

Bragg Creek Brewery

Master Site Development Plan

February 2020



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Prepared for the
Bragg Creek Brewery

Prepared by
O2 Planning + Design



1 Introduction

This Master Site Development Plan supports the current Direct Control land use redesignation and development permit applications for the Bragg Creek Brewery. The proposed development will include a craft micro-brewery, small restaurant/taproom, coffee roaster and boutique Inn within the Hamlet of Bragg Creek.

The intent of this document is to establish expectations regarding how the proposed development will be implemented within the context of Rocky View County's municipal policies and development regulations. Herein, the project vision, rationale, and area context are established, in addition to a detailed explanation of the development's conformance with Rocky View's policy framework. The existing conditions of the property are described in conjunction with a detailed development concept that incorporates an analysis of the architectural design and landscaping, transportation and parking impacts, utility servicing, stormwater management, and extensive community consultation for this project. We are excited to be taking this step forward in partnership with Rocky View County.

2 Project Vision + Rationale

Bragg Creek is a place where people come to recreate, socialize, and rejuvenate in a beautiful mountain setting. Rocky View County and Bragg Creek residents have realized the potential that comes with this unparalleled setting, establishing an ambitious vision and policy framework for Bragg Creek's revitalization. Bragg Creek Brewery believes in this vision and is excited to establish a world-class, multi-use commercial facility within the Hamlet. Acting as a catalyst for the County's revitalization plans, Bragg Creek Brewery will animate and activate Balsam Avenue, taking advantage of an underutilized parcel on the main commercial street in the Hamlet Core area. Rocky View County Council has previously supported this development, and Bragg Creek Brewery now seeks affirmation of their support through this Master Site Development Plan and associated land use redesignation and development permit.

Bragg Creek Brewery aspires to become a strong corporate citizen of Rocky View County, and is committed to making this project an integral part of Bragg Creek's ongoing economic renaissance.



Figure 01: Architectural Rendering of the Bragg Creek Brewery

3 Area Context

The Bragg Creek Brewery project site is a corner lot with frontage on River Drive North and Bragg Creek’s main commercial street Balsam Avenue. With direct access to Highway 22 and Highway 768, Bragg Creek Brewery’s location is easily accessible to residents of Bragg Creek and visitors alike.

Designated as part of Bragg Creek’s Hamlet Core, Bragg Creek Brewery is located on an underutilized property on the Elbow River adjacent to the Balsam Avenue Bridge, the primary access point to West Bragg Creek and Wintergreen. The corner site next to the Balsam Avenue

Bridge allows Bragg Creek Brewery to act as a natural anchor for the downtown, providing a visual gateway feature for the west end of Balsam Avenue that will indicate a sense of arrival to the hamlet for the thousands of visitors and residents crossing the bridge every day.

Bragg Creek Brewery’s site is advantageously located within Bragg Creek’s downtown, enjoying close proximity to many complementary commercial uses including the Shoppes of Banded Peak, Old West Bragg Creek Mall, Bragg Creek Business Centre, and Bragg Creek Shopping Centre. As one of the few hotels located in Bragg Creek, its location in the Hamlet Core will directly stimulate the local economy.

