



MEADOWLANDS COUNTRY ESTATES

Conceptual Scheme



Bylaw C-6518-2007, Adopted September 04, 2007

MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44
Department of Planning and Community Services

MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44
BYLAW C-6518-2007

A Bylaw of the Municipal District of Rocky View No. 44, pursuant to Divisions 7 & 12 of Part 17 of the Municipal Government Act, to adopt the Schedule 'A' referred to as the "Meadowlands Country Estates Conceptual Scheme".

WHEREAS the Council of the Municipal District of Rocky View No. 44 has received an application to adopt a Conceptual Scheme to establish a comprehensive policy framework to guide and evaluate future redesignation, subdivision and development applications within the NW of Section 4-24-27-W4M, located south of Highway 1 on Range Road 274, consisting of approximately 160 acres, as shown in Schedule 'A', attached to and forming part of this Bylaw; and

WHEREAS the Council deems it desirable to adopt the Conceptual Scheme; and

WHEREAS a notice was published on Tuesday, August 7, 2007 and Tuesday, August 14, 2007 in the Rocky View Weekly, a newspaper circulating in the Municipal District of Rocky View No. 44, advising of the Public Hearing for Tuesday, September 4, 2007; and

WHEREAS Council held a Public Hearing and have given consideration to the representations made to it in accordance with Section 692 of the Municipal Government Act, being Chapter M-26 of the Revised Statutes of Alberta, 2000, and all amendments thereto.

NOW THEREFORE the Council enacts the following:

1. That the Conceptual Scheme be adopted to provide a comprehensive policy framework to guide and evaluate future redesignation, subdivision and development applications within all of the NW of Section 4-24-27-W4M, located south of Highway 1 on Range Road 274, consisting of an area of approximately 160 acres, as shown on Schedule 'A', attached to and forming part of this Bylaw; and
2. The Bylaw comes into effect upon the date of its third reading.

Division: 4

File: 04204003 – 2005-RV-051

First reading passed in open Council, assembled in the City of Calgary, in the Province of Alberta, on Tuesday, July 31, 2007, on a motion by Councillor Goode.

Second reading passed in open Council, assembled in the City of Calgary, in the Province of Alberta, on Tuesday September 4, 2007, on a motion by Councillor Habberfield.

Third reading passed in open Council, assembled in the City of Calgary, in the Province of Alberta, on Tuesday September 4, 2007, on a motion by Councillor Goode.

REEVE OR DEPUTY REEVE

MUNICIPAL SECRETARY

**MUNICIPAL DISTRICT OF ROCKY VIEW NO. 44
BYLAW C-6518-2007**

SCHEDULE “A”

A Conceptual Scheme for the NW of Section 4-24-27-W4M, located south of Highway 1 on Range Road 274, consisting of an area of approximately 160 acres, herein referred to as “Meadowlands Country Estates Conceptual Scheme”.

MEADOWLANDS COUNTRY ESTATES

CONCEPTUAL SCHEME

Prepared for:

**Municipal District of Rocky View No.44
Department of Planning and Development**

Prepared by:

Canada Country Marketing

On behalf of:

John and Doreen Knight

September 2007

TABLE OF CONTENTS

1.0	INTRODUCTION.....	1
1.1	Purpose.....	1
1.2	Vision	1
1.3	Objectives	2
1.4	Background.....	3
1.5	Plan Area	4
1.6	Local Land Use Context.....	5
2.0	Site Features.....	7
2.1	Existing Development and Improvements.....	7
2.2	Topography and Site Description	9
2.3	Geotechnical Investigation	9
2.4	Vegetation	9
2.5	Wildlife	9
3.0	Development Design and Future Land Uses.....	11
3.1	Proposed Subdivision Design	11
3.2	Proposed Future Land Uses	11
3.3	Municipal Development Plan.....	19
3.4	Population	19
4.0	Utilities and Servicing Proposal.....	20
4.1	Wastewater Management and Water Supply and Distribution	20
4.2	Drainage and Stormwater Management	27
4.3	Shallow Utilities	33
4.4	Protective Services	33
4.5	Solid Waste	33
4.6	Animal Manure	34
5.0	Transportation.....	35
5.1	Community Access	35
5.2	Traffic Impact Assessment.....	35
5.3	Internal Roadway System	36
6.0	Implementation.....	38
6.1	Direct Control Bylaw (DC Bylaw).....	38

6.2	Subdivision.....	39
6.3	Phasing.....	39
6.4	Development Controls.....	42
6.5	Landscape Buffering	43
6.6	Homeowner's Association	46
7.0	Public Consultation	47
7.1	Public Open House	47
8.0	Policy Summary	48
9.0	Professional Studies	56
	APPENDIX 1	57
	Public Consultation Report	57

LIST OF FIGURES

FIGURE: 1	Plan Area Location	5
FIGURE: 2	Local Land Use Context	6
FIGURE: 3	Site Features	8
FIGURE: 4	Proposed Future Land Use and Subdivision Design	12
FIGURE: 5	Proposed Subdivision Design Dimensions and Detail	13
FIGURE: 6	Multiplex	18
FIGURE: 7	Wastewater Collection System	21
FIGURE: 8	Domestic Water Distribution System	23
FIGURE: 9	Irrigation Water Distribution System	26
FIGURE: 10	Stormwater Management Plan: Overall Catchments	30
FIGURE: 11	Stormwater Management Plan: Pre-Development Conditions	31
FIGURE: 12	Stormwater Management Plan: Post-Development Conditions	32
FIGURE: 13	Phasing Plan	41
FIGURE: 14	Landscape Buffering Zones	44
FIGURE: 15	Landscape Buffering Detail	45

1.0 INTRODUCTION

1.1 Purpose

The purpose of this conceptual scheme (the "Conceptual Scheme") is to provide a comprehensive planning framework to guide the Municipal District of Rocky View (the "Municipality") Council (the "Council") with redesignation, subdivision, and development of 158.9 acres (64.25 ha) of ranch and farmland. The Conceptual Scheme is adopted by Council by bylaw and addresses planning and development issues including land use, stormwater management, provision of domestic water, sewage disposal, infrastructure provisions, onsite geotechnical features, traffic, and the impact of development on the subject land and surrounding land uses. The Conceptual Scheme and its supplementary information are also intended to provide clear and concise policy direction for the redesignation, subdivision, and development of the subject land. The developer wishes to facilitate the development of a residential acreage subdivision, augmented with an agriculture component on the subject land, and is seeking an amendment to Land Use Bylaw C-4841-97 for the appropriate redesignation of the subject land.

1.2 Vision

The overall vision for this Conceptual Scheme includes the transformation of the subject land into a well-planned country residential community entitled "Meadowlands Country Estates". This proposal will be achieved through the implementation of high quality development practices that are guided by the policies and objectives set forth in this Conceptual Scheme, including the protection and enhancement of the natural features of the site.

More specifically, the development concept of this Conceptual Scheme envisions a community that will provide amenities to enable its residents to pursue a variety of agricultural and horticultural interests and to cultivate these interests in the community's youth through 4-H club programs. It will also include amenities that will promote a physically and socially active lifestyle and a strong sense of community. A multifunctional community facility (the "Multiplex"), an extensive dual trail and pathway system, and a number of neighbourhood parks will be the primary amenities created to meet these objectives.

The Multiplex will be designed to support equine rearing activities and enhance the enjoyment for residents in developing related aptitudes. This equine centre will foster the development of adaptation and learning skills and stimulate a thirst for agricultural knowledge in the community's youth through its 4-H club equestrian programs. Making the Multiplex available to neighbouring 4-H clubs will assist in sustaining agricultural growth in the rural areas around the community.

For those in the community wishing to pursue horticultural interests, it will also include a greenhouse that will function as both a recreational outlet and an educational and practical experience centre for the community's 4-H club horticultural program. The Multiplex will also comprise a physical fitness facility and social centre that will both play a vital role in completing the vision for the development concept of the community.

The pathway portion of the trail system will be designed to promote physical activities such as walking, jogging, and biking and to play a key part in connecting the community. The trail portion of this system for riding horses, an indoor arena in the Multiplex, and a large irrigated pastureland will support and enhance the residents' enjoyment of equestrian activities.

The neighbourhood parks, incorporated into the design of the residential component of the subdivision and containing a variety of playing fields, will assist in the promotion of both social and physical activity within the community.

1.3 Objectives

This Conceptual Scheme intends to:

- a) provide a planning and development framework for the subject land;
- b) identify the location and illustrate the physical characteristics of the subject land;
- c) identify the current local land use context and the proposed future land uses for the subject land;
- d) establish the appropriateness of the plan area for the land uses proposed by the development proposal;
- e) describe, in detail, all aspects of the proposed subdivision design that will facilitate the development of a comprehensively planned country residential community that incorporates the highest development standards and promotes agricultural and horticultural interests, a physically active and social lifestyle, a sense of community, and family togetherness;
- f) establish a utility and servicing strategy that is appropriate for the subdivision and is acceptable to the Municipality and other agencies having jurisdiction;
- g) identify and describe the proposed infrastructure system within the development;
- h) identify any onsite or offsite constraints, such as transportation issues, affecting the development and establish mitigation measures;
- i) establish appropriate and acceptable implementation guidelines for the redesignation, subdivision, and development process;

- j) establish policies that will guide the redesignation and subdivision process and will detail the developer's commitments to be undertaken for the development of the project;
- k) summarize input and participation initiatives that were taken as part of the Conceptual Scheme preparation process;

1.4 Background

A Land Use Redesignation Application for the subject land was submitted to the Municipal District of Rocky View on October 1, 2004. The application proposed to redesignate the 64.26 hectares (158.9 acres) of 1/4 Section 4 NW, Township 24, Range 27, West Meridian 4 to Direct Control District (DC) to accommodate the proposed development. At its meeting of Tuesday February 1, 2005 Council passed a motion with respect to the Redesignation Application. The transmittal of decision request for Council direction regarding the preparation of a Conceptual Scheme read as follows:

"The Council requests the Applicant to pay the fee prescribed in the Master Rates Bylaw and prepare a Conceptual Scheme for the +/-160 acres owned by John & Doreen Knight, legally described as the NW 1/4 4-24-27-W4M, to be adopted by Bylaw, as a prerequisite to Council considering subsequent redesignation and subdivision applications within the subject land. As part of the Conceptual Scheme, the Applicant shall prepare policies regarding implementation of their proposal consistent with the Municipal Development Plan ("MDP") and conduct at least one Open House (to be advertised in the official newspaper of the Municipality) prior to Council considering first reading of the adopting Bylaw. The Conceptual Scheme should be prepared in a format to the satisfaction of the Municipality, to include, but not limited to, the following items:

- a) A description of all lands within the Conceptual Scheme Area;
- b) The identification of development issues (i.e. stormwater management, provision of potable water and sewage disposal, on-site geotechnical features, hydrological conditions, the Western Irrigation Canal, etc.) and an assessment of their impact on both the subject land, the surrounding parcels, and establishment of appropriate and comprehensive mitigation measures;
- c) A future land use scenario that would illustrate efficient and comprehensive development by encouraging innovative subdivision design (in keeping with the character of the surrounding area), servicing efficiencies, maximization of on-site development opportunities, accommodation and/or integration of a suitable transition/buffer between the proposed subdivision and the agricultural parcels;
- d) An addressing of the Municipal Development Plan's Land Use Strategy and Agricultural Policies in order to determine the appropriateness of non-agricultural development in the area and how new development would be

sensitively integrated into the larger agricultural areas so as to minimize any resulting negative impacts;

- e) A description of the proposed internal road hierarchy including its relation to local and the municipal (and provincial) regional transportation routes was to be determined via preparation of a Traffic Impact Analysis to the satisfaction of the Municipality and Alberta Transportation. This assessment was to consider the future development potential of the entire NW 1/4 4-24-27-W4M and was to propose a design that had both the maximum benefit for adjacent lands and the lowest negative impact on the regional transportation network;
- f) A description of a servicing proposal including, but not limited to, public and/or private water, wastewater, stormwater management, solid waste disposal and other utilities that may be required by development within the Conceptual Scheme Area;
- g) Population densities and population projections;
- h) Phasing of the development;
- i) Policies for implementation of the Conceptual Scheme;
- j) Any other matter that the Municipality should deem necessary."

1.5 Plan Area

The subject land comprises ± 64.3 ha (± 158.9 ac) and is located approximately 3 miles east of the Town of Chestermere on Trans Canada Highway 1 and one mile south on Range Road 274. These lands are legally described as NW 1/4 Section 4-24-27-W4M (See FIGURE 1). The plan area comprises all of the subject land.



Figure 1 Plan Area Location

1.6 Local Land Use Context

FIGURE 2 provides an overview of the existing Municipal Land Use Bylaw designations in proximity to the Conceptual Scheme plan area. The Ranch and Farm District (RF) designation of the subject land is consistent with its historical agricultural use as a livestock raising facility. The subject land is currently used for the growing of hay crops and for pasture of livestock after the hay has been harvested.

The area immediately surrounding the subject land, all west of Meridian 4 within Range 27 and Township 24, is predominantly agricultural use under RF zoning with small subdivisions out of each of the following two parent quarter sections to the east and northeast respectively:

- ± 48.6 ha (± 120 ac) of the NE 1/4 SEC 4 that adjoins the plan area directly to the east is zoned RF while ± 16.2 ha (± 40.0 ac) is zoned R-2 and has been developed into a subdivision known as Willowvale Estates.
- ± 48.6 ha (± 120 ac) of the SE 1/4 SEC 9 that adjoins the plan area directly to the northeast is zoned RF while ± 16.2 ha (± 40.0 ac) is zoned R-2 and has been developed into a subdivision known as Willowview Estates.

