



Indigo Hills - Conceptual Scheme

Prepared for Terra Verde Communities
by IBI Group
November 27, 2018

BYLAW C-7849-2018

A Bylaw of Rocky View County known as the Indigo Hills Conceptual Scheme

The Council of Rocky View County enacts as follows:

PART 1 – TITLE

This Bylaw shall be known as Bylaw C-7849-2018.

PART 2 – DEFINITIONS

In this Bylaw, the definitions and terms shall have the meanings given to them in the Bears paw Area Structure Plan (Bylaw C-4129-93), Land Use Bylaw (C-4841-97), and the *Municipal Government Act*.

PART 3 – EFFECT OF BYLAW

THAT Bylaw C-4129-93, known as the “Bears paw Area Structure Plan”, be amended in accordance with amendments contained in Schedule ‘A’, attached to and forming part of the Bylaw; and,

THAT Bylaw C-7849-2018, being the “Indigo Hills Conceptual Scheme”, affecting the NW-11-26-03-W05M, be adopted as defined in Schedule ‘B’, which is attached to, and forms part of, this Bylaw.

PART 4 – TRANSITIONAL

Bylaw C-7849-2018 is passed when it receives third reading, and is signed by the Reeve/Deputy Reeve and the Municipal Clerk, as per Section 189 of the *Municipal Government Act*.

Division: 8

File: 06711002/030/ PL20170033/34

PUBLIC HEARING WAS HELD IN COUNCIL this

12th day of February, 2019

READ A FIRST TIME IN COUNCIL this

12th day of February, 2019

READ A SECOND TIME IN COUNCIL this

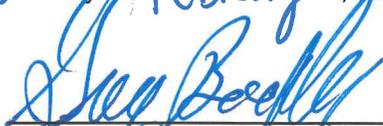
12th day of February, 2019

~~UNANIMOUS PERMISSION FOR THIRD READING~~

~~day of _____, 2019~~

READ A THIRD TIME IN COUNCIL this

26th day of February, 2019



Reeve



CAO or Designate

February 26, 2019

Date Bylaw Signed

Indigo Hills – Conceptual Scheme



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1 Introduction

The current Indigo Hills Conceptual Scheme (IHCS) has been developed using the extensive consultation for the Lochend Corners Conceptual Scheme with Bearspaw residents and community organizations (2009-2013) as reference, which included the subject property. The Lochend Corners Conceptual Scheme was envisioned as a higher density mixed land use concept. Based on the feedback received for Lochend Corners, the approach to Indigo Hills acknowledges evolving trends in housing, sustainability, and a desire to preserve Bearspaw's natural features, culture, and lifestyles. The country residential development for Indigo Hills proposes a lower density and provides a variety of lot sizes and generous public open space to create a balanced and attractive community in the Bearspaw area. The Indigo Hills Conceptual Scheme adheres to the Bearspaw Area Structure Plan and current land use policies of Rocky View County. The revised approach reflected in the Indigo Hills Conceptual Scheme has been widely discussed with Bearspaw residents and community organizations in 2018 as part of the approval process of the new concept.

This document has been prepared according to the Rocky View County Format for Conceptual Schemes.

1.1 Indigo Hills Vision

The Indigo Hills Conceptual Scheme has been developed with the following vision:

To create a high quality residential neighbourhood that builds upon the nature and culture of the Bearspaw community and enhances the community through a sustainable balance of housing options, amenities and conserved open space.

1.2 Purpose of the Conceptual Scheme

A Conceptual Scheme provides a comprehensive planning framework for future development of a defined plan area within the Municipal District. Conceptual Schemes are adopted via Council bylaw and address planning and development issues such as generalized land uses, provision of infrastructure, environmental issues, traffic and the impact of the development on surrounding land uses. The Indigo Hills Conceptual Scheme has been prepared as a requirement of the Bearspaw Area Structure Plan.

The content and form of this Conceptual Scheme are the result of an extensive consultation process to address and balance the input from the community and recommendations of Council and Administration.

1.3 Conceptual Scheme Objectives

The objectives of the Indigo Hills Conceptual Scheme are as follows:

- a. To address compatibility with adjacent land uses and the surrounding community.
- b. To facilitate the development of a comprehensively planned, high quality residential community that incorporates the natural attributes of the site and housing alternatives with the highest design, aesthetic, safety, security, and environmental standards.
- c. To establish a servicing scheme appropriate to the development proposal and a policy framework for implementation.
- d. To establish a stormwater management strategy to respond to the surface drainage requirements within the plan area.
- e. To accommodate connections to future development on adjacent lands.
- f. To provide an extensive area of publicly accessible open space.
- g. To address community concerns and include their suggestions as part of the design process.

2 Plan Area and Adjacent Land Use Context

2.1 Description of Plan Area

The Plan Area is located in the west portion of Rocky View County, in the community of Bearspaw, and has a total area of 63.10 ha (155.92 acres). **Exhibit 1.0** illustrates the regional location of the Planning Area. It is bounded to the west by Lochend Road (Secondary Highway 766) and bounded to the north by Township Road 262 (176th Avenue NW). The Plan Area is identified in **Exhibit 2.0** and comprises lands legally described as:

1. NW 11-26-3-W5M, 47.07 ha (116.31 acres); and
2. Block 1, Plan 0011554, 16.09 ha (39.76 acres)
Site Area: 63.16 ha (156.07 acres)
3. Less a Road Widening (Purchased by Alberta Transportation): 0.06 ha (0.15 acres)

Total Conceptual Scheme Area: 63.10 ha (155.92 acres)

2.1.1 Land Ownership

The properties identified as being part of the Indigo Hills Conceptual Scheme are owned by Terra Verde Developments / 1986766 Alberta Ltd.

Policy 2.1 Policies contained in this Conceptual Scheme shall apply to lands identified in Exhibit 2.0 – Plan Area.

2.2 Current Land Use within the Study Area

There are no structures located on the subject lands and the current Land Use Designation is Ranch and Farm (R-F) District.

Block 1 Plan 0011554, which is 16.09 ha (39.76 acres) in size, has been primarily used for marginal agricultural purposes. The balance of the lands included in the plan area NW 11-26-03 W5M, 47.07 ha (116.31 acres) have been used primarily as marginal pastureland for the grazing of livestock. The southeast portion of the quarter section is mostly treed.

A portion of the Study Area (0.06 ha, 0.15 acres) has also been purchased by Alberta Transportation (AT) for the widening of Lochend Road. This area is not included in the design of the Conceptual Scheme, but has been used in calculations of anticipated density and hydrology.

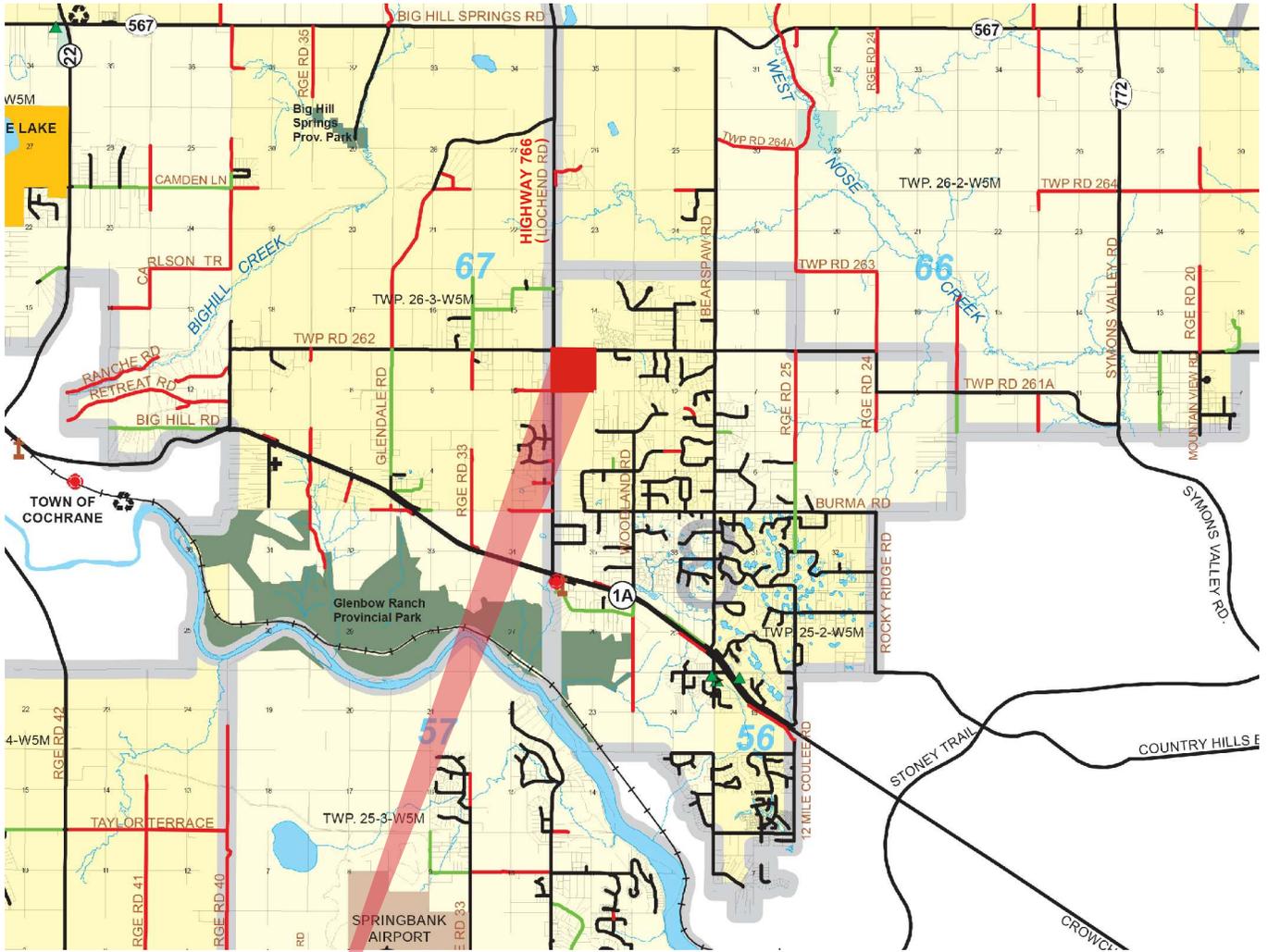
2.3 Description of Adjacent Land Uses

The Plan Area is located within the Bearspaw Community where the primary land use is a mix of country residential and agricultural.

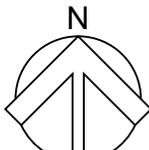
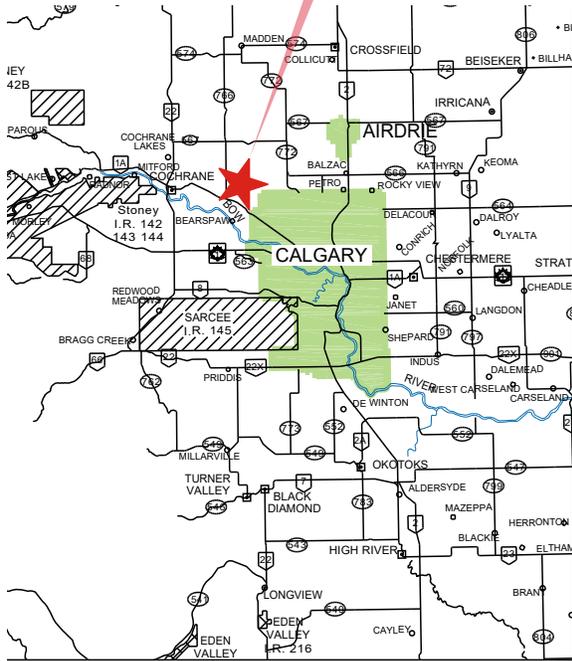
The community is currently under development pressure with acreage residential developments becoming the prominent land use. The adjacent quarter sections to the east and west of the subject site generally contain lands that have been previously developed with residential parcels of various sizes. The west side of Lochend Road, from Township Road 262 south to Highway 1A, is predominately designated Residential One (R-1) and Residential Two (R-2) districts, with two Residential Three (R-3) and some Agricultural Holding (AH) parcels remaining.

The lands to the southeast are Residential Two (R-2) districts (with some R-1) while lands immediately north and south of the subject lands are currently designated Ranch and Farm (R-F) district. To the north and west are also lands with R-2 and some R-1.

To the northeast of the subject property, in the East ½ of Section 14-26-3-W5M, the Silverhorn residential project was approved on July 28, 2009 and rezoned R-S, appropriate for the development of residential small parcel sizes. **Exhibit 3.0** illustrates this, as well as other land uses on adjacent and surrounding parcels.



SUBJECT AREA



N.T.S.

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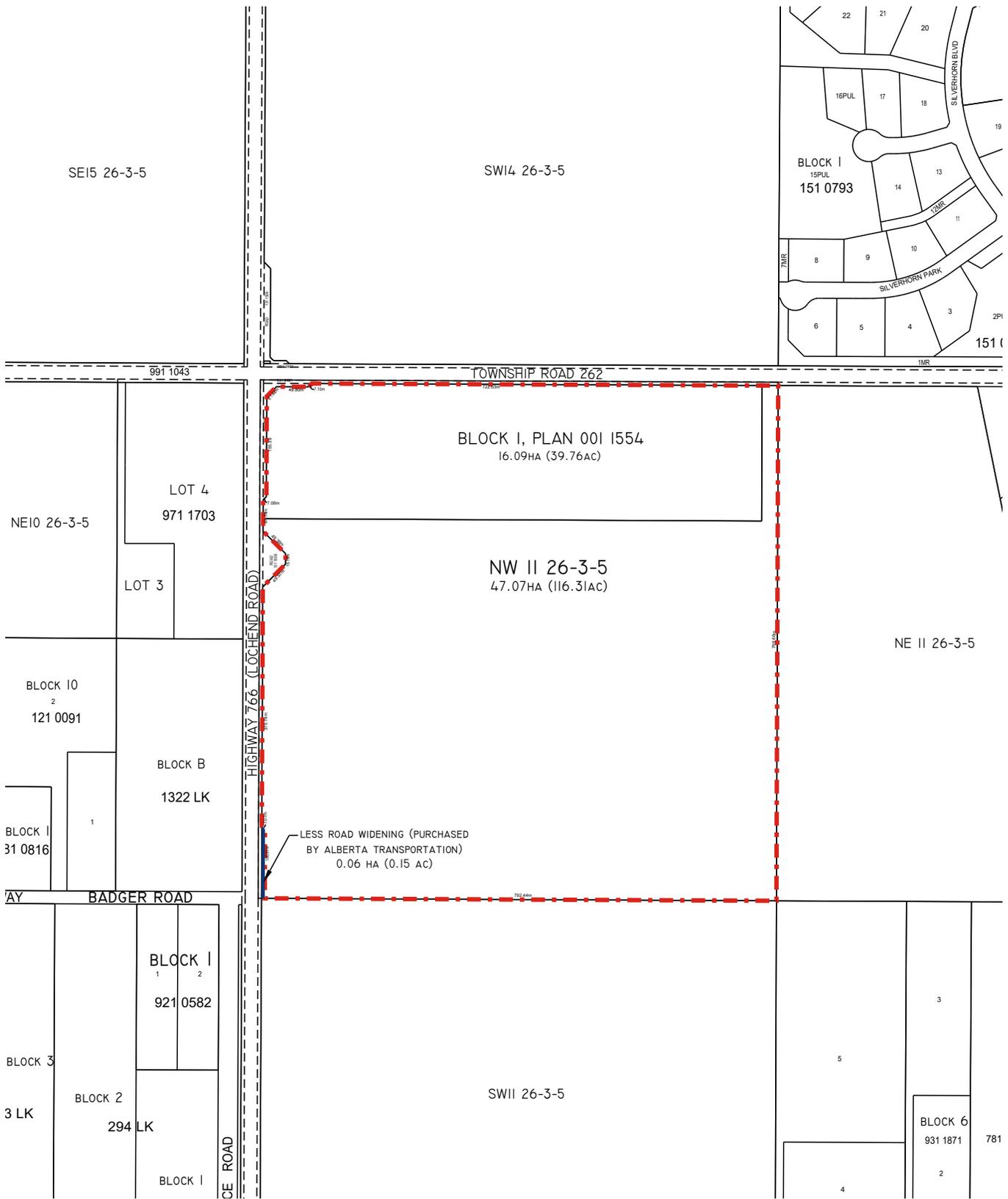
IBI GROUP
 500 – Meredith Block,
 611 Meredith Road NE
 Calgary AB T2E 2W5 Canada
 tel 403 270 5600 fax 403 270 5610

Indigo Hills
 1986766 Alberta Ltd.