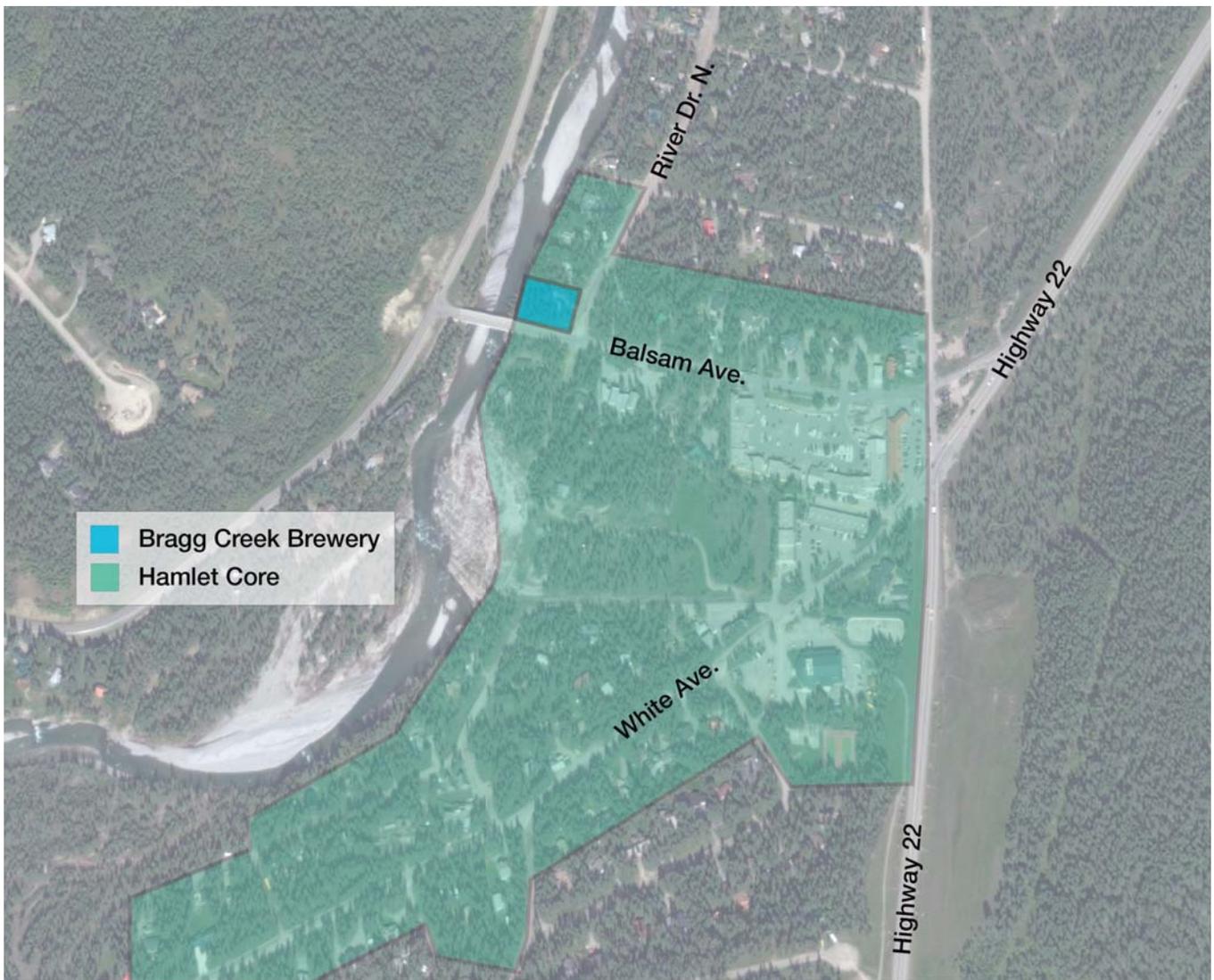


Figure 02: The Bragg Creek Brewery’s location within the Hamlet of Bragg Creek

4 Municipal Policy Framework

4.1 Interim Growth Plan

Bragg Creek Brewery meets the key objectives of the Calgary Metropolitan Region Board's Interim Growth Plan. As proposed, Bragg Creek Brewery increases employment density in existing settlement areas, introduces a mix of new uses to Bragg Creek, make efficient and cost-effective uses of Rocky View's investments in local servicing infrastructure, and supports the Bragg Creek Flood Mitigation Project.

4.2 Rocky View County Plan

Rocky View's County Plan directs development to occur as per the local Area Structure Plan (in this case, the Greater Bragg Creek Area Structure Plan). The County Plan also contains a vision for development in Bragg Creek that helps the local commercial area remain viable and flourish. Bragg Creek Brewery directly contributes towards the realization of this vision.

The County Plan also lays a groundwork for the technical requirements and supporting information that must be submitted for various development applications. This Master Site Development Plan and associated Direct Control land use redesignation and development permit application all conform with these requirements.



Figure 03: The Bragg Creek Revitalization Plan anticipates a restaurant and brew pub on Balsam Avenue and the Elbow River.

4.3 Greater Bragg Creek Area Structure Plan

Commercial development within the Hamlet of Bragg Creek is subject to rules and regulations outlined in the Greater Bragg Creek Area Structure Plan (GBCASP). The GBCASP encourages commercial development within the Hamlet Core, as identified in Figure 2 on the previous page. Desirable uses within the Hamlet Core include: drinking establishment, brewery, restaurant, overnight accommodation, tourism uses/facilities, and arts and cultural centre. Bragg Creek Brewery's project is located within the Hamlet Core, is presently designated as Hamlet Commercial, and provides all of the noted desirable uses in a compact and vibrant space.

4.4 Hamlet of Bragg Creek Design Standards

In addition to the GBCASP, commercial development within the Hamlet of Bragg Creek is subject to the Hamlet of Bragg Creek Design Standards (HBCDS). The design of new development in Bragg Creek is evaluated in accordance with the following criteria: building placement, building proportions and scale, building style, building material and colour, utility and service areas, parking and site access, landscaping, lighting, and business signage. Bragg Creek Brewery aligns with the HBCDS, and the architectural contributions of Bragg Creek Brewery's project to Bragg Creek are further examined in Section 7 - Architectural Design + Landscaping. Rocky View County is provided further certainty that Bragg Creek Brewery will achieve these architectural standards through the associated development permit application.

4.5 Bragg Creek Revitalization Plan

As part of Rocky View County's investments in Bragg Creek following the 2013 floods, the Bragg Creek Revitalization Plan was developed. A design charrette was organized as part of this planning process, and the final plan included considerations for a microbrewery and restaurant located directly across Balsam Avenue from Bragg Creek Brewery's site (see Figure 3). In addition to the design charrette results, Bragg Creek Brewery also reflects the policies outlined in the Revitalization Plan for the Hamlet Core's ongoing economic diversification, positively contributing to the revitalization of Bragg Creek.

5 Existing Conditions

As illustrated in the site plan on the following page (Figure 5), Bragg Creek Brewery's project site is located at 19 River Drive North (Lot 1, Block 6, Subdivision Plan 1741 EW). The original survey on this property was completed and registered in 1937, while a portion of the property was severed in 2019 for Rocky View County's flood mitigation berm. The property is approximately 0.43 acres (0.17 hectares), and is designated Hamlet Commercial.