SE 1/4 SEC 9 directly to the north, S 1/2 SEC 4 to the south and southeast, and the SE 1/4 SEC 5 to the southwest of the plan area are all under cultivation. NE 1/4 SEC 5 directly to the west is used for pasture. The SE 1/4 SEC 8 to the northeast is broken into three separate titles with only ± 16.2 ha (± 40 ac) under cultivation.

The general area that can be described as east of Highway 791, south of Trans Canada Highway 1 and made up of the southern 1/3 of Township 24 is attempting transition from a predominantly agricultural use, to one with a mix of agriculture and residential use. The E 1/2 SEC 6, one mile directly to the west of the plan area, have both been redesignated Residential 2 District (R-2). These two quarter sections are part of a larger area involving parcels within the balance of SEC 6 and a portion of SEC 7 for which the Land Use Bylaw amendment applications have been made and Conceptual Schemes are being prepared.

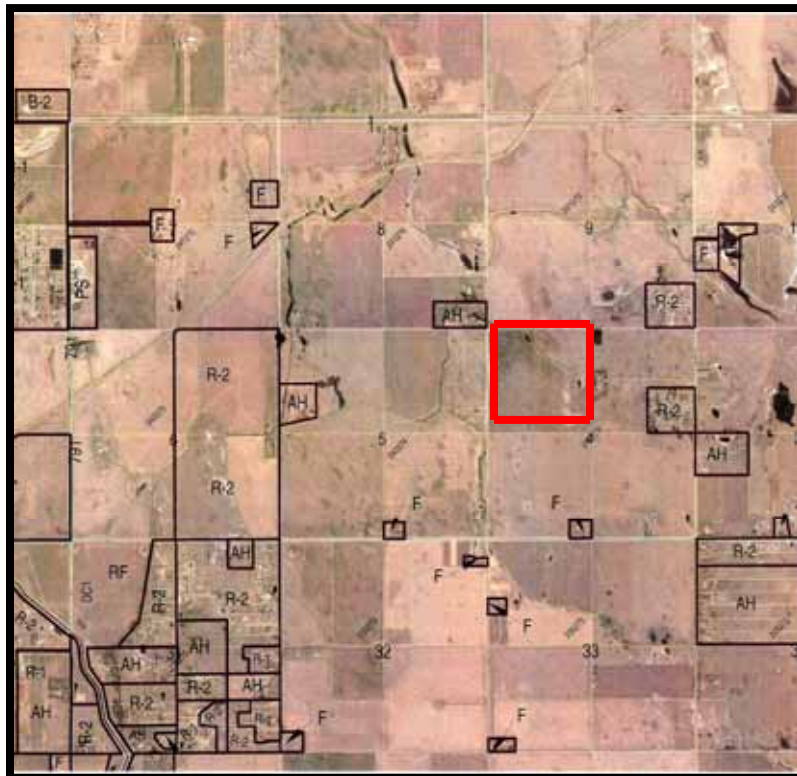


Figure 2 Local Land Use Context

2.0 Site Features

2.1 Existing Development and Improvements

The subject land has a 6 m (19.6 ft) wide Western Irrigation District (WID) secondary irrigation canal (See FIGURE 3) that dissects the NE quadrant of the subject land and connects to an existing dugout. Pursuant to plan IRR 111, the 1.1 acres used by the canal is owned under separate title by the WID. The canal is used by the WID to deliver water from the main irrigation canal to those parcels of land that have a water service agreement for purposes of sustaining production under irrigated agriculture.

An existing dugout (See FIGURE 3), excavated to a depth of a \pm 6 m (20 ft), is located adjacent to the irrigation canal, receives water from the canal, and is within the plan area. This dugout will be extended to become a stormwater retention pond pursuant to a final engineered stormwater management plan and will also serve as an irrigation water reservoir.

MEADOWLANDS COUNTRY ESTATES
CONCEPTUAL SCHEME

FIGURE : 3 SITE FEATURES

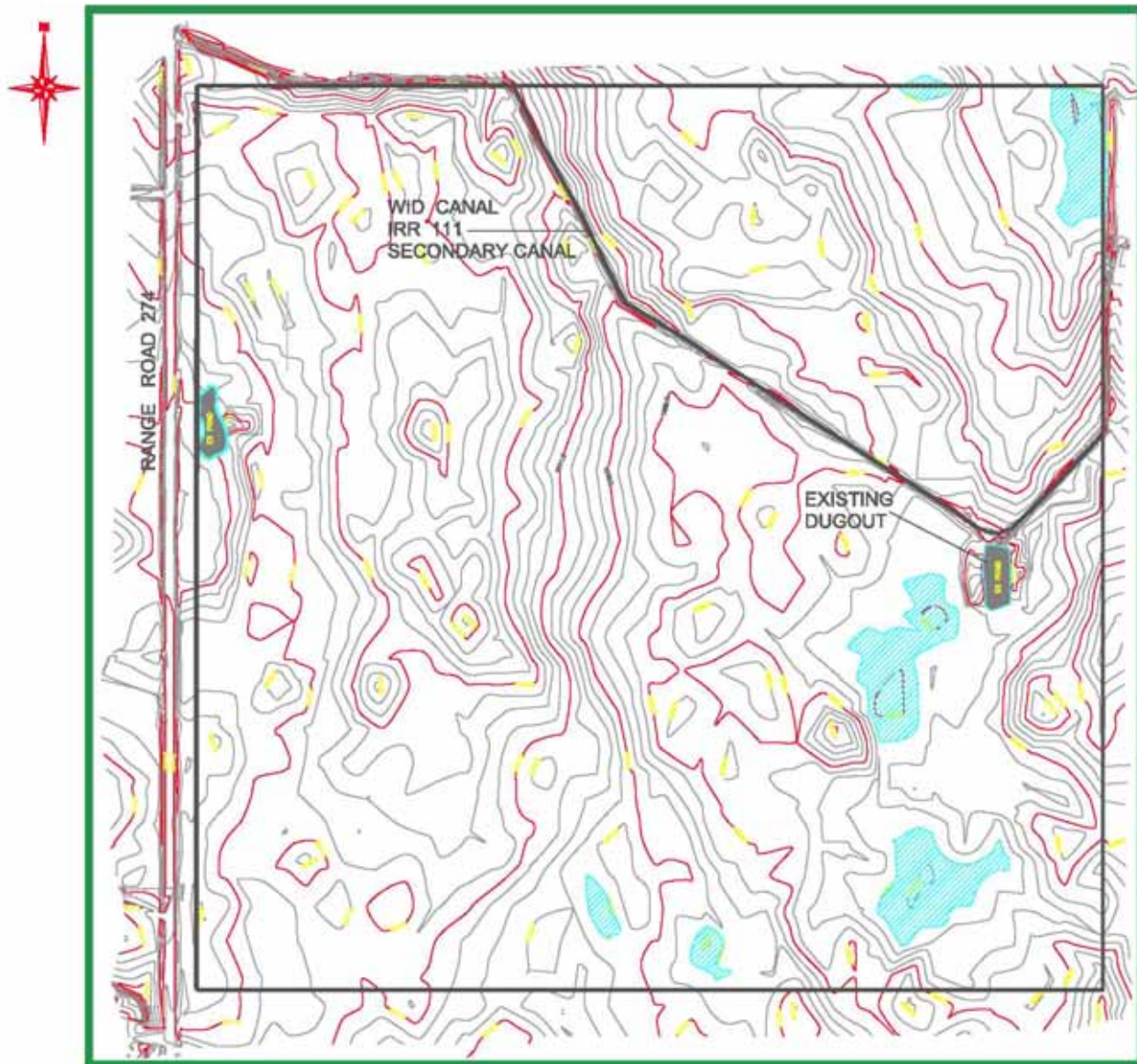


Figure 3 – Site Features

2.2 Topography and Site Description

The natural topographical features of the subject land are characteristic of the relatively flat, slightly rolling prairie that defines the general area to the east of the Town of Chestermere and northwest of the Hamlet of Langdon. As FIGURE 3 illustrates, the plan area is relatively flat and slopes southeasterly towards two low drainage points, westerly towards one drainage point, and northeasterly towards another. This sloping begins from a high point that is $\pm 1,013.5$ m (3,323 ft) above sea level located ± 217 m (± 715 ft) from the western boundary of the plan area. There are no natural site features that would present any constraints to residential development.

Policy 2.2.1: The developer shall make no alterations to the topography of the subject land prior to the approval of a final engineered stormwater management plan.

2.3 Geotechnical Investigation

McIntosh Lalani Engineering Ltd conducted the near surface water table testing for the subject land. Twelve bore-holes were drilled and piezometers were installed on May 11, 2005 to depths of three 3 m (9.8 ft) below the existing surface to determine if shallow groundwater exists. Alberta Environment ("AENV") guidelines define a high groundwater table when the water is within 1.8 m (5.9 ft) of the ground surface during the frost-free period and within 2.4 m (7.9 ft) of the surface during the remainder of the year. Water levels were measured on May 9, 2005 and were recorded to be dry at a depth of 3.0 m (9.8 ft) and this analysis revealed that the ground water levels would not present any constraints for residential development.

2.4 Vegetation

Most of the tree and brush cover occurring on the subject land is restricted to that portion of the plan area along the secondary irrigation canal and consists of scattered stands of poplar and low laying bushes. The remainder of the land, with the exception of approximately 10% that is low laying with class 5 soils, has been cultivated for agricultural operations in the production of "green feed".

Policy 2.4.1: Mature Trees and shrubs along the irrigation canal shall be preserved as part of the development process.

2.5 Wildlife

The subject land lacks sufficient tree cover, grasslands, and wetlands that would make it a good habitat for wildlife. Waterfowl inhabit the existing dugout and the slough on the western boundary of the plan area on an occasional basis through the spring, summer, and fall months but generally do not use these areas for

nesting due to the lack of protective cover. The developer, as owner of the subject land, intermittently observes rabbits, deer, and coyotes crossing it but none that use it for more permanent habitation. For these reasons a wildlife study was not conducted. The construction of the proposed stormwater management ponds will increase the surface water and could create more temporary habitats for waterfowl.

3.0 Development Design and Future Land Uses

3.1 Proposed Subdivision Design

The subdivision design for the plan area reflects the latest trends in rural subdivision models across North America. It incorporates contemporary thinking and attitudes towards land use that suggests that preservation of land by reducing lot sizes, the creation of generous open space networks, the preservation of natural features, and the creation of a sense of community should all be key principles. The details of the proposed subdivision design, as illustrated on FIGURES 4 and 5, demonstrate how these latest trends are incorporated. It also demonstrates how meeting the objectives of the development concept, set out in the vision statement (Section 1.2) will be achieved. These objectives include the provision of public amenities that will enable residents to pursue agriculture and horticulture interests, become socially active, develop a strong sense of community, and participate in recreational and healthy lifestyle activities.

The residential component of the design consists of home site lots that back onto a linear open space network containing a dual trail and pathway system for horse back riding bicycling, walking, and other recreational activities. This system extends out from the residential area along the WID canal, around the perimeter of the plan area, and generally connects all parts of the community. Block open spaces are dedicated for pastureland and a buffer zone around the residential area and for neighbourhood parks within it.

Access to the plan area is provided at two locations along Range Road 274 from which a paved internal roadway system loops through the subdivision. The Multiplex will be built on the north side of the WID canal and the internal roadway will cross the WID canal providing access to the Multiplex.

Policy 3.1.1 the subject land shall be developed generally in accordance with the proposed subdivision design as shown on FIGURE 4. All areas and dimensions are approximate and shall be confirmed by a plan of survey.

3.2 Proposed Future Land Uses

FIGURE 4 illustrates the proposed future land use scenario for the plan area that also relates to the five development cells ("Development Cells") that may possibly be established by the special regulations of the DC Bylaw. Table 1 below summarizes these five proposed land use areas:

