



PRADERA SPRINGS

CONCEPTUAL SCHEME

A POLICY FRAMEWORK TO GUIDE THE IMPLEMENTATION OF
A NEW RESIDENTIAL NEIGHBOURHOOD WITHIN THE
CENTRAL SPRINGBANK AREA STRUCTURE PLAN
ROCKY VIEW COUNTY, AB

ADOPTED JULY 23, 2019



b&a



BYLAW C-7908-2019

A Bylaw of Rocky View County known as the Pradera Springs Conceptual Scheme.

The Council of Rocky View County enacts as follows:

PART 1 – TITLE

This Bylaw shall be known as Bylaw C-7908-2019

PART 2 – DEFINITIONS

In this Bylaw, the definitions and terms shall have the meanings given to them in the Pradera Springs Conceptual Scheme, the Land Use Bylaw and the *Municipal Government Act*.

PART 3 – EFFECT OF BYLAW

THAT Bylaw C-7908-2019, being the “Pradera Springs Conceptual Scheme”, affecting Lot 8, Plan 7710490 within the NW-27-24-03-W5M, be adopted as defined in Schedule ‘A’, which is attached to, and forms part of, this Bylaw; and,

THAT The Central Springbank Area Structure Plan be amended to list the “Pradera Springs Conceptual Scheme” thereunder, as shown in Schedule ‘B’.

PART 4 – TRANSITIONAL

Bylaw C-7908-2019 is passed when it receives third reading, and is signed by the Reeve/Deputy Reeve and the Municipal Clerk, as per Section 189 of the *Municipal Government Act*.

Division: 2

File: 04727003 / PL20170132

PUBLIC HEARING WAS HELD IN COUNCIL this	23rd day of July	, 2019
READ A FIRST TIME IN COUNCIL this	23rd day of July	, 2019
READ A SECOND TIME IN COUNCIL this	23rd day of July	, 2019
UNANIMOUS PERMISSION FOR THIRD READING	23rd day of July	, 2019
READ A THIRD TIME IN COUNCIL this	23rd day of July	, 2019

Reeve

CAO or Designate

Date Bylaw Signed

OFFICE CONSOLIDATION

This document has been consolidated for convenience only. A copy of the original Bylaw and all amending motions can be obtained from Rocky View County. This office consolidation comprises the following:

Motion

Date of Approval / Agenda Reference

MOVED by Councillor McKylor that the applicants be directed to work with residents in the area on the north side of Huggard Road who are adjacent to their property on a design for landscape design buffering as required or suitable.

July 23, 2019 / 1-19-07-23-09 (C-7)

MOVED by Councillor McKylor that the applicants be directed to bring a waterline to the residents' property line along the north side of Huggard Road that are currently on the Spring View Water Co-op at the developer's expense.

July 23, 2019 / 1-19-07-23-09 (C-7)



ACKNOWLEDGMENT PAGE

PREPARED FOR:
1194325 ALBERTA LTD.

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1.0 Introduction

1.1 Purpose of this Plan

The Pradera Springs Conceptual Scheme is prepared pursuant to the provisions of the Central Springbank Area Structure Plan (CSASP). It describes the owner's development rationale and motivation to establish a new residential neighbourhood in keeping with the intent of the CSASP.

The Conceptual Scheme includes a policy framework that describes how the residential subdivision will be implemented in a logical and sequenced manner as contemplated by the CSASP. The policies of this Plan have been prepared to inform ongoing decision-making regarding subsequent land use redesignation and subdivision applications.



1.2 Development Rationale

The subject lands are located within Rocky View County's Springbank community. The subject land is situated approximately 2 miles west of The City of Calgary within an established country residential area that has experienced subdivision activity since the early 1980's. The area's gently-rolling topography, spectacular views to the Rocky Mountains and efficient access to regional transportation systems and community amenities make it ideally suited to support residential development.

The most prevalent form of residential subdivision within Springbank community today is traditional country residential development, typically including lot sizes ranging between 2 – 4 acres. Since the country residential settlement of Springbank was initiated in the 1980's, the community's demographics have changed. Currently, the community has a significant number of residents aged over fifty-five (55) in comparison with the City of Calgary and the Province of Alberta.¹ As such, there is a growing need for housing oriented to an aging population and presently there are few options available for senior's to reside within the Springbank community.

	TOTAL POPULATION	POPULATION AGED 55 +	% OF POPULATION
CENTRAL SPRINGBANK ASP	6,870	2,185	31.80
CITY OF CALGARY	1,135,545	159,095	14.01
ALBERTA	4,004,715	998,810	24.94

¹ 2016 Federal Census by Dissemination Area, Data Table Age (in Single Years) and Average Age and Sex for the Population

The Central Springbank Area Structure Plan (CSASP) contemplates the development of traditional country residential development within the Plan's defined new and infill residential policy areas. This form of traditional rural residential subdivision is expected to include ± 2 ac minimum lot sizes developed to a maximum density of 64 lots per 160 ac (quarter section). However, the CSASP's residential policies include a provision to accommodate an alternate form of housing oriented to senior's housing described as follows:

Policy 2.9.2: Seniors Housing

- a) *Notwithstanding Section 2.9.3(b) and 2.9.4(e), through the preparation and adoption of a conceptual scheme and direct control bylaw, senior citizen and disabled housing can be developed at higher density, not exceeding 64 units per quarter, and in alternative development forms than outlined in Sections 2.9.3 and 2.9.4.*
- b) *Housing developments designed for older persons and people with disabilities should:*
 - *Be regulated by an approved conceptual scheme;*
 - *Be of a form conducive to independent living for senior citizens and the disabled;*
 - *Provide open space opportunities including pathways, garden plots, park system, visual open space and other visual & physical connections to open spaces;*
 - *Be located within walking distance to community meeting places or joint use facilities; and*
 - *Be compatible with adjacent uses.*
- c) *To fulfill an independent healthy lifestyle for older people and persons with disabilities, seniors housing should meet the following criteria:*
 - *Stair-less single storey bungalow or duplex unit (two units);*
 - *Condominium ownership/Life lease;*
 - *Development compatible for an older person such as barrier free environment; and*
 - *Sensitive site lighting, accessible parking, easy to read address numbers and building signage.*

The proponent of The Pradera Springs Conceptual Scheme wishes to develop a new residential community in keeping with the senior's housing residential policy provision of the CSASP with the following key attributes:

- ✓ Compact development footprint with 56 residential lots sized b/w ± 0.15 – ± 0.25 ac clustered within the southwest portion of the site;
- ✓ Condominium form of ownership that offers an independent lifestyle without obligation of extensive outdoor maintenance;
- ✓ High-quality 'villa-style' semi-detached housing that incorporates universal barrier-free design considerations;
- ✓ Comprehensively-planned private open space with pathway and other pedestrian amenities;
- ✓ Proximity to existing community social amenities including the Springbank Heritage Club, Springbank Park for All Seasons and existing/future commercial services;
- ✓ Fully-serviced with potable water, wastewater and stormwater management infrastructure;
- ✓ Sensitive architectural design guidelines that respect and honor the surrounding properties and incorporate 'dark-sky' compliant lighting features; and
- ✓ Universal barrier-free design interior design features.

1.3 Primary Development Principles

The Pradera Springs Conceptual Scheme contemplates a new residential neighbourhood that incorporates the following development considerations:

- A compact residential subdivision & housing form designed for an aging population seeking high-quality and low-maintenance housing within a comprehensively planned development that offers a variety of active healthy lifestyle amenities and links to existing community facilities;
- A comprehensive subdivision design to ensure the new residential neighbourhood considers the site's existing topography, vegetation, views, connectivity with public roads & utility servicing in addition to respecting the proximity of existing established country residential developments;
- Appropriate transportation improvements to ensure the new residential neighbourhood is provided with an appropriate access and that the cumulative impact of additional traffic generated by the new subdivision respects the capacity of the surrounding regional road network;
- A potable water service to ensure the developer provides all new country residential subdivision with a water supply.
- A communal wastewater system to ensure the new residential neighbourhood is supported by an appropriate sewage treatment system that is designed to be integrated with a regional system if or when such a regional system becomes available; and
- Stormwater management system to ensure the quantity and quality of surface run-off generated within the Plan area respects requirements of the Springbank Master Drainage Plan.

The policies of this Conceptual Scheme describe how the referenced infill country residential development considerations of the Area Structure Plan will be implemented within The Pradera Springs Subdivision.



1.4 The Conceptual Scheme Objectives

The intent of The Pradera Springs Conceptual Scheme is to:

- a.** Summarize existing conditions within the Plan area to identify development opportunities and constraints;
- b.** Establish a future development concept with an integrated land use framework to facilitate the development of a new residential development in accordance with the provisions of the Central Springbank Area Structure Plan;
- c.** Establish a strategy to implement appropriate transportation, utility service and stormwater management infrastructure to support the new residential development and related uses;
- d.** Establish expectations for provision of emergency response within the Plan area;
- e.** Establish an overall phasing strategy for development within the Plan area; and
- f.** Summarize a community consultation program intended to inform & educate affected landowners and interested stakeholders.



2.0 Plan Area Description

2.1 Location

As shown on **Figure 1: Regional Context**, the Conceptual Scheme Plan area is illustrated within the broader context of surrounding Central Springbank country residential community.

As shown on **Figure 2: Local Area Context**, the Plan area is bound to the north by Twp Rd 245, to the east by existing agricultural lands, to the south by existing country residential subdivision and to the west by Range Road 33. Rolling topography, spectacular mountain views and convenient access to services in Central Springbank and Calgary make this an ideal location for continued country residential development.

FIGURE 1 | Regional Context



Legend

- Conceptual Scheme Plan Area
- Municipal Boundary

FIGURE 2 | Local Area Context



Legend

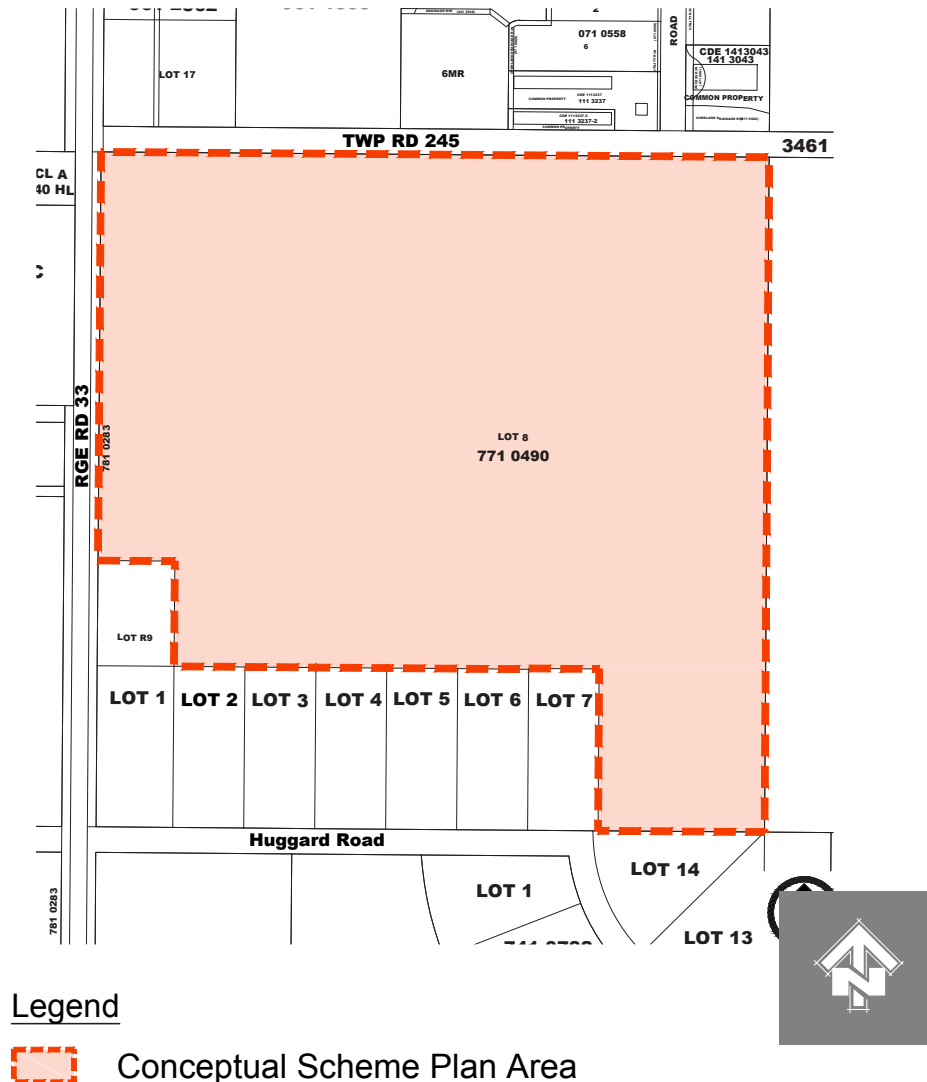
■■■■■ Conceptual Scheme Plan Area

2.2 Legal Descriptions & Ownership

As shown on **Figure 3: Legal Descriptions**, the study area includes one (1) individually-titled parcel with legal description and current ownership described as follows:

LEGAL DESCRIPTION	HECTARES (±)	ACRES (±)	OWNER
Lot 8, Plan 771 0490	51.3	126.8	1194325 Alberta Ltd.

FIGURE 3 | Legal Descriptions



2.3 Central Springbank Area Structure Plan

As shown on **Figure 4: Central Springbank ASP Infill Residential Area**, the subject lands are located within the ASP's Infill Residential Policy Area which applies to quarter sections that have previously experienced subdivision (as of the date of the ASP adoption) and establishes the expectation that these areas should build out with residential development in accordance with over-riding density provisions (i.e. 64 lots per 160 acres). All new residential development within the Infill Policy Area must be supported by an approved Conceptual Scheme.