5.1 Berm Right-of-Way

Rocky View County is planning a flood mitigation berm along the Elbow River in Bragg Creek. The proposed berm crosses Bragg Creek Brewery's lands from south to north and will be a 1.8 m high sloping hill structure comprised of dirt, gravel and large stone riprap material, transitioning to a 1.8 m high retaining wall structure contained within a sloping hill. In May of 2019 Bragg Creek Brewery reached an agreement with the County to transfer land for the berm right-of-way, reducing the overall property from approximately 0.57 acres to its current size.

Rocky View County's Land Use Bylaw (C-4841-97) section 63.5(e) dictates that the side yard setback for buildings is 1.2 m for Hamlet Commercial properties. Bragg Creek Brewery elected to designate Balsam

Avenue as the front yard since the front entrance and majority of building frontage is facing south onto that street. As such, the west side of the property along the river and future berm is considered the side yard. Under the initial land use redesignation and development permit applications, Bragg Creek Brewery proposed a variance of 25% on the 1.2 m setback, which would allow a side yard setback of 0.9 m. This variance was given conditional development permit approval by Council on March 19, 2019 (PRDP20184945), and the proposed development associated with this MSDP maintains this setback.

5.2 Geotechnical Considerations

A Geotechnical Investigation was completed on Bragg Creek Brewery's project site to support the land use redesignation and development permit applications associated with this Master Site Development Plan. The report concludes the subsurface characteristics of the site are suitable for the proposed development. Groundwater was located approximately 2.6 m - 4.5 m below the existing grade surface, which may impact utility, basement and foundation design. Bragg Creek Brewery is currently in consultation with engineering professionals that will recommend a number of building techniques to overcome any geotechnical challenges, which will be outlined in detail at the development permit stage.



Figure 04: The subject property viewed from 19 River Drive North.

6 Development Concept

As illustrated in Figures 6 and 7 the perspectives and massing of the proposed development includes:

- A building containing the micro-brewery, coffee roaster, restaurant/taproom and boutique Inn;
- Loading and delivery areas on the north side;
- Bicycle parking on the east side;
- On-site parking stalls, landscape buffers, and the berm right-of-way on the west side along the river.

As access from Balsam Avenue is not possible due to the grade differential between Balsam Avenue and the site, access is provided by an approach from River Drive North designed in accordance with Rocky View County's engineering standards. Potable water and wastewater servicing are provided through municipal connections

already existing on-site, and upgrades to these connections will be completed to Rocky View County's engineering standards. Stormwater is managed on-site via a comprehensive system of overland conveyance and infiltration areas and is designed in accordance with Rocky View County's Servicing Standards to limit impacts on downstream land and waterbodies.

The project area will be professionally landscaped according to Rocky View County's Land Use Bylaw requirements and landscape buffer areas will be installed along River Drive North, Balsam Avenue, and the adjacent residential property to the north. Screening along the property line to the north will be installed as per the Bragg Creek Design Guidelines. Bragg Creek Brewery will be constructed in a single phase and all structures and supporting infrastructure will be developed in accordance with the provisions of Rocky View County's development permit application process.



Figure 06: Development Concept - North-West Aerial View



Figure 07: Development Concept - North-West Ground View

7 Architectural Design + Landscaping

7.1 Architectural Design Considerations

As illustrated in the renderings in Figures 8 and 9 (following pages), the styling of Bragg Creek Brewery and the improvements on the subject lands are rich, eye-catching, and in the style of Modern Rocky Mountain Western, a phrase coined by the architect and consulting member of the Hamlet of Bragg Creek Revitalization Plan, Michael Von Hausen. The architectural form of the building has been the driving principle in creating a space that is respectful and appropriate to Bragg Creek while capable of drawing in visitors and increasing exposure to the Hamlet and its surrounding amenities and businesses.

The detailed site plan in Figure 5 (page 5) displays the building size, setbacks and height of the new structure, which comply with the applicable requirements of Rocky