Figure 4 - Proposed Future Land Use and Subdivision Design



Figure 5 – Proposed Subdivision Design Dimensions and Detail

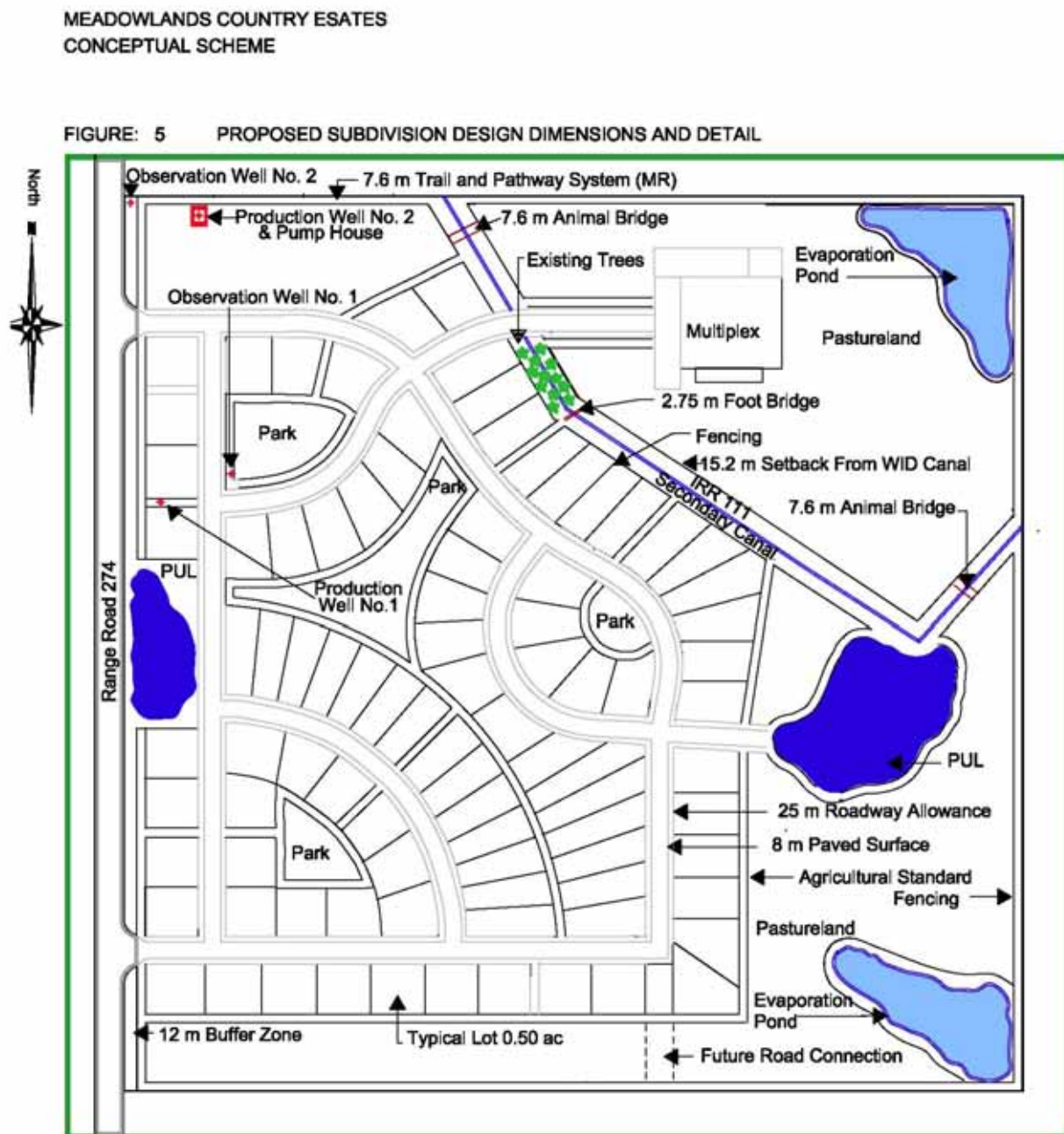


Table 1: Proposed Land Use Statistics

Proposed Land Use	Ac.	Ha.	%
a) Residential	62.4	25.2	39.2
b) Linear Open Space	25.4	10.3	16.0
c) Block Open Space	59.0	23.8	37.1
d) Stormwater Management	9.1	3.7	5.7
e) Multiplex	3.0	1.3	2.0
Total Plan Area	158.9	64.3	100.0

Policy 3.2.1: The proposed subdivision design pursuant to this Conceptual Scheme and applications for the redesignation of lands within the plan area shall conform generally to the uses identified within the Proposed Future Land Use and Subdivision Design shown on FIGURE 4.

a) Residential

The residential land use component includes the internal roadway system and will require ± 25.2 ha (± 62.4 ac) or ± 39.2 % of the plan area. Residential development will consist of home site lots having a minimum parcel size of 0.20 ha (0.50 ac) and a minimum frontage of 12 m (39.4 ft). The proposed subdivision will have a maximum of 90 residential units and an overall density of 0.57 units per acre (upa).

Policy 3.2.2: The minimum parcel size for residential subdivision within the plan area shall be 0.20 ha (0.50 ac).

Policy 3.2.3: The maximum number of residential parcels permitted within the plan area shall be 90.

Policy 3.2.4: A caveat shall be registered on each lot within the plan area advising each owner that their land, improvements on their land, and all land within the subdivision is subject to the policies contained within the Meadowlands Country Estates Conceptual Scheme.

b) Linear Open Space

Section 666 (1) of the Municipal Government Act requires that 10% of the subject land be dedicated as Municipal Reserve (MR) and/or Municipal School Reserve (MSR). The proposed subdivision design provides for ± 10.3 ha (± 25.4 ac) of

linear open space network, as illustrated on FIGURE 4, that will be created by the dedication of MR land comprising $\pm 16\%$ of the plan area to be owned by the Municipality. This open space network will incorporate a ± 13.4 km (± 8.0 mile) dual trail and pathway system. This system will run behind each acreage lot in the residential area, through a ± 15.2 m (± 50 ft) wide setback area on each side of the WID irrigation canal, through a ± 7.6 m (± 25 ft) wide setback area around storm management ponds, and around the perimeter of the plan area. It will cross the WID irrigation canal at three locations and serve to connect all parts of the community. The portion of the system running around the perimeter will be landscaped, if approved by the Municipality, to provide for additional buffering from adjacent lands as shown on FIGURES 14 and 15. A homeowners association ("Homeowners Association") will maintain the MR land.

The linear open space network will be a connecting element for the community, provide an opportunity for residents to participate in recreation activities and have the following key features:

- a constructed pathway system;
- access from each lot;
- three bridges providing access across the irrigation canal;
- inter-lot connections providing access directly across the internal roadway system;
- a combination of natural, manicured, and landscaped green areas.

Policy 3.2.5: ± 10.3 ha (± 25.4 ac) of linear open space shall be dedicated in accordance with the proposed subdivision design plan to provide Municipal Reserve land.

Policy 3.2.6: A ± 7.6 m (± 25 -ft) buffer zone, to the satisfaction of the Municipality, shall be provided by easement reserve around the perimeter of the plan area constituting a portion of the Municipal Reserve (See Policy 6.5.1).

Policy 3.2.7: All amenities within the Municipal Reserve, including the trail and pathway system, shall be constructed to Municipal Standards and maintained by a Homeowner's Association.

Policy 3.2.8: An agreement shall be executed between the WID and the developer with respect to the completion of any improvements, including permanent structures or landscaping on WID property. The plans for such improvements shall be prepared by a qualified professional and approved by the WID.

Policy 3.2.9: A maintenance agreement shall be executed between the WID and the developer with respect to the maintenance of any permanent structures and/or landscaping improvements on WID property, the terms and conditions of which shall become part of the Homeowner's Association bylaws.

Policy 3.2.10: The final plan of subdivision shall provide for a minimum set back from the WID property line to the property line of all acreage lots bordering the WID canal ensure the subdivision will comply with subsection 184(2) of the Irrigation Districts Act.

Policy 3.2.11: The developer shall install a type of fencing that prevents unfettered access to the WID irrigation canal on that side of the trail and pathway system that is directly adjoining the canal, to the satisfaction of the WID.

c) Block Open Space

As illustrated on FIGURE 4, the block open space land use component will be comprised of pastureland, neighbourhood parks, and a buffer zone requiring a total of ± 23.8 ha (± 59.0 ac) accounting for ± 37.1 % of the plan area. All the block open space will be common area which, as well as any improvements on it, will be owned, operated, and maintained by the Homeowners Association. The Homeowners Association will own all the common area land by way of a separate title bearing restrictive covenants.

Policy 3.2.12: The Homeowner's Association shall own all of the common area by way of separate title bearing restrictive covenants and shall be responsible for the maintenance of the common area and any improvements to it.

i) Pasture Land

The proposed future land use scenario designates ± 30.8 % of the plan area for pastureland. It will include ± 19.7 ha (± 49.0 ac), in aggregate, on the northern, eastern, and southern boundaries of the plan area to be used for grazing horses and will serve as a buffer zone from neighbouring lands,

Policy 3.2.13: Horses shall be the only animals permitted to be raised on the pastureland portion of the common area.

ii) Neighbourhood Parks

The block open space internal to the residential component of the subdivision will function as four neighbourhood parks with green space and playing fields that, in total, will take up ± 2.9 ha (± 7.1 ac) or 4.4 % of the plan area.

iii) Buffer Zone

A portion of the block open space taking up ± 1.2 ha (± 2.9 ac) or 1.8 % of the plan area on its western boundary will serve as a ± 12 m (± 39.4 ft) set back and buffer zone from Range Road 274.

d) Stormwater Management

One or more stormwater management ponds will be created according to a final engineered plan. A preliminary plan indicates the probable requirement for two wet ponds or Public Utility Lot(s) ("PUL(s)") in addition to two evaporation ponds as illustrated on FIGURE 5 requiring, in aggregate, ± 3.7 ha (± 9.1 ac) or 5.7% of the plan area.

e) Multiplex

The Multiplex, as illustrated on FIGURE 6 will be owned by the Homeowners Association and will take up ± 1.3 ha (± 3.0 ac) or 2 % of the plan area. It will be a key element of the development, fulfilling the objectives set out in the vision statement. It will be a community facility designed primarily to accommodate the pursuit of agricultural and horticultural interests by resident families featuring an indoor riding arena, box stalls, feed storage areas, tack rooms, a grooming area, offices, and a green house. These amenities will accommodate activities involved in the proper raising, training, and enjoyment of horses. The greenhouse will enable residents with horticulture interests in the growing of flowers, trees, and shrubs for their lots.

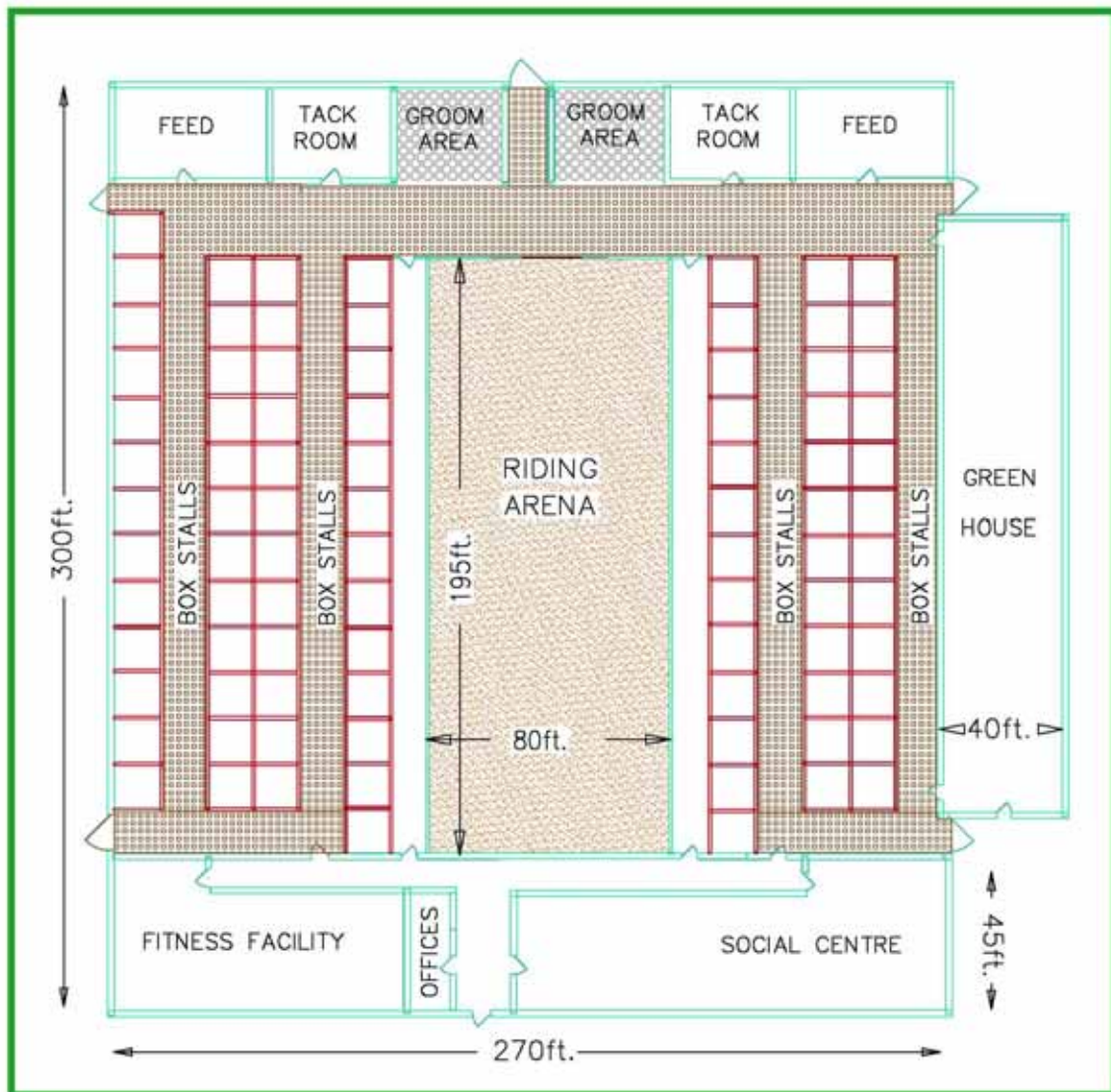
The developer will assist in the formation of a 4-H club for the community's youth and the Multiplex will provide a special opportunity for the development of their interest and skills in both agriculture and horticulture through club projects and activities. The Multiplex will not only promote these interests within the Meadowlands community but will assist in their growth and enhancement in the Municipality by the making the facility available to 4-H clubs in surrounding communities.

The Multiplex will also serve as the key impetus for social interaction in the community with a multifunctional social gathering centre for special occasions, social gatherings, and 4-H club meetings and activities. A fitness facility will help to promote recreational physical activity and a healthy active lifestyle.

Policy 3.2.14: The Multiplex and its facilities shall be available for the use of the surrounding rural community for 4-H agricultural and horticultural events. The Homeowner's Association shall administer the details of such usage.

MEADOWLANDS COUNTRY ESTATES
CONCEPTUAL SCHEME

FIGURE: 6 MULTIPLEX



Policy 3.2.15: The Homeowner's Association shall own and be responsible for the maintenance and the operation of the Multiplex.

3.3 Municipal Development Plan

The subject land is currently not included in an Area Structure Plan, Hamlet Plan or Conceptual Scheme, and is therefore subject to the policies included in the MDP that contains eleven goals, the following of which are relevant to this Conceptual Scheme:

- To accommodate growth and change in the Municipality in accordance with sound planning principles.
- To preserve the agricultural land base of the Municipality.
- To facilitate residential developments which create safe and livable environments.
- To support the availability of affordable and effective community services in order to maintain and improve quality of life.
- To facilitate and enhance agriculture and agriculture related industries in the Municipality.