Regional Location

Exhibit 1.0
 NW-11-26-3-5
 Source: Rocky View County Map

Last Saved: November 26, 2018, by tmoody



--- SUBJECT AREA



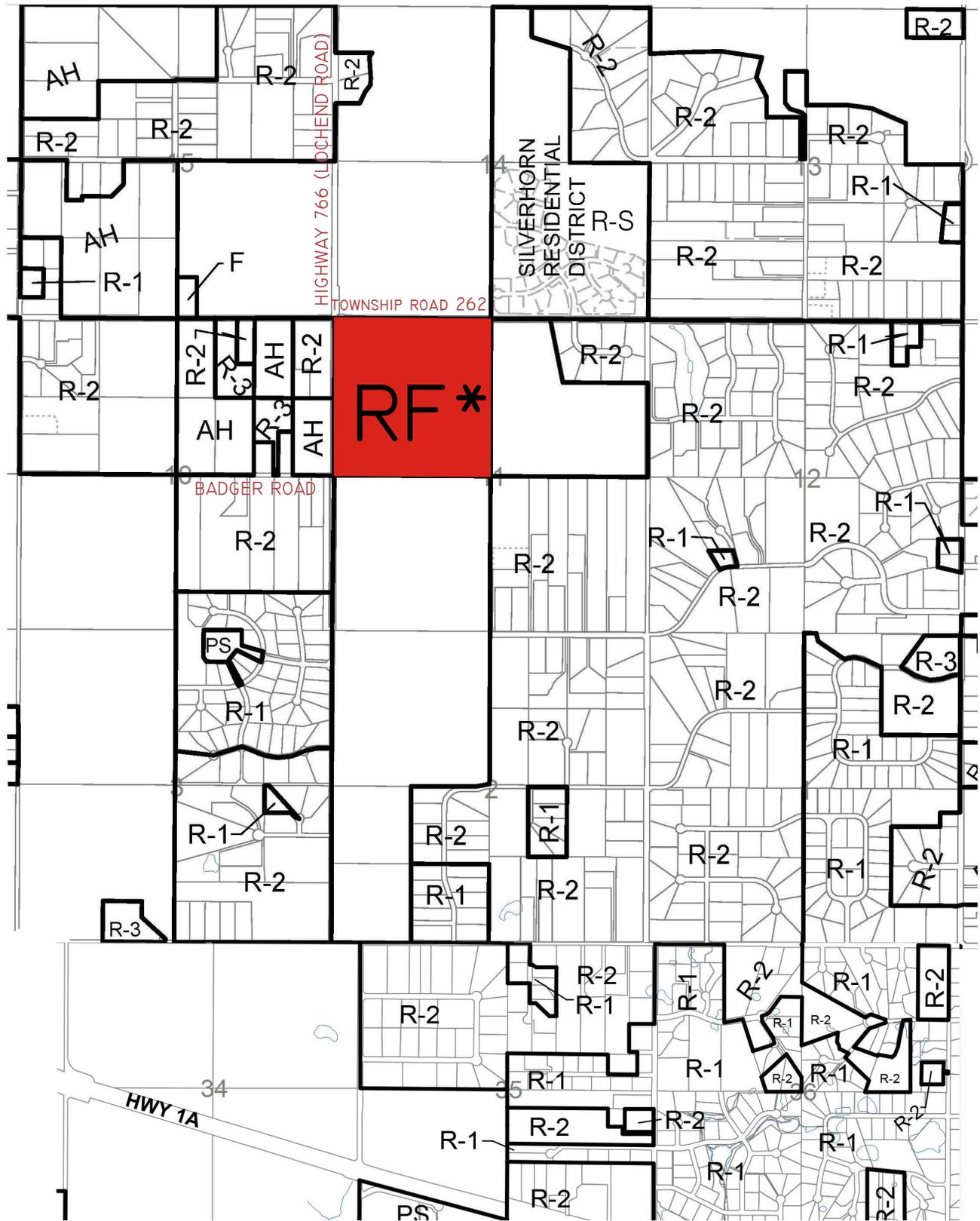
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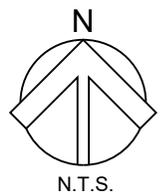
Indigo Hills
 1986766 Alberta Ltd.

Plan Area
 Exhibit 2.0
 NW-11-26-3-5

Last Saved: December 21, 2018, by tmoodie



 SUBJECT AREA



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Adjacent Land Uses

Exhibit 3.0
NW-11-26-3-5
Source: Rocky View County Land Use Map
Last Saved: November 26, 2018, by tmoodie

3 Physical Site Features

3.1 Topography

The majority of the subject property is gently sloping with a shallow ravine physically separating the north portion of the land from the south. This natural division coincides with the two separate titles from a previous subdivision. **Exhibit 4.0** shows aerial photos and topographic contours of the site, as well as existing wetlands, all of which are to be retained. **Exhibit 5.0** shows various photos of the natural features of the site.

3.2 Hydrogeological and Geotechnical Considerations

A Geotechnical Investigation for the subject lands indicates that the slopes on the site are considered stable with only a nominal setback for structures of 5.0 m from the top-of-bank line being recommended. Further lot-specific studies will be required on some lots at the subdivision or building permit stage to determine exact setback requirements and suitability of walk-out basements. A Wastewater Feasibility Report for Indigo Hills found that the soils are suitable for wastewater field dispersal in the location proposed for the facility.

3.3 Soils and Vegetation

The geotechnical studies found that soils at Indigo Hills are generally gravelly silt loam and silt loam. The majority of the Indigo Hills lands are described as previously disturbed grasslands that have been used for grazing or marginal feed crops.

The southern portion of the subject lands also contains several mature stands of trees and shrubs, with natural open areas.

3.4 Environmental Considerations

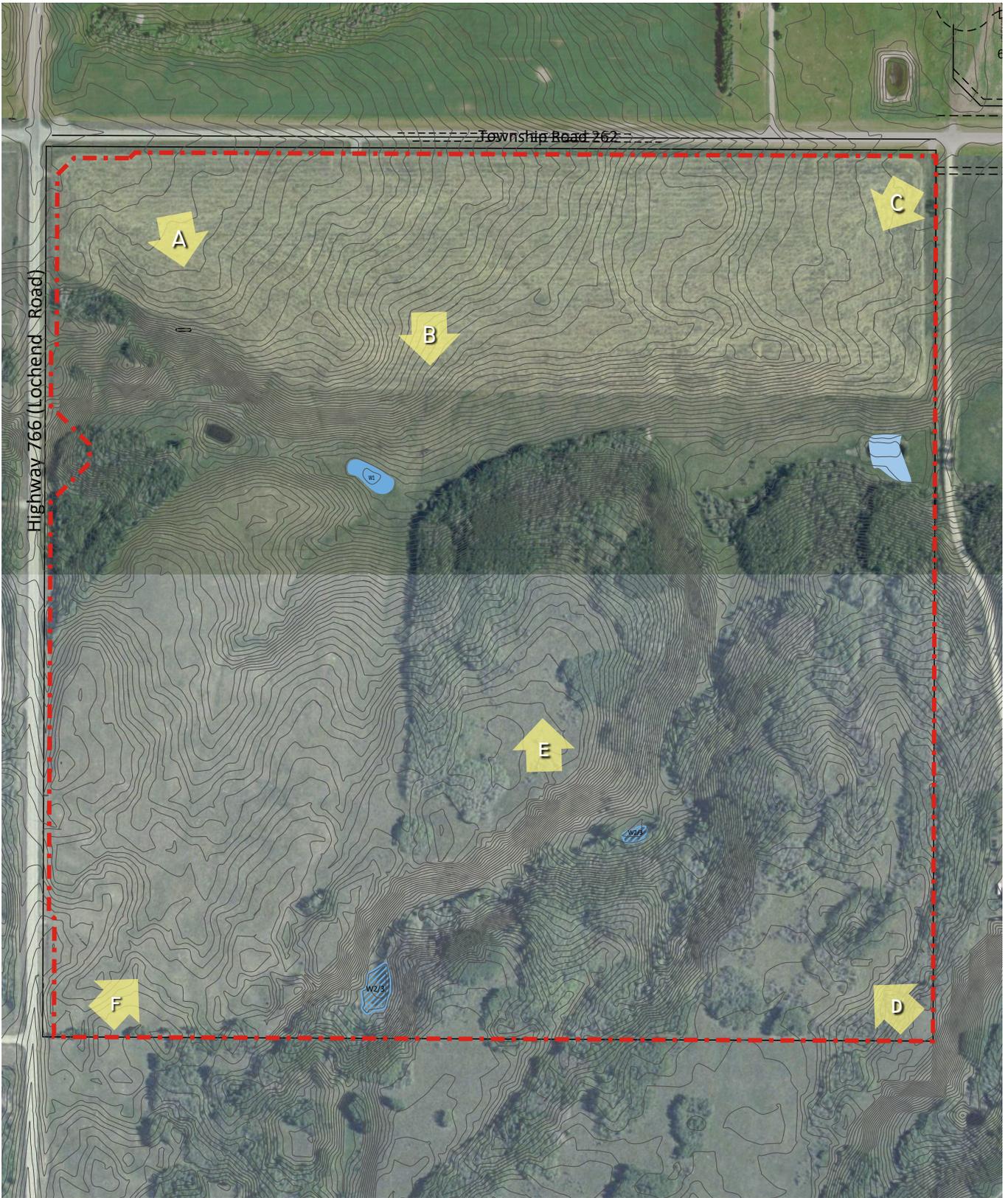
Biophysical Impact Assessments (BIA) have been prepared for the subject lands (2008) with recent updated reports (2016). Based on the review of the 2008 BIA and an October 13, 2016 site visit, it is considered that the assessment, conclusions, and recommendations from the 2008 BIA are still valid and comply with current municipal government regulations. It was concluded that “The existing levels of human-use and disturbance and the fragmentation that has already occurred around the property precludes development contributing significantly to regional native habitat fragmentation.” Furthermore, “The presence of country residential development, agriculture and roads in the vicinity of the property impairs the value of the property as part of a regional movement corridor.”

The following points summarize the biophysical and land use status of the property:

- No provincially or regionally ranked Environmentally Significant Areas occur within the property.
- No rare plants were observed during field surveys.
- No vertebrate species at risk were observed during field surveys.

Aspen and balsam poplar stands had the highest overall relative significance in the property. They were rated as high for four of six ecological factors. While native grassland, tall shrub, and temporal to seasonal wetland had moderate overall relative significance.

Two seasonal and one seasonal to temporal wetland occur on the property (refer to **Exhibit 4.0**). As part of the stormwater management plan, these three wetlands will be protected and will remain by being incorporated into the Municipal Reserve (MR) open space system, or undisturbed portion of residential lots and will not be developed. Existing low-lying areas will be retained in their existing state where possible on individual lots and will be protected by restrictive covenant. As per the current Alberta wetland regulatory requirements, an approval by Alberta Environment and



--- SUBJECT AREA

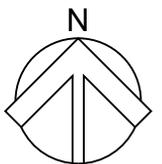
 SITE PHOTO LOCATION (SEE EXHIBIT 5.0)

*EACH CONTOUR LINE REPRESENTS 0.5M CONTOUR INTERVAL

 PERMANENT WATER FOR FIRE SUPPRESSION

 WETLAND - CLASS I TO BE RETAINED

 WETLAND - CLASS 2 TEMPORAL SEASONAL TO BE RETAINED



SCALE 1:5000

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Indigo Hills
1986766 Alberta Ltd.

Aerial Photo & Contours
Exhibit 4.0
NW-11-26-3-5

Last Saved: December 20, 2018, by tmoodie



A. FROM THE NORTH WEST LOOKING SOUTH EAST



B. FROM THE NORTH CENTER LOOKING SOUTH



C. FROM THE NORTH EAST LOOKING SOUTH WEST



D. FROM THE SOUTH EAST LOOKING NORTH WEST



E. FROM THE MIDDLE OF SITE LOOKING NORTH



F. FROM THE SOUTH WEST LOOKING NORTH EAST



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Indigo Hills
1986766 Alberta Ltd.

Site Photos
Exhibit 5.0
NW-11-26-3-5

Last Saved: December 21, 2018, by tmoodie

Parks is required under the Water Act. Therefore, a follow-up Wetland Impact Assessment report should be completed before the application approval for the Water Act is submitted.

Alienation of seasonally important bird habitat and direct mortality resulting from construction will be mitigated by limiting clearing and stripping activities to times outside of the peak breeding and nesting season (April 15-August 20 for upland areas and April 1-August 20 for wetlands). If clearing and stripping is required to be completed inside this period of time, then a nest search will be completed prior to stripping. Nests will be avoided as per Fish and Wildlife Division requirements. These measures will fulfill protection regulations under the Migratory Bird Convention Act.

3.5 Historical Use of the Site

A Historic Resource Impact Assessment (HRIA) was prepared in 2009 for the subject lands by FMA Heritage Inc. to identify the location of potential historic resources. The investigation consisted of a pedestrian traverse and an intensive visual examination of the subject lands. The surface examination also included 140 shovel tests in order to evaluate the presence and/or nature of subsurface cultural deposits; two shovel tests were positive for cultural material and 138 were negative. A total of 15 backhoe tests were excavated and are considered to have potential for deeply buried cultural deposits; four backhoe tests were positive for cultural material and 11 were negative.

The investigation located and recorded two pre-contact archaeological sites. One site (EhPn 81) has been recorded as a buried lithic scatter and is considered to be of low archaeological interpretive potential. The FMA Heritage Inc. report indicates that the site has been properly mitigated and that there are no further concerns for this site.

The second site (EhPn 82) has been recorded as a pre-contact buried campsite and is considered to be of high archeological interpretive potential. However, the site where EhPn 82 is located was acquired by Alberta Transportation (AT) in 2013 as part of their acquisition of road right-of-way (ROW) for the eventual widening of Lochend Road. If the site for EhPn 82 cannot be avoided for disturbance, Alberta Culture recommends that a Stage 1 archaeological study be conducted. With the exception of the area occupied by site EhPn 82, Historical Resources Act clearance has been granted to proceed with development in the remainder of the project area.

3.6 Existing Structures

There are no structures on the subject site.

3.7 Existing Transportation and Utilities Considerations

3.7.1 Transportation

A review of background transportation studies for Indigo Hills was completed by Bunt and Associates in December 2016. At the time of the original Traffic Impact Assessments (TIAs), the site was called Lochend Corners. Two TIAs plus letters addressing various changes were completed and these referenced documents have been relied upon as supporting studies to this Conceptual Scheme.

As part of the previous application and other projects in the area, signalization of Highway 766 / Highway 1A had been raised. In discussions with AT it is understood that works are currently underway to improve the stop control intersection to allow it to function un-signalized for a few more years. That being said, based on growth along Highway 1A it is expected that the intersection will need to be signalized in the next three to five years apart from any new development growth in the immediate area.

The current Conceptual Scheme indicates there is one site access location from Township Road 262; a secondary access point off Highway 766 (Lochend Road) is provided as an emergency access

point only, based on feedback with Alberta Transportation and Rocky View County. Alternatively the access at Highway 766 at Badger Road could be converted to a full secondary access. AT has agreed that the secondary access, in the location shown, is acceptable.

The locations where improvements were identified in the previous TIAs continue to require improvements and enhancement works are already scheduled in most locations. The key findings from the Post-Development analysis are identified in **Section 4.7**.

3.7.2 Utilities

Indigo Hills is easily serviced by utilities adjacent to the site, including piped water from the Rocky View Water Co-op (RVWC), natural gas, and electricity. There are currently no piped services for sewage disposal or stormwater.

There are no utilities crossing or located within the subject lands.