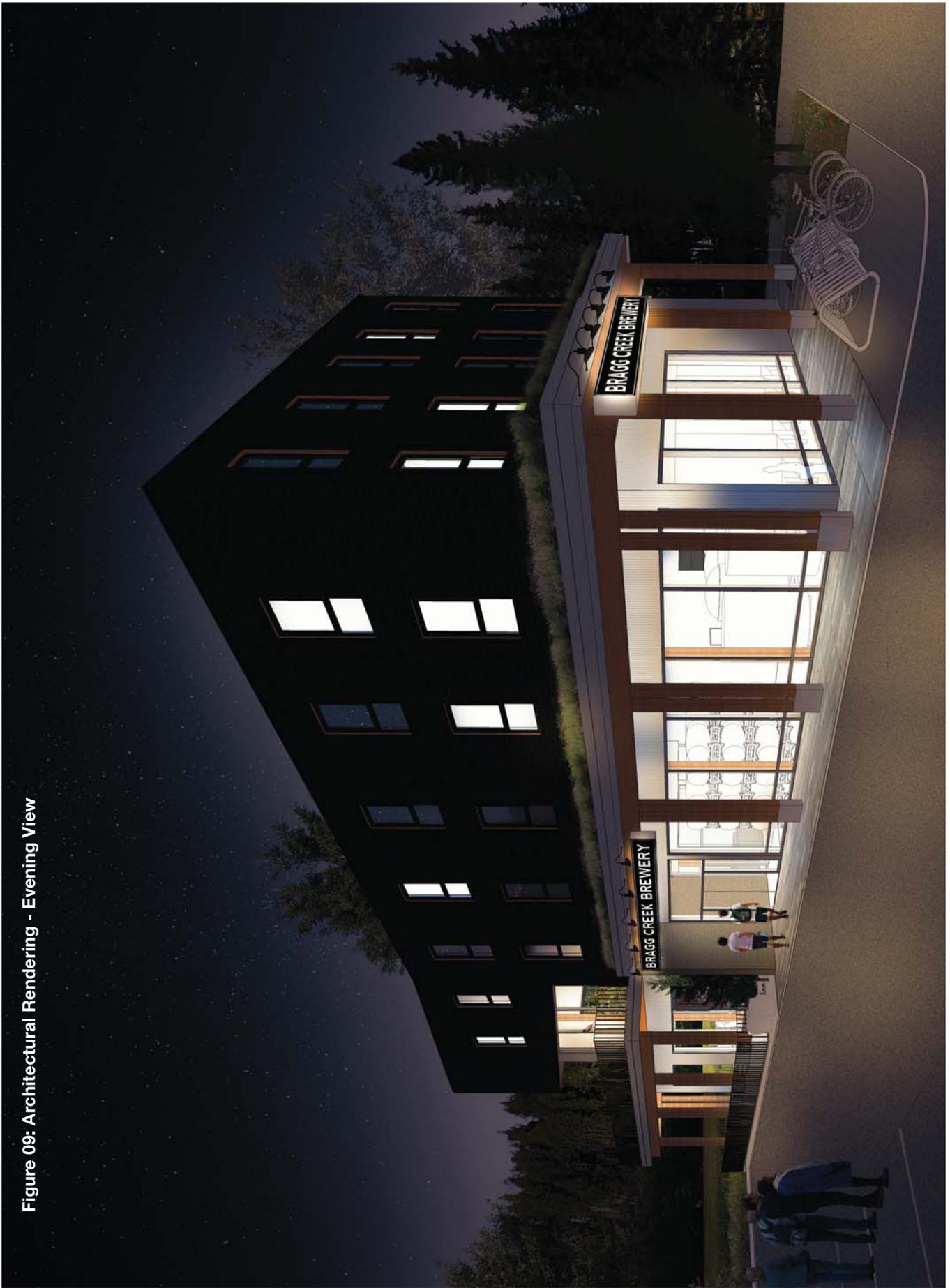
View County’s Land Use Bylaw (C-4841-97). The building is oriented in a logical fashion along Balsam Avenue to provide sufficient frontage for vehicles crossing the bridge, while also minimizing height and visibility along River Drive North and providing maximum sun exposure to the building. Placing the building away from Balsam Avenue allows the building to appear seated lower on the site as Balsam gradually rises in grade to the bridge, acts as a buffer between Balsam Avenue and residential properties to the north, and separates residential uses to the north from the proposed on-site parking. The proposed building location was given conditional development permit approval by the County on March 19, 2019 (PRDP20184945), and this MSDP proposes to use this same location.

The footprint of Bragg Creek Brewery’s main floor is 3,813 square feet, comprising 20% of the current total lot area. While the HBCDS encourages building footprints to not exceed 15% of total lot area, Rocky View County Land Use Bylaw (C-4841-97) section 12.2(b)(i) empowers the

Figure 08: Architectural Rendering - Day View



Figure 09: Architectural Rendering - Evening View



Development Authority to grant a variance if it does not unduly interfere with neighborhood amenities. This small increase in coverage due to land conveyance for the flood berm was previously supported in PRDP 20184945, and this MSDP proposes the same lot coverage.

The overall building height is 12.5 m from the ground elevation to the top of the roof, allowing for three stories to accommodate the multiple uses of the building and provide the critical mass necessary to make the business sustainable. A parapet extends slightly beyond the roof to add a visual element and does not contribute to the overall height calculation. While section 3.2.2 (e) of the HBCDS states buildings generally should not extend beyond 10 m and be limited to two stories, the Standards also state in 3.2.2 (e) that height relaxation may be considered to accommodate desirable architecture, and further that buildings with three or four stories may be considered in the hamlet core if supported by a Master Site Development Plan (Policy 3.3.3(f)).

Section 12.2(b) (ii) of the Rocky View County Land Use Bylaw (C-4841-97) enables Bragg Creek Brewery to request a variance in height of 25%, which has been incorporated into the Direct Control land use redesignation application seeking the 12.5 m height proposed for this development. The Direct Control land use redesignation application is supported by this Master Site Development Plan that justifies the request to build three stories within the overall dimensions of the structure. Detailed preliminary plans for the basement, ground floor, second level and third level can be found in the Architecture Package, referenced in the Supporting Technical Documents Information.