The amenities included in the development concept for the community demonstrates its intention to complement the Municipality's primary agriculture related land use strategy. The Multiplex, with its equine centre and green house, along with ± 19.7 ha (± 49.0 ac) of irrigated pastureland, will enable residents to pursue both agricultural and horticultural interests, cultivate these interests in the community's youth, and assist in sustaining future agricultural growth in the rural areas around the community.

In that the proposed subdivision design dedicates significant land for agricultural purposes, provides a major facility that promotes agricultural activities, and supplies ample buffering from adjoining lands, it is submitted that the establishment of residential uses on a portion of the plan area is appropriate.

3.4 Population

The projected population for the community is approximately 270 persons based on an average occupancy of 3 persons per unit, for 90 units.

4.0 Utilities and Servicing Proposal

4.1 Wastewater Management and Water Supply and Distribution

a) ***Strategies for Supplying Sanitary Sewer Services and Domestic Water***

The East Rocky View Wastewater Transmission Main has been completed and passes within one and one half miles of the proposed development. The developer intends to make application to connect the development to the pipeline system for sanitary sewer services pursuant to the terms and conditions of the Municipality's *East Rocky View Wastewater Off-Site Levy Bylaw C-6343-2006*. A wastewater collection system (See FIGURE 7) will be constructed within the development according to AENV *Standards and Guidelines for Municipal Waterworks, Wastewater and Storm Drainage Systems*. In order to connect to the East Rocky View Wastewater Transmission Main, the developer will be required to connect to a municipal lift station or construct an individual lift station at a point closer to the line, in consultation with the Municipality.

The Municipal Water Line has not yet been completed. The completion of the Water Line is dependent upon the Municipality being granted a license by AENV pursuant to its application for the diversion of sufficient water from the Bow River and upon certain financial considerations. If the Municipality is able to complete the Water Line, the developer intends to make application to connect the proposed development to it for the supply of domestic water. It is anticipated that this connection would occur at generally the same location as described above for the wastewater lateral lift station.

The Municipality may not be able to complete the Water Line, or may only be able to complete it at a time well into the future. In consideration of these possibilities, the developer is proposing to supply the subdivision with domestic water, either permanently or on an interim basis, from an internal communal groundwater system. In order to make a determination of the availability of quality groundwater at the site, the developer contracted Groundwater Exploration & Research Ltd. to prepare a preliminary Groundwater Supply Evaluation study in March 2005. A well ("Production Well No.1") (FIGURE 5), drilled on January 25, 2005 to a total depth of 67 m (165.8 ft) within the plan area formed the basis of the study. Following are the findings from the study based on the results of the flow test and drill log completion data on the well that are pertinent to the intended use of the well:

- Production Well No. 1 is capable of providing up to a maximum of 111.27 m³/day. Based on a licensed allocation of 1.818 m³/day, the well is capable of supporting up to 61 lots.
- Historical non-pumping water levels do not indicate a concern for any progressive decline in regional water level.

MEADOWLANDS COUNTRY ESTATES
CONCEPTUAL SCHEME

FIGURE: 7 WASTEWATER COLLECTION SYSTEM



Three additional wells have been drilled and an application submitted to AENV for the registration of a communal groundwater system in accordance with provincial requirements. The water will be tested to establish that, in its natural untreated state, it meets acceptable concentrations of all substances as specified in the Guidelines for Canadian Drinking water quality and the Alberta Potable Water Regulation. A qualified professional will design an internal domestic water distribution system (See FIGURE 8) according to AENV Standards and Guidelines. The system will be operated by a person or persons appropriately certified under the *Code of Practice for Waterworks Systems*.

The developer will execute a deferred servicing agreement with the Municipality that provides for the decommissioning of the groundwater wells and the connection of the subdivision's internal water distribution system to the Municipal Water Line when it is completed. In the event that it is never completed, this system will continue to operate and supply the subdivision with domestic water under the regulations of the *Environmental Protection and Enhancement Act*, the *Water Act*, and the *Code of Practice*.

The communal water well system, the wastewater collection system, and the irrigation water distribution system (See Section 4.1 b) will be operated and maintained either by a utilities management company established by the developer, an arms length utilities management company, or turned over to the Municipality after a certain maintenance period.

Policy 4.1.1: The supply of sanitary sewer services shall be by way of connection to the East Rocky View Wastewater Transmission Main.

Policy 4.1.2: Potable water shall be supplied to the development by means of a communal groundwater system until such time as connection to a municipal piped water system becomes available.

Policy 4.1.3: The groundwater system for the subdivision shall be registered with AENV pursuant to its Approvals and Registrations Procedure Regulation. It shall be designed, constructed, and installed in accordance with AENV's Standards and Guidelines, and operated according to AENV's Code of Practice, all to the satisfaction of the Municipality.

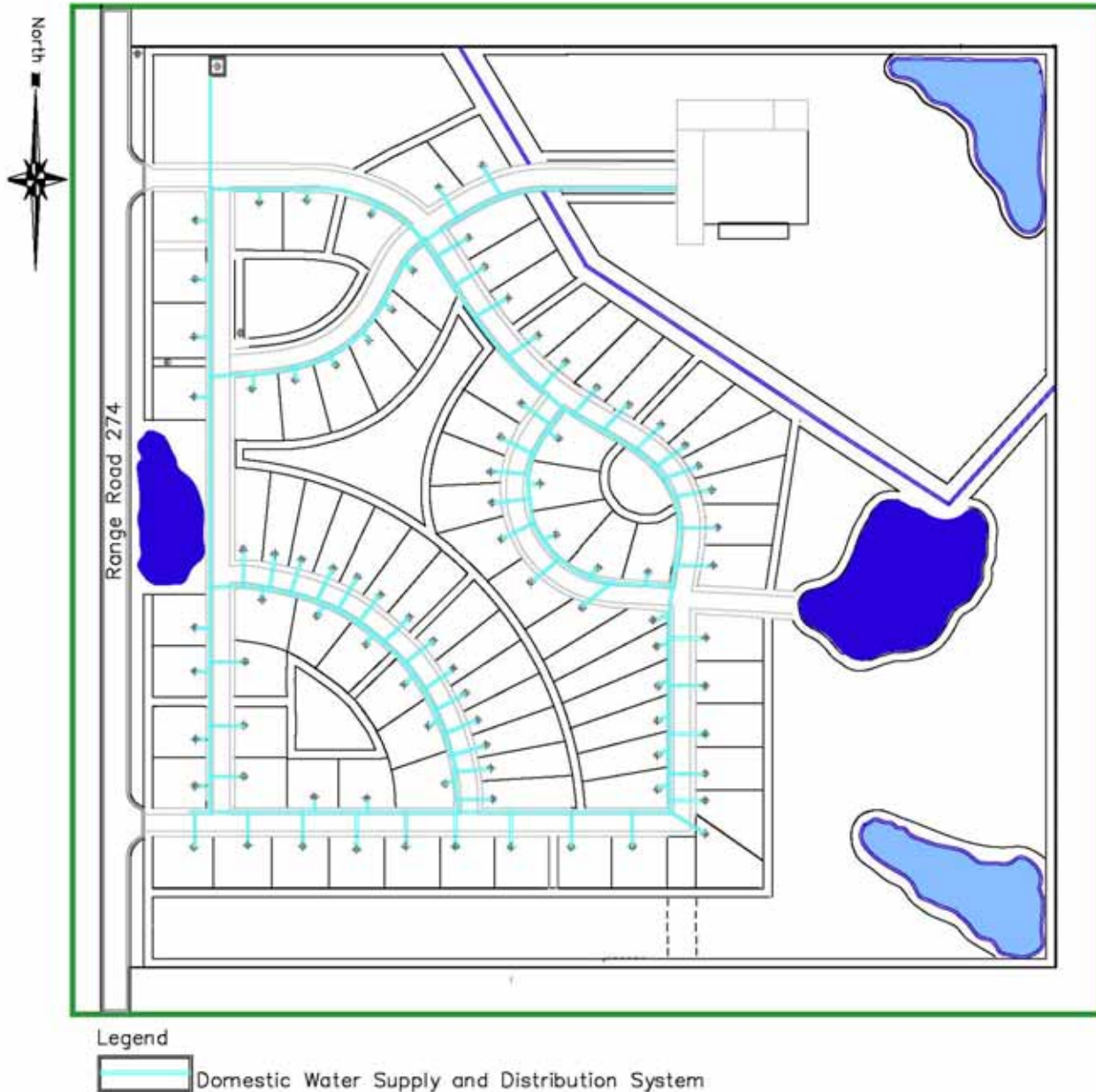
Policy 4.1.4: The communal groundwater system shall be operated by a person certified under the Code of Practice for Waterworks Systems.

Policy 4.1.5: The developer shall execute a deferred servicing agreement with the Municipality that provides for the decommissioning of the groundwater wells and the connection of the subdivision's internal water distribution system to the Municipal water pipeline when it is completed.

Figure 6 – Domestic Water Supply and Distribution System

MEADOWLANDS COUNTRY ESTATES
CONCEPTUAL SCHEME

FIGURE: 8 DOMESTIC WATER SUPPLY AND DISTRIBUTION SYSTEM



b) Strategies for Supplying Irrigation Water

The stormwater management pond adjacent to the WID canal will serve as a reservoir for irrigation water. Groundwater will not be used for irrigation purposes. An application for a license to divert sufficient water from the Bow River to supplement stormwater for irrigation purposes has been submitted to AENV, and if approved, a conveyance agreement will be executed with the WID to bring the irrigation water from the Bow River to this reservoir. Failing approval of this application, the WID have indicated, in writing, a willingness to negotiate a Rural Water Use Agreement for the supply of the subdivision's irrigation and livestock water requirements. The irrigation water distribution system, and the works delivering irrigation water from the canal to the reservoir, will be constructed in accordance with plans and specifications prepared by a qualified professional. The plans will include provisions necessary for the prevention of stormwater flow through into the WID canal.

Irrigation water will be supplied to the pastureland portion of the block open space of the plan area and to each acreage lot in the subdivision. It will be delivered by way of a professionally engineered irrigation water distribution system as shown on FIGURE 9 and approved by AENV to the satisfaction of the Municipality. The irrigation water supplied to the pastureland will be used to promote the growth of grass sufficient to support the grazing of the planned number of horses during the grazing season.

Homeowners will be encouraged to utilize a portion of their lot for horticultural purposes such as vegetable gardens, flower gardens, decorative trees, shrubs, bushes, and fruit trees. Irrigation water will be provided to each acreage lot during the months of May to October in order to promote these activities. However, homeowners will be encouraged to harvest rain water from their lot to assist in limiting the amount of irrigation water required for the subdivision.

Policy 4.1.6: The developer shall make application to AENV for a license to divert sufficient water from the Bow River for irrigation purposes and to supplement stormwater levels in the stormwater management pond adjacent to the WID canal.

Policy 4.1.7: The stormwater management pond, adjacent to the WID canal, shall be constructed to also function as an irrigation water reservoir. Water to supplement stormwater levels in this pond shall be supplied from the WID irrigation canal pursuant to a license to divert water from the Bow River granted by AENV.

Policy 4.1.8: The stormwater management pond, adjacent to the WID canal, and the works delivering irrigation water from the canal to the stormwater

management pond, shall be constructed and equipped in such a manner that stormwater runoff is prevented from flowing back into the canal.

Policy 4.1.9: A conveyance agreement shall be executed with the WID to the satisfaction of the WID to deliver the irrigation water to the subdivision from the Bow River. The Homeowners Association Agreement shall include a clause with a statement that qualifies the delivery of irrigation water by the WID to the subdivision indicating that delivery is not guaranteed.

Policy 4.1.10: An irrigation water distribution system shall be constructed in accordance with plans and specifications prepared by a qualified professional to the satisfaction of the Municipality, AENV, and the WID.