4 Land Use Concept

4.1 Design Considerations

The design of Indigo Hills is the result of a concerted effort to meet the objectives outlined in **Section 1.3** with a land use plan that is technically feasible, economically viable, environmentally compatible, and publicly acceptable. In a region experiencing continued growth pressure, these factors require a development concept that is different than the traditional country residential subdivision.

Not only has consumer demand shifted from traditional multi-acre lots but they are being recognized as an unsustainable form of future growth due to issues such as large land consumption needs, significant impacts from private sewage systems, and public infrastructure maintenance and replacement costs. In taking the aforementioned into consideration; the minimum allowable lot sizes under the R-1 Rocky View land use district have been applied. In addition, today there is an increased appreciation for a high quality built environment that integrates the natural setting into the overall community design.

An innovative trend in response has been the development of rural conservation subdivisions that allow for both country residential housing options and the preservation of open space. The conservation of natural features is attained by creating a contiguous open space system within the central ravine and low-lying tree-covered areas. Furthermore, options such as communal wastewater systems and extensive public pathways can bolster existing land values, while allowing for safe and sustainable servicing. Site Development Guidelines have been established that identify natural areas that will be retained within each lot, the Site Development Guidelines identify areas that can be disturbed within the lot while preserving significant natural features on each parcel.

4.1.1 Community Input

Within the framework of what is technically and economically viable, the most important consideration and influence on the design of Indigo Hills has been the input of local residents. Terra Verde Developments has led the preparation of the development approach described in this Conceptual Scheme using as reference the feedback received through the engagement effort undertaken for the previous concept of Lochend Corners in 2009-2013 and discussing the revised Indigo Hills development concept with the community in 2018. All aspects of the Indigo Hills Conceptual Scheme represent an attempt to find balance and incorporate the significant amount of feedback received for the previous Lochend Corners concept and the revised development concept for Indigo Hills. The development concept for Indigo Hills considers a significantly lower density than the previous Lochend Corners proposal and responds to community input received in 2018. Terra Verde Development is committed to facilitating any additional community engagement that may be required by Rocky View County and will coordinate with County staff and community organizations accordingly to enable the review of the revised, lower-density concept by community members. A comprehensive outline of the community engagement process undertaken is attached in **Appendix A**.

4.1.2 Incorporate and Conserve Site Attributes

Indigo Hills has been planned to align with and take advantage of the natural topography and vegetation of the site. Concerted design efforts map roads strategically to best match the existing grades and minimize cut and fill requirements, thereby maximizing tree preservation and minimizing disturbance to existing natural settings. Home sites have been laid out to create the best opportunity to protect the existing vegetation stands and allow them to be natural buffers between lots and adjacent properties, to foster high amenity values, and showcase the rural, natural character desired in this development.

4.1.3 Open Space, Trails and Recreation

Open space, connected trails, and on-site recreational opportunities will be signature features of Indigo Hills. Open space networks will be interlaced throughout the development and connect every part of the development to each other and to adjacent developments, a link to a regional pathway system and significant natural areas within the development; all of which will be publicly dedicated. Overall publicly accessible areas, including roads, account for approximately 21% of the total area of the proposed development. 64% of the existing tree cover will be retained within the open space system and within the undisturbed portions of the proposed homesites.

4.1.4 Transition and Compatibility with Surrounding Uses

One of the priorities identified through the planning process was to ensure that new development in Bearspaw is well-transitioned and compatible with the context and character of the existing community. This is achieved in the Indigo Hills design through extensive landscaping and strategic lot arrangement.

4.1.5 Respect the Nature and Culture of Bearspaw

Indigo Hills was conceived as a development that would become an integral part of the Bearspaw community without detracting from the attributes that have made Bearspaw such an attractive residential location. Indigo Hills represents the type of growth that is needed to sustain the unique nature and culture of Bearspaw. Indigo Hills is envisioned as a community where buildings are integrated into the existing Bearspaw context, stepped with the natural grades, blended in with the character of the surrounding landscape and reflective of the architectural styles of the surrounding community. Respect for the rural character and ecological features of the site, such as surface and ground water quality, wetlands, steep slopes, and wildlife habitat, will be achieved through the protection of a portion of each parcel. Optimal lot sizes limit the need for alteration of the existing terrain and will facilitate the retention of diverse ecology, topography, and vegetation throughout the site. The policies of this Conceptual Scheme provide an implementation framework to realize the community vision that preserves the existing vegetation and landscape. Site Development Guidelines presented in **Section 4.4** describe the policies to ensure that the natural area, the building envelope and the construction envelope are clearly defined within each lot in Indigo Hills.

4.2 Development Goals and Objectives

The goals of the Conceptual Scheme for Indigo Hills are to **preserve**, **protect**, and **enhance** the natural environment of the subject site and to remain consistent with the policies outlined in the Bearspaw Area Structure Plan.

The Indigo Hills Conceptual Scheme is guided by a set of goals and objectives that respect the community context and allow for a residential community that will:

- Create a unique residential community that respects the predominant country residential surrounding context and enhances the natural features and topography of the site;
- Offer a high quality of life for all residents by providing a balance between the public and private realms within the community that facilitates a safe and open community for its residents;
- Ensure high quality and uncompromising development standards for a consistent, integral and healthy built environment;
- Value and respect local resident interests;
- Integrate areas of environmental significance within the site into the development, ensuring that such areas are preserved;

- Integrate existing natural stormwater drainage patterns into the site design and ensure the implementation of comprehensive stormwater management plan;
- Pursue consistency with the provisions of the Bearspaw Area Structure Plan and offer a livable and sustainable community design;
- Incorporate innovative sustainable initiatives and standards to promote water conservation and energy efficiency; and
- Create a pedestrian friendly community through the design of a local road system, pathway and open space network that incorporates multi-use regional pathways and rustic trails that allow for easy and convenient connection to adjacent sites.

4.3 Land Use Design

Indigo Hills is proposed as an efficient and sustainable country residential development that secures abundant open space, conserving the natural ravine and vegetation, while supporting a residential lifestyle that is harmonious to the Bearspaw area. The proposed concept endeavours to reduce the residential development footprint for traditional country residential land uses by employing a smaller building envelope area. The allowable building envelope will take into consideration the vegetation and topography of each lot and will be indicated in the site development guidelines. The land use design is illustrated on **Exhibit 6.0**. The subdivision and land use concept is shown as an overlay on the aerial photo of the site in **Exhibit 7.0**.

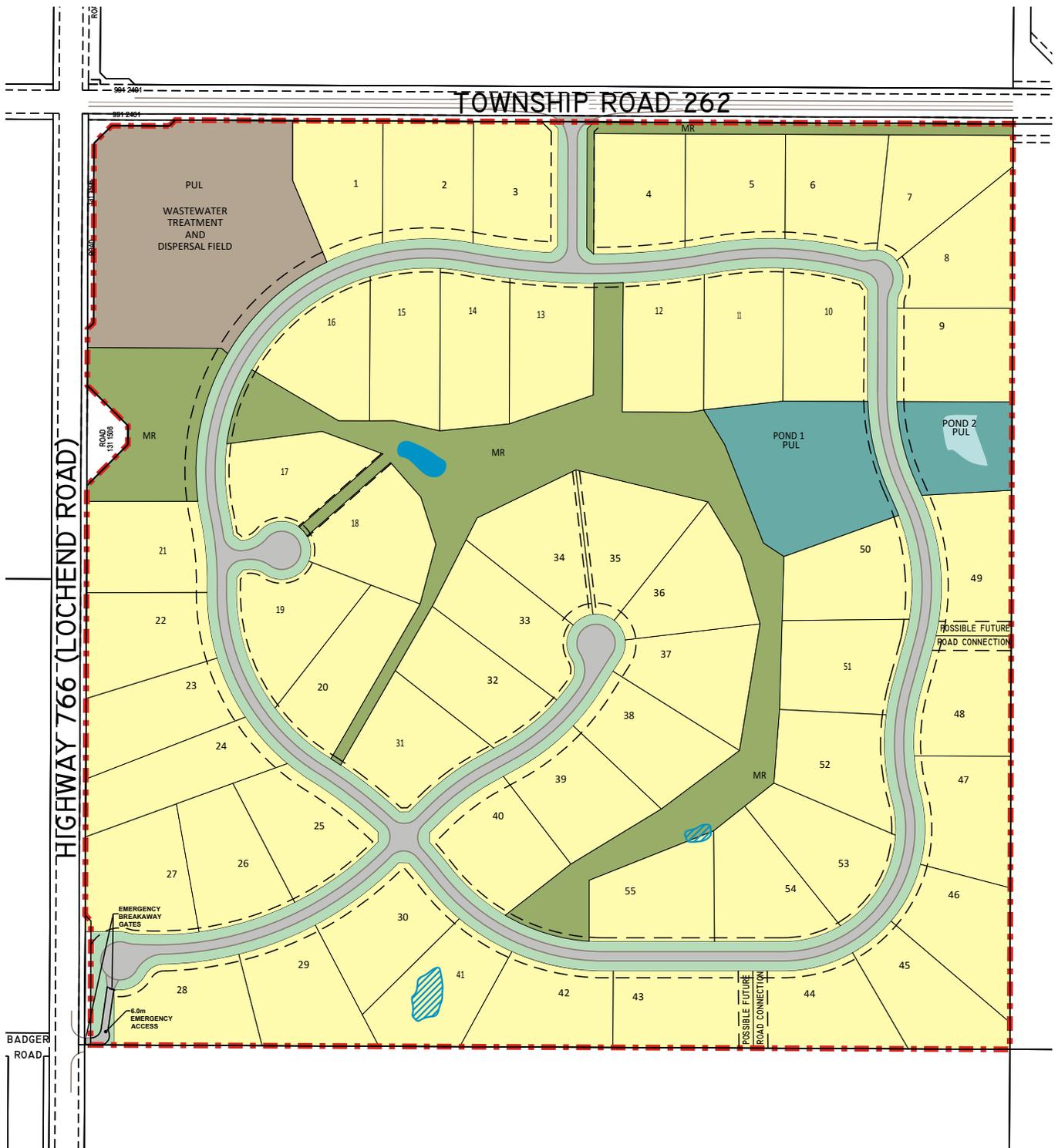
The entrance to Indigo Hills is from Township Road 262, promptly connecting to a looping country residential road that provides access to the various residential clusters strategically located on the site. Two potential future roadway connections have been planned for the southern and eastern boundaries of the site to allow for convenient integration to future adjacent undeveloped parcels. A secondary emergency access is provide in the SW corner of Indigo Hills connecting to Highway 766 (Lochend Road).

The 55 country residential homesites are 0.80 ha (1.98ac) in area and have been strategically situated in prime locations backing onto open space and treed areas. Lot and building sites have been carefully designed to ensure residential integration to the rural character while providing privacy and tranquility for individual lots. Fencing shall not be allowed on individual lots to preserve the rural environment of the site perimeter. Instead, the use of landscaping and vegetation as a natural boundary marker for homeowners will be encouraged to obtain privacy and consistency throughout the Indigo Hills community. Privacy fencing and dog runs within the building envelope areas will be permitted.

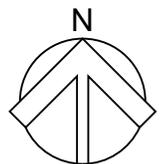
The proposed land use for Indigo Hills is Residential One District (R-1) to allow for a residential use on a small parcel. Site Design Guidelines have been created that will define specific regulations for conservation and will adopt the County Plan's design principles and apply them to all of the R-1 lots within Indigo Hills. These Design Guidelines will identify the areas within each lot that shall be preserved and the areas in which the homes can be constructed. The Indigo Hills Conceptual scheme observes the overall policy framework delineated by the Bearspaw Area Structure Plan, which is the applicable policy framework for Indigo Hills.

Open space has been carefully intertwined to allow a relaxing pedestrian experience through the site's landscape amenities. The greenway system generally corresponds to the grassland and treed areas naturally found in the central ravine. Dedication of these green areas permits recreation while preserving the open vistas and views.

The stormwater management system has been integrated into the open space network and the individual lots, all natural drainage courses and low lying areas have been preserved and will be incorporated into the Indigo Hills development, the large low lying areas which are centrally located within Indigo Hills will connect to all corners of the project for enjoyment of Indigo Hills residents and the public, thus making them attractive walking destinations within the community. Similarly, all open space will be accessible for public access through the extensive pathway and



	CONCEPTUAL SCHEME PLAN AREA	63.10 HA (155.92 AC)
	RESIDENTIAL ONE DISTRICT (R-2)	44.15 HA (109.10 AC)
	MUNICIPAL RESERVE (MR)	6.18 HA (15.27 AC)
	WASTEWATER (PUL)	3.29 HA (8.13 AC)
	STORM POND (PUL)	2.21 HA (5.46 AC)
	ROAD RIGHTS OF WAY	7.27 HA (17.96 AC)



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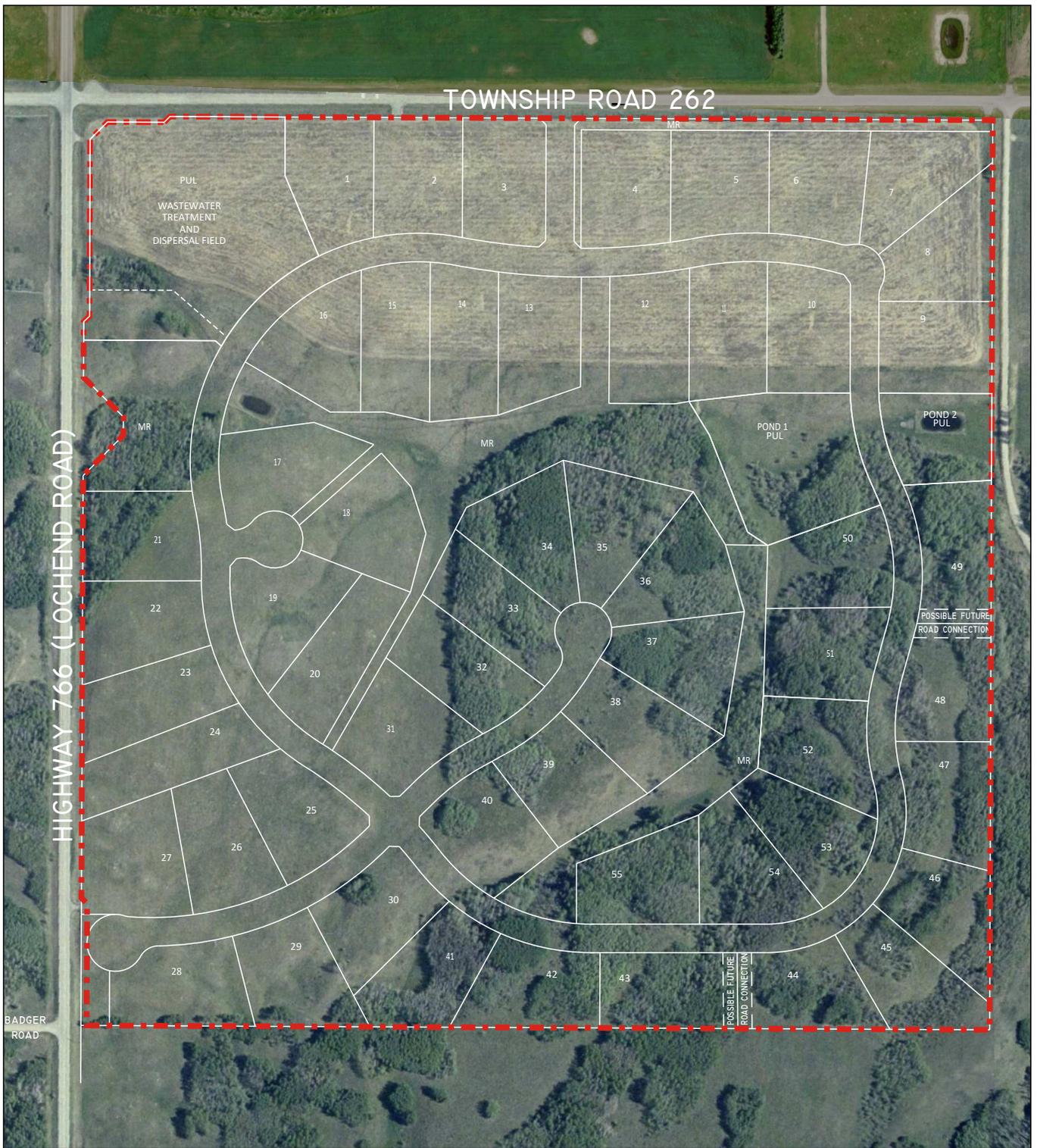
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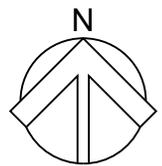
**Subdivision & Land Use
 Concept**

Exhibit 6.0
 NW-11-26-3-5

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--- CONCEPTUAL SCHEME PLAN AREA



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**Subdivision & Land Use
 Concept with Airphoto**

Exhibit 7.0

NW-11-26-3-5

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trail system, the widespread retention of existing treed areas enhances the natural conservation focus pursued for the Indigo Hills community.