As illustrated in the building elevations in Figures 10 and 11 on the following pages, the three storey building is designed to appear as a two storey building, with an over-height lower floor, containing the restaurant/taproom, coffee roaster and micro-brewery. This added height allows for sufficient space for these uses, and full height glazing in these areas provides natural light for occupants whilst allowing views from passing traffic into the

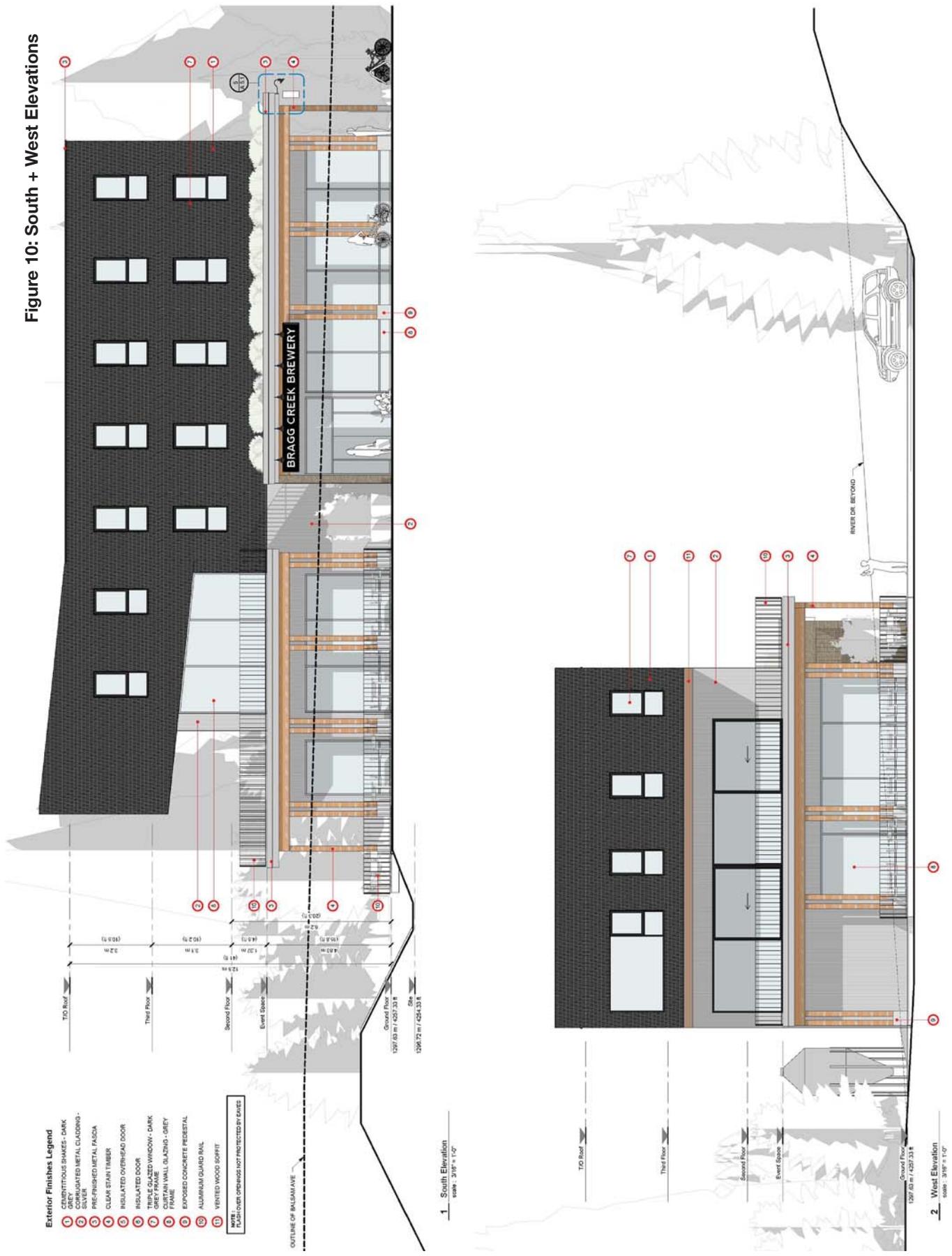
operations and uses of the building. The intention is to have a beacon of activity and light from this lower floor to encourage passing traffic to stop and ensuring comfort and natural light to the patrons. The canopy on the south and east side of the building provides a change in depth and secondary roofline that breaks up the building and provides visual interest while consciously providing shade and snow protection to pedestrian areas. Internally, restaurant and congregation areas have been positioned to the river-side to take in the views and shield neighbours from the activity of these spaces. Large heavy timber canopies soften the entrances and provide a rustic, human scale to the buildings lower floor. Wood beams, posts and a timber canopy as well as a tactile feature entry wall provide warmth and a link to heritage materials used within the Hamlet.

The two upper floors have been clad in a darker shingle material with minimal window openings to contrast with the lower floor, blending into the trees during the day and disappearing during the night. This contrast of a dark upper and light lower is a crucial aspect of the design and delivers on the success of this project by providing the perception that the building is smaller and lower, drawing the passerby's eyes to the ground floor. A small parapet has been added to the roofline on the west side, which in combination with the slightly rising covered patio on the second floor provides visual interest reminiscent of the classic hog-back ridges in nearby Kananaskis, rooting an iconic design element with existing local heritage.

A contrast between traditional materials and modern materials has been used, with corrugated metal used in small areas on the lower floor to suggest an industrial past, whilst complimenting and softening through the use of large areas of local softwood. The fibre cement shingles on the upper floors provide the detail and tactile look of more traditional cedar shingles whilst being maintenance free and a more modern solid colour. Figure 12 (page 13) highlights these materials through a colour board scheme.

Overall, careful consideration of the HBCDS has been taken into account within the design concept. The HBCDS encourages small, one-of-a-kind business

Figure 10: South + West Elevations



developments, which is precisely what Bragg Creek Brewery endeavours to provide. Ultimately, the building’s design is sympathetic to its beautiful surroundings, wishing to stand out quietly, neither too bold nor too tiring.