MEADOWLANDS COUNTRY ESTATES
CONCEPTUAL SCHEME

FIGURE 9 IRRIGATION WATER DISTRIBUTION SYSTEM

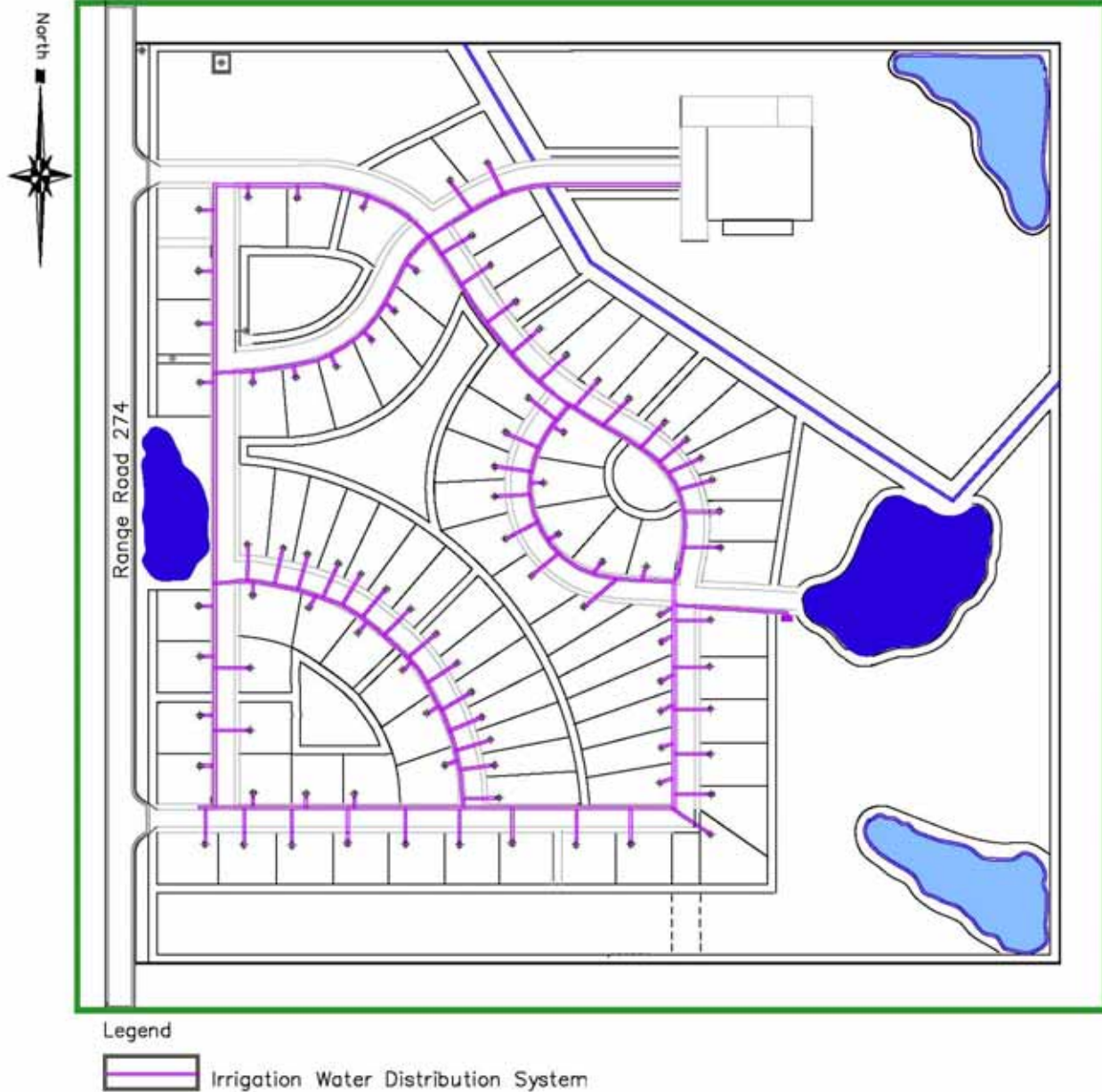


Figure 7 – Irrigation Water Distribution System

4.2 Drainage and Stormwater Management

AENV's *Standards and Guidelines for Stormwater Management* for the Province of Alberta and the Municipality's *Servicing Standards for Residential Subdivisions and Road Construction* requires that all new developments be responsible for managing any increase in stormwater runoff and any deterioration in water quality.

A Stormwater Management Study for the proposed development was completed in November, 2006 by Jubilee Engineering Consultants Ltd. that included a preliminary Stormwater Management Plan that was designed with consideration given to the natural runoff and the low areas of the subject land. A copy of the study and the preliminary plan is submitted to the Municipality under a separate cover.

Although a final engineered stormwater management plan, to the satisfaction of the Municipality, will be determined through conditions of subdivision approval, the following conclusions are made from the study and preliminary plan:

- The study area surrounding the subject land was subdivided into overall catchments (See FIGURE 10) and into sub-catchments within the plan area at pre-development and post-development stages (See FIGURE 11 and FIGURE 12) based on the existing topography and subdivision development;
- The stormwater runoff can be properly managed and conveyed via road ditches, swales, and overland flow to adequately sized ponds;
- The subdivision will have insignificant impact on the downstream areas, adjacent properties and catchment areas since the runoff is contained on site and exiting the site at less than the pre-development rate;
- The preliminary stormwater management plan follows the guidelines provided by the Municipality's Servicing Standards for Residential Subdivisions and Road Construction;
- Erosion and sedimentary transfer is restricted primarily to onsite locations, thereby protecting the downstream areas;
- The preliminary stormwater management plan indicates that there will probably be a requirement for two evaporation ponds (See FIGURE 12 - Ponds No.1 and No.3) and two wet ponds that will be dedicated as PULs (See FIGURE 12 - Ponds No. 2 and No.4);
- The ponds are designed to contain all stormwater runoff up to and including the 1:100 year storm event;

- The proposed development will not increase the amount of stormwater runoff flowing from the site or deteriorate the water quality. All normal amounts of runoff will be fully contained on-site in the stormwater retention ponds;
- The subject land is well drained since the soils exhibit good infiltration rates;
- The subject land is naturally sloping toward all four proposed stormwater retention ponds, and any surface water runoff generated from a storm event will be naturally directed toward the ponds;
- Runoff to the ponds will be facilitated by the specific design of the ditches alongside the internal roadway system and by culverts under the approaches to the individual lots;
- Under normal runoff conditions there will be no impact on water outside the plan area;
- Discharge from the evaporation ponds will be limited primarily to evaporation and the irrigation requirements of the acreage lots.

The proposed stormwater management pond, adjacent to the WID canal, will serve as a reservoir for irrigation water for the development.

Policy 4.2.1: A final engineered stormwater management plan that preserves the natural drainage patterns of the subject land shall be prepared in accordance with the Municipality's Servicing Standards for Residential Subdivisions and Road Construction by a qualified professional to the satisfaction of the Municipality and AENV. It shall be submitted to and approved by the Municipality prior to any development activity being commenced that may alter the subject land.

Policy 4.2.2: The ponds, ditches, and culverts required for the management of stormwater shall be constructed according to the final engineered plan which shall be implemented such that the post-development stormwater run-off rate from the plan area shall be less than the pre-development stormwater rate for the plan area.

Policy 4.2.3: All stormwater management facilities for wet ponds shall be constructed within PUL(s) to the satisfaction of the Municipality and shall be owned by the Municipality.

Policy 4.2.4: Overland drainage easements shall be registered at land titles for any PUL(s) and drainage flow routes required pursuant to the final engineered stormwater management plan.

Policy 4.2.5: The maintenance of all stormwater management ponds and other facilities within PUL(s) shall be the responsibility of the Homeowner's Association as a condition of subdivision with Best Management Practices emphasized and implemented.

Policy 4.2.6: The developer shall submit a specific landscaping plan as affecting the PUL(s) to the satisfaction of the Municipality.



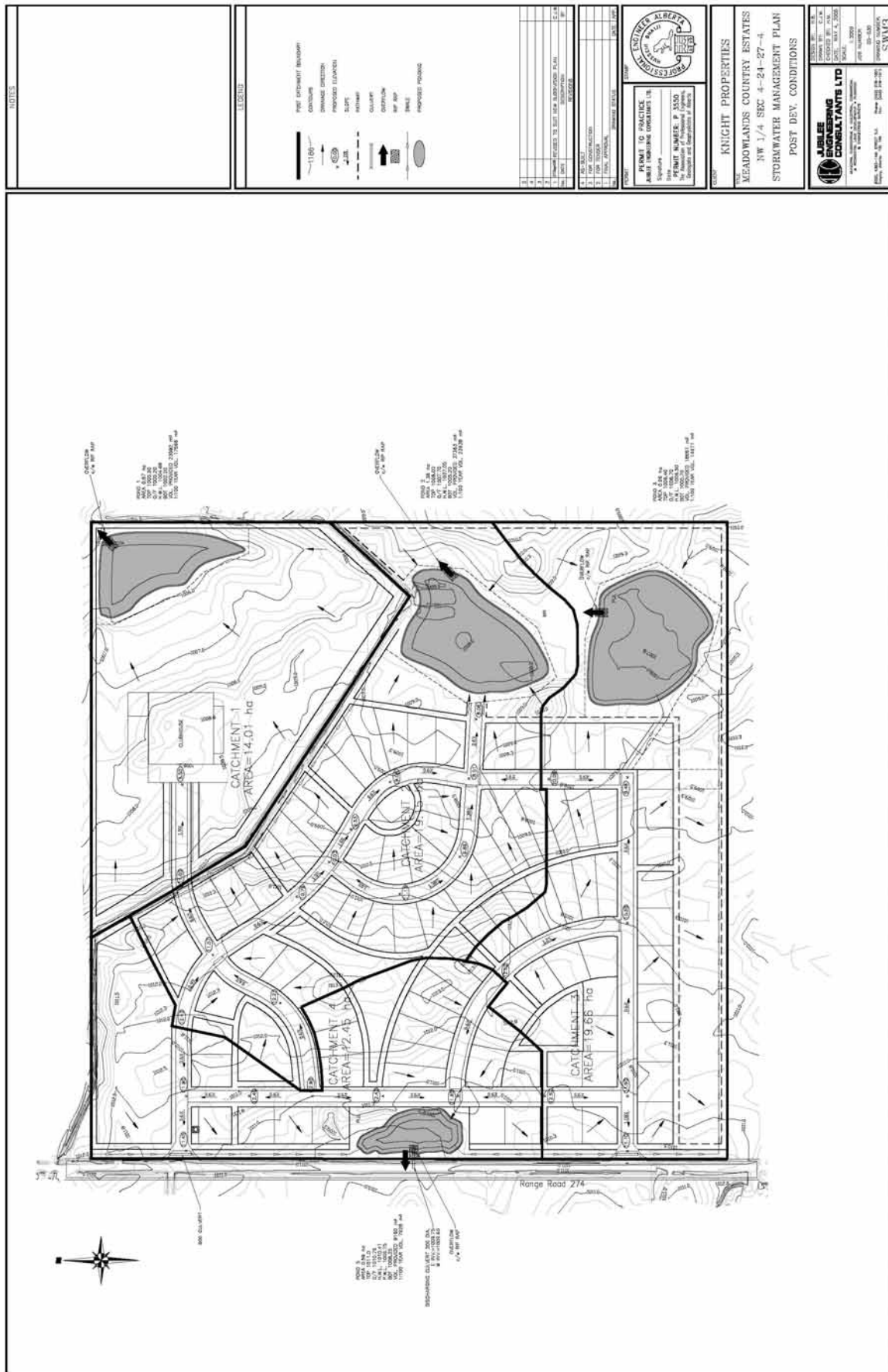


Figure 9

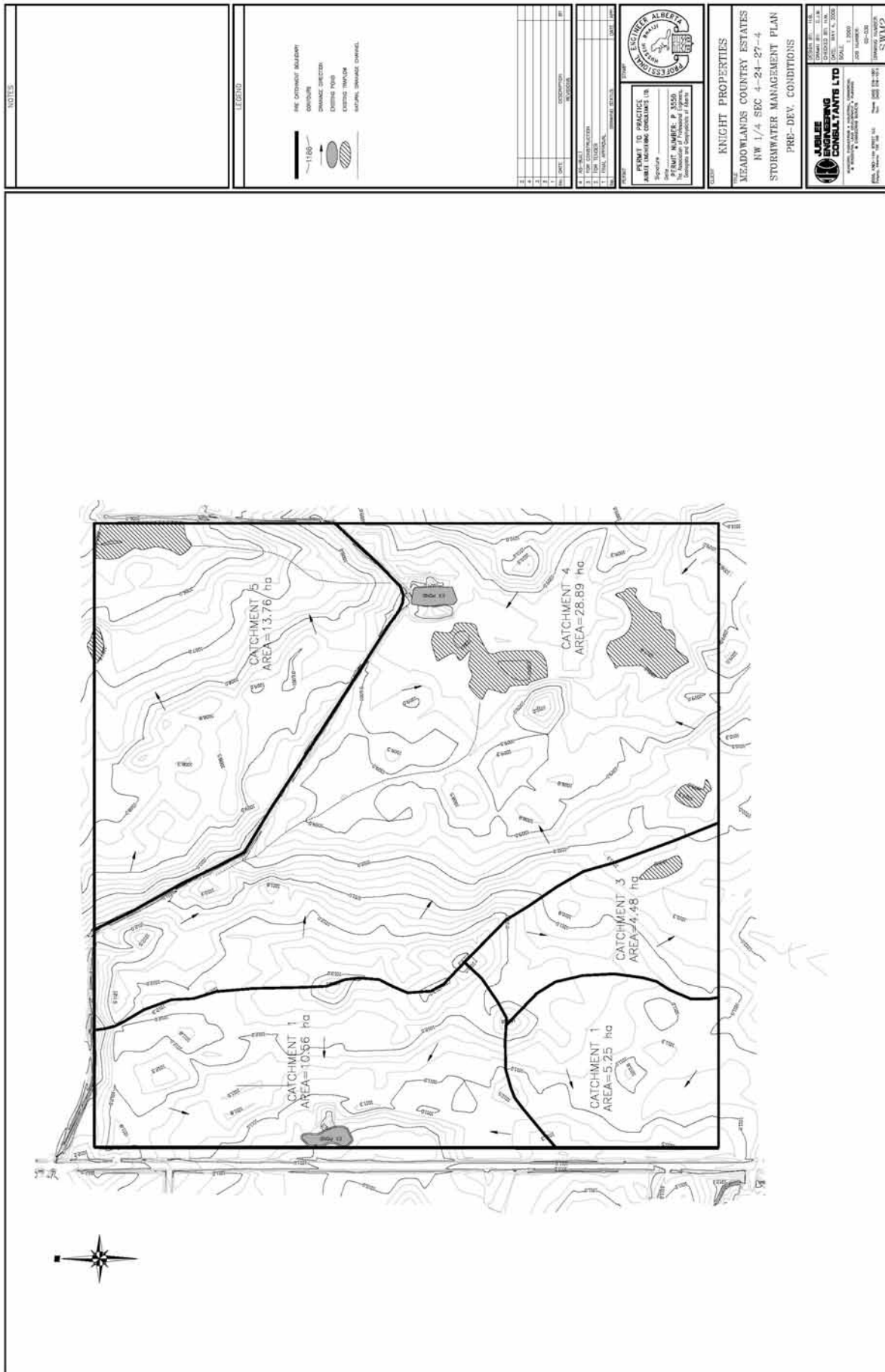


Figure 10

4.3 Shallow Utilities

Shallow utilities include such services as electric power, telephone, and natural gas. These services are all accessible immediately adjacent to the development in sufficient capacities to service the proposed subdivision. All utilities will be placed underground and aligned either in the ditches of the internal roadway system or on private utility right of ways in accordance with the Municipality's *Servicing Standards for Residential Subdivisions* at the time of subdivision.

