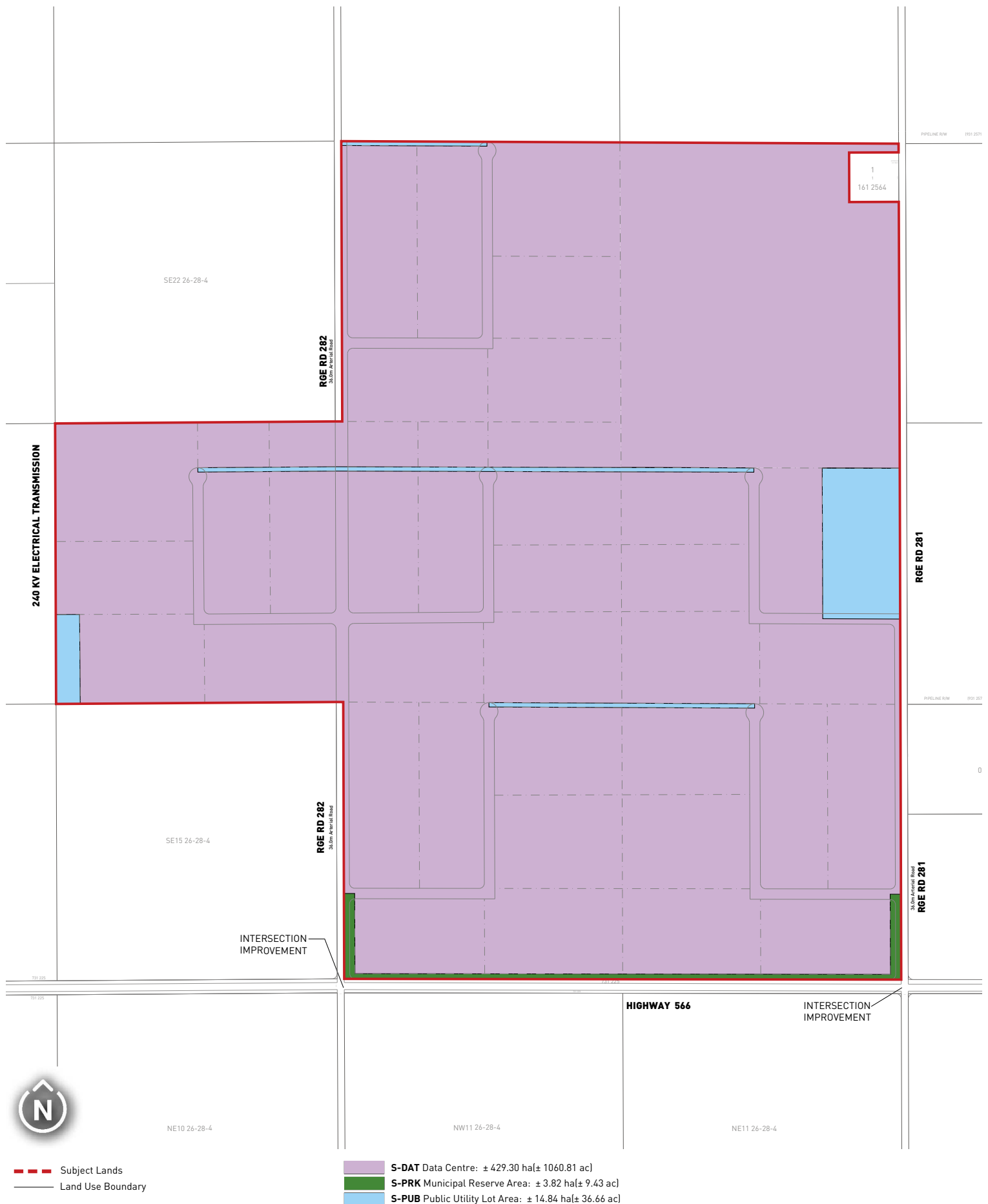



Figure 21: Proposed Land Use



The type, cost, and timing of infrastructure improvements will vary within the Plan area. Regional Off Site Levies or other methods of capital cost recovery for transportation, water, wastewater, and stormwater servicing will be developed for the Plan area and other benefiting areas. Off Site Levies will be subject to periodic review and include development costs associated with onsite and offsite improvements. Non-leviable costs and improvements, such as the internal subdivision road network, shall be the developer's responsibility and will be determined at the subdivision stage.