7.2 Landscaping Objectives + Criteria

According to the HBCDS and the Rocky View County Land Use Bylaw (C-4841-97), a minimum of 10% of the subject lands should be landscaped, and the design goal for landscaping is to take into consideration and coordinate with the surroundings, provide adequate screening for adjacent properties, and complement development on site. The standards for landscaping according to the HBCDS are as such:

- Where a commercial development abuts a residential area, a dense landscaping strip of a minimum 3 meters (10 ft.) in perpendicular width, composed of native and newly planted indigenous species, should be installed adjacent to the residential area for screening and buffering purposes.

- Plant material selected for the landscaping in parking areas shall be suitable to the growing environment. Species that are hardy, drought-and salt-tolerant, and resistant to the stresses of compacted soils and weather exposure should be used.
- A variety of deciduous and coniferous trees and shrubs shall be incorporated for year-round interest and appearance; including native grasses, wildflowers, groundcover, shrubs, and trees.
- Landscaping and screening should be provided around the edge of parking to soften and screen lot edges, create pleasant pedestrian conditions, and maximize shade and stormwater benefits.
- Rainwater and snowmelt shall be managed on-site with design to encourage infiltration and water re-use.

As illustrated in the preliminary landscaping plan (Figure 13, following page), the design desires to retain as much existing landscaping as possible. The site will have hardy indigenous tree species of both coniferous and deciduous varieties replanted in key areas to buffer residential areas, soften the edges of the buildings, create pleasant



Figure 12: Architectural Design Colour Board

pedestrian conditions, and to break up any large surfaces. The large timber canopies that define the lower levels will have a native sedum roof to attenuate rainfall and reduce outflow. In the summer months, the sedum will flower, attracting and supporting bees as well as local birds.

7.3 Lighting

The HBCDS requires exterior commercial building lighting to complement the individual architecture of the building and extend the life of the streetscape into the nighttime hours, provide a sense of safety, security, and pedestrian comfort, avoid excessive lighting and glare, and adhere to dark skies design principles.

In terms of addressing exterior façade lighting standards, Bragg Creek Brewery uses face-mount light fixtures to illuminate two small, individually-mounted signs with raised letters and borders that are consistent with the design of the building and site in terms of scale, materials, finished and colours. This lighting, combined with the beacon of light from the lower floor, shielded from above by the canopy overhang will provide adequate lighting for safety, security and pedestrian comfort as per Crime Prevention Through Environmental Design principles while adhering to dark skies design principles.