The following table summarizes the subdivision and land use concept:

Subdivision and Land Use Concept Stats

				# of Units	Lot Size
Residential District (R-1)	44.15 ha	109.10 ac	70.0%	55	0.80 ha (1.98 ac)
Open Space (MR)	6.18 ha	15.27 ac	9.8%		
Accessible Public Utility Lots (PUL)	2.21 ha	5.46 ac	3.5%		
Public Utility Lots (PUL)	3.29 ha	8.13 ac	5.2%		
Roads (8.0m/25.0m ROW)	7.15 ha	17.66 ac	11.5%		
Emergency access	0.12 ha	0.30 ac			
Total Project Area	63.10 ha	155.92 ac	100.0%		
Anticipated Density	0.87 upha	0.35 upa			

*Policy 4.1 Subdivision of land within the Indigo Hills Plan Area shall be generally in accordance with **Exhibit 6.0**. The final size, configuration and design of individual parcels and road system proposed through the subdivision shall be identified on the tentative plan for subdivision approval.*

Policy 4.2 Residential lot sizes within Indigo Hills shall be a minimum of 0.80 hectares (1.98 acres)

Policy 4.3 There shall be a maximum of 55 residential R-1 lots within Indigo Hills.

4.4 Site Development Guidelines for Indigo Hills

The Site Development Guidelines described in the policies of this Conceptual Scheme are intended to ensure that all homes built in Indigo Hills reach a balance with their natural surroundings in their approach to site usage, location, and landscape. The guidelines, to be registered on title as restrictive covenant, will establish a maximum buildable area and identify areas to be retained in a naturalized state for each development parcel. This document will be used as the foundation for the lot design and configuration on the tentative plan submitted for subdivision approval.

The Site Development Guidelines document primarily illustrates the undisturbed **Natural Area**, the **Building Envelope** and the **Construction Envelope** for each lot. An example of the site development guidelines is provided in **Exhibit 8.0**.

The undisturbed **Natural Area** is a portion of the lot that is located outside of the Construction Envelope and is NOT developable. These areas are protected areas that ensure the retention of the existing vegetation and low lying areas; they are no-disturbance areas and are set aside to maintain the natural character of the Indigo Hills setting. The Natural Area is created and intended to support the intended vision for the new community to protect and preserve the natural setting and maximum retention of existing trees and native vegetation within these areas.

The **Building Envelope** is the portion of the lot that is intended for personal use. This portion will include the dwelling, outbuildings, gardens, manicured landscaping, the driveway, and servicing. Intended to be optimized, the Building Envelope will be situated to take maximum advantage of the natural and man-made character of the lot. The building should be located with



Home Site 29 (Lot 19, Block 2)

- Lot Boundary 0.80ha (1.98ac)
- Lot / Block
- Building Envelope 0.33ac (14,677 sq ft)
- Limit of Disturbance
- Undisturbed Area
- Limit of Backsloping from Road
- Rockyview County Bylaw Setback
- Utility Right of Way
- Culvert
- Local Pathway
- Existing Trees to be Retained
- Site Boundary



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**Example of Site
Development Guidelines**

Exhibit 8.0
NW-11-26-3-5
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the natural grade, accounting for views, topography, and sun angles; each building should be designed to minimize overview and/or overshadowing of the adjacent developments; and each building should be designed to ensure suitable and safe access off the street. Driveway locations must consider safe road design and are required to be contained within the Building Envelope.

The **Construction Envelope** is the portion of each lot within which all improvements and construction activities of any kind must occur. It is based on the natural features of the lot, view, topography, and setback requirements, and it is the maximum limit of disturbance allowed during construction. The Construction Envelope includes a 3.0-m construction buffer established from the border of the Building Envelope that is intended for construction activity. This includes access for construction vehicles and the delivery of construction materials. In turn, the construction process is to be contained within the construction envelope in order not to alter or impact the Natural Area. Vegetation that is approved for removal (based on size, quality, species and location) within the Construction Envelope may be carefully relocated within the Natural Area of the site, in order to naturally enhance the native material, for climatic buffers and to preserve as much of the native vegetation on site as possible.

Policy 4.4 Before any alteration, subdivision or development may occur on the subject lands the Site Development Guidelines document shall be submitted that identifies:

- a. the Natural Area to be protected on each lot which will include existing depressions for stormwater management, existing vegetation and other environmentally significant features to be protected pursuant to the policies of this document;*
- b. the Building Envelope on each lot; and*
- c. the Construction Envelope on each lot.*

Policy 4.5 The Site Development Guidelines document shall be provided prior to subdivision approval to the satisfaction of Rocky View County, and shall be administered by the developer or their agent until the Indigo Hills Home Owners Association is legally formed.

Policy 4.6 The Site Development Guidelines document shall be registered on title with the Architectural and Landscape Design Guidelines prior to or concurrent with the final Plan of Survey.

If the low lying areas located within the Municipal Reserve lands and intended to serve for temporary retention of stormwater is not acceptable to Rocky View County, that portion of MR (approximately 0.94 ha or 2.33 acres) will have cash-in-lieu of the Municipal Reserve paid to Rocky View County at the time of subdivision.

4.5 Municipal Reserve, Open Space, and Pathways

4.5.1 Open Space

With efficient lot sizes, and a conservative lot layout and road network, Indigo Hills is able to feature 13.3% of the project as publicly accessible open space. This equals approximately 8.39 ha (20.73 acres) made up of municipal reserve, public utility lots (excluding the wastewater facility) and pathways. The project will retain the majority (64%) of existing tree cover on public spaces as well as within areas retained on the proposed lots. **Exhibit 9.0** illustrates the open space and existing trees to be preserved, where possible, within the Plan Area. Site development guidelines will specify where trees will be retained.

The Indigo Hills parcel features slightly rolling topography and natural vegetation. While the ravine through the parcel limits developable area, it provides an attractive and interesting feature for the adjacent homesites and for all residents to enjoy the natural open space and trails.



- CONCEPTUAL SCHEME PLAN AREA
- MUNICIPAL RESERVE (MR)
- BOULEVARDS
- ACCESSIBLE PUBLIC UTILITY LOT
- EXISTING TREES - 64% OF EXISTING TREE COVER TO BE RETAINED WHERE POSSIBLE. SITE DEVELOPMENT GUIDELINES WILL SPECIFY WHERE TREES WILL BE RETAINED.
- RETAINED TREES

- WETLAND - CLASS I TO BE RETAINED
- WETLAND - CLASS 2 TEMPORAL SEASONAL TO BE RETAINED



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Open Space
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The continuity of the open space network within Indigo Hills allows for the maximization of the rural character of the development and the preservation of existing vegetation and natural areas to maintain corridors for wildlife movement.

- Policy 4.7 An open space network within the Plan Area, including the delineation of public and private land, shall be constructed by the developer, as generally shown in **Exhibit 9.0**, to the satisfaction of Rocky View County.*
- Policy 4.8 The Developer shall dedicate Municipal Reserve (MR) in accordance with **Exhibit 9.0** at the time of subdivision, subject to a review of Environmental Reserve/ Environmental Easement requirements. Municipal Reserve shall be developed in a form acceptable to the County at the time of dedication. Notwithstanding the provisions of the Municipal Government Act, the Developer is committed to the provision of Municipal Reserve in accordance with **Exhibit 9.0** of this Conceptual Scheme.*
- Policy 4.9 Municipal Reserve shall be maintained by the Homeowner's Association established for Indigo Hills under an operation / maintenance agreement with Rocky View County.*

The stormwater management plan for Indigo Hills (detailed in **Section 5**) will favour ways to preserve the existing landform in the subdivision and development by minimizing stripping and grading. It is the intent to preserve and protect existing natural drainage courses and the natural depressions in the landscape and utilise these natural features in the overall design of the stormwater management system. Natural drainage courses will be maintained throughout the development where possible. Many drainage routes pass over individual lots and Municipal Reserve lands.

4.5.2 Pathways and Trails

Indigo Hills will feature an estimated 5.3 km of publically accessible pathways and trails. The pathways and trails provide a connected network of pedestrian routes and recreation opportunities. The trail system will incorporate an interpretive section in the area identified as potentially significant from a historic aspect, if this is agreeable to Alberta Transportation (AT), which now has legal oversight of this site. **Exhibit 10.0** illustrates the connected trail network.

A 3.0-m wide paved Regional Pathway will provide connectivity to adjacent lands and pathways. The Regional Pathway runs within the open space along Lochend road, crosses through the open space system approximately midway through the development, and extends north to Township Road 262 where it extends east to the SW edge of the Silverhorn Development and connects to the Silverhorn regional pathway system. The Regional Pathway will total approximately 1.2 km in length.

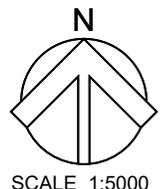
A local trail will run along the central looping road providing access between each residential cluster and natural areas and a connection to the regional and interpretive pathway in the ravine. The local trails will run in the central open space system and will connect to the regional pathway. There will be approximately 4.1 km of local trails.

- Policy 4.10 The pathway and trail system (Regional, Local) within the Plan Area, as generally shown in **Exhibit 10.0** shall be constructed by the Developer, to the satisfaction of the County.*
- Policy 4.11 The pathway and trail system (Regional, Local) within the Plan Area, as generally shown in **Exhibit 10.0** shall be publically accessible.*
- Policy 4.12 Pathways and trails including road crossings (crossing requirements and locations to be determined at the time of subdivision) shall be constructed in accordance with the descriptions in the County's Pathways and Trail Classification and the requirements of the County's Servicing Standards and shall be situated outside any proposed road widening.*



- CONCEPTUAL SCHEME PLAN AREA
- MUNICIPAL RESERVE (9.8%)
- ACCESSIBLE PUBLIC UTILITY LOT (3.5%)
- BOULEVARDS
- REGIONAL PATHWAY
- LOCAL PATHWAY

- WETLAND - CLASS I TO BE RETAINED
- WETLAND - CLASS 2 TEMPORAL SEASONAL TO BE RETAINED



SCALE 1:5000

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Pathways
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*Policy 4.13 The pathway and trail system (Regional, Local) within the Plan Area, as generally shown in **Exhibit 10.0**, shall be maintained by the Homeowner's Association under an operation / maintenance agreement with Rocky View County.*

4.5.3 Recreation

In addition to the passive recreational opportunities provided by the extensive trail system, the Indigo Hills Conceptual Scheme takes advantage of the areas of historical significance in close proximity to the site, which could become additional amenities. Although now under the jurisdiction of AT, the identification of a site of high archaeological interpretive potential in the west side of the ravine of Indigo Hills creates the opportunity to incorporate historical interpretive activities on the site. If agreed by AT, public access to this site could be possible along the Regional Pathway or via the Local Pathway.

The developer of Indigo Hills will approach the Bearspaw Glendale Recreation District Board to discuss the community's recreational needs.

4.6 Transportation Overview

The proposed transportation network is designed to provide safe and efficient access to the development and includes a modest hierarchy of road typologies to best account for safety, accessibility, and country residential design character. Wherever possible, the road alignments follow the natural topography of the land to minimize cut and fill areas while still being able to achieve maximum road grade performance criteria. The road network along with carriageway widths meet Rocky View County standards, in addition to meeting the network capacity requirements. Furthermore, it is proposed that road rights-of-ways (ROWs) provide the location of deep services within the road ROWs to reduce disruption to existing tree stands from being cleared in key zones on the property. **Exhibit 11.0** illustrates the proposed road network and proposed ROWs. The proposed ROWs are to be finalized at the appropriate subdivision stage for each given phase, at which time detailed cross sections will be required. The proposed ROW for each road may be subject to change at the subdivision stage.

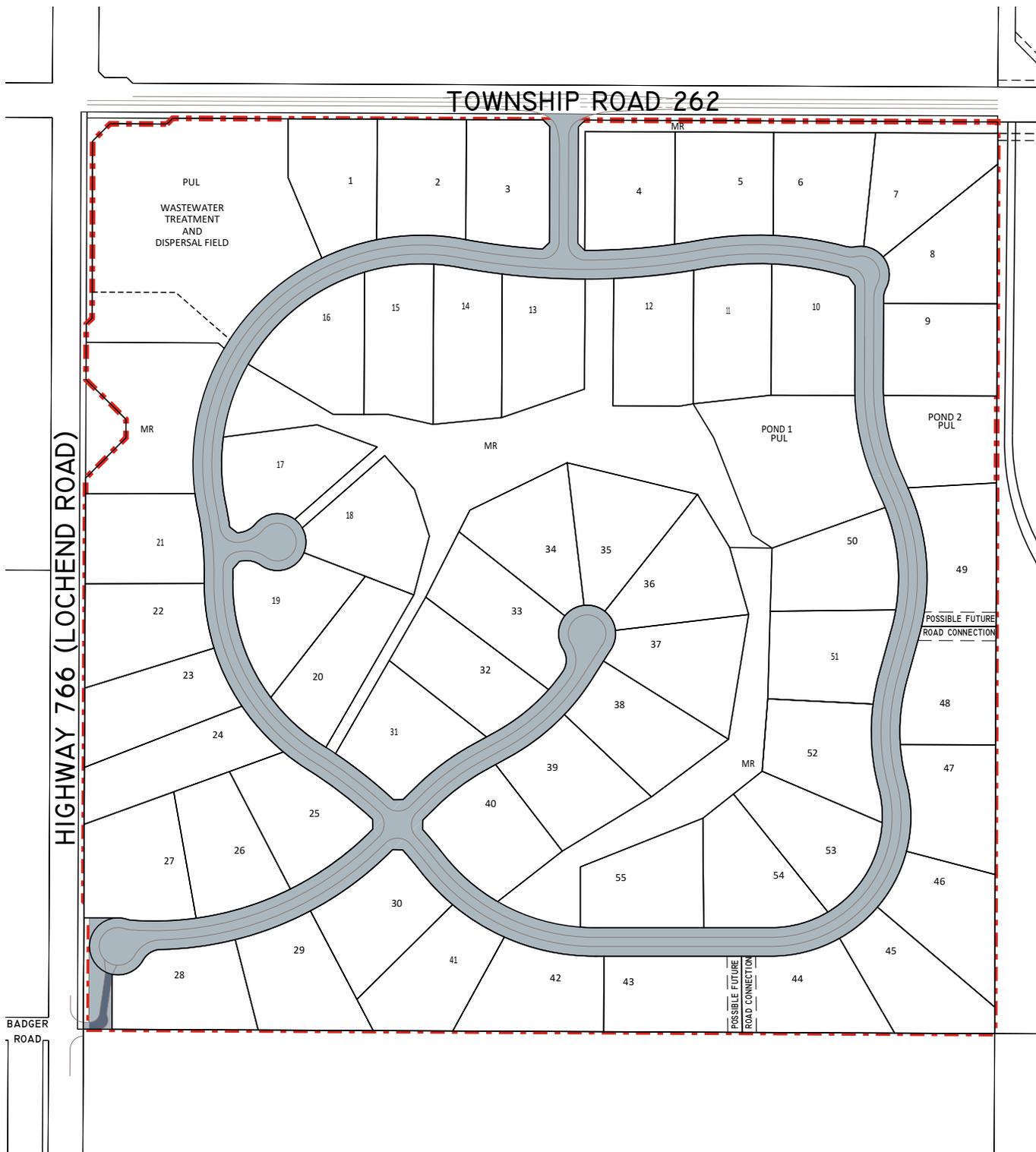
The proposed road network offers an internal circuit route, providing emergency options as well as access to adjacent lands to connect to future development. The primary access will be from Township Road 262, with a second direct access to Secondary Hwy 766 (Lochend Road) will be provided through an emergency road access only connecting at the intersection with Badger Road, in the SW corner of the property.