INTENT

- Ensure that the responsibility of financing and constructing all required infrastructure is identified at each development phase.

POLICIES

1. The identification, timing, and funding of any required off-site infrastructure improvements shall be included within a subdivision approval.
2. All costs associated with the construction and installation of transportation, water, wastewater, and shallow utility infrastructure within the Plan area (onsite) shall be the developer's responsibility.
 - a. Where a developer has oversized infrastructure, they shall be eligible for a cost recovery agreement, in accordance with County policy.
3. Off-site water, wastewater, and stormwater infrastructure construction costs that benefit the Plan area or other areas will be recovered by the appropriate off-site levy or other cost recovery mechanisms.
4. Developers within the Plan area shall be required to contribute to the County's:
 - a. Regional Water and Wastewater Off-Site Levy; and
 - b. Regional Transportation Off-Site Levy

9.5 Development Phasing

The Plan recognizes that development within the Kinetikor ASP area should progress in a logical and efficient manner, recognizing future land requirements, and logical extensions of servicing. Section 633(2)(a)(i) of the *Municipal Government Act* states that an Area Structure Plan must describe the sequence of development proposed for the area.

The development of data centre campuses will drive much of the Plan area phasing. Timing and areas to be developed in each phase will be confirmed through the subdivision and development permit application process.

INTENT

- Provide criteria for the logical phasing of development.

POLICIES

1. Phasing of development within the Kinetikor ASP should be done in a logical and cost-effective manner and should be guided by the phasing strategy of this plan as generally illustrated in **Figure 11: Preliminary Development Phasing**.
2. Changes to development phasing shall not require an amendment to this Area Structure Plan, provided that the required infrastructure necessary to support each development phase can be delivered.
3. Lands identified within this Plan may proceed with development subject to the policies of this Plan. A stormwater management system, incorporating a discharge not exceeding predevelopment rates and volumes of the Plan area, shall be constructed as referenced in **Section 8.2: Stormwater Management**, until such time as a regional solution has been implemented.

9.6 Technical Requirements and Submissions

The various policy sections in the Kinetikor ASP identifies specific requirements for future applications (subdivision or development permit) within the Plan area. All other standard requirements are identified by the County Plan.

INTENT

- Identify specific requirements for future subdivision and development permit applications.

POLICIES

1. All applications shall address the requirements set out in the policies of this Plan and Appendix B of the County Plan.
2. All planning and/or development applications, and any associated infrastructure construction, should meet the technical requirements of the County Plan, County Land Use Bylaw, Kinetikor Area Structure Plan and associated technical studies, County servicing standards, County policy, and Provincial and Federal requirements.
3. Future construction of buildings and related improvements within each lot shall occur as required by the County's Development Permit Process with regard to the policies in this ASP as well as the applicable provisions of the County's Land Use Bylaw.

9.7 Design Guidelines

Future development within the Kinetikor ASP is expected to be designed with high quality and cohesive architectural and landscape standards, integrating into the surrounding community in an aesthetically pleasing manner.

INTENT

- Ensure the attractive physical appearance of development within the Plan area.
- Provide design guidelines for development permit applications within the Plan area.


POLICIES

General

1. The developer shall establish Architectural Controls at the subdivision stage to coordinate building design criteria such as massing, material finishing and colour, break of bulk massing, glazing, landscaping, and dark sky compliant exterior lighting. The Architectural Controls shall be registered against each new business parcel's certificate of title.
2. Detailed site and building design shall be submitted as part of the development permit application, to the satisfaction of the County.

Site and Building Design

3. Site access requirements shall be supported by the Transportation Impact Assessment (TIA) or updates to the TIA, as required.
4. Internal roadways within the site may be privately owned to accommodate required site security measures. Emergency access to the site shall be maintained at all times.
5. All buildings shall provide fire suppression systems that are compliant with the County's Fire Suppression Bylaw and the Alberta Building Code.
6. Crime Prevention Through Environmental Design (CPTED) principles should be considered and incorporated into design and construction, where possible.
7. Facades of buildings facing existing residential uses, as identified in **Figure 12: Interface Areas**, should include at least two of the following architectural elements, to the satisfaction of the Development Authority:
 - a. Colour change;
 - b. Texture change; and/or

- 
- c. Material modular change.
 - 8. Rooftop apparatus should be located and/or concealed to reduce or eliminate public view from adjacent roads or homes.
 - 9. All buildings and structures should:
 - a. Treat the walls of the primary entrance and walls visible from public roadways with variations in façade, colour, and/or architectural elements; and
 - b. Be constructed of high-quality building materials.