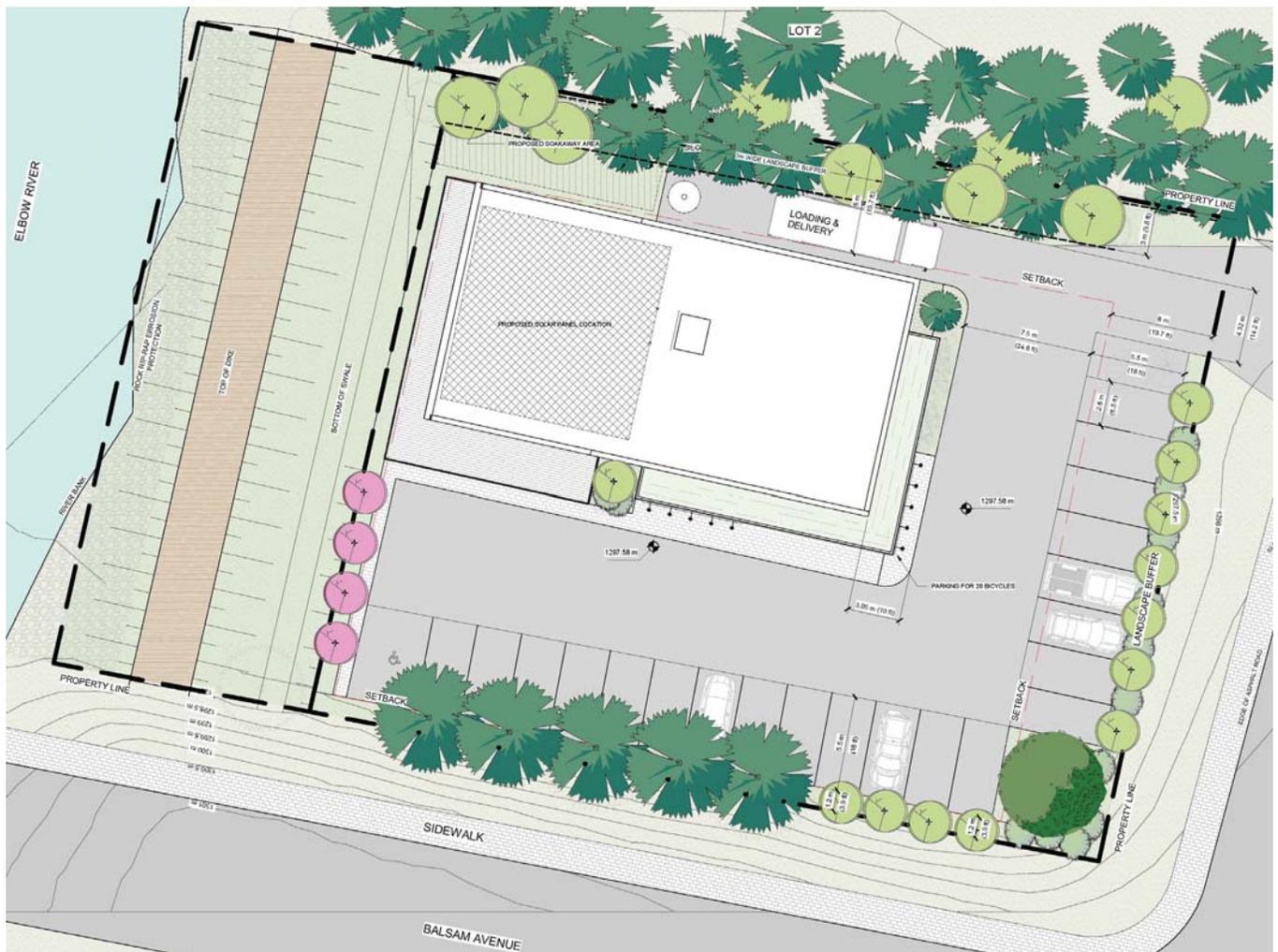


Figure 13: Landscaping Plan

7.4 Shadow Analysis

As illustrated in Figure 14, a shadow analysis of the proposal was completed by Stark Architecture at Rocky View County's request. Shadows created by the building were modeled for noon during the both equinoxes and solstices. As one can see, the building does not create additional shadowing compared to existing trees and vegetation in the area, even when the sun is at its lowest point in the sky during the winter solstice. The building complements the existing setting and does not create additional shadowing impact.

8 Transportation

8.1 Trip Generation Exercise

Bragg Creek Brewery retained a qualified traffic engineer professional from Bunt & Associates who determined to the satisfaction of the County's Transportation Engineering through a trip generation exercise that a full transportation impact assessment was not required for this development. This trip generation exercise revealed the magnitude of traffic during the peak hour is not enough to change the operation of the intersection of River Drive North and Balsam Avenue. Bragg Creek Brewery does not appreciably alter the level of driving experience on River Drive North or Balsam Avenue.

8.2 Parking Assessment

Bragg Creek Brewery recognizes there is not currently adequate parking on-site to accommodate the building's proposed uses according to the existing Rocky View County Land Use Bylaw (C-4841-97). However, Bragg Creek Brewery notes that the County has prepared a Draft Land Use Bylaw that incorporates reduced parking requirements while providing mechanisms for securing off-site parking arrangements. Following this direction Bragg Creek Brewery has engaged in discussion with local landowners and secured additional overflow parking spaces within the Hamlet of Bragg Creek to