4.6.1 Indigo Hills Site Access and Public Roads

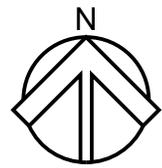
It is proposed that the main access into the community will be off Township Road 262 in the form of a north-south Country Residential road (25.0-m ROW) and will intersect with a loop Country Residential Road (25.0-m ROW) accessing the entirety of the community. This sole road classification will serve as the spine road for the development as well as accommodate connections to future development on adjacent lands to the south and east.

4.6.2 Internal Road System

The internal roads of Indigo Hills will be designed using the County's road standards (2013) as updated, and will meet the County's performance requirements. To further create a rural feel and assist in the preservation of natural vegetation and trees, the shallow utility easement will be in a separate ROW on one side of the road as necessary, while the sanitary line will be located within the road ROW (includes the ditch, where applicable). The Rocky View Water Co-Op (RVWC) line will be located within a separate easement adjacent to the road ROW. As internal residential roads are proposed to be taken over by Rocky View County, it is anticipated that this can be realized.



- CONCEPTUAL SCHEME PLAN AREA
- 25M COUNTRY RESIDENTIAL ROAD ROW
- 6M EMERGENCY ACCESS



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Internal Road Network

Exhibit 11.0
 NW-11-26-3-5

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4.6.2.1 Residential Roads

The Residential Roads will service all of the country residential homesites and are proposed within a 25-m ROW. These roads will connect directly to the Primary Residential or spine road.

*Policy 4.14 A complete road system, including pathway crossings, within the Plan Area shall be constructed by the Developer as generally shown in **Exhibit 11.0**, to the satisfaction of the County.*

*Policy 4.15 Primary access to Indigo Hills from the north boundary shall be from Township Road 262 and an emergency access road at the intersection of Badger Road and Lochend Road, as shown in **Exhibit 11.0**, to the satisfaction of the County.*

Policy 4.16 A provision for future road widening shall be provided along both sides of Township Road 262, to the satisfaction of the County.

Policy 4.17 Land dedication by Plan of Survey shall be provided along Highway 766 (Lochend Road), to the satisfaction of Alberta Transportation at the appropriate stage.

*Policy 4.18 Future road linkages from Indigo Hills to adjacent lands to the south shall be provided as shown in **Exhibit 11.0**.*

4.7 Traffic Impact Assessment Recommendations

A review of background transportation studies for Indigo Hills was completed by Bunt and Associates in December 2016. At the time of the original TIAs, the site was called Lochend Corners. Two TIAs plus letters addressing various changes were completed and these referenced documents have been relied upon as supporting studies to this Conceptual Scheme.

As part of the previous application and other projects in the area, signalization of Highway 766/Highway 1A had been raised. In discussions with AT it is understood that works are currently underway to improve the stop control intersection to allow it to function un-signalized for a few more years. That being said, based on growth along Highway 1A it is expected that the intersection will need to be signalized in the next 3-5 years, apart from any new development growth in the immediate area.

The current Conceptual Scheme indicates there are two site access locations: the primary access on Township Road 262; and a second emergency access road on Highway 766. The original TIA for the site did include an access on Highway 766. This was changed to an emergency-only access based on feedback at that time. Since then, AT has agreed that either a full access or emergency access, in the location shown, is acceptable.

Based on the results of past transportation studies and current traffic and road conditions, the proposed development of the Indigo Hills site can be accommodated on the overall road network with the inclusion of the improvements noted here. The locations where improvements were identified in the previous TIAs continue to require improvement but enhancement works are already scheduled in most locations. The key findings from the Post-Development analysis are as follows:

- Bears paw Road / Highway 1A: The intersection is expected to operate within acceptable capacity parameters. It is noted that this intersection was not included in the previous Lochend Corners study.
- Highway 766 (Lochend Road) / Highway 1A: It is assumed that a signal will be in place at Highway 766 / Highway 1A which was previously required at the Opening Day horizon. With the inclusion of a signal, the intersection is expected to operate within acceptable capacity parameters.
- Highway 766 (Lochend Road) / Township Road 262: The turning warrant analysis indicated that the intersection requires a Type III treatment. As mentioned above, it

is understood that this intersection is being upgraded shortly to a Type III with or without this development.

- North Site Access / Township Road 262: The turning warrant analysis indicated that the intersection requires a Type II treatment. This left turn intersection treatment requirement is unchanged from the previous Lochend Corners study.

The previous study also indicated that an eastbound right turn lane/taper would be required, however based on the updated analysis this is no longer required. The previous study also indicated that a northbound right turn lane/taper would be required at the Opening Day horizon, however based on the updated analysis this is no longer required at the Post-Development horizon.

- Highway 766 (Lochend Road) / West Site Access (Badger Road): No intersection treatment is required as this is an emergency access only with no daily traffic. The previous TIA for the site included an emergency only access on Highway 766 based on feedback at that time.
- In the previous study, Township Road 262 between Lochend Road and the North Site Access was required to be widened to a Regional Arterial (RA) standard, though it was recommended that the timing be reviewed in the event that growth along the roadway is delayed. Based on the updated analysis, the roadway is expected to operate within its environmental capacity of the existing Regional Collector classification.

In summary, according to the review of background studies completed by Bunt and Associates, the locations where improvements were identified in the previous TIAs continue to require improvement, but the level of those improvements has generally decreased in most locations (i.e. Type II versus Type III). Off-site intersection and roadway improvements will be detailed at the subdivision stage in coordination with Rocky View County and AT. **Exhibit 12.0** illustrates the off-site improvements recommended in the TIA.

Policy 4.19 An updated Traffic Impact Assessment will be required prior to subdivision approval.

Policy 4.20 Each phase of development will require updates to the Traffic Impact Assessment.

Policy 4.21 All upgrades required by the Traffic Impact Assessment and not completed by Alberta Transportation shall be provided by the Developer to the satisfaction of Rocky View County and Alberta Transportation. Upgrade costs may be proportionally distributed among future developers in the area.

4.8 Population and Density Projections

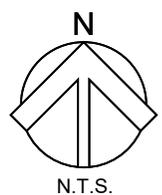
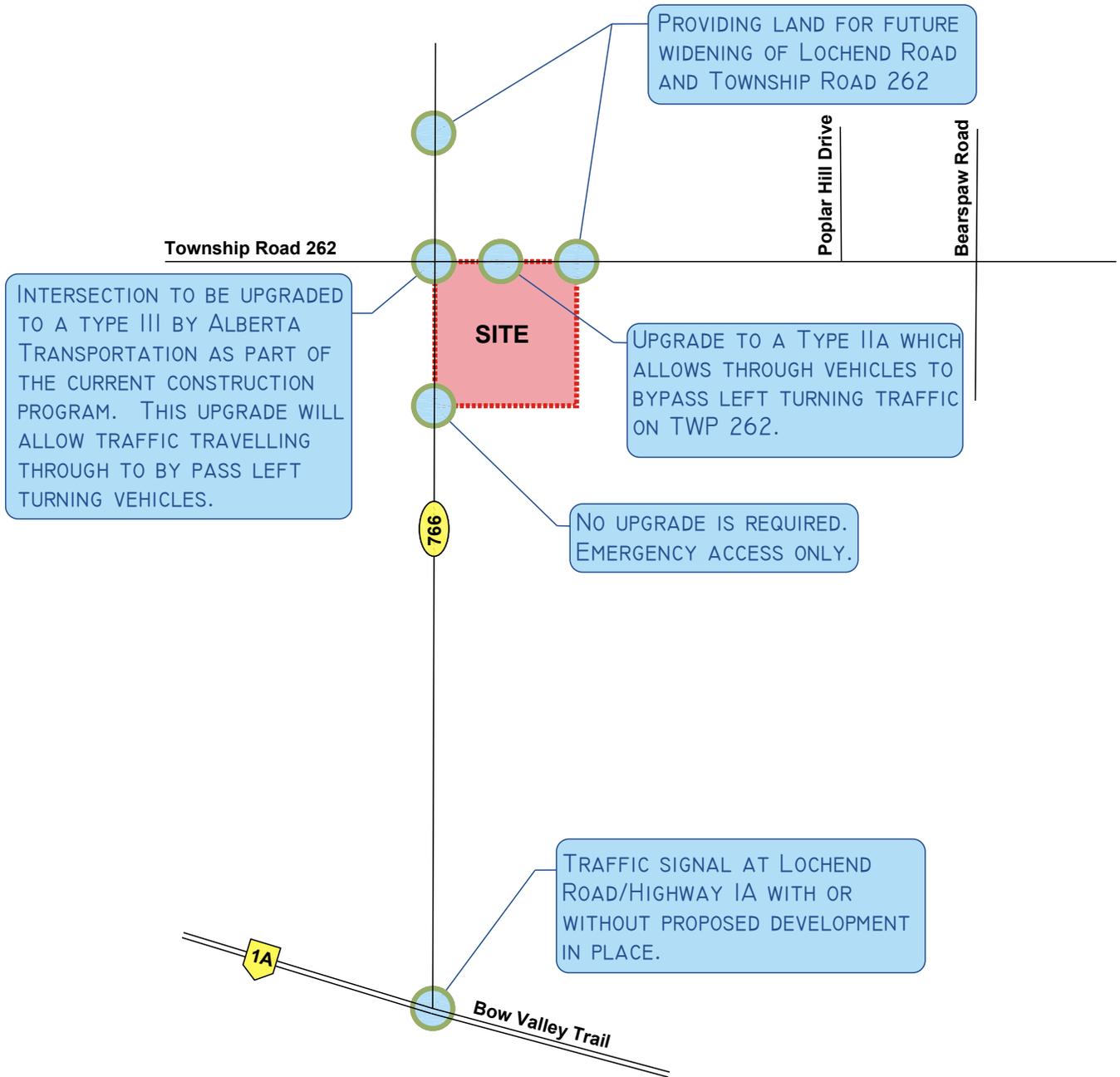
4.8.1 Population

Based on the intended housing typology proposed, it is anticipated that there will be an average of 2.4 people per unit within the Plan Area, the national average of persons per private household as per the 2016 Statistics Canada Census. A full development of 55 units equates to an expected total population of 132 residents.

4.8.2 Density

With an anticipated total of 55 units over the Conceptual Scheme plan area of 63.10 ha (155.92 acres), the density of Indigo Hills will be approximately 0.87 units per hectare, or 0.35 units per acre.

Policy 4.22 Overall density of residential development within the Plan Area shall not exceed 0.87 units per gross hectare (0.35 unit per gross acre).



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T.I.A. Recommended Improvements

Exhibit 12.0
 NW-11-26-3-5
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5 Servicing Strategy

5.1 Water Supply

Indigo Hills will be provided with potable water via connection to the Rocky View Water Co-op (RVWC) regional water system. Existing water mains are located along Township Road 262 and Lochend Road. The RVWC has been approached to verify that it has available capacity to provide potable water service to Indigo Hills.

To meet sustainability objectives and reduce development impact, Indigo Hills will implement water demand reduction practices. Such practices will include water meters for all development, installation of low-flow fixtures, and low-impact landscaping with rainwater collection barrels and cisterns. The developer shall collaborate with Rocky View County and the RVWC to achieve these objectives.

Policy 5.1 The Plan Area shall be serviced by connection to the Rocky View Water Co-op (RVWC).

Policy 5.2 Indigo Hills shall implement water conservation practices that reduce the amount of potable water consumed. Such conservation measures shall be coordinated with Rocky View County and Rocky View Water Co-op to include:

- a. Mandatory water meters;*
- b. A requirement for all buildings to install low-flow water fixtures;*
- c. A requirement for all development to utilize drought resistant landscaping and rainwater collection systems.*

5.2 Wastewater

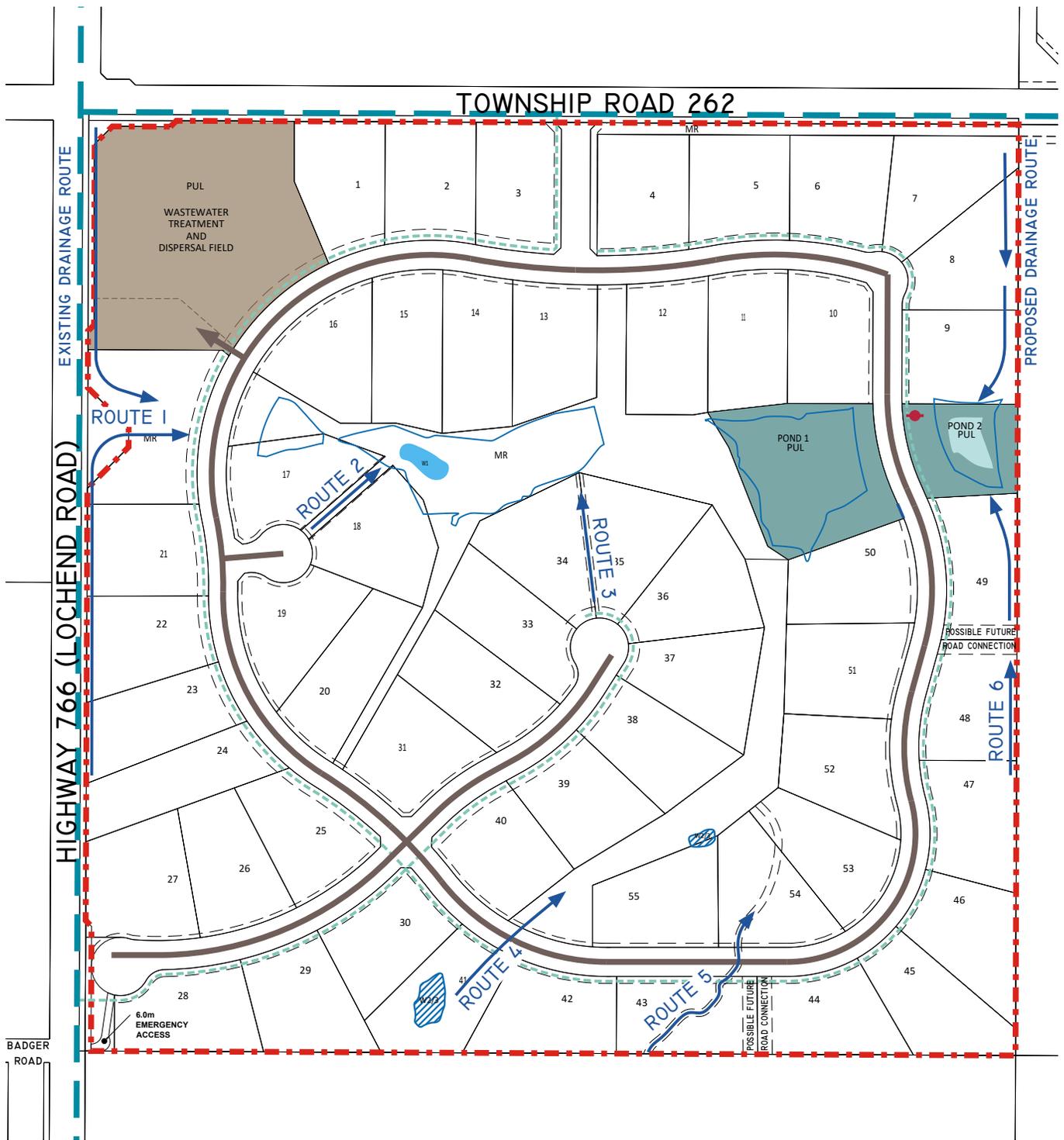
Wastewater will be managed on site using a communal system licensed by the Province of Alberta and constructed in accordance with all Provincial and Municipal requirement and standards. The proposed system is the ORENCO AdvanTex Decentralized Wastewater Treatment System and will be managed by a licensed operator.