Buffering and Screening


- 10. The developer shall consider the application of the County's Agricultural Boundary Design Guidelines, at the development permit stage, where development is adjacent to an Agriculture Interface as identified in **Figure 12: Interface Areas**.
- 11. Mechanical equipment should be oriented internally within the site to provide screening and reduce noise levels.
- 12. Development permit applications shall provide details on screening, in compliance with the Land Use District and to the satisfaction of the Development Authority.

Outdoor Storage

- 13. Outdoor storage areas should be limited to self-contained equipment, such as generator enclosures and mechanical systems.
- 14. No unsightly or loose outdoor storage shall be permitted.
- 15. Waste and recycling pickup location should be centrally located. Permanent waste and recycling receptables shall be screened from roadways and adjacent lands.

Parking

- 16. Parking should be oriented in general proximity to the main entry of each building. Service and loading areas should be located at the sides and/or rear of buildings and should be appropriately screened from adjacent properties and roads.
- 17. Parking areas are encouraged to integrate Low Impact Development stormwater management principles, where possible, and include features such as permeable pavement, on-site stormwater detention and treatment, rainwater capture and reuse, and vegetated swales to implement source



control practices, reduce volume, and improve surface drainage quality prior to release into the stormwater management system.

18. Parking lots within the Plan area should incorporate electric vehicle charging, where appropriate.

Exterior Lighting

19. Exterior lighting should consider “dark sky” principles to minimize light pollution.
20. Exterior lighting fixtures shall include full cut-offs to direct light downward and prevent light spillage
21. Lighting shall be sensitive to the adjacent uses identified in **Figure 12: Interface Areas**.

Site Security and Fencing

22. Access to data centre campuses shall address security requirements of the site operators while meeting criteria for emergency services access, to the satisfaction of the County.
23. Requirements for perimeter security fencing for each data centre campus, and high-security fencing for individual buildings and/or building compounds, shall be outlined within development permit applications. Emergency access requirements shall be addressed to the satisfaction of the County, prior to approval.

Signage

24. Lot and building signage should include high quality materials and a design that is compatible with each building façade treatment. The size and placement of all signage shall be in accordance with the requirements of the County’s Land Use Bylaw.
25. Signage should be sensitive to adjacent uses.

9.8 Sustainable Development Practices

As part of subdivision and development permit applications, developers should be encouraged to create a set of guidelines that establish a framework to implement sustainable development and operations practices.

INTENT

- Support sustainable building and operations practices within the Kinetikor ASP area, where appropriate.
- Encourage the integration of small-scale renewable energy generation facilities within building projects (e.g. solar photovoltaic panels, air-source or ground-source heat pumps, waste heat recovery, energy efficient heating/cooling systems, etc.), where practicable.

- Implement operational waste management strategies during construction that promote recycling of materials and diversion of waste from landfills.
- Encourage implementation of water conservation measures.

POLICIES

1. At the time of subdivision, developers are encouraged to establish a framework to implement sustainable building and operations practices.
2. At the development permit stage, applications should consider the inclusion of green building techniques and energy efficient design. This could include, but is not limited to, the use of recyclable materials, greywater reuse, and the implementation of automated monitoring systems to reduce emissions and improve efficiency.
3. The incorporation of rooftop solar systems and other methods of energy micro-generation is encouraged, but not required, within the Plan area.
4. Where feasible, the re-use of waste heat should be explored for both on-site and off-site use.
5. Use of treated stormwater in the Plan area will be supported, in accordance with Provincial requirements.

9.9 Construction Management Plan

INTENT

- Provide guidance to address potential impacts during the build-out of the Plan area.

POLICIES

1. A Construction Management Plan shall be provided by the developer at each phase of development, to the satisfaction of the County and in compliance with the County's Servicing Standards.
2. Stripping and grading should be limited to the areas required for development and servicing.
3. Prior to stripping and grading, a *Water Act* approval shall be required for any wetland disturbance within the impacted area.



9.10 Business Lot Owners Association

The creation of a Business Lot Owners Association (BLOA) will be required at the time of subdivision. The purpose of the BLOA will be to manage contracts for ongoing operation and maintenance of open spaces, utilities, waste management, and infrastructure, and to undertake other administrative and maintenance/operations functions within the Plan area as required.