Map 11 of the CSASP identifies future Conceptual Scheme boundary including all of the N ½ Sec 27-24-3-W5, including the existing country residential lots situated along Huggard Way and Longeway Place. This Conceptual Scheme applies specifically to the subject lands only (i.e. only a portion of NW 27). Policy 2.9.2(e) of the CSASP states the following:

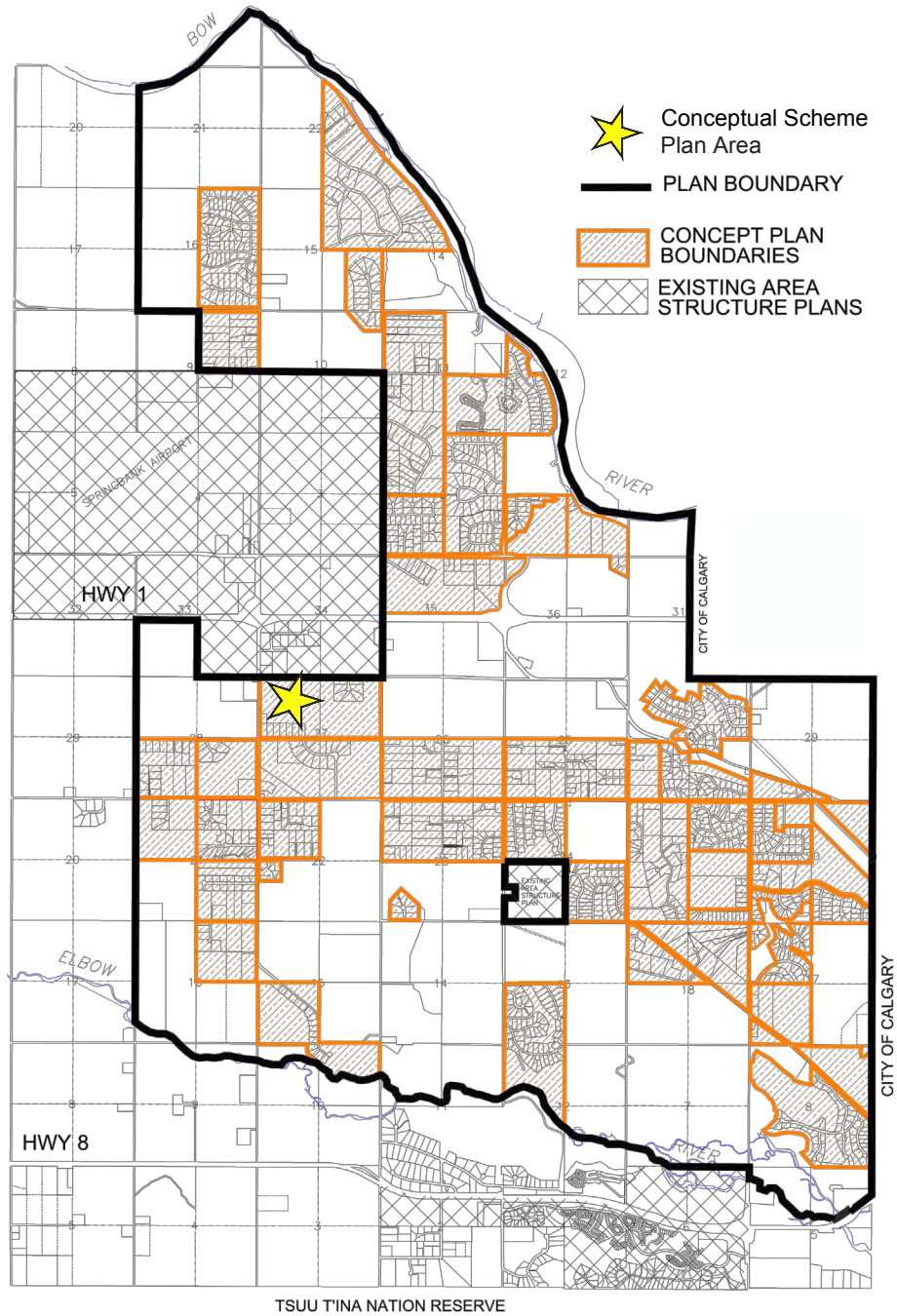
Notwithstanding the pre-determined conceptual scheme boundaries as defined on CSASP Maps 11 and 12, future conceptual scheme boundaries may be altered without amendment to this Plan, at the discretion of Council, provided:

- iii) the alternate conceptual scheme area is comprehensive in nature;*
- iv) the implications of development proceeding within an alternate conceptual scheme boundary have been examined; and*
- v) the Municipality determines that any on-site or off-site planning issues have been resolved pursuant to the provisions of this Plan.*

The rationale for *not* including the NE 27 within this Conceptual Scheme boundary is as follows:

- 1** The proposed new residential subdivision will be established within a compact development footprint area situated generally within the southwest corner of the subject lands.
- 2** This residential neighbourhood's supporting transportation and servicing infrastructure will be oriented towards Range Road 33.
- 3** The portion of the subject lands not required for residential development will remain in agriculture land use – and subsequently maintain a substantial buffer to the existing country residential development in NE 27 (i.e. Longeway Place).
- 4** The existing country residential development parcels directly to the south will be appropriately buffered from the new residential development by a landscaped berm.

FIGURE 4 | Central Springbank ASP Infill Residential Area



2.4 Local Development Context

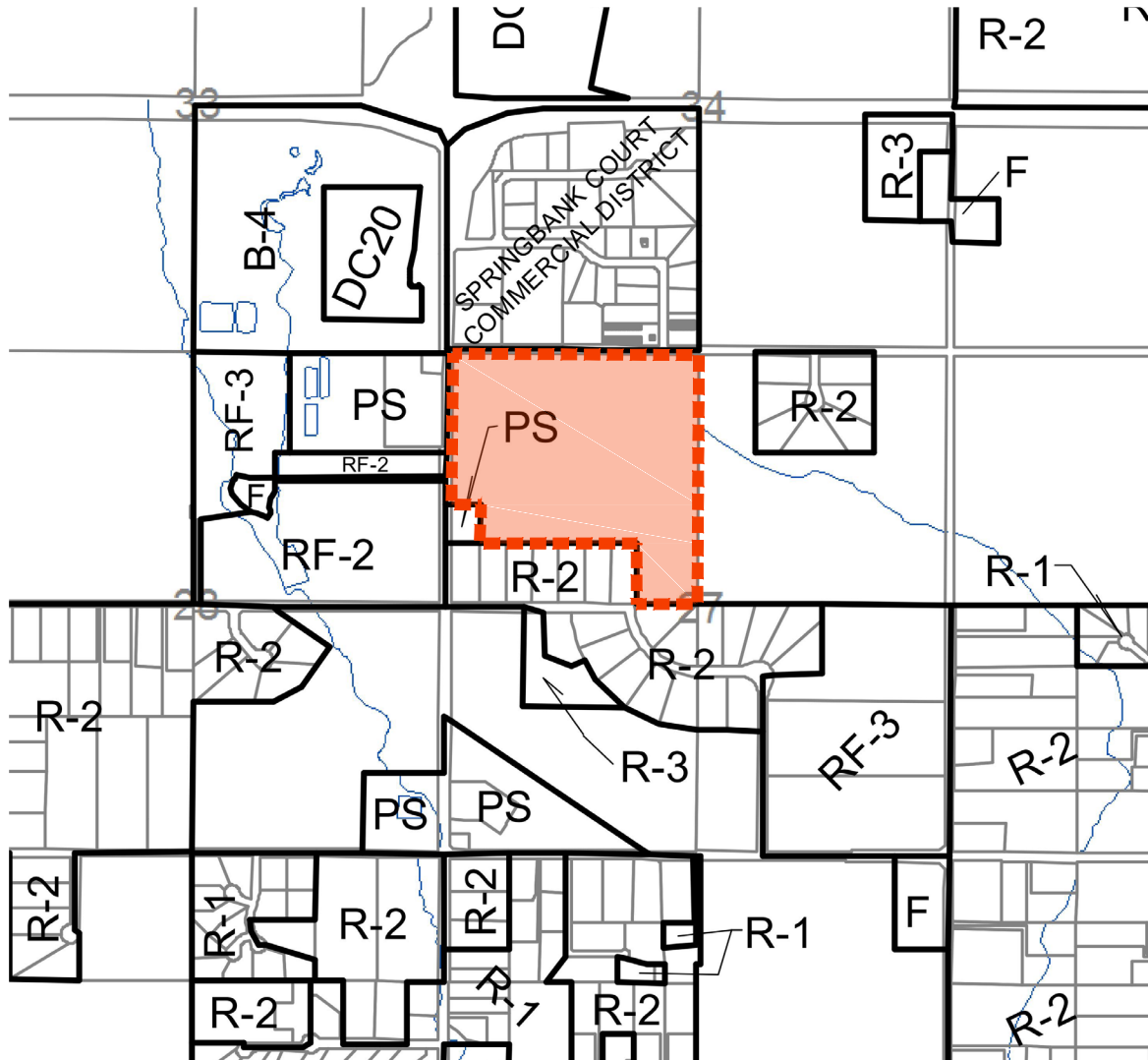
Existing subdivision surrounding the Plan area includes a mix of country residential neighbourhoods, rural business areas, institutional uses and agricultural parcels generally characterized as follows:

- Residential developments situated directly to the south includes seven (7) country residential parcels sized at ± 4 ac, containing single-family homes serviced by groundwater wells and private sewage treatment systems (PSTS).
- The agricultural parcels situated directly east of the subject lands is being used for active agriculture and supports a small-scale cultivation and grazing operations.
- Commercial Court is situated directly to the north on the opposite side of Twp Rd 245. This rural business area supports a variety of commercial operations that primarily cater to automotive & recreation vehicle storage and related uses.
- The site directly west of the subject lands includes education facilities owned and operated by the Rocky View School Division including the Springbank Middle School, Elementary School and associated athletic fields. The institutional 'campus' also includes the original Springbank School which is owned by the Springbank Community Association and presently houses a daycare.
- The Springbank Heritage Club is located directly southwest of the Conceptual Scheme area.

2.5 Existing Land Use


As shown on **Figure 5: Existing Land Use**, lands within the Conceptual Scheme boundary are currently designated Ranch and Farm District (RF) in accordance with the County's Land Use Bylaw C-4841-97. Surrounding parcels include a mix of Residential Two District (R2), Ranch & Farm District (RF), Ranch & Farm Two District (RF-2) and Public Service District (PS).

FIGURE 5 | Existing Land Use



RANCH AND FARM DISTRICT.....	RF	RECREATION DESTINATION BUSINESS DISTRICT.....	B-RD
SEE EXCEPTIONS LISTED WITH THIS DISTRICT.....	RF *	LEISURE AND RECREATION BUSINESS DISTRICT.....	B-LR
RANCH AND FARM TWO DISTRICT.....	RF-2	AGRICULTURAL SERVICES BUSINESS DISTRICT.....	B-AS
RANCH AND FARM THREE DISTRICT.....	RF-3	POINT COMMERCIAL DISTRICT.....	C-PT
AGRICULTURAL HOLDING DISTRICT.....	AH	VILLAGE CENTRE COMMERCIAL DISTRICT.....	C-VC
FARMSTEAD DISTRICT.....	F	LOCAL COMMERCIAL DISTRICT.....	C-LC
RESIDENTIAL ONE DISTRICT.....	R-1	REGIONAL COMMERCIAL DISTRICT.....	C-RC
RESIDENTIAL TWO DISTRICT.....	R-2	INDUSTRIAL ACTIVITY DISTRICT.....	I-IA
RESIDENTIAL THREE DISTRICT.....	R-3	STORAGE AND SALES INDUSTRIAL DISTRICT.....	I-IS
HIGHWAY BUSINESS DISTRICT.....	B-1	NATURAL RESOURCE INDUSTRIAL DISTRICT.....	NRI
GENERAL BUSINESS DISTRICT.....	B-2	HAMLET RESIDENTIAL SINGLE FAMILY DISTRICT.....	HR-1
LIMITED BUSINESS DISTRICT.....	B-3	HAMLET RESIDENTIAL (2) DISTRICT.....	HR-2
RECREATION BUSINESS DISTRICT.....	B-4	HAMLET COMMERCIAL DISTRICT.....	HC
AGRICULTURAL BUSINESS DISTRICT.....	B-5	HAMLET INDUSTRIAL DISTRICT.....	HI
LOCAL BUSINESS DISTRICT.....	B-6	PUBLIC SERVICES DISTRICT.....	PS
HIGHWAY FRONTAGE BUSINESS DISTRICT.....	B-HF	AIRPORT DISTRICT.....	AP
BUSINESS CAMPUS BUSINESS DISTRICT.....	B-BC	DIRECT CONTROL DISTRICT.....	DC