The ORENCO system generally consists of a tank with solid separation for each lot which pumps liquid to a pressurized line leading to the central processing facility, where it incorporates additional filtration and treatment for the effluent within filter pods, prior to drainfield release. The processing facility can be constructed in phases as the project is built out, with each modular, in-ground filter pod capable of servicing approximately 30 residential units. With the addition of filtration/treatment, the effluent quality is substantially increased and the size of the dispersal field is correspondingly reduced. The treatment facility and dispersal fields are to be located in Public Utility Lots, illustrated in **Exhibit 13.0**.

The proposed location of the Indigo Hills wastewater treatment facility is on the northwest corner of the community. The dispersal fields for the Indigo Hills wastewater system will be sensitively located to meet Alberta Environment standards.

A Preliminary Wastewater Feasibility Report (PWFR) was prepared by SD Consulting in support of the Indigo Hills Conceptual Scheme in 2016. The report found that the soils are suitable for providing the development with the necessary sanitary servicing using the proposed system. The proposed dispersal field is of adequate size and location for the development of Indigo Hills. Details of the wastewater flow estimates and dispersal field requirements have been provided within an updated wastewater report from SD Consulting under separate cover.

Further reduction of effluent volumes will be achieved through the mandatory implementation of water conservation strategies to be pursued in collaboration with Rocky View County and the RVWC.



- CONCEPTUAL SCHEME PLANNING AREA
- WASTEWATER - PUBLIC UTILITY LOT
- STORM POND - PUBLIC UTILITY LOT
- STORM WATER DRAINAGE ROUTES
- EXISTING ROCKYVIEW CO-OP WATER LINE
- PROPOSED WATER LINE
- WASTE WATER FORCEMAIN
- DRY HYDRANT FOR FIRE SUPPRESSION
- PERMANENT WATER FOR FIRE SUPPRESSION
- EXISTING WETLAND, CLASS I, TO BE RETAINED
- TEMPORAL WETLAND, CLASS 2&3, SEASONAL TO BE RETAINED
- DRY STORM POND - CAVEAT REGISTERED ON TITLES
- OVERLAND DRAINAGE EASEMENT



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Proposed Services
Water, Wastewater & Storm
 Exhibit 13.0
 NW-11-26-3-5
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5.2.1 Rocky View County Policy #449: Requirements for Wastewater Treatment Systems

Policy #449 (Requirements for Wastewater Treatment Systems) defines a Decentralized Wastewater Treatment System as consisting “of a communal system that collects typical wastewater strength effluent from multiple lots, conveys effluent to a wastewater treatment plant for treatment and discharge to an approved discharge location.”

#449 Policy Statements:

10. *When a proposed subdivision will result in the creation of any lot(s) less than 4 acres and where development density exceeds 60 proposed, conditionally approved or existing lots within a 600-m radius of the centre of the proposed development, the County will not permit the use of PSTS to support the development, but will require a Decentralized or Regional Wastewater Treatment System.*

Utilizing a proven Decentralized Wastewater Treatment System, Indigo Hills satisfies this policy statement.

11. *Where connection to a Regional Wastewater Treatment System is not feasible, the feasibility of proposed development hooking up to an existing Decentralized Wastewater Treatment System shall be investigated.*

The decentralized wastewater treatment system proposed is the same type approved for use in the Silverhorn development, immediately across Township Road 262 to the northeast. It is a modular and scalable solution and approved as an efficient and effective wastewater treatment alternative.

Each development that incorporates this wastewater treatment solution can have collection, treatment, and disposal infrastructure on its respective lands. Each system typically has a control panel for monitoring and these panels have the capability to communicate with each other. In the future, when the County assumes ownership of the land and systems, the monitoring of various systems can be performed from a single control panel, particularly for systems located on developments in close proximity to each other.

Policy 5.3 Sanitary sewage service shall be provided by a communal wastewater system, as per County Policy #449, Requirements for Wastewater Treatment Systems, which provides secondary wastewater treatment to the satisfaction of the County.

Policy 5.4 The communal wastewater system proposed for installation within the Plan Area shall meet or exceed engineering standards and specifications established by the Municipality and the Province.

Policy 5.5 The ownership, operation and maintenance of the communal system shall be the initial responsibility of the Developer and then transferred to the County at no cost on a deficiency free basis in accordance with the terms set out in a Transfer Agreement. This Transfer Agreement shall be entered into between the Developer and the County prior to subdivision approval, as per County Policy #430, Communal Wastewater System Management.

Policy 5.6 The location and type of the communal wastewater system, and final size of dispersal field shall be determined prior to subdivision approval.

Policy 5.7 The components of the communal wastewater system shall be located within individual residential lots, road Rights-of-Way and/or Public Utility Lots.

Policy 5.8 Consent to waive setback distance for the Indigo Hills Wastewater Treatment Facility and Dispersal Field shall be received from Alberta Environment and Alberta Health Services prior to subdivision approval.

5.3 Stormwater Management

5.3.1 Stormwater Strategies

The Stormwater Management Plan will be designed to be a low impact system to include Low Impact Development (LID) strategies and conventional stormwater management best practices.

The stormwater strategies for this development include:

- Protecting drainage routes for tributary neighbouring lands. Some existing drainage routes will be kept as-is while culverts will be constructed under proposed roads. For locations where natural routes being intercepted by proposed ditch system, the ditch system will provide sufficient drainage capacity for the neighbouring lands.
- For lots with depressed areas, providing spillways towards the proposed ditch system that leads to major ponds for flow and volume control.
- For lots that drain naturally to natural drainage routes, MR and easements will be established as required.
- Storage of runoff at local naturally depressed areas for flow and volume attenuations.
- Constructing a control structure to control the release rate and volume for the development to meet County design criteria.
- Providing spill-way from the development for emergency scenarios.

5.3.2 Stormwater Plan

The entire development covers approximately 63.10 ha (155.92 acres). Topographic Lidar data shows that the study area for stormwater evaluation purposes is approximately 436.7 ac, which includes the upstream tributary areas.

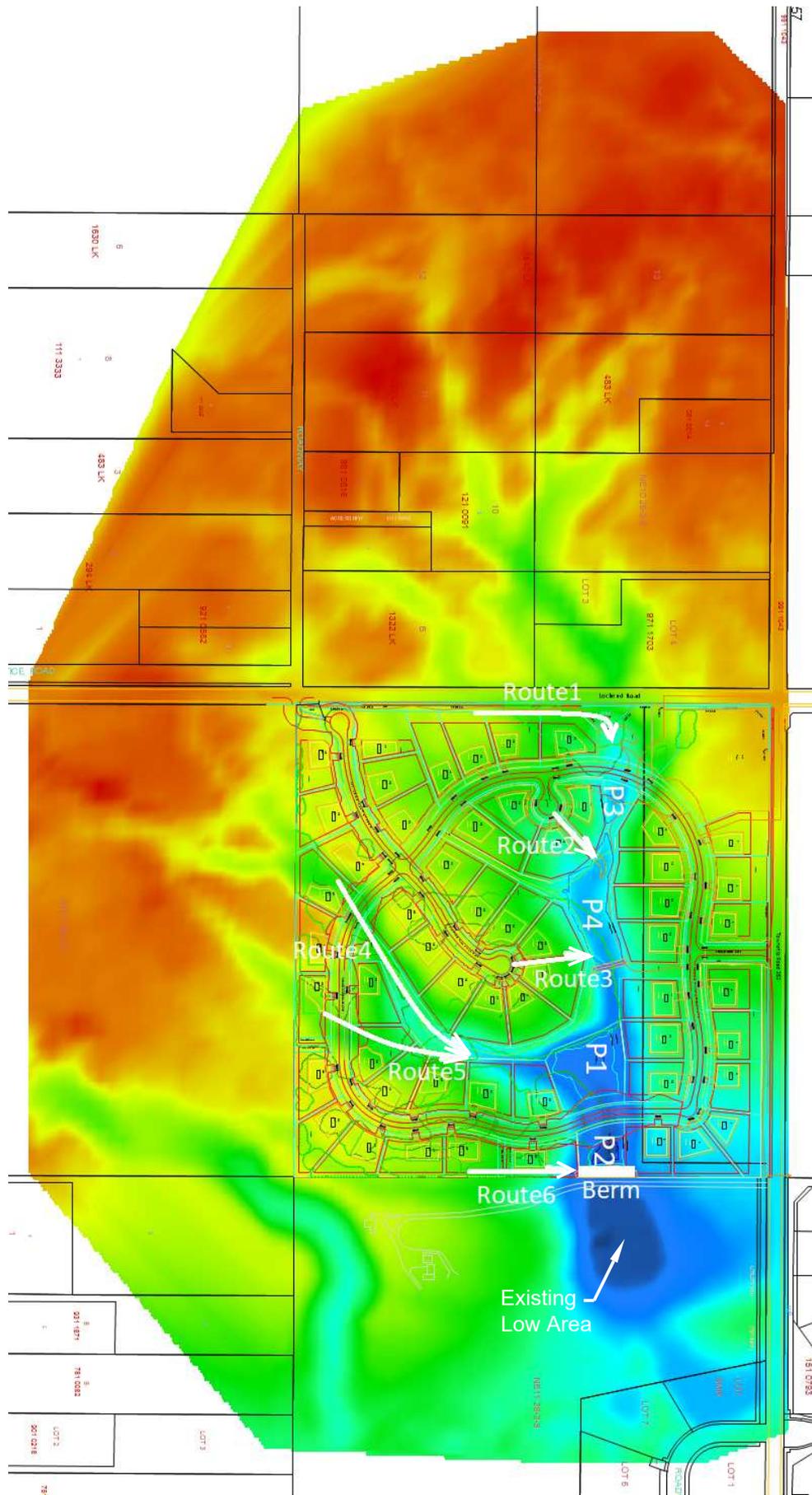
As shown in **Exhibit 14.0**, there are six natural drainage routes passing through the development site. The drainage plan for the entire development including these six routes is discussed below.

Route 1 is a major drainage route that services all the west and southwest neighbouring areas, as well as the lots across Lochend Road to the west property line. According to the hydrologic and hydraulic modeling results, the west neighbouring land has natural depressions that can contain their runoff up to the 1:100-year event. No culvert exists under Lochend Road adjacent to the proposed development. An on-site culvert will be provided under the proposed internal ring road to facilitate unobstructed drainage from Route 1.

Route 2 conveys runoff from the west ditch system along the west portion of Indigo Hills Blvd to P4. In the post-development scenario, the western portion of the ditches will intercept all runoff along the proposed internal ring road and direct the runoff to P3 and P4 through an easement between homesites 17 and 18.

Runoff from the central area will be collected along the roadside ditches and will drain into P4 in the central open space via Route 3, between homesites 34 and 35. Post-development, a drainage route will be constructed between these two lots allowing for discharge into the Municipal Reserve provided for stormwater management for this area.

Routes 4 and 5 are ravines within the development limit. They convey runoff from the southern part of the development site and south-neighbouring land through to P1. Culverts will be installed under the proposed internal ring road to facilitate the natural drainage routes. Post-development, overland drainage easements have been set aside on homesites 43 and 54 to retain natural drainage routes from the south portion of the site through to the stormwater management area.



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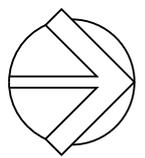
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 1986766 Alberta Ltd.

Storm Water Management Approach

Exhibit 14.0
 NW-11-26-3-5

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N.T.S.

Adjacent to the east property line a grass swale will be constructed on the back of the lots, combined with a ditch along the proposed internal ring road. This combination of swale and ditch will collect and contain all runoff from lots adjacent to the east property line and intercept runoff from upstream of Route 6, containing all flows within the development area.

North of the ring road, all lots will drain naturally towards the P2 provided for stormwater management for this area. All runoff from the six routes and from all ditches and areas of the entire development will be directed to the naturally depressed area for stormwater management. This depressed area is currently one low area but will be divided into two low areas by the proposed ring road. A culvert will be installed under the proposed ring road for P1 to overflow into P2. The stormwater management system is designed for flow and volume control for this development.

5.3.3 Stormwater Control

The stormwater system design is to meet the flow and volume control targets established by the Nose Creek Watershed Water Management Plan. Accordingly the ultimate discharge rate per hectare for post development scenario and 1:100-year event should be less than 0.99 L/s/ha. Post development total average annual discharge volume from the development should be controlled below 17 mm. Based on 63.10 ha or developed area, the maximum release rate for 1:100-year event is 62.89 L/s for the entire development; maximum annual release volume is 10,727 m³ for the entire development.

Our design standard for this development is stricter than the regulatory requirement. Our design is to achieve zero release from the entire site for up to a 1:100-year event.

Four proposed stormwater storage facilities will be used for flow and volume control. They are all centrally located within the natural low lying areas within the development. A berm will be constructed along the east boundary of the property to increase the overflow elevation so as to contain the 1:100-year storm event. The four proposed stormwater storage facilities are interconnected by overflow conduits and a stormwater management plan has been submitted to Rocky View County. Emergency spill from P1 and P2 occurs at high water elevation plus 0.3 m freeboard. Additionally, an emergency release from P1 and P2 will be possible via sluice gates.

An infiltration study was completed to determine the infiltration rates for this development at the pond locations.

5.3.4 Stormwater Pond Spillway

The project will contain up to the 1:100-year storm event plus 0.3 m freeboard. There will be zero discharge up to and including the 1:100-year event from the development site. Pre-development release volume is equal to 4,825 m³ for a 1:100-year single event. Post-development there will be zero discharge from the development site. All other events greater than this 1:100-year event plus 0.3 m freeboard are considered to be an *Act of God* and are not required to be contained on the site. In these events, the stormwater facilities will overflow into an existing low area east of the property.

Historically this low area served as a natural infiltration area for a larger area illustrated in **Exhibit 14.0**. The proposed development is going to reduce runoff from Indigo Hills and the offsite tributary areas by increasing onsite infiltration and evaporation. The Indigo Hills project will achieve zero release up to the 1:100-year event plus an additional 0.3 m freeboard. A culvert will be installed under the existing access road east of the property.

Policy 5.9 The components of the stormwater system will include natural drainage areas, constructed ponds, natural depressions on lots and roadside ditches.

Policy 5.10 The stormwater system will incorporate adjacent lands in terms of capacity, storage and release rate.

Policy 5.11 The components of the stormwater system will be within the road allowance, individual lots, PULs, Municipal Reserves, and overland drainage rights-of way.

Policy 5.12 Municipal access to the stormwater system within PULs will be provided via a gravel access driveway.

Policy 5.13 The stormwater plan will adhere to the Nose Creek Watershed Water Management Plan.

Policy 5.14 The stormwater management system designed for the Indigo Hills Development shall proceed in general accordance with the stormwater management concept submitted with the conceptual scheme.

5.4 Solid Waste Management

The Indigo Hills Homeowners Association, through a contract with a solid waste contractor, shall provide solid waste management within Indigo Hills. The creation of an onsite recycling program to divert materials such as paper, plastics, glass, and organic compost away from the landfill should be investigated by the corporation and an appropriate site should be selected within Indigo Hills.

Policy 5.15 A solid waste and recycling management plan shall be provided for the Indigo Hills Plan Area prior to endorsement of the first phase of subdivision approval. Implementation of the solid waste and recycling management plan shall be the responsibility of the Developer and/or the Homeowners' Association established for Indigo Hills, at the discretion of Rocky View County.

5.5 Shallow Utilities

The utility services required for the proposed development, including electrical power, telephone, and natural gas, are all available in the immediate area with sufficient capacities to service the site. All utilities will be underground and on one side of the road ROW in a joint-use trench where possible to reduce the clearing of natural vegetation and trees.

Policy 5.16 Shallow utilities shall be provided by the appropriate utility company providing service to Indigo Hills at the sole expense of the Developer. The Developer shall provide easements to any utility company requiring them to provide services to Indigo Hills.

5.6 Protective Services

Fire protection is a priority concern for local residents. The location of the proposed Bearspaw Emergency Services Hall is within 3.7 km (2.3 mi) of Indigo Hills. A fire storage storm pond (Pond P2) equipped with a dry hydrant is proposed on site. The pond will be located in a Public Utility Lot and constructed to the required standards. Pond P2 will be lined with an impermeable liner at the minimum water level and will hold 3,000 m³ for fire suppression.