INTENT

- Establish a Business Lot Owner's Association (BLOA) within the Plan area.

POLICIES

1. A Business Lot Owner's Association (BLOA) shall be established at the time of subdivision for the purposes of managing ongoing maintenance and operations within the site.
2. The BLOA shall manage contracts for ongoing operation and maintenance of identified open spaces, utilities, waste management services, and infrastructure, and to undertake other administrative and maintenance/operations functions within the Plan area as required.

10.0 ENGAGEMENT

The public engagement approach for the Kinetikor ASP was centered on the values of transparency and responsiveness through ongoing communication, responsible documentation, and consideration of feedback. The outreach objective was to share information about the ASP with adjacent neighbours, provide information regarding the proposed development, collaborate with neighbours to manage concerns, and to respond to questions with clear and accurate information.

10.1 Engagement Process

The project was officially introduced to neighbours and residents on May 15, 2025 through a mail out announcing the Area Structure Plan (ASP) Terms of Reference. The project team has engaged the community through the project website, additional mailings, emails, one-on-one meetings, and a community information session. Feedback has been received through written submissions, the online feedback form, and direct conversations.

Table 3: Public Outreach Tactics

TACTIC	DETAILS	ENGAGEMENT INTENT & OUTCOMES
TOR Notification Letter May 14, 2025	Sent through Rocky View County to approximately 80 residents within a 2-mile radius of the site.	A Terms of Reference mailer was sent to inform nearby residents of the May 20, 2025 Rocky View County Council meeting, where Council would decide whether to initiate planning by accepting the ASP Terms of Reference. This was the first step in public outreach and aimed to raise early awareness of a potential development.
Website Launch May 29, 2025	33 visitors and 37 views as of July 16, 2025.	The project website was launched to share accessible information with interested community members and nearby residents. It provides updates, timelines, and contact details, particularly for those we may not reach directly. The goal is to encourage questions, feedback, and ongoing engagement throughout the project.
Letters to landowners May 29, 2025	Letters delivered to landowners within a 2-mile radius of the project site. Letters were hand delivered and	Letters were sent to nearby residents and landowners to share information about the project and proposed ASP, and to invite them to the Community Information Session. This direct outreach helped connect with neighbours we hadn't previously engaged. As a result, nearly 100 people attended the session, with many offering feedback and questions through various channels.

	mailed by Rocky View County through Canada Post.	
Community Information Session June 17, 2025	Delacour Community Hall 65 attendees signing in, approximately 100 attendees at the event.	The Community Information Session offered attendees a chance to learn about the project, including the ASP process, phasing timelines, Kinetikor's role, the function of a data centre, and next steps. The full project team was on hand to answer questions and hear feedback. While 65 participants signed in, attendance was estimated at around 100.
Online Feedback Form June 17 through to July 18, 2025	20 responses received, 10 in person and 10 virtually.	The online feedback form was developed to gather community input on the project and ASP process. It was introduced at the information session both in hard copy and via QR code. The form asked about participants' priorities, level of support, feedback on the event, and interest in future updates. It was also shared by email following the session.
Meetings with Neighbours Summer 2025	Mailed invitations and direct outreach sent to 18 directly adjacent neighbours	These meetings offered adjacent landowners and their families a chance to connect directly with the project team, learn more about the ASP, ask questions, and share feedback. Invitations were sent to directly adjacent neighbours, and meetings will continue throughout the summer.

10.2 Project Feedback


While the project represents an important economic opportunity for the County, the project team acknowledges the growth and transition pressures that will be experienced by adjacent landowners and residents. The Kinetikor ASP outlines the vision and framework for development, as well as policies to address impacts from the development of the site. Through public outreach, the project team has collected feedback and summarized key themes shared by participants. The themes are shared below, along with responses from the project team and mitigation measures outlined in the ASP.

Generally, participants understood the economic opportunity the proposed ASP offers the County, while some questioned the direct local benefits. Many expressed concerns about changing the land use away from agricultural. Key issues identified by neighbours included noise and lighting impacts, traffic impacts, servicing (water), and compatibility with surrounding land uses. Participants were interested to learn more about how these concerns would be address through the ASP policy.