Legend

 Conceptual Scheme Plan Area

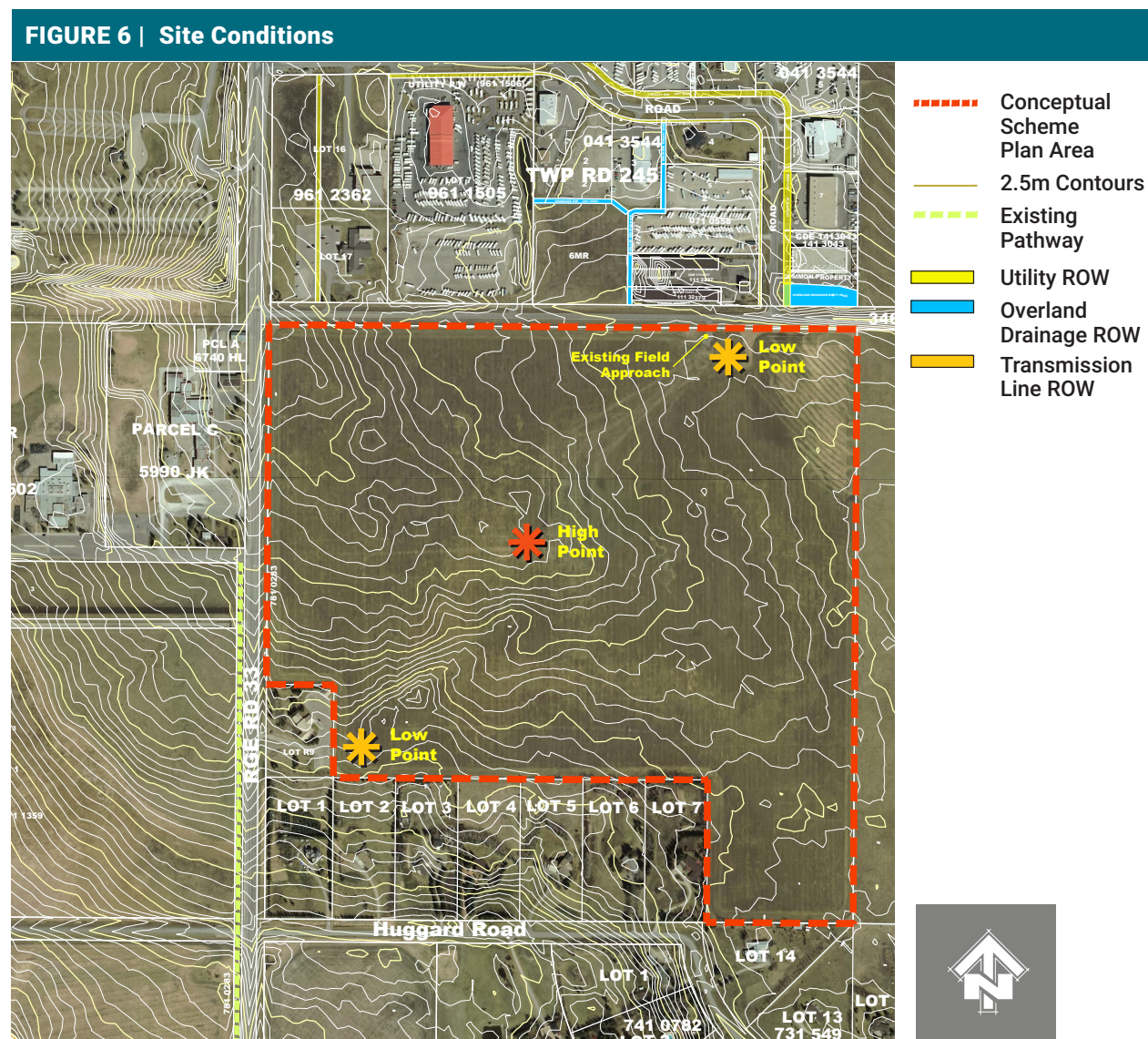


2.6 Site Conditions

As shown on **Figure 6: Site Conditions**, the subject lands include an existing cultivated area that has historically sustained a variety of cereal crops. There is no existing development or associated improvements within the site.

2.6.1 EXISTING ACCESS

As shown on **Figure 6: Site Conditions**, the subject land is presently accessed from Twp Rd 245 via an existing field approach. Range Road 33 provides legal access to site from the west but no existing approaches from this road are currently provided.



2.6.2 TOPOGRAPHY & SURFACE DRAINAGE

Generally, topographical relief within the Plan area slopes from the northeast towards the southwest. As illustrated on **Figure 7: Topography & Surface Drainage**, the Plan area is partially located within the Springbank Creek drainage basin and the Grandview drainage basin, both being tributary drainage systems that feed into the Elbow River.

The southwest portion of the Plan area, including the area proposed to contain new residential development, drains towards the southwest into a ditch within the Range Road 33 road allowance where it is conveyed southerly to eventually intersect with the Springbank Creek at a point located approximately 1 mile south of the Plan area. The northeast portion of the site drains into a defined drainage course that conveys surface flows from Commercial Court towards the southeast to the Grandview Creek.

2.6.3 GEOTECHNICAL CONSIDERATIONS

A Geotechnical Evaluation Report was completed in February 2018 as affecting Lot 8, Plan 771 0490 which concluded that the lands are considered suitable for the proposed residential development.

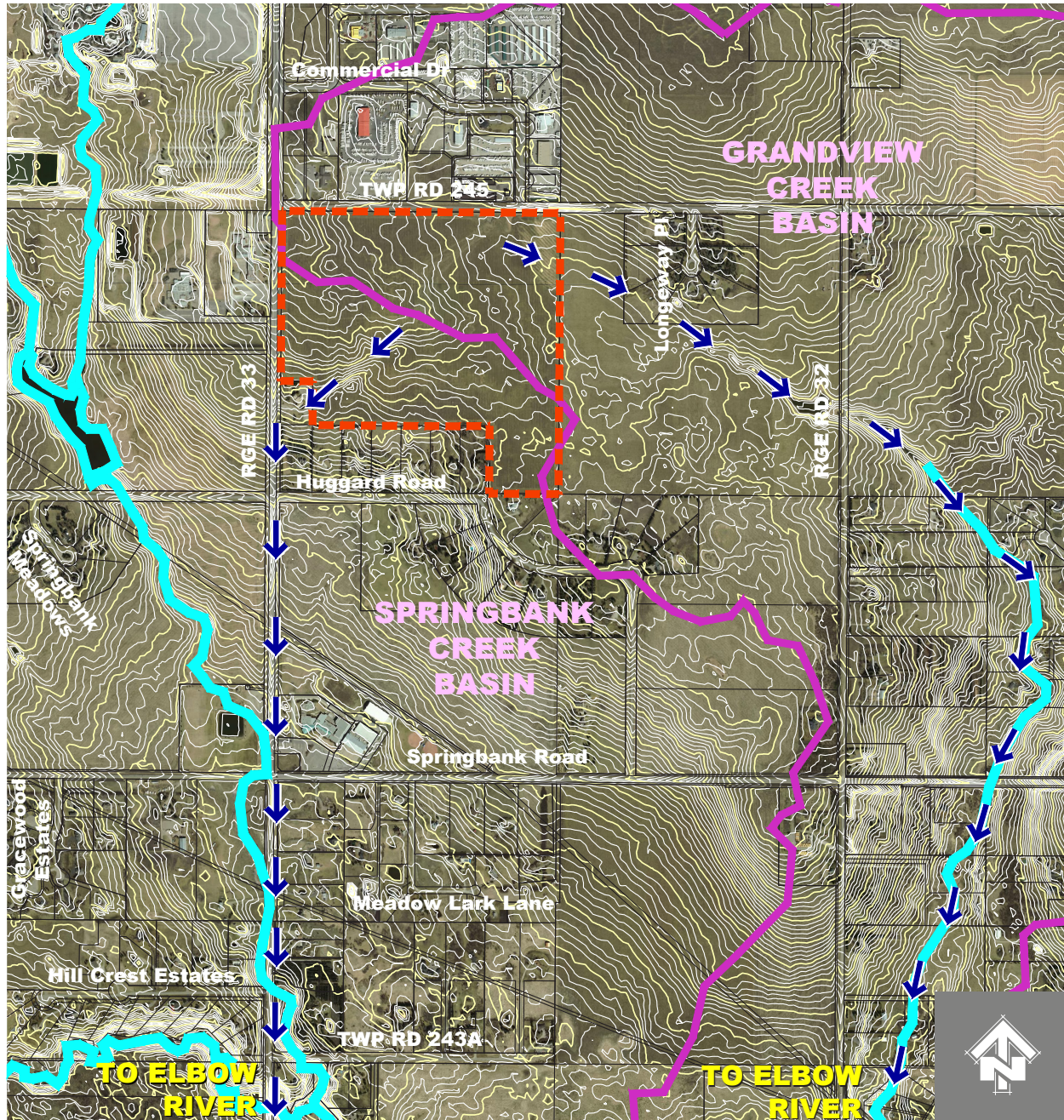
2.6.4 BIOPHYSICAL CONSIDERATIONS

As illustrated on **Figure 6: Site Conditions**, the Plan area has been extensively disturbed by previous cultivation and related agricultural activities. A Biophysical Impact Assessment was prepared in January 2019 which concluded that the site does not contain any significant environmental features or habitat, and as such, no negative environmental consequences are likely as a result of this proposed development.

2.6.5 ARCHAEOLOGICAL & HISTORICAL RESOURCES CONSIDERATIONS

The Plan area is not likely to contain sites of archaeological and/or palaeontological significance. Confirmation of Clearance in accordance with the Historical Resources Act was provided by Alberta Culture and Tourism in November of 2017.

FIGURE 7 | Topography and Surface Drainage



Legend

- Conceptual Scheme Plan Area
- 2.5m Contours
- Drainage Catchment
- ➔ Existing Overland Drainage

3.0 Development Concept

3.1 The Pradera Springs Neighbourhood

As illustrated on **Figure 8: Development Concept**, the Plan area will accommodate a new residential neighbourhood including 'villa-style' residential dwelling units developed within a relatively compact portion of the subject lands. The motivating rationale for this proposed design is to respect and implement the senior's housing policy provisions of the CSASP.

The design of the neighbourhood will include twenty-eight (28) semi-detached units, each containing two (2) dwellings – for a total of fifty-six (56) new homes within the site. The form and character of the residential construction will reflect a high-quality architectural style. Architectural controls will be established at the subdivision stage to ensure the exterior facades of all buildings maintains a unified style, colour, finish and design theme in keeping with the surrounding development context. The architectural controls will also ensure that universal 'barrier free' design considerations are incorporated within the interior of each residential dwelling unit and guidelines will be established requiring residents of this neighbourhood to be aged 55 years and over.

Ownership of each of residential unit, transportation infrastructure and common open space areas will be in accordance with the Condominium Property Act. A Condominium Association will be established at the subdivision stage to administer these common areas.

Range Road 33 will provide access to the Pradera Springs residential neighbourhood. A new intersection will facilitate access from Range Road 33 onto a private internal road designed and constructed in accordance with the County Servicing Standards. An emergency access will link the two cul-de-sacs and an additional emergency access will be provided from the northern segment of the internal road onto Range Road 33. The internal road may be gated to provide enhanced security for local residents.

Potable Water will be provided by the Calalta Waterworks. With additional water license to be provided by 1194325 Alberta Ltd., the Calalta Waterworks system has available capacity to provide this residential service. An internal distribution line will be extended into the new residential area from the existing Calalta distribution main situated in the Range Road 33 road allowance. The alignment of the internal distribution main will generally follow the internal roadways.

FIGURE 8 | Development Concept



Given the relatively dense arrangement of housing within the Pradera Springs neighbourhood, the developer will accommodate a fire suppression system including installation of an on-site reservoir and pumping system to provide minimum fire flows to a pressurized hydrant system.

Wastewater service will be provided via a communal packaged sewage treatment plant and field system. An Orenco STEP System (Septic Tank Effluent Pumping) that includes individual holding tanks within each lot that will be pumped to a communal wastewater treatment plant where the wastewater will be treated to a secondary effluent standard. The treated effluent will subsequently be pumped into an in-ground communal field system to be situated directly northwest of the residential area.

Stormwater management will be accommodated within Pradera Springs by an interconnected system of stormwater management facilities. Ponds will be sized to accommodate the unit area release rate (UARR) and volume retention control requirements of the Springbank Master Drainage Plan. The ponds will discharge into the existing ditch along Range Road 33 which eventually drains to the Elbow River via the Springbank Creek tributary.

The Pradera Springs neighbourhood will include a significant amount of private open space owned and maintained by the Pradera Springs Condominium Association. The developer shall construct a looped pedestrian trail within the private open space that will facilitate an active lifestyle for the residents of this neighbourhood. The alignment of the trail will provide views and vistas of the stormwater management facilities and provide direct access to the Springbank Heritage Club.

Municipal Reserve (MR) will be provided as land dedication specifically designed to extend the dimensions of the existing MR parcel (Lot R9, Plan 771 0490) situated directly southwest of the Conceptual Scheme area. The purpose of this proposed MR land dedication is to facilitate the potential expansion of existing Lot R9 to accommodate additional community-oriented buildings and uses at this strategic community focal point. A regional trail is also proposed within a linear MR to be dedicated along the entire portion of the Conceptual Scheme area abutting Range Road 33.

Given the unique form of residential housing contemplated by this Conceptual Scheme, the development will be implemented in accordance with a direct control district bylaw (DC) which will establish various site-specific regulations, prescriptions and minimum/maximum requirements in accordance with the County's Land Use Bylaw.

The balance of the subject lands not required for the residential development and supporting infrastructure will remain in agricultural land use in accordance with the County's Land Use Bylaw.

The following table summarizes the allocation of specific uses and associated areas within the Conceptual Scheme:

LAND USES	HECTARES (±)	ACRES (±)
Residential Area	4.54	11.23
Road	2.19	5.40
Private Open Space	7.92	19.56
Public Open Space	1.36	3.37
Public Utility Lot Area	4.17	10.31
Agriculture Area	31.08	76.81
TOTAL	51.27	126.68

POLICIES:

- 3.1.1** The development concept will include 56 dwelling units constructed as semi-detached-housing as generally illustrated on Figure 8: Development Concept.
- 3.1.2** The number of residential dwelling units within the Conceptual Scheme area shall respect the maximum parcel density provisions of the Central Springbank Area Structure Plan (i.e. 64 units per quarter section).
- 3.1.3** The minimum parcel size for residential lots shall be permitted to be less and ± 0.8 ha (± 2 ac) minimum in accordance with the Senior's Housing Policies described in Section 2.9.2 of the CSASP.

3.2 Transportation

3.2.1 GENERAL TRANSPORTATION CONSIDERATIONS

Access to The Pradera Springs Conceptual Scheme will be as generally illustrated on **Figure 9: Transportation**. The Plan area will be accessed from Range Road 33, a paved public municipal road maintained in good condition.