Policy 4.3.1: The developer shall provide the shallow utilities to the plan area and these utilities shall be placed underground either in the ditches of the internal roadway system or on private utility right of ways in accordance with the Municipality's Servicing Standards for Residential Subdivisions.

4.4 Protective Services

Protective services such as police, fire, and emergency services will be able to access the plan area from two entrance points along Range Road 274. Police Service to the plan area will be provided by the Royal Canadian Mounted Police (RCMP) and the Municipal Special Constables. Ambulance and medical emergency services will be provided pursuant to Municipal agreements.

Fire hydrants will be installed along the domestic water distribution system. The hydrants will be sized appropriately to allow for an adequate supply of water for fire fighting purposes as specified by the Municipality. Fire departments and emergency service crews from the Hamlet of Langdon and the town of Chestermere will respond to emergencies within the subdivision.

Policy 4.4.1: All fire hydrants and services shall be constructed in accordance with the Municipality's current standards and as approved by the Municipality's Fire Chief in compliance with the Safety Codes Act.

4.5 Solid Waste

The disposal of solid waste will be the responsibility of the Homeowners Association. Recycling initiatives will be encouraged and as such a solid waste management plan should be prepared that addresses how residents of Meadowlands Country Estates will deal with solid waste. A composting facility will be established at the Multiplex in conjunction with the horticultural green house.

Policy 4.5.1: The developer shall prepare a solid waste management plan prior to tentative plan approval, the details of which the Homeowner's Association shall be responsible for implementing.

Policy 4.5.2: The solid wastewater management plan shall be prepared in accordance with the Municipality's Solid Waste Master Plan and Solid Waste Management Strategic Plan.

4.6 Animal Manure

The disposal of animal manure from the Multiplex will be the responsibility of the Homeowner's Association. Composting disposal methods will be encouraged and as such a manure management and disposal plan should be prepared to demonstrate how the manure will be temporarily stored in leak-proof, non-permeable, odorless concrete storage containers and hauled offsite for composting.

Policy 4.6.1: The developer shall prepare an animal manure management and disposal plan prior to final subdivision plan approval, the details of which the Homeowner's Association shall be responsible for implementing.

5.0 Transportation

5.1 Community Access

Access to the proposed subdivision will be by way of two access points from Range Road 274. Range Road 274 intersects with the Trans Canada Highway ("TCH") one mile to the north of the plan area. The TCH intersection point with Range Road 274 currently provides a right-hand-in eastbound and a right-hand-out eastbound merge lane onto and out from range Road 274 respectively. The intersection point also provides an at-grade crossing into the westbound lanes with a left-hand-out west bound merge lane. Range Road 274 intersects with Glenmore Trail two miles to the south of the plan area.

Policy 5.1.1: All access intersections shall be constructed by the developer in accordance with the Traffic Impact Study of May 31, 2005, its subsequent update of October 11, 2005, and any further updates that may be required to the satisfaction of Alberta Transportation and the Municipality.

5.2 Traffic Impact Assessment

A Residential Development Traffic Impact Assessment ("TIA") was prepared by Bunt and Associates Engineering (Alberta) Ltd., on May 31, 2005 to determine the impacts of the proposed subdivision on traffic in the area. The TIA was updated by Bunt & Associates by way of a letter dated October 11, 2005, pursuant to subsequent revisions made to the proposed subdivision design. The existing daily traffic volumes on RR 274 and TWP 240 were identified in the original study along with the estimated site generated traffic. The site-generated traffic was re-estimated based on the increased number of acreage lots pursuant to the revision. Following is a summary of the study and its update:

- The existing daily traffic was observed to be approximately 100 vehicles per day on each of RR 274 and TWP 240.
- The proposed development is estimated to generate 700 trips per day, representing the total of inbound and outbound trips.
- It is assumed that 67% of the traffic, or 570 trips per day, will access and exit via the Trans Canada Highway ("TCH") through RR 274 north of the proposed development and that the remaining 33% will access and exit via RR 274 south of the proposed development. Of that 33%, approximately 50% was assumed to be directed to/from the west on TWP 240 with the balance continuing south on RR 274.
- The geometry of RR 274 does not match the current Municipality design standards and so a minor widening will be required with or without consideration of site generated traffic.

- TWP 240 meets the MD of Rocky View classification of RU 80 and no improvement to it is necessary as a result of the proposed development.

RR 274 north of the site access will eventually need to be improved to an RCU 90 (paved) classification. The volumes are only marginally greater than the low end of the RCU 90 operating range, and so an improvement to RCU 80 (unpaved) is recommended at opening day with the improvement to RCU 90 (paved) to follow at a later date. No improvements will be required to other roadways or intersections within the study area due to either site traffic or ambient background traffic growth.

Although further revisions were made to the proposed subdivision design, a letter from Bunt and Associates dated August 2, 2006 and addressed to the Municipal Infrastructure & Operations Department staff requesting that any additional updates to the TIA be conducted at the final plan of subdivision stage. This request was accepted by Municipal Infrastructure & Operations Department staff and confirmed by letter dated August 16, 2006. The Municipality will require that the TIA, updated at that time, pays specific attention to the internal access points at Range Road 274 and the future status of the Range Road 274 intersection at the TCH. Bunt and Associates and the developer are aware that the direct connection of Range Road 274 at the TCH will eventually be removed but will be replaced by a service road connecting Range Road 274 with the proposed interchange at SH 791 to the west. Since the majority of the site traffic traveling to the TCH will be directed to / from the west and to / from Calgary, it is expected that the closure and relocation of the Range Road 274 connection to SR 791 would not have a significant impact on the distribution of site generated traffic.

Policy 5.2.1: Access to individual acreage lots within the Development shall be from the internal roadway system. No direct access shall be allowed from Range Road 274.

Policy 5.2.2: The developer shall have the TIA updated to the satisfaction of the Municipality at the subdivision stage.

5.3 Internal Roadway System

Access to the plan area is provided at two points from Range Road 274. An internal paved roadway system loops through the subdivision in a pattern designed to create smaller neighbourhoods around the open space parks in the residential area. The roadway system traverses the irrigation canal providing access to the Multiplex and northeast quadrant of the plan area and a short roadway connection, provides access to stormwater management pond adjacent to the WID canal and the subdivision's irrigation water works.

The internal subdivision roadway system will loop through the subdivision and be constructed to Municipal standards. Provision is made for a future road

connection (See FIGURE 5), to enable the bounding 1/4 section of land on the south to be linked to the Meadowlands subdivision in redesignation and development.

Policy 5.3.1: Internal subdivision roads shall be constructed in accordance with the Municipality's Servicing Standards for Subdivision and Road Construction.

Policy 5.3.2: Access to the proposed development shall be via two access points from Range Road 274.

Policy 5.3.3: Shared road approaches giving access to acreage lots from the internal roadway system within the subdivision shall be encouraged.

6.0 Implementation

The Conceptual Scheme will require the adoption by Council by bylaw of an amendment to the Municipality's Land Use Bylaw C-4841-97 for the redesignation of the subject land to Direct Control District ("DC"), with special regulations including the establishment of development cells. The special regulations will accommodate the lot sizes within the proposed development and impose performance standards and development guidelines for each of five development cells. Subdivision, which will require the approval of a final plan of subdivision by the Municipality for the plan area, will follow redesignation and the submission of an initial tentative plan. Development and construction will occur in phases ("Phase(s)") thereafter pursuant to the terms and conditions of a development agreement executed with the Municipality and subsequently to the acquisition of development and building permits. The developer, to control development in the project, will establish architectural and landscaping guidelines.

6.1 Direct Control Bylaw (DC Bylaw)

The creation of the DC District will allow for greater flexibility of uses within the plan area and provide for greater control of development by the Municipality than would otherwise be possible in a land use district that exists within the Land Use Bylaw. The amending DC Bylaw will outline both general and specific land use regulations with respect to the plan area which will be divided, on a notational basis, into, but not limited to, the following five proposed development cells.

- No.1 Residential
- No.2 Linear Open Space
- No.3 Block Open Space
- No.4 Stormwater Management
- No.5 Multiplex

The land use regulations will be comprised of performance standards and development guidelines specific to each of the development cells as illustrated on FIGURE 4.

Policy 6.1.1: The Municipality shall implement the provisions of this Conceptual Scheme through the redesignation and subdivision process.

Policy 6.1.2: A DC District shall be created for Land Use Redesignation of the plan area, which shall be divided into a certain number of development cells within the DC Bylaw, to the satisfaction of the Municipality.

Policy 6.1.3: The size and shape of each development cell is approximate but shall generally comply with the portions of the plan area set out in FIGURE 4 and shall be more precisely determined by a plan of survey.

Policy 6.1.4: A Development Agreement shall be executed between the Municipality and the developer as a condition of receiving subdivision, development, and building approvals in order that the regulations of the DC Bylaw are addressed to the satisfaction of the Municipality.

6.2 Subdivision

Once the subject land is redesignated and a DC District has been created for the plan area, an application will be made to the Municipality for subdivision approval. A tentative plan of subdivision will be submitted with the application and registered to create the internal roadway system rights-of-way, utility easements, acreage lots as saleable land, and dedicate the MR and PUL(s) generally as illustrated on FIGURE 4.

Policy 6.2.1: A tentative plan of subdivision shall be registered to create the internal roadway system rights-of-way, acreage lots as saleable land, and dedicate the MR and PUL.

6.3 Phasing

The phasing plan provides for the project to be developed in three Phases as illustrated on FIGURE 13 with all stormwater management ponds being constructed as part of Phase 1. A temporary cul-de-sac bulb, extending into the future roadway allowances of Phases 2 and 3 will be constructed during Phase 1 and Phase 2 respectively. The second entrance point from Range Road 274 and the internal roadway system to that entrance point from Phase 1 and Phase 2 will be constructed during each of those Phases ensuring that lots in all 3 Phases will have two access routes to and from Range Road 274.

The Multiplex will be built as part of Phase 1 with construction commencing subsequent to the closings and the completion of the conveyance of title to each lot in Phase 1. The Multiplex will be constructed generally as illustrated on FIGURES 6 and 13.

Policy 6.3.1: Phasing shall occur generally in accordance with the plan as shown on FIGURE 13.

Policy 6.3.2: A Temporary cul-de-sac bulb, extending into the future roadway allowances of Phases 2 and 3 shall be constructed during Phase 1

and Phase 2 respectively and the internal roadway system to the second access point to RR 274 from Phase 1 and from Phase 2 will be constructed during each of those Phases.

Policy 6.3.3: All ponds required for stormwater management pursuant to a final engineered stormwater management plan shall be developed in conjunction with Phase 1 of the project to the satisfaction of the Municipality and AENV.

Policy 6.3.4: The Multiplex shall be built as part of Phase 1 with construction commencing subsequent to the closings and the completion of the conveyance of title to each lot in Phase 1.

Policy 6.3.5: Erosion and sediment control measures and good housekeeping shall be implemented during the construction of all Phases of the development in accordance with a construction management plan.

MEADOWLANDS COUNTRY ESTATES
CONCEPTUAL SCHEME

FIGURE: 13 PHASING PLAN

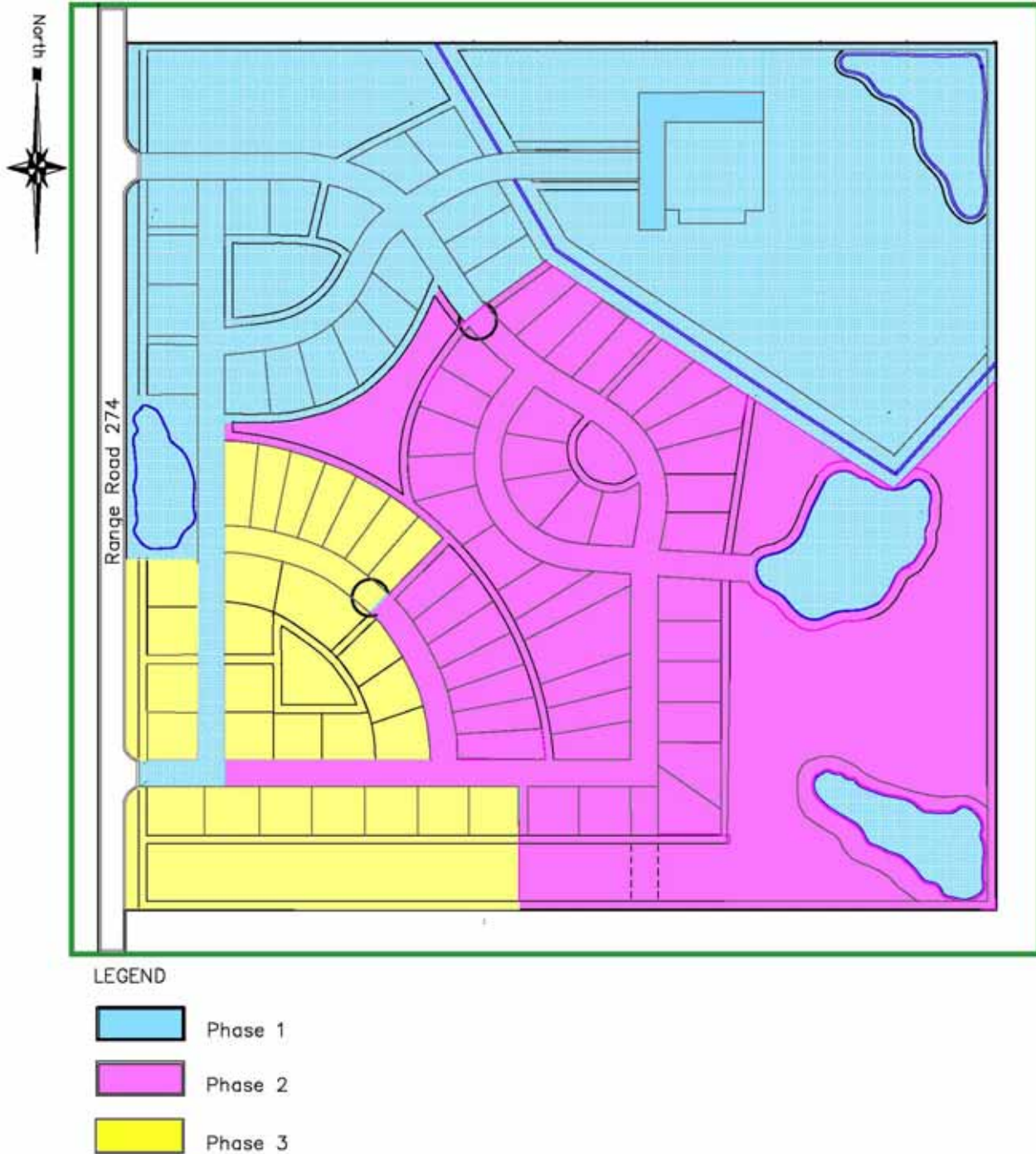


Figure 11 – Phasing Plan

6.4 Development Controls

The developer will establish a design committee and create control guidelines and approval procedures that will give it the opportunity to review the plans of registered owners with an objective view to protecting the integrity and values of the subdivision. The developer will provide each registered owner with a development envelope that will outline these guidelines and procedures.