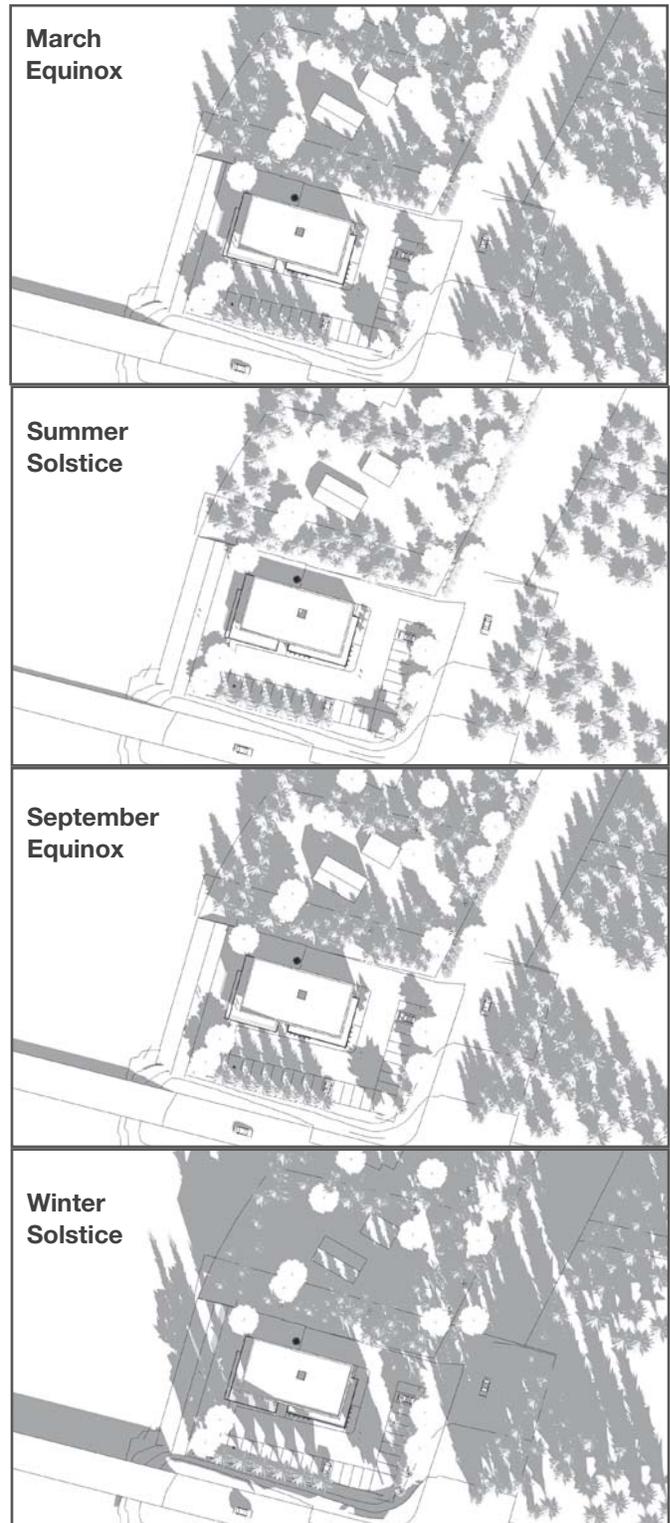


Figure 14: Shadow Analysis

accommodate peak parking demand. Bragg Creek Brewery has also retained a qualified traffic engineer, Bunt & Associates, to perform a Parking Assessment on the proposed uses to confirm an appropriate number of parking stalls Bragg Creek Brewery should be expected to provide. This assessment found that Bragg Creek Brewery requires between 35-38 parking stalls, and this finding was corroborated through a peer review by Watt Consulting Group. The parking assessment and peer review are provided as a supplementary package to this MSDP.

With 21 on-site parking stalls, Bragg Creek Brewery has secured in excess of 17 off-site stalls through verbal agreements, exceeding the 38 stalls recommended by Bunt and Watt. Bragg Creek Brewery seeks to enter into formal agreements with these landowners and Rocky View County to ensure these parking stalls are secured long term through a realistic mechanism that protects all parties from undue liability. In addition to these agreements, Bragg Creek Brewery has also produced an Operational Plan that contains significant considerations for mitigating parking concerns. The Operational Plan is provided as a supplementary package to this MSDP.

9 Utility Servicing

Bragg Creek Brewery intends to utilize existing municipal infrastructure for potable water and wastewater. Upgrades to municipal connections will need to be performed in order to meet future demands of the proposed development, and Bragg Creek Brewery will provide detailed plans for those upgrades at the development permit stage. Bragg Creek Brewery will provide servicing in accordance with the conditions outlined in PRDP20184945. The cost per cubic metre shall be as per the Water and Wastewater Utilities Bylaw. A full report by a qualified mechanical engineer for water and wastewater demand will be completed at development permit stage.

Wastewater from the facility will comply with the Water & Wastewater Utilities Bylaw at time of DP issuance. Fire suppression will be serviced through on-site storage and pressurization and will be designed and maintained in accordance with the National Fire Protection Association (NFPA), the Alberta Building Code (ABC) and the Alberta Fire Code (AFC).

10 Stormwater Management + Drainage

A stormwater management report was prepared in support of this document by a qualified civil engineering professional, Richview Engineering, to establish expectations for managing stormwater in association with the planned development (see Supporting Technical Information section and supplementary report). The report identifies a strategy to accommodate the collection, safe conveyance, storage and ultimate discharge of surface drainage. Topography within the subject lands slopes generally from southeast towards the northwest and into the Elbow River. The design of the stormwater management system is intended to respect existing topography in order to minimize the extent of site grading.

11 Community Consultation

Comprehensive community consultation has been conducted in three distinct stages over the course of the redesignation and development permitting process:

1. Land Use Redesignation (May - Oct. 2017)
2. Development Permit Application (Oct. - Dec. 2018)
3. Revised Development Permit Application (Nov. 2019)

The first stage was completed in compliance with the HBCDS and guidance from Rocky View County Administration, taking place from May until October 2017.

During this period, an open house was advertised and held within the Hamlet of Bragg Creek in order to showcase Bragg Creek Brewery's plans for the development of the site and solicit feedback from local residents. The open house was well attended and Bragg Creek Brewery received a wealth of positive feedback, including a dire need for accommodations within the Hamlet. Rocky View County also circulated Bragg Creek Brewery's re-zoning application through a formal public notification during this time period and collected feedback. At the end of this period, Bragg Creek Brewery collected a further 70 letters of support for the project from local community residents and businesses.

The second stage of community consultation was completed in compliance with the HBCDS, whereby a public notification campaign was performed over a period of 61 days, from October to December 2018. All properties within 400 metres of the subject lands were circulated on this public notice. All addresses were visited on a door-to-door basis, culminating in dozens of hours of face-face interaction, with follow up via phone, email or text. Residents and business owners were presented with a public consultation package about the Bragg Creek Brewery project which included an outline of the project vision, an update on project timelines, a map of the project location, a project description, site plan, massing and placement of the building, architectural elevations, and finally a feedback form asking for their input.

The results of this second stage of public consultation within the community were also overwhelmingly positive, with a common sentiment that people loved the concept, especially the boutique inn aspect. A quantitative analysis of feedback for those who saw the design package was performed, with 90% of people viewing the overall design favourably, including the contrast between dark upper floors and lighter lower floor. The design was also supported by the Bragg Creek Revitalization Committee and the Bragg Creek Chamber of commerce, both of whom wrote letters of support stating as such.

As part of Bragg Creek Brewery's current Direct Control land use redesignation and associated development permit application, a further third stage of engagement has been scheduled for November 2019. For this stage a public open house will be held in Bragg Creek seeking additional public feedback on the revised application.

12 Supporting Technical Information

Supporting technical information is included under separate cover.

1. Architecture Package
Stark Architecture, October 2018
2. Geotechnical Investigation
e2K Engineering, November 2018
3. Stormwater Management Report
Richview Engineering, November 2018
4. Parking Assessment
Bunt & Associates, November 2018
5. Parking Assessment Study Peer Review
Watt Consulting Group, June 2019
6. Operational Plan
Bragg Creek Brewery, October 2019



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