POLICIES:

3.2.1.1 Access will be provided to the Conceptual Scheme area as generally illustrated on Figure 9: Transportation, in accordance with the County Servicing Standards.

3.2.2 REGIONAL TRANSPORTATION NETWORK

A Traffic Impact Assessment was prepared in June 2017 to support this Conceptual Scheme. The results of this assessment concluded that the additional traffic anticipated to be generated by the 56 residential dwelling units will have a limited impact to the surrounding municipal and regional transportation network. As such, no improvements to off-site municipal roadways will be required to support this development.

POLICIES:

3.2.2.1 The owner shall be required to provide applicable Transportation Off-Site Levies at the subdivision stage.

3.2.2.2 The developer may be required to provide payment for applicable cost recoveries related to improvements fronted by other developers.

3.2.2.3 If required, the developer will be required to dedicate additional Road ROW along Range Road 33 and Township Road 245 at the subdivision stage.

FIGURE 9 | Transportation



Legend

- Conceptual Scheme Plan Area
- Residential Local 2 Way (RL2) (20.0m ROW)
- Residential Collector (RC2) - No Parking (25.0m ROW)
- Secondary Emergency Access (12.5m ROW)

3.2.3 HIGHWAY 1 / RANGE ROAD 33 INTERCHANGE

In response to the circulation of this Conceptual Scheme, Alberta Transportation indicated the 'Stage One' interchange improvement recommended by Alberta Transportation's Functional Study should be implemented prior to or as condition to a subdivision approval associated with this project.

POLICIES:

3.2.3.1 It is acknowledged that if the 'Stage One' interchange upgrade at Hwy 1/Rge Rd 33 is not in place at the time of subdivision, an update to the Traffic Impact Assessment will be required to ensure appropriate levels of improvement are in place to accommodate traffic from this proposed subdivision, to the satisfaction of Alberta Transportation.

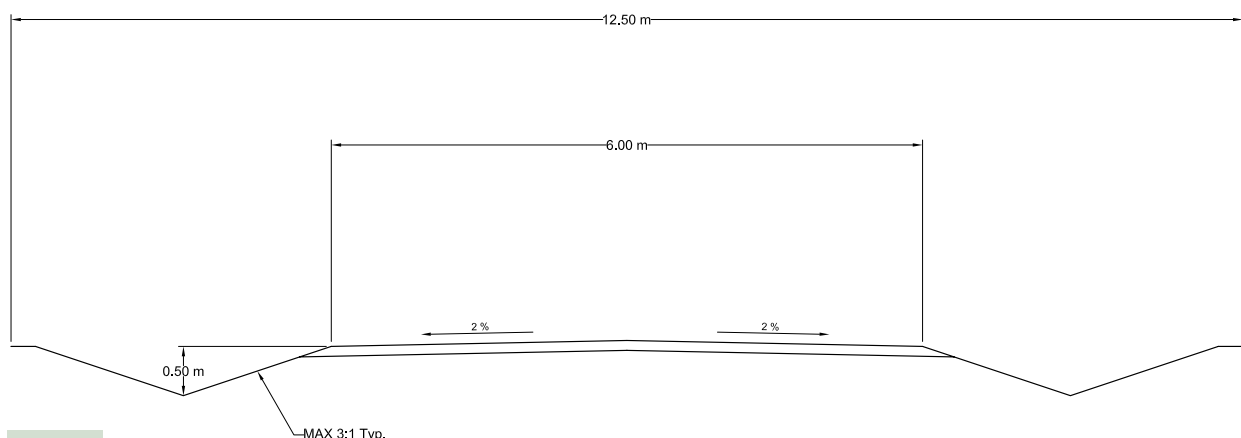
3.2.4 INTERNAL ACCESS ROADS

A Subdivision Access & Utility Servicing Preliminary Assessment was prepared in June 2017 to assess the design and configuration of internal access roads required to support the new residential neighbourhood. As illustrated on **Figure 9: Transportation**, the developer will construct a new intersection with Range Road 33 designed in accordance with the County Servicing Standards. This new intersection will provide access to an internal road system with two cul-de-sac roadway segments.

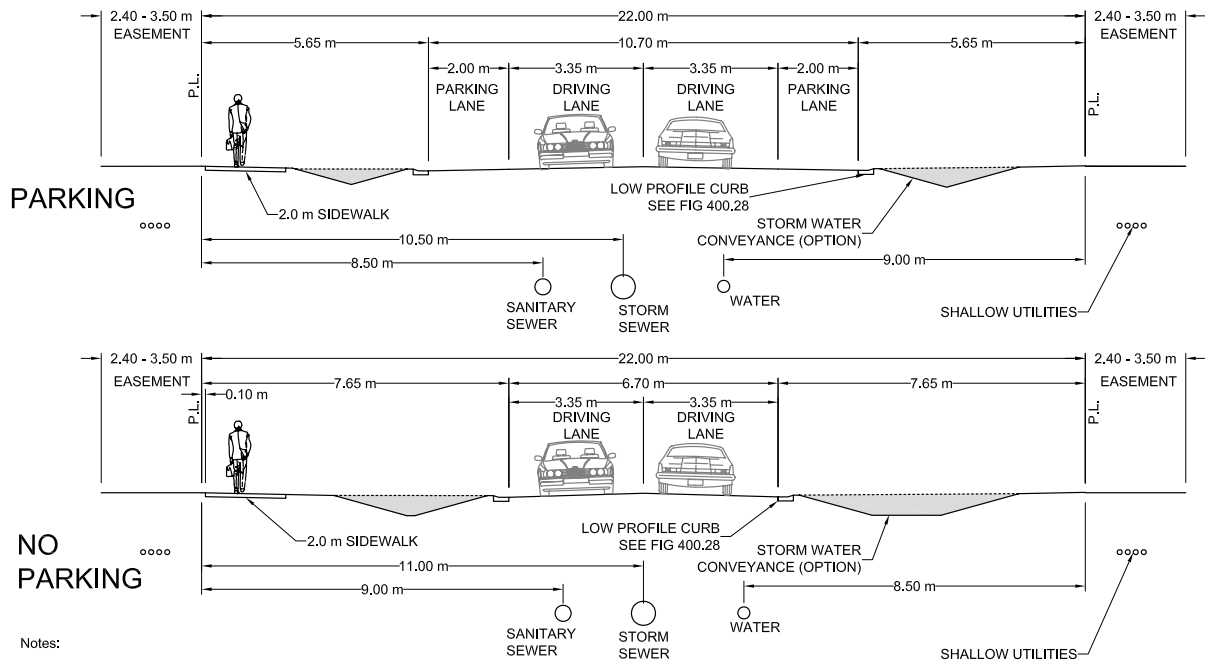
The internal road segment located at the main access to the neighbourhood will be designed as a **Residential Collector (RC2)** with no parking option in accordance with the County Servicing Standards. The two cul-de-sac segments will be designed with the **Residential Local 2 Way (RL2)** with the parking option as per the County Servicing Standards.

A secondary emergency access will link the two cul-de-sac road segments and an emergency access will be provided to accommodate access/egress to the development in the event the main access becomes impassible. Typical cross-sections of the anticipated road standards are illustrated as follows:

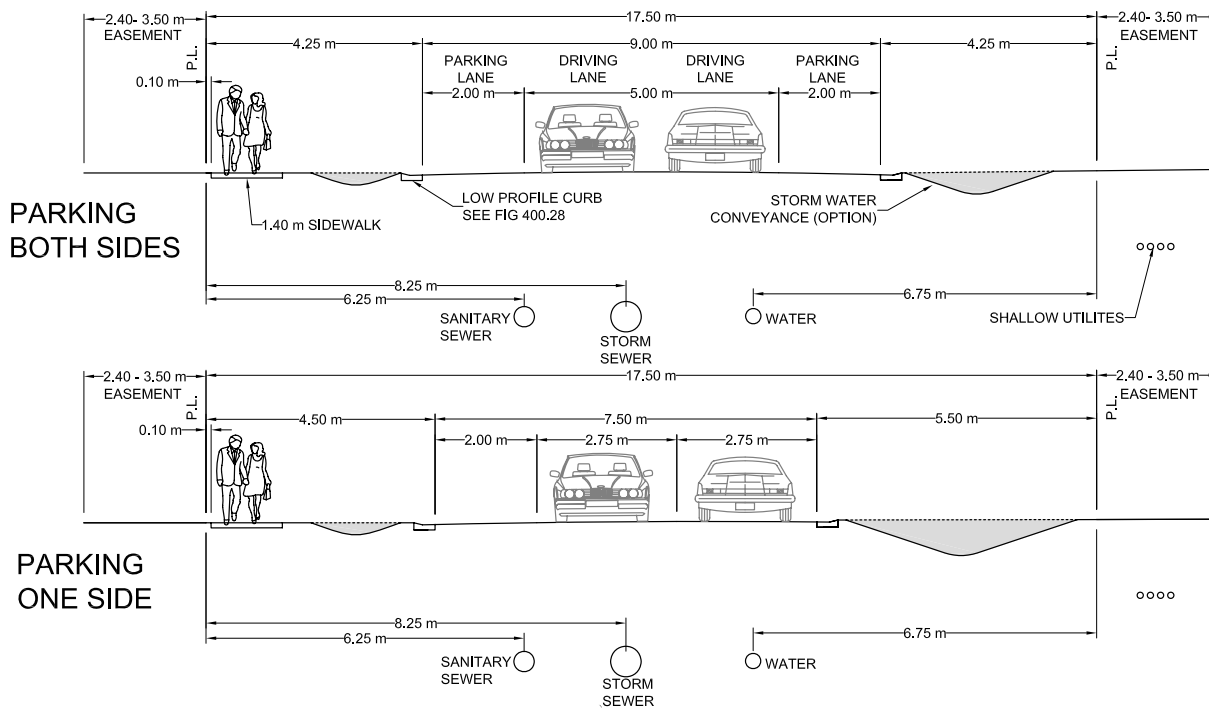
TYPICAL SECONDARY EMERGENCY ACCESS



TYPICAL RESIDENTIAL COLLECTOR



TYPICAL RESIDENTIAL LOCAL 2 WAY



3.3 Utility Servicing

3.3.1 GENERAL POTABLE WATER SERVICE CONSIDERATIONS

The Pradera Springs Conceptual Scheme will be serviced with potable water via the Calalta Waterworks as generally illustrated on **Figure 10: Potable Water Servicing**.

POLICIES:

3.3.1.1 Potable water shall be provided within the Plan area by the Calalta Waterworks as generally illustrated by Figure 10: Potable Water Servicing Plan.

3.3.2 WATER LICENSING

The Subdivision Access & Utility Servicing Preliminary Assessment, prepared in support of this Conceptual Scheme evaluated the water demand anticipated by this new neighbourhood. The Average daily demand for this subdivision is expected to be 67 m³/day and the maximum daily demand is expected to be 134 m³/day. To support this project, 1194325 Alberta Ltd. negotiated an agreement with Bow Water & Land to purchase a portion of a 1,200 acre feet water license currently being transferred to S 1/2 Sec. 32-24-3-W5, subject to the confirmation or approval of Alberta Environment Parks (AEP).

POLICIES:

3.3.2.1 To support this Conceptual Scheme, the developer must provide written confirmation from Bow Water & Land of their intent to transfer a portion of their 1,200 acre feet water license as required to provide a water license within the Conceptual Scheme area at the land use redesignation stage.

3.3.2.2 If the water licence from Bow Water & Land is not available, the developer must provide written confirmation from another valid licence holder who intends to transfer it to provide a water licence within the Conceptual Scheme area at the land use redesignation stage .

FIGURE 10 | Potable Water Servicing



- | | | |
|---------------------------------|--------------------------------|---------------------------|
| --- Conceptual Scheme Plan Area | --- Existing Water Main | * Potable Water Reservoir |
| --- Proposed Development Area | --- 200mm Water Main | ○ Proposed Fire Hydrant |
| | --- Raw Water Main Supply Line | |

3.3.3 WATER SUPPLIER

Calalta Waterworks has indicated that, subject to 1194325 Alberta Ltd. providing their own water license, the Calalta water system has capacity to provide potable water within the Conceptual Scheme area.

As illustrated on **Figure 10: Potable Water Servicing**, the developer will provide a tie-in to the existing Calalta potable water distribution main situated within the Range Road 33 ROW and extend a new distribution main into the Plan area within an alignment situated within the internal roads. All new potable water infrastructure required to provide service within the Plan area shall be provided by the developer at the subdivision stage in accordance with the requirements of applicable Provincial regulatory requirements and the County Servicing Standards. All potable water distribution infrastructure shall be owned and operated by the Calalta Waterworks under agreement with the Pradera Springs Condominium Association. The Calalta Waterworks will contract a licensed operator to maintain the potable water infrastructure under agreement with the Condominium Association.

POLICIES:

- 3.3.3.1** The owner/developer shall extend potable water infrastructure within the Conceptual Scheme Area as generally illustrated on Figure 10: Potable Water Servicing, at the subdivision stage, in accordance with all applicable Provincial regulatory requirements and County Servicing Standards.
- 3.3.3.2** All potable water infrastructure within the Plan area shall be owned and operated by Calalta Waterworks under agreement with the Pradera Springs Condominium Association.
- 3.3.3.3** Calalta Waterworks will contract a licensed operator to maintain the infrastructure system as required under agreement with the Pradera Springs Condominium Association.
- 3.3.3.4** The developer shall be required to pay a tie-in fee to Calalta Waterworks to connect to their water system.
- 3.3.3.5** The developer shall be required to sign a potable water supply agreement with Calalta Waterworks.