a) *Architectural Guidelines*

Apart from the implementation of various landscape and enhancement measures outlined below, the thoughtful siting of houses on lots and the establishment of consistency in house exteriors are regarded as fundamental to creating an attractive community. Substantial attention will be given to proportion and detail. All homes in the development will be single-family units constructed onsite, with architectural guidelines established to ensure a high quality built environment. Guidelines for such things as building height, building mass, exterior finishes, garage sizes, garage positioning, roof materials, roof profiles, accessory trims, outbuildings, building site locations, and the amount of impervious coverage on each lot will be implemented. A building site location for each lot will be provided by the developer and will be designed with consideration given to the preservation of existing natural vegetation, the reduction of sight line conflicts, and the maximization of view potential.

b) *Landscaping Guidelines*

All landscaping activity, the planting of cultured vegetation material in particular, will be intended to highlight the existing vegetation and natural features of the plan area and to provide a consistent high quality visible landscape of the development. Guidelines for such things as land use within lots, driveways, landscape lighting, lot entrance features, gardens, fencing, trees and shrubs, terraces, and patios will be provided to homeowners by the design committee.

Protective grass cover will be established on areas disturbed during the infrastructure stage of construction. The ditches of the internal roadway system will be seeded with a low maintenance grass mix. Culvert protrusion areas on each side of the approach to each lot will be reinforced with attractive rip rap. Trees will be planted at the two entrance points from the RR 274 along with an entry monument. The edges of the PULs will be integrated into the landscaping scheme of the development.

The planting of trees and shrubs by homeowners will be encouraged with existing natural vegetation retained where possible. The trees and shrubs that are planted by each homeowner will be intended to provide an integration of the house and the natural landscape. The plantings are intended to provide shade

and shelter for the houses, and will define private outdoor living spaces. All land use and construction within the acreage lots will conform to the terms of the restrictive covenant, the Meadowlands building scheme, and the Homeowners Association agreement.

Guidelines for such things as driveways, exterior landscape lighting, horticultural activities, location and size of private gardens, exotic landscaping, constructed entrance features, roadside signage, and terraces or patios will be implemented.

Fencing will be provided and installed by the developer for each lot and the design committee must approve any significant alteration to this fencing. No other type of fencing will be permitted.

Policy 6.4.1: Architectural controls and landscaping guidelines shall be established by restrictive covenant on each lot created in the final plan of subdivision.

Policy 6.4.2: The Multiplex shall be architecturally controlled based on the subdivisions overall architectural theme.

6.5 Landscape Buffering

FIGURE 15 illustrates generally how landscaping will be implemented, if approved by the Municipality, in the linear open space network to provide a gradual transition area and buffer zone, in addition to the pastureland, from the residential acreage parcels to the agricultural land on the north, east, and south boundaries of the plan area. This will be accomplished by establishing three landscape buffering zones, (i) north, (ii) east, (iii) south as shown on FIGURE 14. The landscaping in each of these zones will be customized according to the particular features of the plan area that border it by having the pathway network wind through the linear open space areas with cluster combinations of trees, bushes, and shrubs planted at staggered intervals beside it.

Policy 6.5.1: Landscaping, if approved by the Municipality, within the linear open space system to be dedicated as MR, shall be used to provide a gradual transition area and additional buffer zone for the proposed development from the existing land uses to the north, east, and south while maintaining the views to the west.

MEADOWLANDS COUNTRY ESTATES
CONCEPTUAL SCHEME

FIGURE: 14 LANDSCAPED BUFFER ZONES



Figure 12 – Landscaped Buffer Zone

MEADOWLANDS COUNTRY ESTATES
CONCEPTUAL SCHEME

FIGURE: 15 LANDSCAPE BUFFERING DETAIL

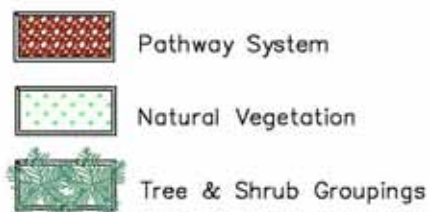
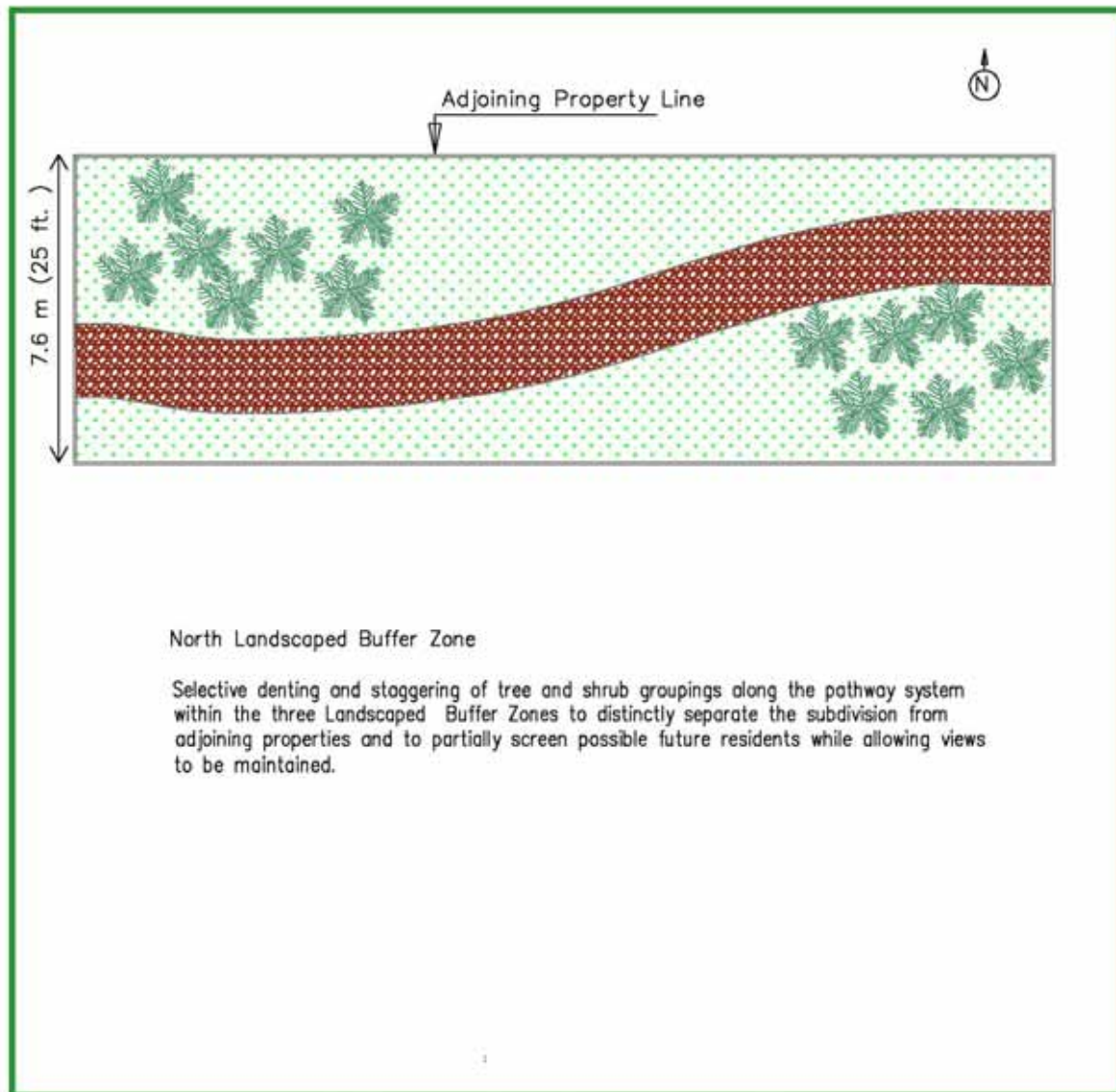


Figure 13 – Landscape Buffering Detail

6.6 Homeowner's Association

A Homeowners Association will be established by the developer, in accordance with provincial legislation. The Homeowners Association will be responsible for ownership and maintenance of all private communal open space and amenity facilities including the community pasture and Multiplex. The Homeowners Association will also be required to enter into lease agreements with the Municipality for the maintenance of all public open space and facilities including Municipal Reserve and Public Utility Lots.

Policy 6.6.1: A Homeowners Association shall be legally established by the developer during the completion of Phase 1 and each owner of an interest in the subject land shall be a member of the Homeowners Association pursuant to a restrictive covenant registered against all titles on the subject land.

Policy 6.6.2: The restrictive covenant shall be executed by the developer, in form and substance satisfactory to the Municipality and the Registrar of the Southern Alberta Land Titles District, and registered concurrently with the plan of subdivision against all titles on the subject land.

Policy 6.6.3: The Homeowners Association shall be responsible for providing qualified personnel, to the satisfaction of the Municipality and AENV, for the operation, management, and maintenance of, Municipal Reserves, Public Utility Lot(s), solid wastes, the common area, the Multiplex, and other matters within the subdivision that the Municipality may deem appropriate.

7.0 Public Consultation

7.1 Public Open House

On Thursday April 26th, 2007 the developer held a public open house at the Chestermere Recreational Complex from 4PM to 8PM to gauge public support, to facilitate discussion, and to receive input into the proposed development by presenting the proposed Conceptual Scheme. The open house was advertised in the Rocky View Weekly newspaper on April 10th, 2007 and April 17th, 2007. The developer personally contacted and invited several adjacent landowners and surrounding community residents. A report outlining the details of the responses, comments, and questions from attendees is attached as Appendix 1.

8.0 Policy Summary

Topography and Site Description:

Policy 2.2.1: The developer shall make no alterations to the topography of the subject land prior to the approval of a final engineered stormwater management plan.

Vegetation:

Policy 2.4.1: Mature Trees and shrubs along the irrigation canal shall be preserved as part of the development process.

Proposed Subdivision Design:

Policy 3.1.1 the subject land shall be developed generally in accordance with the proposed subdivision design as shown on FIGURE 4. All areas and dimensions are approximate and shall be confirmed by a plan of survey.

Proposed Future Land Uses

Policy 3.2.1: The proposed subdivision design pursuant to this Conceptual Scheme and applications for the redesignation of lands within the plan area shall conform generally to the uses identified within the Proposed Future Land Use and Subdivision Design shown on FIGURE 4.

Policy 3.2.2: The minimum parcel size for residential subdivision within the plan area shall be 0.20 ha (0.50 ac).

Policy 3.2.3: The maximum number of residential parcels permitted within the plan area shall be 90.

Policy 3.2.4: a caveat shall be registered on each lot within the plan area advising each owner that their land, improvements on their land, and all land within the subdivision is subject to the policies contained within the Meadowlands Country Estates Conceptual Scheme.

Policy 3.2.5: ± 10.3 ha (± 25.4 ac) of linear open space shall be dedicated in accordance with the proposed subdivision design plan to provide Municipal Reserve land.

Policy 3.2.6: A ± 7.6 m (± 25 -ft) buffer zone, to the satisfaction of the Municipality, shall be provided by easement reserve around the

perimeter of the plan area constituting a portion of the Municipal Reserve (See Policy 6.5.1).

Policy 3.2.7: All amenities within the Municipal Reserve, including the trail and pathway system, shall be constructed to Municipal Standards and maintained by a Homeowner's Association.

Policy 3.2.8: An agreement shall be executed between the WID and the developer with respect to the completion of any improvements, including permanent structures or landscaping on WID property. The plans for such improvements shall be prepared by a qualified professional and approved by the WID.

Policy 3.2.9: A maintenance agreement shall be executed between the WID and the developer with respect to the maintenance of any permanent structures and/or landscaping improvements on WID property, the terms and conditions of which shall become part of the Homeowner's Association bylaws.

Policy 3.2.10: The final plan of subdivision shall provide for a minimum set back from the WID property line to the property line of all acreage lots bordering the WID canal ensure the subdivision will comply with subsection 184(2) of the Irrigation Districts Act.

Policy 3.2.11: The developer shall install a type of fencing that prevents unfettered access to the WID irrigation canal on that side of the trail and pathway system that is directly adjoining the canal, to the satisfaction of the WID.

Policy 3.2.12: The Homeowner's Association shall own all of the common area by way of separate title bearing restrictive covenants and shall be responsible for the maintenance of the common area and any improvements to it.

Policy 3.2.13: Horses shall be the only animals permitted to be raised on the pastureland portion of the common area.