Table 4: Development Commitments

Theme	Response
Land use compatibility <ul style="list-style-type: none"> Concerns about converting agricultural land to industrial use. Belief that the proposed development is incompatible with surrounding agricultural operations. Questions about why the project is not located in an existing industrial area. 	<p>The subject lands fall within the Agriculture, General District (A-GEN) and are currently used for agricultural purposes.</p> <p>The proposed development seeks to position Rocky View County as a regional hub and economic driver in Alberta's growing AI data centre sector. A key factor in the site's suitability is its direct access to Highway 566 and adjacency to three (3) 240 kV transmission lines, making it well-positioned for phased development. Agricultural activities will continue and are encouraged throughout the phased implementation of the project.</p> <p>The Plan area will provide appropriate transitions and buffers for existing developments to minimize potential conflicts with existing adjacent agricultural and country residential land uses.</p>
Built form and interface <ul style="list-style-type: none"> Questions about setbacks, buffering, and potential mitigation measures. Concerns about visual, noise, and operational impacts on nearby properties 	<p>The proposed development will be designed with high-quality architectural and landscape standards to ensure it integrates into the surrounding community in an aesthetically pleasing manner.</p> <p>Minimizing impacts to adjacent neighbours is a key priority. The site design will incorporate appropriate setbacks, berms, fencing, and landscaping, along with thoughtful placement of building components to create a respectful and functional interface with nearby properties. These interface areas will be maintained by the site owner and a Business Lot Owners Association.</p> <p>Mechanical equipment will be oriented internally within the site to provide visual screening and reduce noise impacts, where possible.</p> <p>Exterior lighting will follow "dark sky" principles to limit light pollution.</p>
Water supply <ul style="list-style-type: none"> Concerns about potential impacts to existing wells and groundwater sources. Questions about whether there will be sufficient water for the development. 	<p>Water servicing and stormwater management are being carefully considered as part of the ASP. Servicing studies, including a utility servicing plan, are required to ensure the development is supported by sustainable and reliable infrastructure.</p> <p>The water network will be designed to meet the full build-out needs of the development, with water, wastewater, and shallow utility services provided to the Plan area.</p>

<ul style="list-style-type: none"> Requests for clarity on how servicing will be delivered. 	Where appropriate, natural drainage features will be protected and integrated into the stormwater management and open space systems to support environmental function and sustainability.
Environmental impact <ul style="list-style-type: none"> Concerns about the loss of wetlands and natural areas. Questions on the completion of environmental assessments. Interest in how the development will address sustainability. 	<p>The Plan area consists primarily of cultivated agricultural land, with scattered wetlands and natural drainage features.</p> <p>Where possible, existing drainages will be preserved and thoughtfully incorporated into the development. Where retention is not feasible, any wetland loss will be managed in accordance with applicable Provincial policies and directives.</p> <p>Environmental assessments are being undertaken as part of the ASP process. Additional environmental studies may also be required at future stages of development to ensure continued compliance and environmental stewardship.</p>
Traffic and safety <ul style="list-style-type: none"> Concerns that Highway 566 already experiences safety challenges, including poor visibility. Concerns about increase in traffic from the development, particularly during construction. Potential conflicts with ongoing farm equipment and rural roads. Concerns for traffic management during construction. 	<p>The development will be designed to integrate safely with the surrounding road network. A Transportation Impact Assessment (TIA) was prepared as part of the ASP and identifies required upgrades to the transportation network that will support the full build out of the development.</p> <p>Any transportation upgrades that are required to accommodate this development will be the responsibility of the developer.</p> <p>To minimize traffic impacts on surrounding neighbours, vehicle activity within the Plan area will be concentrated within the interior of the site.</p> <p>A traffic management plan will be prepared and approved prior to construction</p>
Impact on property value	The project team is actively engaging with directly adjacent neighbours to understand their concerns and explore potential mitigation measures. While the project team cannot speculate on potential impacts to surrounding property values, we remain committed to ongoing dialogue and will continue to address concerns as the development process moves forward.
Planning process and timeline <ul style="list-style-type: none"> Questions about the Area 	The ASP is proceeding through Rocky View County's required approval process for both the ASP and the associated land use amendment.