3.3.4 FIRE SUPPRESSION

Given the relatively dense arrangement of housing anticipated within this new residential neighbourhood, the developer shall be required to accommodate a fire suppression system. As described in the Subdivision Access & Utility Servicing Preliminary Assessment, minimum fire flows will be provided in accordance with the County Servicing Standards. An on-site above or below grade reservoir shall be installed within the new residential neighbourhood sized with an appropriate capacity & pumping system to accommodate minimum fire flows in accordance with the County Servicing Standards as generally illustrated on **Figure 10: Potable Water Servicing**. This infrastructure will be owned and maintained by the Pradera Springs Condominium Association. The reservoir will be constructed by the developer on a Public Utility Lot (PUL) that will be owned by the County. The County will authorize the use of the PUL for the reservoir use through a License of Occupation (LOC).

POLICIES:

- 3.3.4.1** The owner/developer shall provide a fire suppression system within the Conceptual Scheme Area, including a reservoir, pumping system and hydrants, in accordance with all applicable Provincial regulatory requirements and County Servicing Standards.
- 3.3.4.2** The fire suppression distribution infrastructure shall be constructed by the developer and owned and maintained by the Pradera Springs Condominium Association.
- 3.3.4.3** The reservoir shall be constructed on common property owned by Pradera Springs Condominium Association.

3.3.5 GENERAL WASTEWATER SERVICE CONSIDERATIONS

The Pradera Springs Conceptual Scheme will be serviced with communal wastewater system as generally illustrated on **Figure 11: Wastewater Servicing**. As described in the Subdivision Access & Utility Servicing Preliminary Assessment and the Preliminary Assessment for Communal On-Site Wastewater Treatment System, February 2017, wastewater service will be provided via a communal packaged sewage treatment plant and field system. The developer is proposing to install an Orenco STEP System (Septic Tank Effluent Pumping) that includes individual holding tanks on each lot which are pumped to a central packaged wastewater treatment plant. The treatment plant will mechanically treat the wastewater to a secondary treated effluent standard and it will subsequently be pumped into an in-ground communal field system.

POLICIES:

3.3.5.1 Wastewater shall be provided within the Plan area by a communal wastewater system as generally illustrated by Figure 10: Potable Water Servicing Plan.

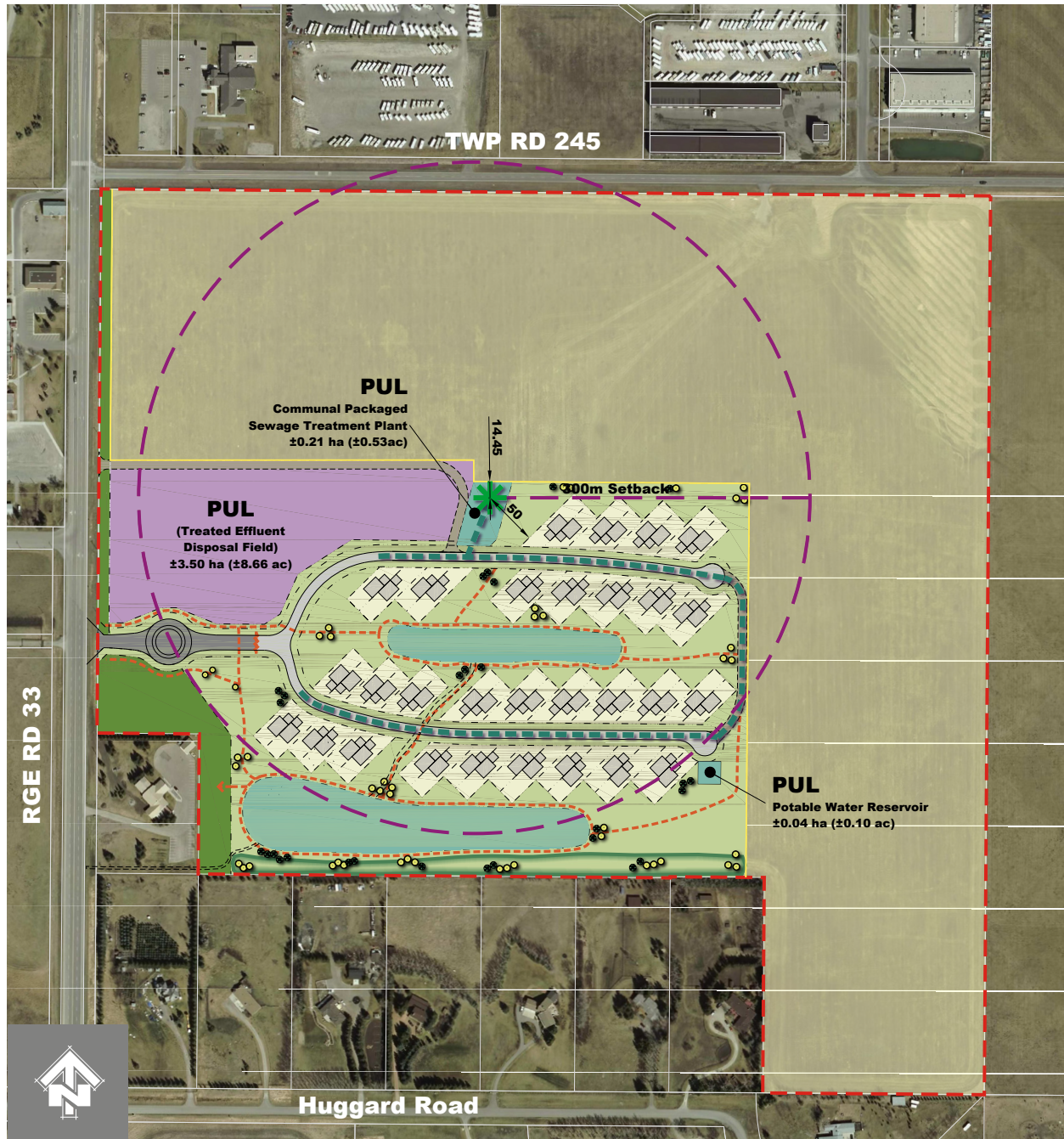
3.3.6 COMMUNAL PACKAGED SEWAGE TREATMENT PLANT

As described in the Subdivision Access & Utility Servicing Preliminary Assessment, the Preliminary Assessment for Communal On-Site Wastewater Treatment System, June 2017, and the Hydrogeological Investigation of Proposed Sub-surface Disposal System, January 2019, the design of the communal treatment plant & field system is anticipated to accommodate a peak capacity of 86 m³/day of wastewater effluent and shall be generally located as illustrated on **Figure 11: Wastewater Servicing**.

In accordance with the County's Policy 430: Communal Wastewater System Management, the communal treatment plant will be constructed by the developer on a Public Utility Lot (PUL) at the subdivision stage. The developer shall initially operate and maintain the communal treatment plant and will be required to transfer the communal treatment plant & field system to the County, at no cost, on a deficiency free basis at the subdivision stage.

In accordance with Section 12(4) of the Subdivision and Development Regulations, the operating area of a wastewater treatment plant may not be closer than 300 m from any school, hospital, food establishment or existing/proposed residential building site. As illustrated on **Figure 11: Wastewater Servicing**, the siting of the communal packaged sewage treatment plant respects a 300 m setback from the existing Springbank schools, Heritage Club and adjacent country residential subdivisions along Huggard Road. It is acknowledged that a request to vary this minimum setback must be forwarded to the Alberta Environment at the subdivision stage to accommodate the residential dwelling units within the Pradera Springs neighbourhood.

FIGURE 11 | Wastewater Servicing



Legend

- Conceptual Scheme Plan Area
- Proposed Development Area
- Proposed Wastewater Servicing Main
- ★ Communal Packaged Sewage Treatment Plant

POLICIES:

- 3.3.6.1** Wastewater shall be provided within the Plan area by a communal packaged sewage treatment system to be designed and constructed by the developer at the subdivision stage in accordance with all applicable regulatory requirements and the County Servicing Standards.
- 3.3.6.2** The communal packaged sewage treatment will to be designed and constructed by the developer at the subdivisions stage within a Public Utility Lot in accordance with applicable regulatory requirements, the County Servicing Standards and Policy 430: Communal Wastewater System Management.
- 3.3.6.3** In accordance with RVC Policy 430: Communal Wastewater System Management, the developer shall contract a qualified operator to initially operate and maintain the communal packaged sewage treatment system pending its' eventual transfer to the County, at no cost, on a deficiency free basis in accordance with a Cost Feasibility & Sustainability Analysis and a Transfer Agreement to be negotiated at the subdivision stage.
- 3.3.6.4** The siting of the communal packaged sewage treatment plant will ensure the minimum 300 m setback does not impact adjacent properties as generally illustrated on Figure 11: Wastewater Servicing.
- 3.3.6.5** The County's Subdivision Authority will apply to Alberta Environment to vary the minimum 300 m setback in accordance with Section 12(5) of the Subdivision and Development Regulations. Approval of this setback relaxation shall be required as a condition of subdivision.

3.3.7 COMMUNAL WASTEWATER COLLECTION SYSTEM

As described in the Subdivision Access & Utility Servicing Preliminary Assessment, the developer shall construct a wastewater collection system within the new residential neighbourhood as generally illustrated by **Figure 11: Wastewater Servicing**. Collection lines will be installed following the internal roads to convey the effluent to the communal wastewater treatment plant. Individual wastewater holding tanks shall be installed by the developer within each bareland residential condominium unit. As per the County's Policy 430: Communal Wastewater System Management, the developer shall own and operate the wastewater collection system pending its eventual transfer to the County in accordance with the terms of a Transfer Agreement negotiated at the subdivision stage.

POLICIES:

- 3.3.7.1** The developer shall construct a wastewater collection system within the internal private roads as generally illustrated on Figure 11: Wastewater Servicing, at the subdivision stage, in accordance with applicable regulatory requirements, the County Servicing Standards and Policy 430: Communal Wastewater System Management.
- 3.3.7.2** Each bareland residential condominium owner will install a sanitary holding tank and pumping system within each residential lot at the development permit stage. This requirement shall form part of the architectural controls to be established at the subdivision stage.
- 3.3.7.3** In accordance with RVC Policy 430: Communal Wastewater System Management, the developer shall operate and maintain the wastewater collection system pending its' transfer to the County (excluding the individual wastewater holding tanks) in accordance with the terms of a Cost Feasibility & Sustainability and a Transfer Agreement to be negotiated at the subdivision stage.
- 3.3.7.4** The developer shall grant utility right-of-way easement to the County over the private internal road for the purposes of accessing and maintaining the wastewater collection systems should circumstances warrant.

3.3.8 TREATED EFFLUENT DISPOSAL FIELD

As illustrated by **Figure 11: Wastewater Servicing**, the packaged sewage treatment plant will discharge into a treated effluent disposal field to be sized in accordance with the recommendations of the Hyrdogeological Investigation of Proposed Sub-Surface Disposal System and the Preliminary Assessment for Communal On-Site Wastewater Treatment System prepared in support of this Conceptual Scheme. The developer shall construct the treated effluent disposal field within a public utility lot (PUL), to be established at the subdivision stage, in accordance with all applicable regulatory requirements and County Servicing Standards.

POLICIES:

- 3.3.8.1** The developer shall construct a treated effluent disposal field within a public utility lot (PUL), to be established at the subdivision stage, in accordance with all applicable regulatory requirements and County Servicing Standards.

3.3.9 POTENTIAL REGIONAL WASTEWATER SERVICING

It is acknowledged that the Springbank Community could eventually be serviced by a regional wastewater provider. As such, there is potential for the on-site wastewater infrastructure contemplated by this Conceptual Scheme to be decommissioned should this residential development be serviced by regional wastewater infrastructure. As such, a deferred servicing agreement shall be registered against all residential lots advising future landowners of obligation to connect to a regional wastewater service should one become available within the Conceptual Scheme area.

POLICIES:

- 3.3.9.1** A deferred servicing agreement shall be registered against all residential lots advising future landowners of obligation to connect to a regional wastewater service should one become available within the Conceptual Scheme area.

3.3.10 SHALLOW UTILITIES

Shallow utilities (i.e. electricity, telecommunication, natural gas, etc.) will be provided within the Plan area by the developers at the subdivision stage in consultation with all applicable shallow utility providers.

POLICIES:

- 3.3.10.1** Shallow utilities shall be installed and/or financed by the developer at the subdivision stage in consultation with all applicable utility providers.
- 3.3.10.2** The alignment of utility installations shall be determined at the subdivision stage in accordance with the County Servicing Standards.

3.4 Stormwater Management

Generally, topographical relief within the Plan area slopes from the northeast towards the southwest. As illustrated on **Figure 12: Stormwater Management**, the southwest portion of the Plan area is located within the Springbank Creek Drainage Basin and the northeast portion is located within the Grandview Drainage Basin – both of which are tributaries of the Elbow River. The new residential neighbourhood and all associated infrastructure drains towards the southwest to the Springbank Creek.

3.4.1 SPRINGBANK MASTER DRAINAGE PLAN

The Springbank Master Drainage Plan identifies the surface drainage characteristics of the entire drainage basin and establishes targets for maximum runoff release rates and volumes which are 1.5L/sec/ha with an average volume not exceeding 45 mm (pending improvements to existing culverts situation downstream of the Conceptual Scheme area).

3.4.2 STORMWATER MANAGEMENT SYSTEM

The Plan area will be provided with stormwater management service by a major system of overland flows that will drain into two interconnected stormwater management ponds designed and sized in accordance with the conclusions of the Conceptual Level Stormwater Management Report, February 2019 prepared in support of this Conceptual Scheme.

The stormwater management facilities will be constructed by the developer within Public Utility Lots (PUL) owned by the County and maintained by the Pradera Springs Condominium Corporation. The County will authorize the use of the PUL for the stormwater management ponds through a License of Occupation (LOC).

The developer shall register an overland drainage right-of-way plan as affecting the stormwater conveyance system within the Plan area and reserve the right for the County to gain emergency access to this infrastructure or to ensure required maintenance activities are completed.