Indigo Hills will also conform to Fire Smart principles in an effort to prevent the spread of wild fires. **Exhibit 13.0** illustrates the proposed location of the fire suppression reservoir.

Policy 5.17 The Site Development Guidelines shall include Fire Smart principles, to the satisfaction of the Municipality.

Policy 5.18 Fire suppression infrastructure shall be provided through a dry hydrant and reservoir system that is consistent with Rocky View County servicing standards.

6 Statutory Plan Compliance

6.1 County Plan – Rocky View County

The Rocky View County Plan (Bylaw C-7280-2013) was approved on October 1, 2013, in accordance with Section 632 of the Municipal Government Act.

The County Plan defines the Vision for the County as follows:

Rocky View is an inviting, thriving, and sustainable county that balances agriculture with diverse residential, recreational, and business opportunities.

The Principles that guide County decisions regarding the implementation of goals, policies and actions include:

1. **Growth and Fiscal Sustainability** – *direct new growth to designated development areas, and in doing so it will remain fiscally responsible.*
2. **The Environment** – *develop and operate in a manner that maintains or improves the quality of the environment.*
3. **Agriculture** – *respects, supports, and values agriculture as an important aspect of the County's culture and economy.*
4. **Rural Communities** – *support the development and retention of well-designed rural communities.*
5. **Rural Service** – *strive to provide an equitable level of rural service to its residents.*
6. **Partnerships** – *maintain a strong web of partnerships to help extend the range of services it provides to its residents.*

The County Plan identifies the Bearspaw Area Structure Plan within the group of hamlets and country residential communities where residential growth for the next decade is a primary focus. Section 10 of the County Plan provides preferred direction on Country Residential Development, in pursuit of the following goals:

- Manage the planning and development of country residential communities so that they provide residents with a safe, healthy, and attractive community.
- Support country residential communities in maintaining a strong sense of community.
- Encourage alternative residential development forms that retain rural character and reduce the overall development footprint on the landscape.
- Provide an effective process to support the orderly, efficient, and cost effective development of fragmented quarter sections in agricultural areas.

The County Plan provides useful guidance for the design of country residential communities that pursue a compact development form with significant conservation goals, as is the case for Indigo Hills. Although the Indigo Hills development proposed in this Conceptual Scheme follows the design principles for compact conservation communities, the site does not meet the policy requirements stated in Section 10.10 a., which states that Conservation Communities “shall comprise multiple quarter sections of land that are comprehensively planned and developed.”

However, Sections 10.1 and 10.5 of the County Plan provide a wider policy framework to be relied upon for proposed developments that aspire to adhere to conservation principles and compact development forms, as follows:

- 10.1 *Development within Greater Bragg Creek, Bearspaw, North and Central Springbank, Elbow Valley, Balzac East (Sharp Hills/Butte Hills), Cochrane North, and Glenbow Ranch shall conform to their relevant area structure plan.*

10.5 When an existing country residential area structure plan is undergoing a comprehensive review, the following policy areas shall be addressed:

- a. Update all policies in accordance with this Plan, County Policies, and other relevant County planning documents.*

Given that the Bearspaw Area Structure Plan is not undergoing a comprehensive review at the time of application for the Indigo Hills Conceptual Scheme, the County Plan identifies it as the appropriate planning framework for Indigo Hills.

6.2 Bearspaw Area Structure Plan

Indigo Hills is located within the boundaries of the Bearspaw Area Structure Plan (BASP), adopted by by-law January 18, 1994. The BASP is “intended to establish ways of evaluating and responding to proposals for change within the Plan Area, while respecting the needs of the future and the Municipality, as a whole.”

The BASP identifies the Indigo Hills land as requiring concept plans, and as being within an area designated for country residential land use. The BASP defines Country Residential Land Use as “a primarily residential land use in which auxiliary pursuits may be allowed dependent on the parcel size and proximity to other residences; excluding the separation of farmsteads.”

In particular, the BASP policy framework relevant for the Indigo Hills Conceptual Scheme is the following:

- Country residential land uses are considered appropriate within the Plan Area provided such uses are considered in accordance with the provisions of the BASP;
- Figure 3: Concept Plans identifies the Indigo Hills Planning Area as requiring the preparation of a Concept Plan;
- Figure 7: Future Land Use Scenario identifies the Indigo Hills Planning Area as Country Residential;
- Figure 8: Phasing identifies the Indigo Hills Planning Area as Development Priority Area
- Section 8.1 Country Residential provides policy direction for the evaluation of lands identified as appropriate for country residential use and the preparation of Concept Plans;
- Policy 8.1.21 of the BASP allows the consideration of country residential parcels less than four (4) acres in size provided the design of these parcels are accommodated in an adopted Concept Plan.

The Bearspaw ASP requires only a minor amendment, which is the inclusion of the Indigo Hills Conceptual Scheme once adopted.

7 Implementation

7.1 Proposed Land Use Designations

Land use designations allowing for the uses outlined in **Section 4.3** are to be determined separately, following the approval of this Conceptual Scheme. The establishment of either Direct Control Districts for some sites or new land uses for some of the uses contained within this Conceptual Scheme may be necessary.

Policy 7.1 Appropriate land use designations shall be determined, to the satisfaction of the County, in an application process separate from this Conceptual Scheme.

7.2 Proposed Architectural and Landscape Design Controls.

To achieve the objective of creating a high quality community that is harmonious with the nature of the community and site, Indigo Hills will implement comprehensive architectural and landscaping guidelines. At the development phases, all builders will be required to conform to these guidelines prior to receiving a building permit. After the Homeowners Association is formed, the guidelines will be incorporated into the Bylaws of the Association, ensuring continued compliance.

The guidelines will incorporate principles including, but not limited to:

- **Dark Sky** – A valued benefit of country residential living is the enjoyment of a dark sky, free from the amount of light pollution found in more urban environments. The residents of Indigo Hills and surrounding communities should be able to continue clearly seeing the stars at night with the inclusion of Dark Sky Principles in the development guidelines.
- **Community Character** – Architectural controls will guide development of all buildings within Indigo Hills to create a neighbourhood that not only has its own strong identity, but also enhances the existing character of the Bearspaw Community.
- **Low Impact Landscaping** – The local topography, vegetation, and climate will guide landscaping throughout Indigo Hills with the goal of maintaining the aesthetic of the natural native landscape as well as reducing impact on the environment.
- **Conservation and Building Sites** – Indigo Hills contains various natural amenities including slopes and stands of native aspen trees. While the public open space has been designed to include much of these features, it is important that they are also incorporated into the homesites wherever possible. Development guidelines will identify a suitable building and construction envelope as well as conservation areas on the homesite, where appropriate.

Policy 7.2 Architectural and Landscape guidelines shall be registered against title of all properties prior to or concurrent with the final Plan of Survey. These guidelines shall, to the satisfaction of the County:

- a. ensure a consistent standard of design;*
- b. establish certain use restrictions [i.e. dog kennels];*
- c. encourage the preservation of existing trees on residential lots outside of the building envelope, where appropriate;*
- d. ensure the use of environmental technologies to promote energy efficiency and low-impact construction practices;*
- e. require the incorporation of reduced water usage technologies in all buildings;*

- f. promote Fire Smart principles; and*
- g. establish Dark Sky principles.*

Proposed rolling landscaped areas shall be provided along key sections of the boundaries of the proposed project to reduce the visual impact of new development on the neighbouring lands. The meandering terrain will also help to provide sound attenuation from the highway. The landscaping will blend with the natural topography of the land so as not to look “engineered”. The planting of local tree and grass species, to add to the visual screening of the site, may be located along and/or on top of the landscaped area.

The extensive open space, trails, amenities and landscaping can have a very positive effect on residential lot values, even at longer distances from the amenity and on adjacent residential parcels. To further protect and enhance the value of properties in and adjacent to Indigo Hills, the site’s natural wetlands are being preserved, and constructed wetlands are being planned. A landscape plan will enhance and rehabilitate areas of Indigo Hills and around the perimeter of the Planning Area that have been previously disturbed.

Policy 7.3 A Landscape Plan for Indigo Hills shall be submitted by the Developer prior to subdivision endorsement of each Phase, prepared by a qualified Landscape Architect, to the satisfaction of the Municipality, and shall include:

- a. the alignment and classification of the trail network through Indigo Hills;*
- b. naturalized plantings in Indigo Hills;*
- c. LID principles;*
- d. landscaping on the perimeter boundaries of Indigo Hills to help provide additional screening for adjacent residents;*
- e. the preservation where possible of natural vegetation, existing topography, and wetlands;*
- f. the use of native plantings that provide protection of riparian habitats;*
- g. the re-introduction of native or naturalized parkland landscape, where appropriate;*
- h. landscaping within the proposed road network.*

Policy 7.4 Implementation of the Landscape Plan shall be through the Development Agreement at the time of subdivision endorsement.

7.3 Subdivision Transitioning and Edge Treatments

To maintain the rural character along the adjacent Highway 766 (Lochend Road) and Township Road 262, as well as to enhance privacy for residents, Indigo Hills will feature a landscaped berm around the perimeter. This berm will be planted with native trees and grasses and provide a noise and privacy screen between Highway 766 (Lochend Road) and Township Road 262 and residences. This perimeter berm also serves as an ideal location for the regional pathway. The view of the ravine on the subject parcel from the roadway will remain and contribute to the rural, open feel for motorists.

As was suggested by members of the community during the consultation process, the lot locations have been reconfigured to better transition with adjacent lands.

The significant amount of land proposed as public gives greater assurance that open space and conserved natural areas remain consistent features of the area. Indigo Hills will also implement Dark Sky Guidelines to maintain the dark sky and visibility of the stars that align with Bears paw residents’ values.

7.4 Subdivision Phasing Strategy

Exhibit 15.0 illustrates the proposed phasing plan of Indigo Hills.

Phase 1 will ensure that the appropriate services and infrastructure are efficiently put in place, including the wastewater management system, and will ensure a balance of all land uses proposed within this Conceptual Scheme throughout development. This assists in creating the core character of the Indigo Hills neighbourhood in the initial phases of development.

Policy 7.5 To accommodate market conditions, the order of actual development may vary from the proposed phasing plan without requiring amendment to this Conceptual Scheme.

Emergency access through phase implementation will be provided through the construction of an all-weather road from the extent of the Phase 2 boundary in the SW corner leading out to Lochend Road, as illustrated in **Exhibit 15.0**. At the end of the temporary turn-around there will be an emergency access gate. A second emergency access gate will be provided at Lochend Road onto the emergency access road that is opposite Badger Road.

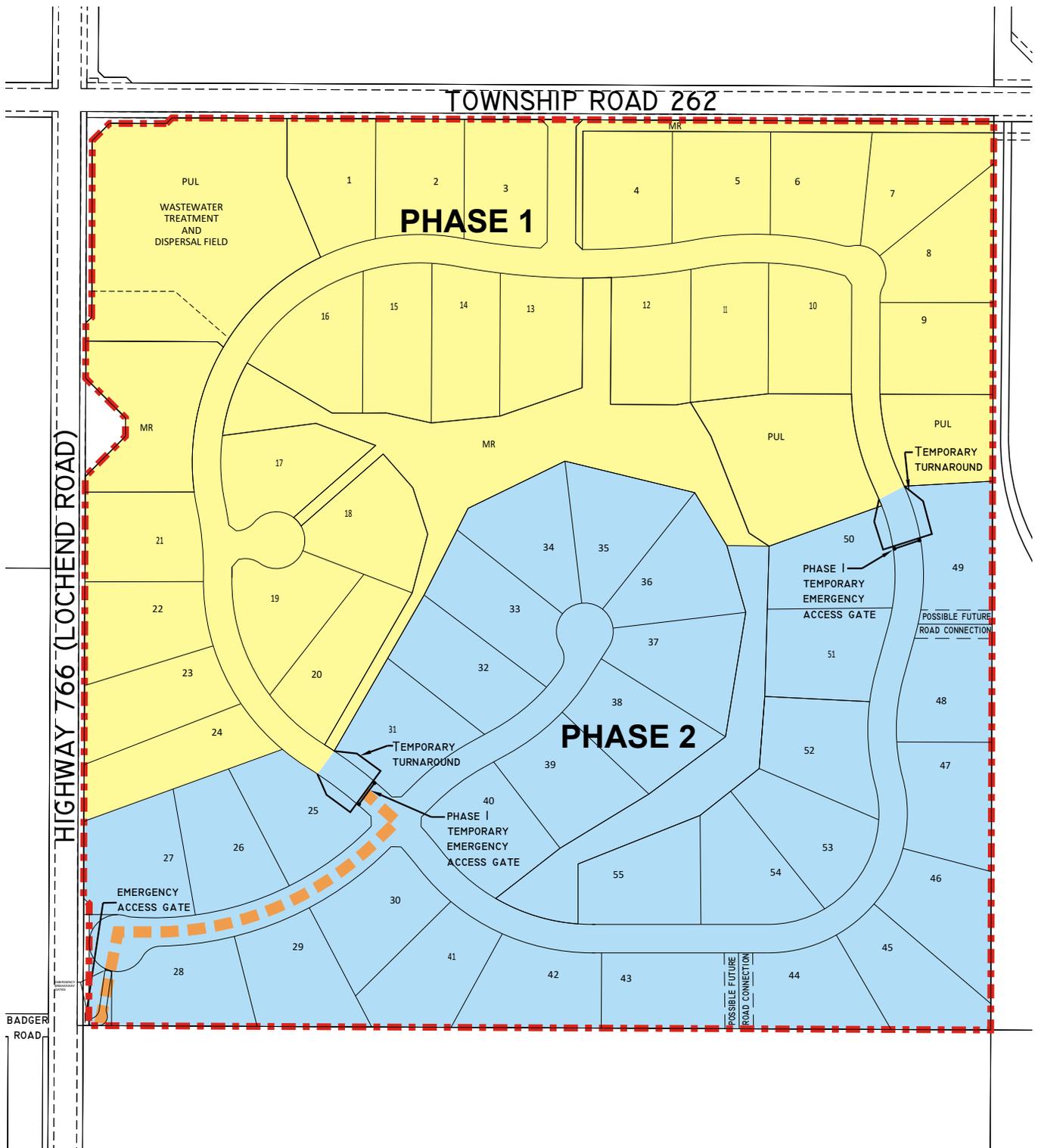
7.5 Subdivision Naming

The name of the overall subdivision will be determined after Conceptual Scheme approval. The name selected will be a reflection of community and professional input to reflect the significant historical, geographical, and branding components that will most benefit the site and community. For example, a potential name for the subject lands may be “The Forest at...”

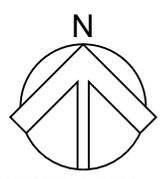
Policy 7.6 The final naming of the subdivision and internal roads will be determined at the appropriate time. The naming process will involve public and professional input with the objective of reflecting historical, geographic, and other positive traits to benefit the site and community.