<p>Structure Plan (ASP) approval process.</p> <ul style="list-style-type: none"> Concerns that the process feels rushed or lacking transparency. Interest in understanding the overall development timeline. 	<p>While we recognize that the proposed plan represents a significant change, it is being advanced in alignment with all applicable policy and technical reporting requirements.</p> <p>Development is anticipated to occur in multiple phases, with each phase expected to take approximately three years. Full build-out could take 10 to 15 years, depending on demand and other factors.</p> <p>The project team continues to engage directly with adjacent neighbours to understand their concerns and discuss potential mitigation measures. Community feedback will continue to inform the planning process as the project progresses.</p>
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11.0 ABBREVIATIONS & DEFINITIONS

11.1 Abbreviations

AER – Alberta Energy Regulator
ATEC – Alberta Transportation and Economic Corridors
AI – Artificial Intelligence
ASP – Area Structure Plan
BIA – Biophysical Impact Assessment
BLOA – Business Lot Owners Association
CFO – Confined Feeding Operation
CPTED – Crime Prevention Through Environmental Design
EPZ – Emergency Planning Zone
ER – Environmental Reserve
ERE – Environmental Reserve Easement
ESA – Environmental Site Assessment
FIA – Fiscal Impact Assessment
HRIA – Historic Resources Impact Assessment
HRO – Historic Resources Overview
LID – Low Impact Development
LUB – *Land Use Bylaw C-8000-2020*, as amended or replaced
MDP – Rocky View County Municipal Development Plan (the County Plan), as amended or replaced
MGA – *Municipal Government Act*
MR – Municipal Reserve
PUL – Public Utility Lot
ROW – Right of Way
SSRP – South Saskatchewan Regional Plan
TIA – Transportation Impact Assessment
WID – Western Irrigation District

11.2 Definitions

Agriculture Services – assist the agricultural operator in the production of primary and value-added agriculture products and services.

Approving Authority – the relevant County body responsible for the approval of a proposed application. The Approving Authority could be Council, the Subdivision or Development Authority, or where other authority has been delegated, Administration.

Area Structure Plan – a statutory plan, adopted by Bylaw, that provide a policy framework for the evaluation of proposals for redesignation, subdivision, and development of a specific area of land in the County.

Arterial Road – roads which feed directly into the provincial highway system, and which regularly have traffic volumes of 500 vehicles per day or higher.

Artificial Intelligence - Artificial Intelligence (AI) is the field of computer science focused on creating systems that can perform tasks typically requiring human intelligence, such as learning, reasoning, problem-solving, and understanding language.

Biophysical Impact Assessment (BIA) – report used to define the environmental impact of a project on the biophysical features of an area. Baseline data is typically collected on soil, vegetation, wetlands, wildlife, and hydrology.

Business – used in its broadest meaning to encompass commercial, industrial, agricultural, and home-based activities


Business Areas – defined as regional business centres, highway business areas, hamlet business areas, or areas for business identified in an area structure plan or conceptual scheme.

Business Park – A comprehensively planned commercial development with common functional characteristics that may contain a range of business activities in a number of buildings situated within a campus-like setting.

Council – the elected Council of Rocky View County

Data Centre Campus – a large-scale facility designed to house extensive computer systems and associated components required to support artificial intelligence, cloud computing, data security, data storage, management and processing of digital media, information, and applications. A data centre campus includes ancillary structures that support its primary function, including but not limited to administrative offices, educational and training facilities, maintenance facilities, power generation facilities, substations, and security buildings.

Developable Land – all land on which building could occur and excludes land identified as environmental reserve or environmental reserve easement.



Development Plan – a proposal for the development of lands over time that may include, but is not limited to: a detailed site plan, topographic information, geotechnical assessment, hydrological assessment, traffic impact assessment, environmental overview, phasing plan, and servicing assessment.

Environmental Reserve (ER) - defined in the *Municipal Government Act* as lands dedicated to prevent development in hazard areas (e.g. lands subject to flooding or unstable slopes), provide access to lakes and rivers, and prevent pollution adjacent to waterbodies. Environmental reserves are dedicated as public land.

Environmental Reserve Easement (ERE) – have the same goals and obligations as environmental reserves under the *Municipal Government Act* but are allowed to remain privately owned.

Historic Resources – any work of nature or humans that is primarily of value for its paleontological, archaeological, prehistoric, historic, cultural, natural, scientific, or esthetic interest including, but not limited to, a paleontological, archaeological, historic, or natural site, structure, or object.

Horticultural Development – the intensive growing of specialized crops, either enclosed or not. Without restricting the generality of the above, it may include greenhouses, nurseries, tree farms, market gardens, mushroom growing, or other similar uses.

Infrastructure – public and private utility systems in the County that may include, but are not limited to, the transportation network, water supply, sewage disposal systems, stormwater management, and other utilities.