A downstream discharge will be required to drain surface flows from the Plan area to the ditch within the Range Road 33 ROW. The developer shall construct an overland drainage swale along the south boundary of Lot R9, Plan 771 0490 at the subdivision stage in accordance with the County Servicing Standards.

FIGURE 12 | Stormwater Management



- Conceptual Scheme Plan Area
- Proposed Development Area
- Drainage Direction ↔ Overland Drainage Easement/ROW
- Stormwater Pond (PUL)

POLICIES:

- 3.4.2.1** Stormwater Management shall be provided within the Plan area as generally illustrated by Figure 12: Stormwater Management.
- 3.4.2.2** The developer shall provide a Stormwater Management Report at the subdivision stage to assess pre and post development surface drainage characteristics that ensure positive drainage conditions are maintained subsequent to the development proceeding.
- 3.4.2.3** The design of the stormwater management system within the Plan area shall accommodate the unit area release rates and volume retention targets as per the Springbank Master Drainage Plan.
- 3.4.2.4** The stormwater ponds shall be constructed on common property owned by the Pradera Springs Condominium Association.
- 3.4.2.5** The Pradera Springs Condominium Association shall operate and maintain all stormwater management infrastructure under agreement with a licensed operator.
- 3.4.2.6** The developer shall register an overland drainage right-of-way plan affecting the stormwater conveyance system within the Plan area to reserve the right for the County to gain access to this infrastructure in the event of emergency or to ensure required maintenance activities are completed.
- 3.4.2.7** The developer shall construct an overland drainage swale along the south boundary of Lot R9, Plan 771 0490 at the subdivision stage, in accordance with the County Servicing Standards.
- 3.4.2.8** Pending downstream improvements to existing culverts, the maximum allowable unit area release rate will be 1.5 L/s/ha in accordance with the conclusions of the Springbank Master Drainage Plan and the Springbank Creek Catchment Drainage Plan.
- 3.4.2.9** The developer shall obtain all regulatory approvals from Alberta Environment Protection (AEP) for the stormwater facilities and discharge.



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3.5 Open Space Considerations

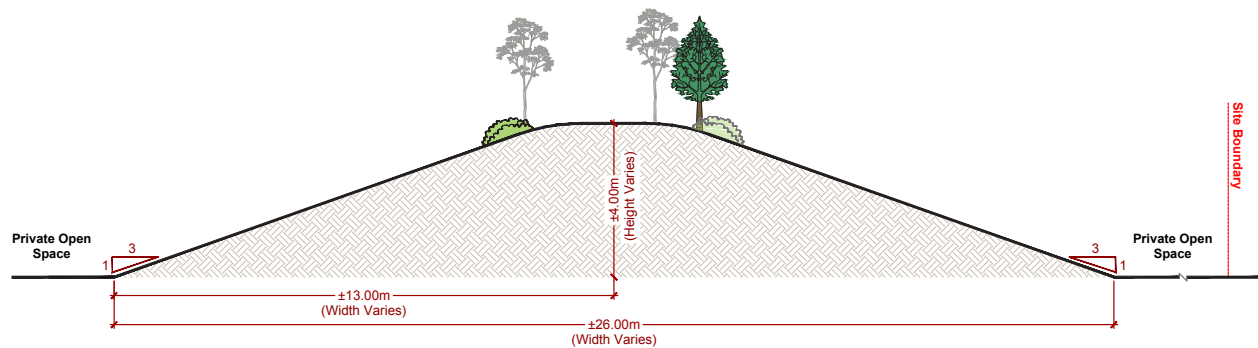
The open space system within The Pradera Springs Conceptual Scheme will include a combination of public and private open space as generally illustrated on **Figure 13: Open Space System**.

3.5.1 PRIVATE OPEN SPACE

This new residential neighbourhood will include approximately ± 7.92 ha (± 19.56 ac) of private open space featuring a comprehensively designed local pathway system designed to promote an active lifestyle and social interaction for local residents. The pedestrian system will include a series of loops surrounding each of the two stormwater management facilities terminating at the eastern boundary of the Heritage Club and the proposed connection point with the regional trail at the main access to the development. The private open space may include other landscaping enhancements such as community gardens, benches and neighbourhood entrance signage.

The developer shall construct a landscaped berm along the south boundary of the residential area to provide a visual buffer for the existing country residential developments along Huggard Road.

Typical Berm Cross Section



Typical Berm Cross Section

FIGURE 13 | Open Space System



A landscaping plan shall be provided by the developer at the subdivision stage to detail the specific type and configuration of pedestrian amenities and associated landscaping enhancements within the private open space area. All plantings shall be in accordance with the County Land Use Bylaw requirements and the design of the pathway shall be in accordance with the County Servicing Standards.

The private open space and related improvements will be owned and maintained by the Pradera Springs Condominium Association.

POLICIES:

- 3.5.1.1** The private open space area will include a comprehensively designed local pathway system designed to promote an active lifestyle and social interaction.
- 3.5.1.2** The private open space area may contain other pedestrian amenities, landscaping enhancements and neighbourhood entrance signage.
- 3.5.1.3** The developer shall construct a landscaped berm along the south boundary of the residential area to provide visual buffering for the existing country residential parcels situated along Huggard Road.
- 3.5.1.4** The developer will provide a landscaping plan at the subdivision stage to detail the type and configuration of specific pedestrian and landscaping enhancement in accordance with the County Land Use Bylaw and County Servicing Standards.
- 3.5.1.5** The private open space and all related improvements therein shall be owned and maintained by the Pradera Springs Condominium Association.

3.5.2 PUBLIC OPEN SPACE

As illustrated on **Figure 13: Open Space System**, the owner is proposing to dedicate a Municipal Reserve parcel adjacent to Lot R9, Plan 771 0490 to accommodate potential enhancement and expansion of community-oriented buildings and uses within the existing Springbank Heritage Club site. It is anticipated that the County could make this new MR parcel available to community stakeholder groups to prepare a comprehensive park redevelopment plan subsequent to the adoption of this Conceptual Scheme.

The developer will also dedicate a Municipal Reserve parcel along the western edge of the Conceptual Scheme area and shall construct a paved regional trail in accordance with the requirements of the Servicing Standards and the Active Transportation Plan: South County Area.

The remaining amount of outstanding Municipal Reserve shall be dedicated as cash in lieu at the subdivision stage.

It is noted that the amount of Municipal Reserve outstanding against the agricultural remainder parcel will be deferred.

POLICIES:

- 3.5.2.1** The developer shall dedicate a Municipal Reserve parcel adjacent to Lot R9, Plan 771 0490 as generally illustrated on Figure 13: Open Space System.
- 3.5.2.2** The developer shall dedicate a ± 8 m linear Municipal Reserve parcel along the western boundary of the Plan area to accommodate a regional trail.
- 3.5.2.3** The developer shall construct a paved asphalt trail within the ± 8 m linear Municipal Reserve parcel in accordance with the requirement of the Servicing Standards.
- 3.5.2.4** The amount of remaining outstanding amount of Municipal Reserve associated with the Conceptual Scheme's development area shall be provided as cash-in-lieu of land at the subdivision stage.
- 3.5.2.5** The amount of Municipal Reserve outstanding against the agricultural remainder parcel shall be deferred.

3.6 Community Support Infrastructure

3.6.1 FIRE, POLICE AND EMERGENCY RESPONSE

Primary fire response will be provided to **The Pradera Springs Conceptual Scheme** from The Rocky View County Fire Station #102 located at the Springbank Airport. Secondary fire response is anticipated from The City of Calgary.

Policing will be provided by the RCMP Detachment in The Town of Cochrane with support from the Rocky View County Community Peace Officers.

Emergency Response will be addressed by the 911 system with dispatch of ambulance service from the EMS facility in Priddis and/or EMS facilities within the City of Calgary.

3.6.2 SOLID WASTE MANAGEMENT

Provision of solid waste refuse management within the new residential neighbourhood will be provided by a qualified solid waste management operator managed through a contract with the Pradera Springs Condominium Association.

POLICIES:

3.6.2.1 Solid waste management shall be provided within the Plan area by a qualified waste management operator through a contract managed by the Pradera Springs Condominium Association.

4.0 IMPLEMENTATION FRAMEWORK

4.1 The Pradera Springs Condominium Association

Given the unique form of residential housing oriented towards seniors seeking and active lifestyle with limited obligation for ongoing maintenance, this new residential neighbourhood will be established with a condominium form of ownership. The creation of a condominium is also a requirement of the senior's housing policies of the Central Springbank Area Structure Plan (CSASP).

The Pradera Springs Condominium Association will be established at the subdivision stage in accordance with the requirements of the Condominium Property Act. The condominium association shall be responsible for ownership, operation and maintenance of the key transportation & utility servicing infrastructure and all private open space and related pedestrian amenities.

POLICIES:

- 4.1.2.1** The Pradera Springs residential neighbourhood will be established with a condominium form of ownership in accordance with the provisions of the CSASP's Section 2.9.2 Senior's Housing policies.
- 4.1.2.2** The Pradera Springs condominium association shall be responsible for ownership, operation and maintenance of the key transportation & utility servicing infrastructure, all private open space & related pedestrian amenities and the provision of all other key services as described by this Plan.

4.2 Proposed Land Use

Land use amendment (zoning) is expected to be assigned by Council in accordance with the Rocky View County Land Use Bylaw as generally illustrated by **Figure 14: Proposed Land Use** described as follows:

- The residential area, private open space, and wastewater treatment facility and portable water reservoir will be designated Direct Control District (DC);
- The Municipal Reserve and Public Utility Lots (PUL) will be designated Public Service District (PS);
- The agricultural remainder parcel will be designated Ranch & Farm Two District (RF-2).

POLICIES:

4.2.2.1 Future land use are expected to be assigned within the Plan Area as generally illustrated by Figure 14: Proposed Land Use.

FIGURE 14 | Proposed Land Use



Legend

- | | |
|--|---|
| Conceptual Scheme Plan Area | Public Service District (Community Use Area) |
| Direct Control District (Residential Area) | Ranch and Farm Two District (Agricultural Area) |

4.3 Proposed Subdivision

Implementation of subdivision within **The Pradera Springs Conceptual Scheme** is expected to occur as generally illustrated by **Figure 15: Proposed Subdivision**.

Subdivision is expected to occur in two stages described as follows:

Part A will involve a fee simple subdivision to create:

- A ± 14.65 ha (± 36.19 ac) parcel for the future bareland condominium residential lots, private roads and private open space;
- A ± 1.36 ha (± 3.37 ac) Municipal Reserve parcel in two parts to facilitate expansion of existing Lot R9, Plan 771 0490 and the linear MR parcel for future regional pathway construction;
- A ± 31.08 ha (± 76.81 ac) agricultural remainder parcel; and
- Two Public Utility Lots totalling ± 0.41 ha (± 1.02 ac) to contain two stormwater management facilities.
- A ± 0.21 ha (± 0.53 ac) Public Utility Lot to contain the communal packaged sewage treatment plant.
- A ± 3.5 ha (± 8.66 ac) Public Utility Lot to contain the treated effluent disposal field.
- A ± 0.04 ha (± 0.10 ac) PUL to contain the Potable water reservoir.

Part B will involve a bareland condo subdivision to create:

- 56 bareland condominium lots for the residential dwelling units;
- A bareland condominium unit to contain the internal roadways; and
- A bareland condominium unit to contain the private open space.

POLICIES:

4.3.2.1 Implementation of subdivision within the Plan area is expected to proceed as generally illustrated by Figure 15: Proposed Subdivision.

FIGURE 15 | Proposed Subdivision



Unit	hectares	acres	Unit	hectares	acres	Unit	hectares	acres	Unit	hectares	acres
Unit 1A	0.09	0.22	Unit 8A	0.07	0.17	Unit 15B	0.06	0.16	Unit 23A	0.07	0.17
Unit 1B	0.07	0.17	Unit 8B	0.09	0.22	Unit 16A	0.09	0.22	Unit 23B	0.08	0.20
Unit 2A	0.09	0.22	Unit 9A	0.07	0.17	Unit 16B	0.07	0.17	Unit 24A	0.07	0.17
Unit 2B	0.07	0.17	Unit 9B	0.09	0.23	Unit 17A	0.09	0.22	Unit 24B	0.09	0.22
Unit 3A	0.09	0.22	Unit 10A	0.07	0.18	Unit 17B	0.07	0.17	Unit 25A	0.07	0.18
Unit 3B	0.07	0.17	Unit 10B	0.09	0.23	Unit 18A	0.09	0.22	Unit 25B	0.09	0.23
Unit 4A	0.09	0.22	Unit 11A	0.07	0.18	Unit 18B	0.07	0.17	Unit 26A	0.08	0.19
Unit 4B	0.07	0.17	Unit 11B	0.09	0.23	Unit 19A	0.09	0.22	Unit 26B	0.10	0.24
Unit 5A	0.07	0.17	Unit 12A	0.07	0.17	Unit 19B	0.07	0.17	Unit 27A	0.08	0.19
Unit 5B	0.09	0.22	Unit 12B	0.06	0.15	Unit 20A	0.09	0.22	Unit 27B	0.10	0.24
Unit 6A	0.07	0.17	Unit 13A	0.07	0.18	Unit 20B	0.07	0.17	Unit 28A	0.08	0.19
Unit 6B	0.09	0.22	Unit 13B	0.08	0.19	Unit 21A	0.07	0.18	Unit 28B	0.10	0.24
Unit 7A	0.07	0.17	Unit 14A	0.08	0.19	Unit 21B	0.08	0.19	Unit 29A	0.08	0.19
Unit 7B	0.09	0.22	Unit 14B	0.06	0.16	Unit 22A	0.06	0.16	Unit 29B	0.08	0.20
Total Residential Unit Area (DC)	4.54	11.23	Unit 15A	0.08	0.21	Unit 22B	0.08	0.19			
Agricultural Remainder (RF2)	31.08	76.81									
Municipal Reserve (MR1) - (PS)	0.40	0.98									
Municipal Reserve (MR2) - (PS)	0.97	2.39									
Communal Packaged Sewage Treatment Plant - (PUL)	0.21	0.53									
Treated Effluent Disposal Field - DC (PUL)	3.50	8.66									
Potable Water Reservoir - DC (PUL)	0.04	0.10									
Storm Pond - DC (PUL)	0.41	1.02									
Private Open Space (DC)	7.92	19.56									
Roads & Emergency Access (DC)	3.15	7.79									
Conceptual Scheme Boundary Total:	51.27	126.68									



4.4 New Dwelling Counts & Population Projections

The number of additional dwellings and associated population projections is as per the following table:

# NEW DWELLINGS	POPULATION PER HOUSEHOLD*	TOTAL POPULATION ANTICIPATED
56	3	168

** Based on Rocky View County average household size*

4.5 Development Phasing

Development within The Pradera Springs Conceptual Scheme is expected to proceed in a single phase. Notwithstanding, the developer may wish to construct the development in multiple phases provided there is appropriate infrastructure available to support each development phase.