Policy 3.2.14: The Multiplex and its facilities shall be available for the use of the surrounding rural community for 4-H agricultural and horticultural events. The Homeowner's Association shall administer the details of such usage.

Policy 3.2.15: The Homeowner's Association shall own and be responsible for the maintenance and the operation of the Multiplex.

Wastewater Management and Water Supply and Distribution:

Policy 4.1.1: The supply of sanitary sewer services shall be by way of connection to the East Rocky View Wastewater Transmission Main.

Policy 4.1.2: Potable water shall be supplied to the development by means of a communal groundwater system until such time as connection to a municipal piped water system becomes available.

Policy 4.1.3: The groundwater system for the subdivision shall be registered with AENV pursuant to its Approvals and Registrations Procedure Regulation. It shall be designed, constructed, and installed in accordance with AENV's Standards and Guidelines, and operated according to AENV's Code of Practice, all to the satisfaction of the Municipality.

Policy 4.1.4: The communal groundwater system shall be operated by a person certified under the Code of Practice for Waterworks Systems.

Policy 4.1.5: The developer shall execute a deferred servicing agreement with the Municipality that provides for the decommissioning of the groundwater wells and the connection of the subdivision's internal water distribution system to the Municipal water pipeline when it is completed.

Policy 4.1.6: The developer shall make application to AENV for a license to divert sufficient water from the Bow River for irrigation purposes and to supplement stormwater levels in the stormwater management pond adjacent to the WID canal.

Policy 4.1.7: The stormwater management pond, adjacent to the WID canal, shall be constructed to also function as an irrigation water reservoir. Water to supplement stormwater levels in this pond shall be supplied from the WID irrigation canal pursuant to a license to divert water from the Bow River granted by AENV.

Policy 4.1.8: The stormwater management pond, adjacent to the WID canal, and the works delivering irrigation water from the canal to the stormwater management pond, shall be constructed and equipped in such a manner that stormwater runoff is prevented from flowing back into the canal.

Policy 4.1.9: A conveyance agreement shall be executed with the WID to the satisfaction of the WID to deliver the irrigation water to the subdivision from the Bow River. The Homeowner's Association

Agreement shall include a clause with a statement that qualifies the delivery of irrigation water by the WID to the subdivision indicating that delivery is not guaranteed.

Policy 4.1.10: An irrigation water distribution system shall be constructed in accordance with plans and specifications prepared by a qualified professional to the satisfaction of the Municipality, AENV, and the WID.

Drainage and Stormwater Management:

Policy 4.2.1: A final engineered stormwater management plan that preserves the natural drainage patterns of the subject land shall be prepared in accordance with the Municipality's Servicing Standards for Residential Subdivisions and Road Construction by a qualified professional to the satisfaction of the Municipality and AENV. It shall be submitted to and approved by the Municipality prior to any development activity being commenced that may alter the subject land.

Policy 4.2.2: The ponds, ditches, and culverts required for the management of stormwater shall be constructed according to the final engineered plan which shall be implemented such that the post-development stormwater run-off rate from the plan area shall be less than the pre-development stormwater rate for the plan area.

Policy 4.2.3: All stormwater management facilities for wet ponds shall be constructed within PUL(s) to the satisfaction of the Municipality and shall be owned by the Municipality.

Policy 4.2.4: Overland drainage easements shall be registered at land titles for any PUL(s) and drainage flow routes required pursuant to the final engineered stormwater management plan.

Policy 4.2.5: The maintenance of all stormwater management ponds and other facilities within PUL(s) shall be the responsibility of the Homeowner's Association as a condition of subdivision with Best Management Practices emphasized and implemented.

Policy 4.2.6: The developer shall submit a specific landscaping plan as affecting the PUL(s) to the satisfaction of the Municipality.

Shallow Utilities:

Policy 4.3.1: The developer shall provide the shallow utilities to the plan area and these utilities shall be placed underground either in

the ditches of the internal roadway system or on private utility right of ways in accordance with the Municipality's Servicing Standards for Residential Subdivisions at the time of subdivision.

Protective Services:

Policy 4.4.1: All fire hydrants and services shall be constructed in accordance with the Municipality's current standards and as approved by the Municipality's Fire Chief in compliance with the Safety Codes Act.

Solid Waste:

Policy 4.5.1: The developer shall prepare a solid waste management plan prior to tentative plan approval, the details of which the Homeowner's Association shall be responsible for implementing.

Policy 4.5.2: The solid wastewater management plan shall be prepared in accordance with the Municipality's Solid Waste Master Plan and Solid Waste Management Strategic Plan.

Animal Manure:

Policy 4.6.1: The developer shall prepare an animal manure management and disposal plan prior to final subdivision plan approval, the details of which the Homeowner's Association shall be responsible for implementing.

Community Access:

Policy 5.1.1: All access intersections shall be constructed by the developer in accordance with the Traffic Impact Study of May 31, 2005, its subsequent update of October 11, 2005, and any further updates that may be required to the satisfaction of Alberta Transportation and the Municipality.

Traffic Impact Assessment:

Policy 5.2.1: Access to individual acreage lots within the Development shall be from the internal roadway system. No direct access shall be allowed from Range Road 274.

Policy 5.2.2: The developer shall have the TIA updated to the satisfaction of the Municipality at the subdivision stage.

Internal Roadway System:

Policy 5.3.1: Internal subdivision roads shall be constructed in accordance with the Municipality's Servicing Standards for Subdivision and Road Construction.

Policy 5.3.2: Access to the proposed development shall be via two access points from Range Road 274.

Policy 5.3.3: Shared road approaches giving access to acreage lots from the internal roadway system within the subdivision shall be encouraged.

Direct Control Bylaw (DC Bylaw):

Policy 6.1.1: The Municipality shall implement the provisions of this Conceptual Scheme through the redesignation and subdivision process.

Policy 6.1.2: A DC District shall be created for Land Use Redesignation of the plan area, which shall be divided into a certain number of development cells within the DC Bylaw, to the satisfaction of the Municipality.

Policy 6.1.3: The size and shape of each development cell is approximate but shall generally comply with the portions of the plan area set out in FIGURE 4 and shall be more precisely determined by a plan of survey.

Policy 6.1.4: A Development Agreement shall be executed between the Municipality and the developer as a condition of receiving subdivision, development, and building approvals in order that the regulations of the DC Bylaw are addressed to the satisfaction of the Municipality.

Subdivision:

Policy 6.2.1: A tentative plan of subdivision shall be registered to create the internal roadway system rights-of-way, acreage lots as saleable land, and dedicate the MR and PUL.

Phasing:

Policy 6.3.1: Phasing shall occur generally in accordance with the plan as shown on FIGURE 13.

Policy 6.3.2: A Temporary cul-de-sac bulb, extending into the future roadway allowances of Phases 2 and 3 shall be constructed during Phase 1 and Phase 2 respectively and the internal roadway system to the second access point to RR 274 from Phase 1 and from Phase 2 will be constructed during each of those Phases.

Policy 6.3.3: All ponds required for stormwater management pursuant to a final engineered stormwater management plan shall be developed in conjunction with Phase 1 of the project to the satisfaction of the Municipality and AENV.

Policy 6.3.4: The Multiplex shall be built as part of Phase 1 with construction commencing subsequent to the closings and the completion of the conveyance of title to each lot in Phase 1.

Policy 6.3.5: Erosion and sediment control measures and good housekeeping shall be implemented during the construction of all Phases of the development in accordance with a construction management plan.

Development Controls:

Policy 6.4.1: Architectural controls and landscaping guidelines shall be established by restrictive covenant on each lot created in the final plan of subdivision.

Policy 6.4.2: The Multiplex shall be architecturally controlled based on the subdivisions overall architectural theme.

Landscape Buffering:

Policy 6.5.1: Landscaping, if approved by the Municipality, within the linear open space system to be dedicated as MR shall be used to provide a gradual transition area and additional buffer zone for the proposed development from the existing land uses to the north, east, and south while maintaining the views to the west.

Homeowner's Association:

Policy 6.6.1: A Homeowner's Association shall be legally established by the developer during the completion of Phase 1 and each owner of an interest in the subject land shall be a member of the Homeowner's Association pursuant to a restrictive covenant registered against all titles on the subject land.

Policy 6.6.2: The restrictive covenant shall be executed by the developer, in form and substance satisfactory to the Municipality and the Registrar of the Southern Alberta Land Titles District, and registered concurrently with the plan of subdivision against all titles on the subject land.

Policy 6.6.3: The Homeowners Association shall be responsible for providing qualified personnel, to the satisfaction of the Municipality and AENV, for the operation, management, and maintenance of, Municipal Reserves, Public Utility Lot(s), solid wastes, the common area, the Multiplex, and other matters within the subdivision that the Municipality may deem appropriate.

9.0 Professional Studies

The following professional studies have been provided to the Municipality Department of Planning and Building under separate cover:

- a)** Residential Development Traffic Impact Study - Bunt & Associates Engineering (Alberta) Ltd.
- b)** Residential Development Traffic Impact Study Revision (October 2005) - Bunt & Associates Engineering (Alberta) Ltd.
- c)** Near Surface Water Table Test - McIntosh Lalani Engineering Ltd.
- d)** Groundwater Supply Evaluation - Groundwater Exploration & Research Ltd.
- e)** Stormwater Management Study - Jubilee Engineering Consultants Ltd.

APPENDIX 1

Public Consultation Report

Following is an outline of the details with respect to the responses, comments, and questions from attendees at an open house held at the Chestermere Recreational Complex on Thursday April 26th, 2007:

Responses

Approximately 36 people attended the open house. The attendees were asked:

Do you generally agree with the Concept Plan as presented?

25 attendees responded by completing a comment sheet and of those 25 respondents:

- 25 indicated "Yes"
- None indicated "No"
- 11 of the attendees did not complete a comment sheet and it was therefore unclear whether or not they generally agreed or disagreed with the plan.

Of the 25 respondents, 100% generally agreed with the plan as presented.

Comments

Attendees were also asked:

Do you have comments you would like to make with respect to the Concept Plan as presented?

21 of the respondents made a further comment with respect to the Concept Plan. All 21 comments were positive. The following are examples of those comments:

- "The development appears well designed for a variety of recreational activities and should be appealing to those wanting to escape the city."
- "Great ideas. Will benefit the surrounding agricultural industries."
- "Very good plan. Practical."
- "Excellent concept plan. The proposed facilities will greatly benefit & enhance community involvement. The sooner the better!"

- "Looks like a great addition to the community. Everyone will benefit."
- "Very professional layout, looks great."
- "The plan is very impressive and certainly would be great addition to the community. The combination of rural residences and an equestrian centre certainly are balanced in the plan presented this evening. The mountain view is an added asset for the new residents to enjoy and certainly adds to the value of the properties. Hope it goes forward!"
- "A good plan including the agricultural theme."
- "Good to see a full quarter section plan rather than the fragmentation of a quarter piece by piece".

Questions and Answers

The attendees asked a number of questions with respect to aspects of the development. Following are examples of those questions and answers given by the developer:

- Q: What is going to happen with the intersection at the Trans Canada Highway (TCH) and RR 274 and what improvements are required to roads connecting to the development?

A: The direct connection of Range Road 274 at the TCH will eventually be removed but will be replaced by a service road connecting Range Road 274 with the proposed interchange at Highway 791 to the west.

The traffic impact assessment conducted in support of the Conceptual Scheme indicated that RR 274 north of the site access will eventually need to be improved and paved to a RCU 90 classification. It also indicated that the projected traffic volumes are at the low end of the RCU 90 operating range, and improvement to an unpaved RCU 80 is recommended to start with the improvement to RCU 90 to occur later. No improvements will be required to other roadways or intersections within the area.

- Q: Where will the water and wastewater lines run connecting the subdivision to the municipal pipeline?

A: Both lines will run along the road allowances of RR 274 and TWP 240 from the subdivision to a lateral lift station at the intersection of RR 275 and TWP 240.

- Q: Where is the proposed Altalink power line projected to go and will it interfere with the subdivision?

A: The final route has not yet been determined subject to the finalization of public hearings being conducted by the Alberta Energy and Utilities Board (EUB) and the outcome of certain ongoing court challenges to various rulings and decisions made by the EUB.

- Q: Why has it taken so long to get the approvals for the subdivision?

A: The plan has undergone a number of both major and minor changes during its approval process. These changes, in aggregate, have taken a substantial amount of time to implement. The first major change occurred as a result of the Municipality's adoption of a new concept promoting more open space within subdivisions. The second major change occurred when the Municipality announced its new wastewater and water pipeline to which the subdivision was required to connect.

- Q: Will the community facility be available to the surrounding neighbours? Will they be able to use the fitness centre?

A: The community facility, including the fitness centre, will be available to surrounding area 4H club members, their families, leaders, and volunteers.

- Q: What will the price range of the lots be and when will they be available?

A: Lot prices have not yet been established and will be subject to the development being approved by the Municipality and the completion of a final business plan by the developer. The availability of the lots at this point is not predictable due to the uncertainty of the duration of the approval process.

- Q: How many horses can be grazed on the pastureland?

A: 90

- Q: What is going to be on the perimeter of the subdivision and will this development be able to connect future neighbouring subdivisions?

A: The perimeter of the subdivision will be a landscaped trail and pathway system that will act as a buffer zone. There have been provisions made in the plan for connectivity to future contiguous developments.

- Q: What is happening with the Municipal water pipeline and what is the subdivision going to do for water?

A: The Municipal Water Line has not yet been completed. The completion of the Water Line is dependent upon the Municipality being granted a license for

the diversion of water from the Bow River and certain financial considerations. If the Municipality is able to complete the Water Line, the developer intends to make application to connect the development to the pipeline for the supply of domestic water. The Municipality may not be able to complete the Water Line, or may only be able to complete it at a time well into the future. In consideration of these possibilities, the developer is proposing to supply the subdivision with domestic water, either permanently or on an interim basis, from an internal communal groundwater system.