Innovation Area – an innovation area is a specialized space designed to support the development and growth of artificial intelligence (AI) technologies, including data centres, high-performance computing, and renewable energy systems.


Land Use Area – one of the categories of land uses delineated on the Land Use Concept Map and described in one of the policy sections of the Plan.

Land Use Bylaw – a bylaw passed by Council pursuant to the provisions of the *Municipal Government Act* and intended to control and/or regulate the use and development of land and buildings within the County.

Land Use District – one or more divisions of the Land Use Bylaw establishing permitted and discretionary uses of land or buildings with attendant regulations.

Low Impact Development (LID) – incorporate a variety of techniques to treat and manage stormwater runoff close to the areas where rain falls. LID focuses on site design and stormwater control options such as green roofs, stormwater capture and re-use, and landscaping that increases the absorption and filtering of rainwater.

Master Drainage Plan – a drainage report that includes a conceptual strategy to implement a combination of stormwater management practices to ensure watershed deterioration does not occur and that water is returned to an appropriate location in the hydro-ecological system.



Municipal Development Plan (MDP) – the planning policy document guiding growth and development within The County. It is visionary, strategic, and long term, and provides the basis for actions and decisions to both protect and improve quality of life for all residents and businesses in the County, present and future.

Natural Areas – undeveloped lands preserved or restored and managed for their natural features including, but not limited to, parks, forests, wetlands, and riparian areas on private and public land.

Oil and Gas Infrastructure Review – a review undertaken at the Land Use Amendment application stage to identify real and potential hazards associated with oil and gas infrastructure.

Open Space – land and water areas with minimal development that are either publicly owned or offering public access.

Parks – developed public land and may include trails and pathways, sports facilities, playgrounds, and recreation facilities.

Pathway – recognized route that is formally engineered, constructed, and surfaced with concrete or asphalt.

Plan Area – the land that is the subject of the Kinetikor Area Structure Plan, as shown on **Figure 9: Kinetikor ASP Boundary**.

Private Utility – a utility service offered to the public by a private utility company or co-op including but not limited to the provision of gas, electricity, water, or communication services.

Province – The government of the Province of Alberta.


Qualified Professional – an individual with specialized knowledge recognized by and licensed to practice in Alberta. Qualified professionals include, but are not limited to, agrologists, engineers, geologists, biologists, hydrologists, landscape architects, planners, and surveyors.

Redesignation – refers to the reclassification of a land use designation, as outlined in the *Land Use Bylaw*, applicable to a specific area of land in the County.

Reserves – land dedicated to the community by the developer through the subdivision process, as defined in the *Municipal Government Act*, and can include municipal reserves, community services, school and municipal reserves, and school reserves. Instead of land dedication, the County may accept the equivalent value of the land as money.

Riparian Land – the vegetated area adjacent to rivers, creeks, lakes, and wetlands

Risk Assessment – an evaluation of the potential long- and short-term risks associated with development in proximity to identified oil and gas infrastructure. The Risk Assessment will identify and document actual and perceived risks to human health and/or the environment, their likelihood, their consequences, and any required mitigation. Terms of reference for this study will be developed in consultation with The County. The Risk Assessment will be used by The County to determine whether additional mitigation measures are required.



Servicing Standards – the County’s technical requirements that govern infrastructure design, construction, testing, inspection, maintenance, and transfer of public works.

Stormwater Management Plan – a plan prepared to adequately address on-site stormwater retention, demonstrate the management of post-development flows, and the method of on-site containment of stormwater during a storm event. Recommended best management practices to improve water quality as well as quantity should be included in a stormwater management plan.

Tentative Plan of Subdivision – a proposal detailing a site-specific subdivision design that forms the basis for an application for subdivision approval.

Trail – recognized, non-paved route which is surfaced with natural or aggregate materials.

Transportation Impact Assessment (TIA) – a study required to support the transportation aspects of a proposed development that has the potential of generating significant amounts of new vehicular traffic, or that could potentially change the mobility patterns in the area where development is proposed.

Use – the type of general activity allowed on a parcel of land. In this document, use may have a modifier such as commercial, industrial, data centre, or agriculture to give a greater level of understanding of what is intended. Detailed Uses and regulations are found in Rocky View County’s *Land Use Bylaw*.

Value-Added Agriculture – involves the processing of primary agricultural products and services into secondary products to increase overall product value.

Wetlands – land subject to flooding long enough to contain characteristics such as anaerobic soils and aquatic vegetation species.



12.0

APPENDICES