POLICIES:

4.5.2.1 The development of The Pradera Springs neighbourhood is expected to proceed in a single phase.

4.5.2.2 Notwithstanding, the developer may wish to develop the project in multiple phases provided there is appropriate infrastructure available to support each development phase.

4.6 Architectural Design Considerations

As previously described in this Plan, the configuration of residential lots shall be in accordance with the parcel size and specific development regulatory requirements as established by the Direct Control District (DC). Additionally, the following architectural guidelines will be considered at the subdivision stage.

4.6.1 ARCHITECTURAL GUIDELINES

The developer will establish and implement specific **Architectural Guidelines** to ensure all residential development reflects a consistent style and coordinated theme. Specific benchmarks for exterior building criteria will be established to consider design elements such as:

- Exterior material finishes and colours to match the palette of natural landscaping;
- Use of natural material finishings such as stone, wood siding and timber is encouraged;
- Roof-lines with variable peaks;
- Roofing materials should reflect a natural colour palette;
- Exterior illumination will be minimized and implemented in accordance with dark-sky principles;
- Areas of extensive 'manicured' exterior landscaping should be minimized in favour of natural drought-resistant plantings that require minimal irrigation & maintenance requirements;
- Minimal fencing;
- Mandatory requirement for interior design features that accommodate universal barrier-free design considerations such as:
 - Elevators and/or stair chair lifts;
 - Entranceway ramps;
 - Wider door frames;
 - Wider kitchen & bathroom areas; and
 - Minimal grade changes between rooms.

The developer will register the Architectural Guidelines against the certificate of title for each residential property at the subdivision stage to advise the future owners of their specific development requirements.

Conceptual building elevations and sample floor plans are illustrated on **Figure 16: Architectural Design Elements**. It is acknowledged that these illustrations are conceptual only and are expected to be adjusted and finalized at the development permit stage.

POLICIES:

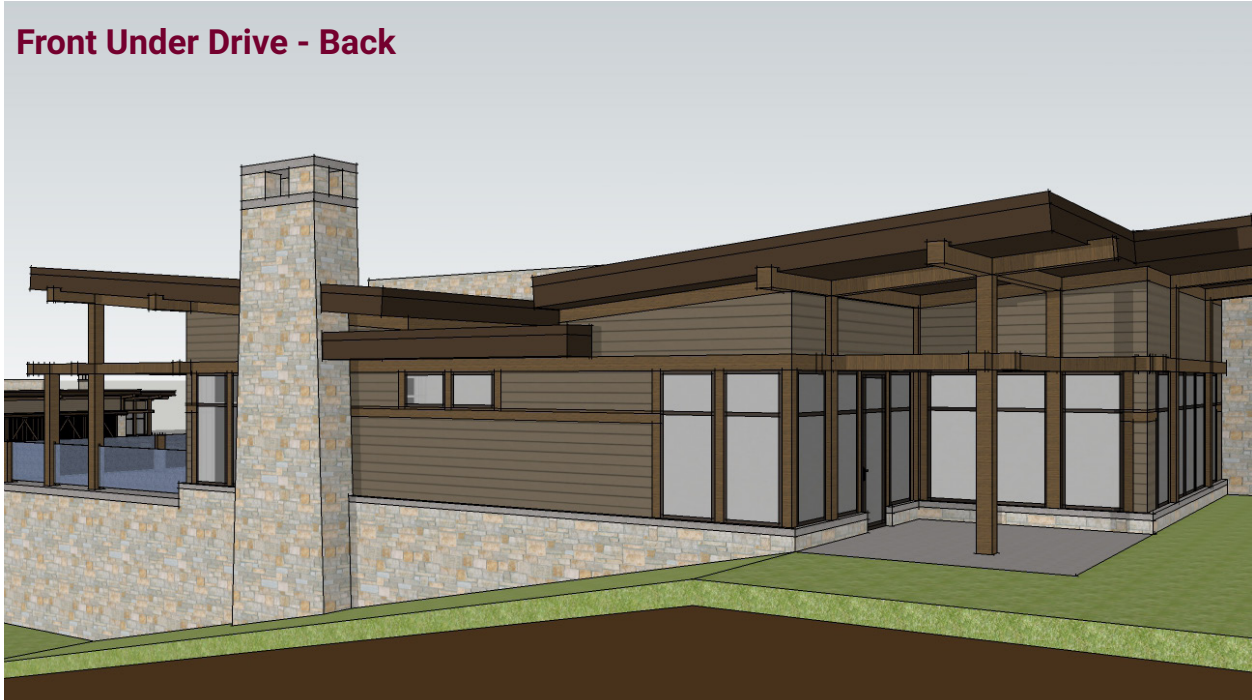
- 4.6.2.1** The developer shall establish Architectural Guidelines to regulate specific residential building criteria such as material finishes, colours, landscaping, dark sky compliant exterior illumination, interior design considerations to facilitate barrier free access etc at the subdivision stage.

FIGURE 16A | Sample Exterior Architectural Design Elements

Front Under Drive - Front

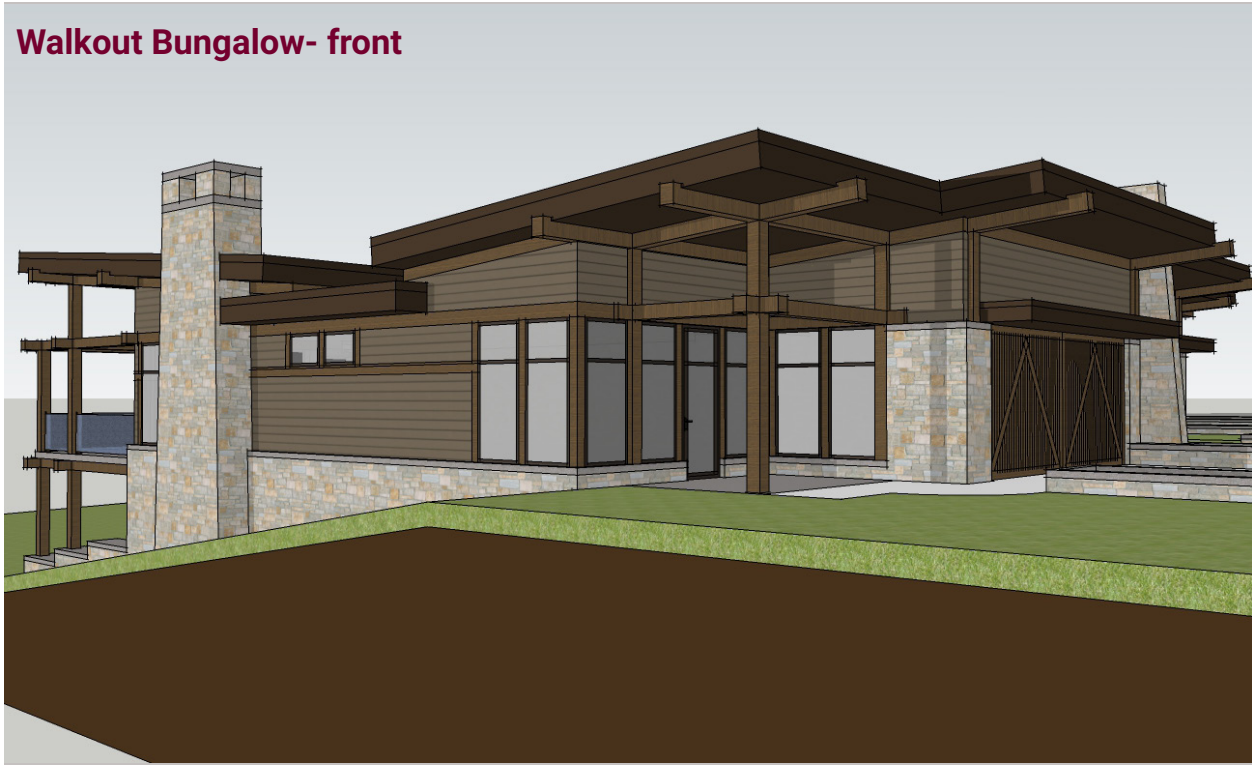


Front Under Drive - Back



Conceptual only, subject to change.

Walkout Bungalow- front



Walkout Bungalow- back



Conceptual only, subject to change.

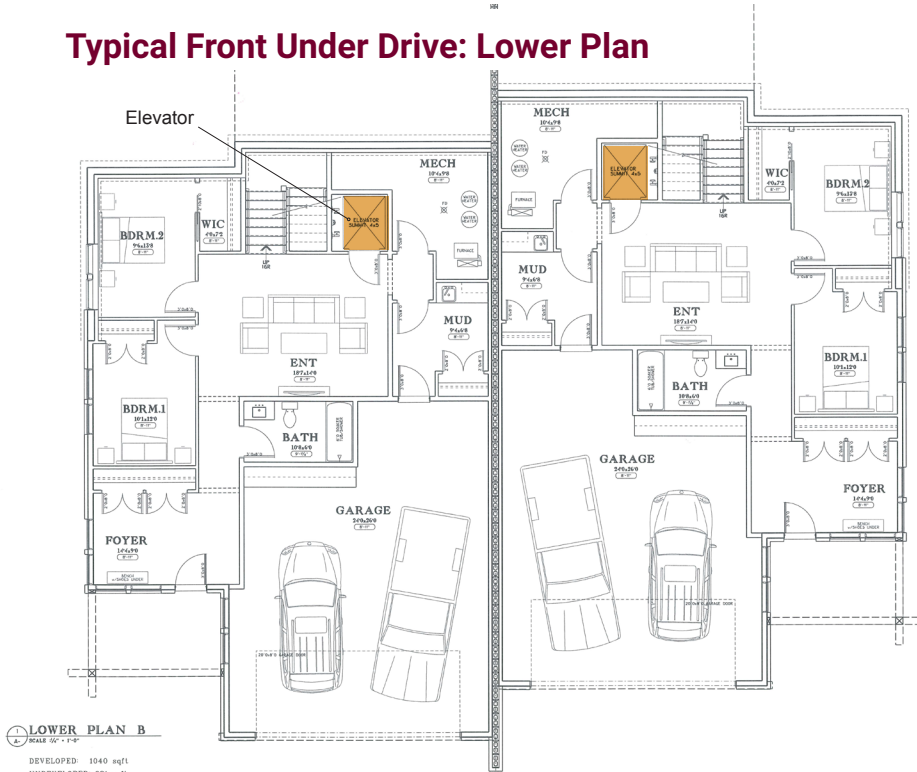
FIGURE 16B | Sample Street Frontage Perspective

Typical Street Overview

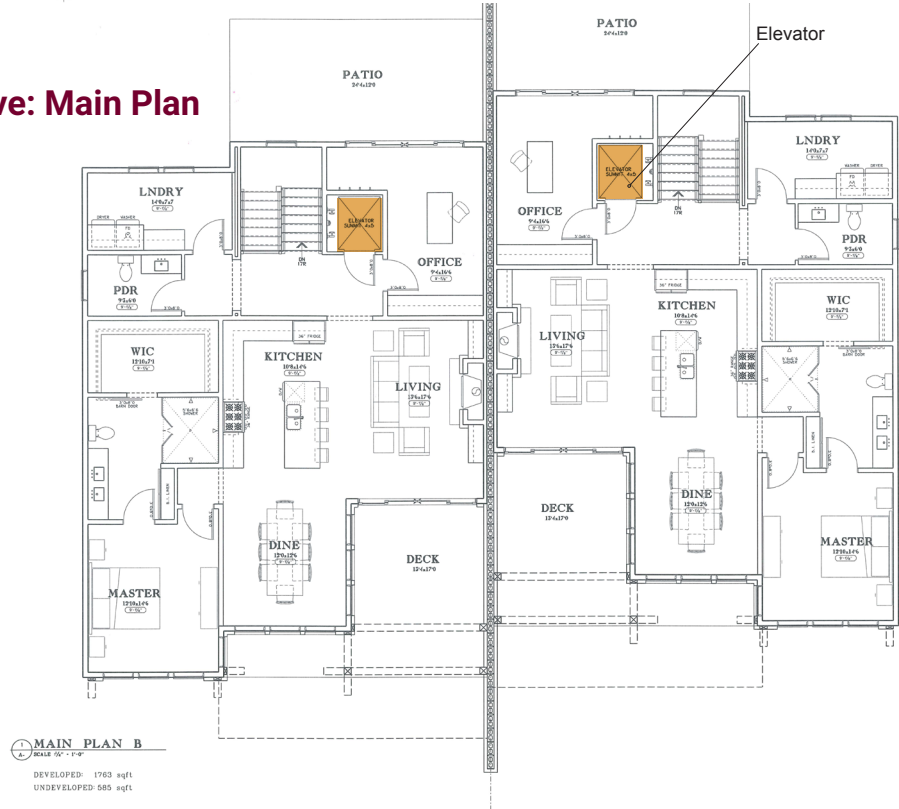


FIGURE 16C | Sample Interior Architectural Design Elements

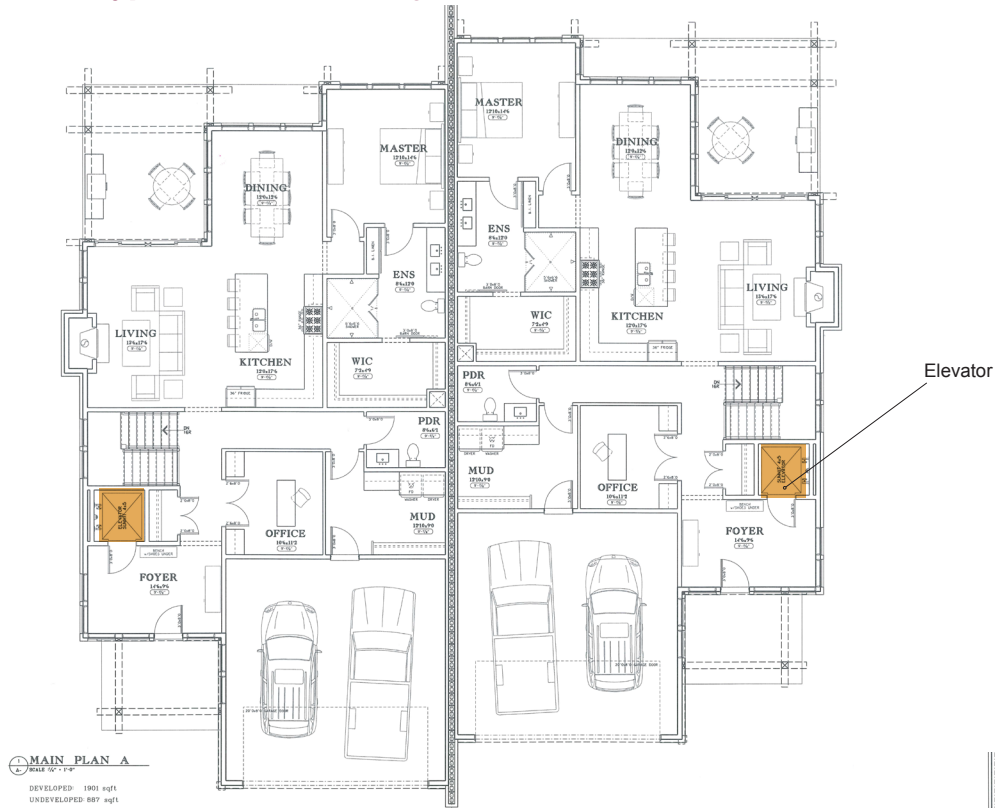
Typical Front Under Drive: Lower Plan



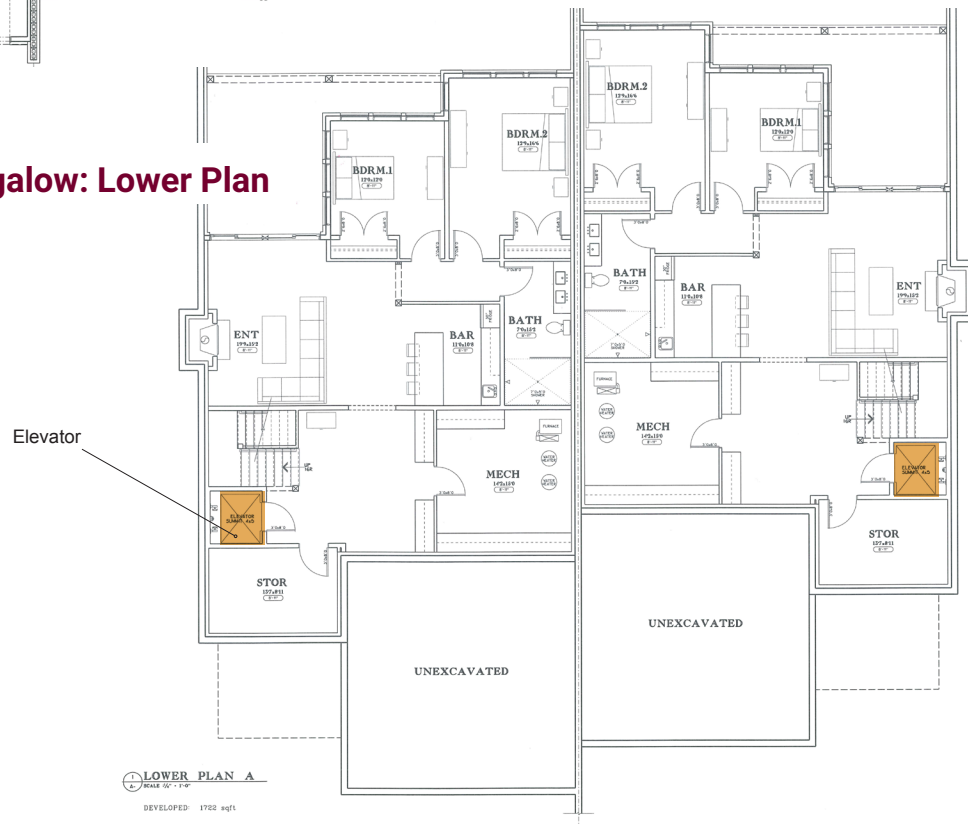
Typical Front Under Drive: Main Plan



Typical Walkout Bungalow: Main Plan



Typical Walkout Bungalow: Lower Plan



4.6.2 AGRICULTURAL BOUNDARY DESIGN GUIDELINES

The Pradera Springs residential area will be bounded to the north and east by an agricultural parcel that is expected to remain in active production. As such, it is important to consider an appropriate design treatment along the interface between these two potentially conflicting land uses.

As illustrated on **Figure 8: Development Concept** the configuration of the public utility lot (PUL) for the treated effluent disposal field will establish a buffer between the agricultural remainder parcel and the west side of the residential area. Likewise, the private open space buffer situated along the northern edge of the residential area will also provide an appropriate transitional buffer to the balance of the agricultural remainder parcel. The eastern boundary of the residential area includes a mix of private open space and the secondary/emergency access which will maintain an appropriate interface between residential and agricultural land use.

5.0 MUNICIPAL POLICY FRAMEWORK

5.1 The County Plan, 2013

Rocky View County adopted a new Municipal Development Plan (The County Plan) in October, 2013. The County Plan includes the following vision statement:

'Rocky View is an inviting, thriving and sustainable county that balances agriculture with diverse residential, recreational and business development opportunities'.

The County Plan establishes a series of 'planning principles' which all future developments within the municipality are expected to consider including:

- Growth & Fiscal Sustainability;
- The Environment;
- Agriculture;
- Rural Communities;
- Rural Service; and
- Partnerships.

The County Plan's Residential Policies seek to facilitate moderate residential growth within preferred designated areas. The County Plan encourages country residential development to continue to locate within existing communities where Area Structure Plans are adopted.

The Pradera Springs Conceptual Scheme proposes to locate new residential development within an area where it is supported by an adopted statutory plan. This Conceptual Scheme is consistent with the intent of the Central Springbank Area Structure Plan.

5.2 Central Springbank Area Structure Plan, 2001

The Pradera Springs Conceptual Scheme includes a focused and deliberate implementation strategy to facilitate infill country residential subdivision within an 'Infill Residential Area' as established by the Central Springbank Area Structure Plan (CSASP).

This Conceptual Scheme was prepared in accordance with the general land use, open space, transportation and utility servicing provisions of the CSASP. And more specifically, in accordance with the senior's housing policy provisions described in Section 2.9.2 of the CSASP.



6.0 COMMUNITY CONSULTATION SUMMARY

The proponent of the Pradera Springs Conceptual Scheme (1194325 Alberta Ltd.) wishes to initiate development of this existing ± 129 ac parcel presently designated Ranch & Farm District (RF).

The owner is committed to consulting with the adjacent landowners and key stakeholders from the broader community regarding this project. The developer's community consultation process is designed to ensure that all specific details relative to this proposed development are communicated openly and transparently with the intent of achieving the following principles:

- To ensure all internal and external stakeholders are identified and included in the process;
- To generate awareness about the Conceptual Scheme and provide an opportunity for stakeholders to and provide input;
- To present preliminary architectural design considerations (i.e. preliminary architectural style , size of homes, material finishes, proposed treatment of lighting, fencing, landscaping, etc.).
- To solicit feedback from stakeholders so that expressed concerns can be proactively addressed during the Conceptual Scheme review process;
- To ensure stakeholders are kept informed of the Conceptual Scheme and its progress, and are aware of how to access more information if desired;
- To ensure the engagement process is monitored and measured, and results are shared with all stakeholders;
- To conduct communications related to the Conceptual Scheme in an open, honest and respectful manner.

6.1 Community Information Session

A Community Information Session was held on September 13th, 2017 at the Springbank Heritage Club. A newsletter was mailed to all adjacent property owners situated along Huggard Road and Longway Place with invitation to this community engagement event. Notice of the Information Session was also published in the Rocky View Weekly prior to the date of the event.

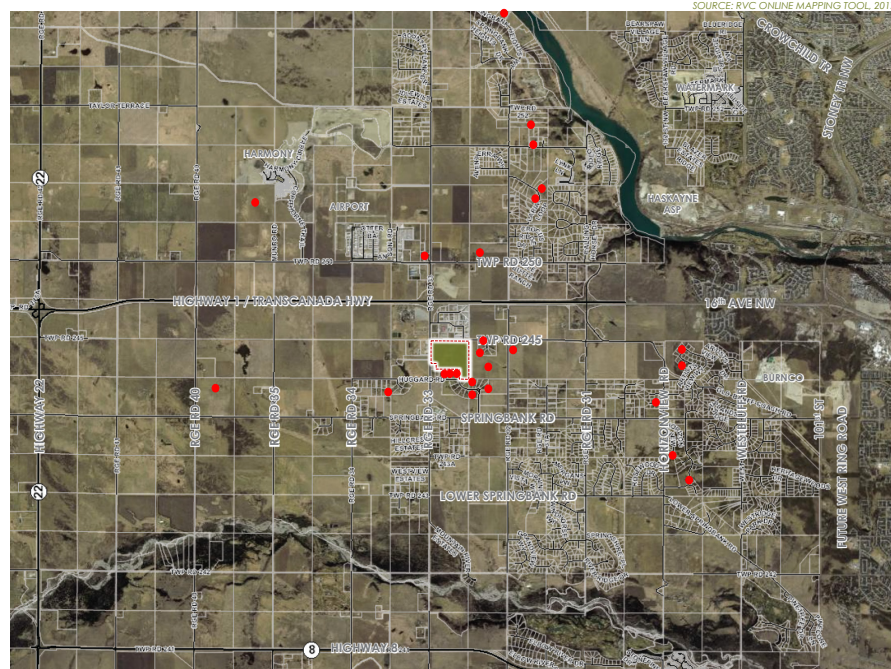
The format for the Information Session encouraged attendees sign-in upon arrival, review a series of poster-boards set up around the room, followed by a formal presentation to explain the details of the proposed development. The developer and members of the project consultant team were available to respond to questions.



Approximately 40 individuals attended the Information Session. Questions were asked regarding proposed methods of site servicing, stormwater management, traffic and pathways. Some asked about the timing of the construction associated with the project and proposed pricing of the final residential lots and units.

INFO SESSION ATTENDEES

MAP SHOWING LOCATION OF ATTENDEES AT THE SEPTEMBER 13, 207 COMMUNITY INFORMATION SESSION



6.2 Springview Water Co-op

During the circulation of the initial draft of this Conceptual Scheme, the Springview Water Co-op submitted a letter of concern. This Co-op services six (6) residential lots directly south of the Conceptual Scheme area and they have concerns relative to potential impacts to groundwater conditions, stormwater drainage patterns and wildlife. The Co-op requested the developer update the preliminary technical studies submitted with the application and provide additional consultation.

6.3 Response from the Development Team

The development team acknowledged the Springview Water Co-op's expression of concern and committed to preparing the following:

- A new Biophysical Impact Assessment (replacing the older report submitted with the application) to demonstrate that the proposed residential development would not create negative impact to local and regional environmental conditions;
- A new Conceptual Stormwater Management Plan (supplementing the preliminary technical studies prepared to support the application) to establish more specific detail regarding the proposed treatment of surface drainage within the project area to ensure potential impacts to the surrounding properties are appropriately mitigated; and
- A new Hydrogeological Investigation of the Proposed Sub-Surface Disposal Area (supplementing the preliminary technical studies prepared to support the application) to demonstrate that the proposed communal wastewater treatment & disposal system would not create negative impact to groundwater supply which services the Co-op.
- The technical studies were completed and the development team met with representatives of the Springview Water Co-op on February 19, 2019 to share their key findings and conclusions which indicate the proposed residential development is not expected to create negative impacts to the surrounding properties and the concerns expressed by the Springview Water Co-op can be reasonably mitigated.

LIST OF SUPPORTING TECHNICAL STUDIES

(SUBMITTED UNDER SEPARATE COVER)

1. Biophysical Impact Assessment, Tannas Conservation Strategies, January 2019
2. Geotechnical Investigation, Lone Pine Geotechnical Ltd., February 2018
3. Residential Access & Servicing Analysis, Sedulous Engineering Inc., May 2019
4. Conceptual Level Stormwater Report, Sedulous Engineering Inc., February 2019
5. Hydrogeological Investigation of Proposed Subsurface Disposal System, SD Consulting, January 2019
6. Preliminary Assessment for Communal On-Site Wastewater Treatment System, Groundwater Information Technologies, February 2017
7. Traffic Impact Assessment, Bunt & Associates, June 2017



PRADERA SPRINGS
CONCEPTUAL SCHEME

MAY 2019