Interim proposed names for the Conceptual Scheme, as outlined on the Conceptual Scheme, currently include:

- Indigo Hills Boulevard
- Indigo Hills Gate
- 100 Indigo Hills Meadow
- 200 Indigo Hills Meadow
- 300 Indigo Hills Meadow



- CONCEPTUAL SCHEME PLAN AREA
- EMERGENCY ACCESS ALL WEATHER ROAD



SCALE 1:5000

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Subdivision Phasing
 Exhibit 15.0
 NW-11-26-3-5

Last Saved: December 4, 2018, by tmoodie

8 Policy Summary

- Policy 2.1 Policies contained in this Conceptual Scheme shall apply to lands identified in Exhibit 2.0 – Plan Area.*
- Policy 4.1 Subdivision of land within the Indigo Hills Plan Area shall be generally in accordance with Exhibit 6.0. The final size, configuration and design of individual parcels and road system proposed through the subdivision shall be identified on the tentative plan for subdivision approval.*
- Policy 4.2 Residential lot sizes within Indigo Hills shall be a minimum of 0.80 hectares (1.98 acres)*
- Policy 4.3 There shall be a maximum of 55 residential units within Indigo Hills.*
- Policy 4.4 Before any alteration, subdivision or development may occur on the subject lands a Site Development Guidelines document shall be submitted that identifies:*
- a. the Natural Area to be protected on each lot which will include existing depressions for stormwater management, existing vegetation and other environmentally significant features to be protected pursuant to the policies of this document;*
 - b. the Building Envelopes on each lot; and*
 - c. the Construction Envelope on each lot.*
- Policy 4.5 The Site Development Guidelines document shall be provided prior to subdivision approval to the satisfaction of Rocky View County, and shall be administered by the developer or their agent until the Indigo Hills Home Owners Association is legally formed.*
- Policy 4.6 The Site Development Guidelines document shall be registered on title with the Architectural and Landscape Design Guidelines prior to or concurrent with the final Plan of Survey, as shown in Exhibit 8.0.*
- Policy 4.7 An open space network within the Planning Area, including the delineation of public and private land, shall be constructed by the developer, as generally shown in Exhibit 9.0, to the satisfaction of Rocky View County.*
- Policy 4.8 The Developer shall dedicate Municipal Reserve (MR) in accordance with Exhibit 9.0 at the time of subdivision, subject to a review of Environmental Reserve/ Environmental Easement requirements. Municipal Reserve shall be developed in a form acceptable to the County at the time of dedication. Notwithstanding the provisions of the Municipal Government Act, the Developer is committed to the provision of Municipal Reserve in accordance with Exhibit 9.0 of this Conceptual Scheme.*
- Policy 4.9 Municipal Reserve shall be maintained by the Homeowner’s Association established for Indigo Hills under an operation / maintenance agreement with Rocky View County.*
- Policy 4.10 The pathway and trail system (Regional, Local) within the Plan Area, as generally shown in Exhibit 10.0 shall be constructed by the Developer, to the satisfaction of the County.*
- Policy 4.11 The pathway and trail system (Regional, Local) within the Plan Area, as generally shown in Exhibit 10.0 shall be publically accessible.*
- Policy 4.12 Pathways and trails including road crossings (crossing requirements and locations to be determined at the time of subdivision) shall be constructed in accordance with the descriptions in the County’s Pathways and Trail Classification and the*

- requirements of the County's Servicing Standards and shall be situated outside any proposed road widening.*
- Policy 4.13 The pathway and trail system (Regional, Local) within the Plan Area, as generally shown in Exhibit 10.0, shall be maintained by the Homeowner's Association under an operation / maintenance agreement with Rocky View County.*
- Policy 4.14 A complete road system, including pathway crossings, within the Plan Area shall be constructed by the Developer as generally shown in Exhibit 11.0, to the satisfaction of the County.*
- Policy 4.15 Primary access to Indigo Hills from the north boundary shall be from Township Road 262 and from the east boundary through an emergency access road at the intersection of Badger Road and Lochend Road, as shown in Exhibit 11.0, to the satisfaction of the County.*
- Policy 4.16 A provision for future road widening shall be provided along both sides of Township Road 262, to the satisfaction of the County.*
- Policy 4.17 Land dedication by Plan of Survey shall be provided along Highway 766 (Lochend Road), to the satisfaction of Alberta Transportation at the appropriate stage.*
- Policy 4.18 Future road linkages from Indigo Hills to adjacent lands to the south shall be provided as shown in Exhibit 11.0.*
- Policy 4.19 An updated Traffic Impact Assessment will be required prior to subdivision approval.*
- Policy 4.20 Each phase of development will require updates to the Traffic Impact Assessment.*
- Policy 4.21 All upgrades required by the Traffic Impact Assessment and not completed by Alberta Transportation shall be provided by the Developer to the satisfaction of Rocky View County and Alberta Transportation. Upgrade costs may be proportionally distributed among future developers in the area.*
- Policy 4.22 Overall density of residential development within the Plan Area shall not exceed 0.87 units per gross hectare (0.35 unit per gross acre).*
- Policy 5.1 The Plan Area shall be serviced by connection to the Rocky View Water Co-op (RVWC).*
- Policy 5.2 Indigo Hills shall implement water conservation practices that reduce the amount of potable water consumed. Such conservation measures shall be coordinated with Rocky View County and Rocky View Water Co-op to include:*
- a. Mandatory water meters;*
 - b. A requirement for all buildings to install low-flow water fixtures;*
 - c. A requirement for all development to utilize drought resistant landscaping and rainwater collection systems.*
- Policy 5.3 Sanitary sewage service shall be provided by a communal wastewater system, as per County Policy #449, Requirements for Wastewater Treatment Systems, which provides secondary wastewater treatment to the satisfaction of the County.*
- Policy 5.4 The communal wastewater system proposed for installation within the Plan Area shall meet or exceed engineering standards and specifications established by the Municipality and the Province.*
- Policy 5.5 The ownership, operation and maintenance of the communal system shall be the initial responsibility of the Developer and then transferred to the County at no cost on a deficiency free basis in accordance with the terms set out in a Transfer Agreement. This Transfer Agreement shall be entered into between the Developer and the County prior to subdivision approval, as per County Policy #430, Communal Wastewater System Management.*

- Policy 5.6 The location and type of the communal wastewater system, and final size of dispersal field shall be determined prior to subdivision approval.*
- Policy 5.7 The components of the communal wastewater system shall be located within individual residential lots, road Rights-of-Way and/or Public Utility Lots.*
- Policy 5.8 Consent to waive setback distance for the Indigo Hills Wastewater Treatment Facility and Dispersal Field shall be received from Alberta Environment and Alberta Health Services prior to subdivision approval.*
- Policy 5.9 The components of the storm system will include natural drainage areas, constructed ponds, natural depressions on lots and roadside ditches.*
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- Policy 5.17 The Site Development Guidelines shall include Fire Smart principles, to the satisfaction of the Municipality.*
- Policy 5.18 Fire suppression infrastructure shall be provided through a dry hydrant and reservoir system that is consistent with Rocky View County servicing standards.*
- Policy 7.1 Appropriate land use designations shall be determined, to the satisfaction of the County, in an application process separate from this Conceptual Scheme.*
- Policy 7.2 Architectural and Landscape guidelines shall be registered against title of all properties prior to or concurrent with the final Plan of Survey. These guidelines shall, to the satisfaction of the County:*
- a. ensure a consistent standard of design;*
 - b. establish certain use restrictions [i.e. dog kennels];*
 - c. encourage the preservation of existing trees on residential lots outside of the building envelope, where appropriate;*
 - d. ensure the use of environmental technologies to promote energy efficiency and low-impact construction practices;*
 - e. require the incorporation of reduced water usage technologies in all buildings;*

- f. promote Fire Smart principles; and*
- g. establish Dark Sky principles.*

Policy 7.3 A Landscape Plan for Indigo Hills shall be submitted by the Developer prior to subdivision endorsement of each Phase, prepared by a qualified Landscape Architect, to the satisfaction of the Municipality, and shall include:

- a. the alignment and classification of the trail network through Indigo Hills;*
- b. naturalized plantings in Indigo Hills;*
- c. LID principles;*
- d. landscaping on the perimeter boundaries of Indigo Hills to help provide additional screening for adjacent residents;*
- e. the preservation where possible of natural vegetation, existing topography, and wetlands;*
- f. the use of native plantings that provide protection of riparian habitats;*
- g. the re-introduction of native or naturalized parkland landscape, where appropriate;*
- h. landscaping within the proposed road network.*

Policy 7.4 Implementation of the Landscape Plan shall be through the Development Agreement at the time of subdivision endorsement.

Policy 7.5 To accommodate market conditions, the order of actual development may vary from the proposed phasing plan without requiring amendment to this Conceptual Scheme.

Policy 7.6 The final naming of the subdivision and internal roads will be determined at the appropriate time. The naming process will involve public and professional input with the objective of reflecting historical, geographic, and other positive traits to benefit the site and community.

Appendix A – Public Consultation Process

1 Executive Summary

This section describes the consultation process conducted to inform the review process and design for the proposed Indigo Hills development, located in the Bearspaw area of Rocky View County.

The site for the Indigo Hills development is located in the west portion of Rocky View County, in the community of Bearspaw, and has a total developable area of 63.10 ha (155.92 acres). It is bounded to the west by Lochend Road (Secondary Highway 766) and bounded to the north by Township Road 262 (176th Avenue NW).

Engagement and consultation with the Bearspaw community and key stakeholders about the proposed Indigo Hills Conceptual Scheme was facilitated through the following events and media:

- Circulation of applications PL20170033/34/35 by Rocky View County.
- Open House held at the Lions Club of Bearspaw on May 24, 2018, advertised through mail out of invitation postcards to residents within 2 km of the site and an ad in the Rocky View Weekly.
- Circulation of amended Conceptual Scheme by Rocky View County.
- Open House held at the Lions Club of Bearspaw on June 26, 2018, advertised through mail out of invitation postcards to residents within 2 km of the site and an ad in the Rocky View Weekly.
- Indigo Hills website: <http://www.indigohills.ca>
- The placing of Public Notice Signs on site about the proposed development application.

Given the background of previous development applications for the same site, one of the main goals of the open houses held in 2018 was to help the community understand the following key points and differences between the Indigo Hills application and the former Lochend Corners proposal:

- The subject site had been previously considered for a larger, higher density conceptual scheme in 2012 under the name Lochend Corners by a previous, unrelated Developer.
- Under new ownership, the new country residential development for Indigo Hills proposes a far lower density and provides a variety of lot sizes and generous public open space to create a balanced and attractive community in the Bearspaw area.
- Circulation of submitted application material attracted the interest of the surrounding land owners with particular concerns about density, traffic, and stormwater management.
- The new Indigo Hills Conceptual Scheme follows conservation principles providing for 57% of the total site area to remain undisturbed and the retention of 64% of existing tree cover. Existing wetlands and drainage corridors will be retained.
- In response the input received, the development concept has been revised and the intended development density has been reduced further from the initial 80 lots to 55 lots.
- The minimum parcel size of 0.80 ha (1.98 acres) is consistent with the Residential One District (R-1) land use common in Bearspaw and meets the intended development character for the area, as expressed in the existing Bearspaw ASP.

- The Transportation Impact Assessment (TIA) prepared confirmed that Alberta Transportation is proceeding with scheduled improvements to the intersections at Lochend Road/Township Road 262 and Lochend Road on Highway 1A.
- Indigo Hills will be provided with potable water by a connection to the Rocky View Water Co-op (RVWC), which has confirmed that capacity is available.
- The stormwater management system has been designed to utilize existing low lying areas and drainage courses, with capacity to contain the 1:100-year storm event and to retain up to 1:200 year storm events, almost completely containing stormwater on the existing site.
- Wastewater will be managed onsite using a communal wastewater system that uses the ORENCO® AdvanTex® Decentralized Wastewater Treatment System technology, successfully tested in Rocky View County and in other sites in Alberta.

Comments received from Bearspaw area residents that attended the open houses reflected their appreciation of the reduced scale and density of the proposed development for Indigo Hills and their of the intended conservation approach that fit appropriately with the existing character of the community.

2 Introduction

IBI Group has been retained by Terra Verde Developments / 1986766 Alberta Ltd to prepare and submit a Conceptual Scheme, land use redesignation, and policy amendment applications for the Indigo Hills development. The subject site for Indigo Hills is located in the west portion of Rocky View County, in the community of Bearspaw, and has a total area of 63.10 ha (155.92 acres). Applications were submitted in March 2017 and initial circulation notices for files PL20170033/34/35 were sent out by Rocky View County on March 22.

2.1 Background

This report provides a record of the engagement process undertaken through the review and consultation period for applications PL20170033/34/35. The development applications for Indigo Hills are preceded by development applications submitted for the same site in 2012 by a different development group. Terra Verde Developments acquired the subject site and revised the development concept to better align with existing Bearspaw area characteristics. The revised approach reflected in the Indigo Hills Conceptual Scheme has been widely discussed with Bearspaw residents and community organizations as part of the approval process of the new concept.

2.2 Project Overview

Indigo Hills is located on the south-west corner of the intersection of Township Road 262 and Lochend Road in Rockyview County.

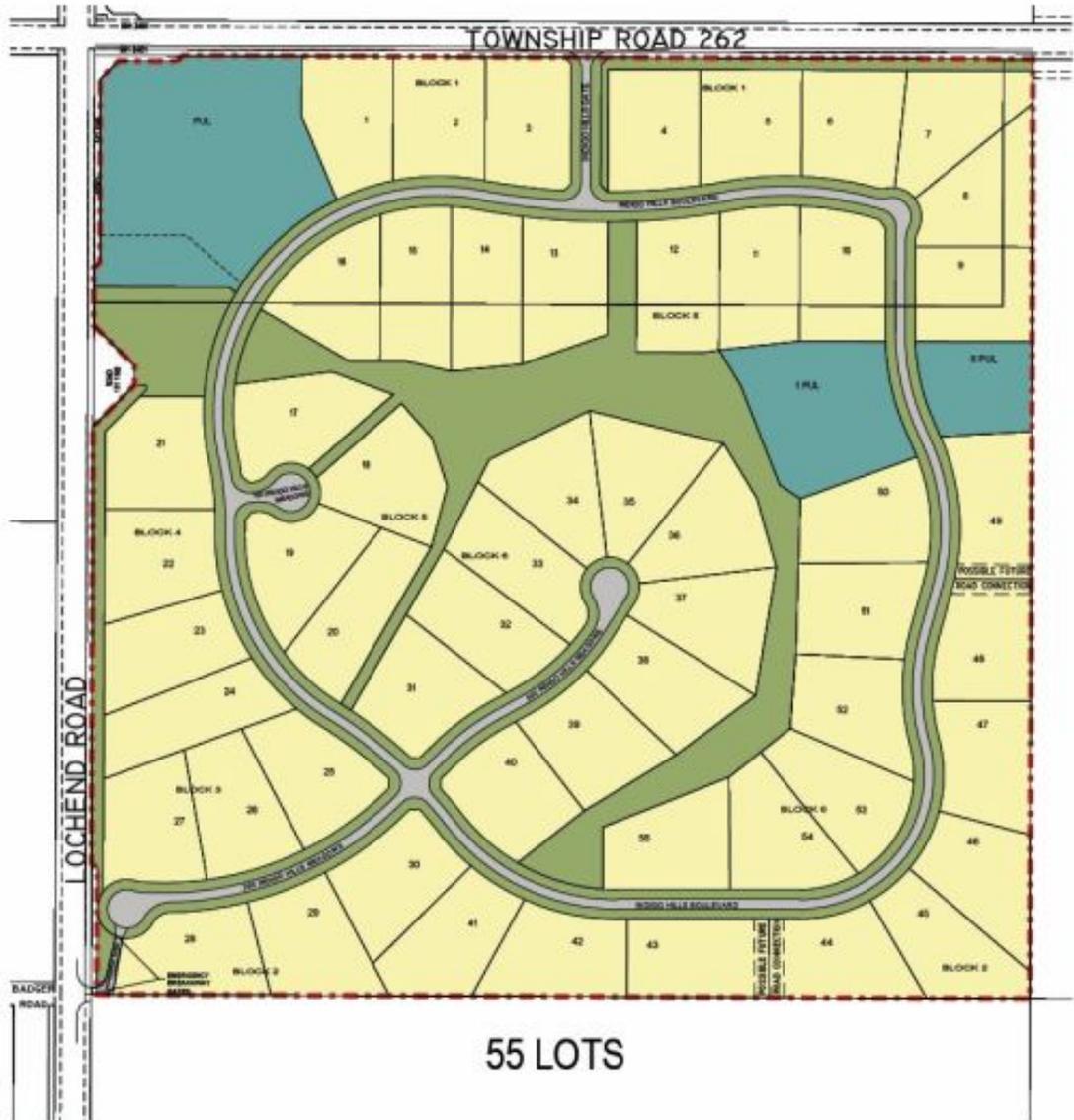
Comments to the initial circulation of PL20170033/34/35 received by RVC Planning Services were shared with the applicant, who reviewed them and used them to inform the approach to the Conceptual Scheme. In response to the input received, the development concept was revised and the intended development density was reduced from the initial 80 lots seen in **Exhibit A.1** to the revised plan containing 55 lots, seen in **Exhibit A.2**.

The Conceptual Scheme prepared has been developed using Conservation Planning Policies, thus allowing approximately 64% of the existing vegetation (including grasslands, wetlands, trees, and shrubs) to be retained, as seen in **Exhibit A.3**.

The minimum parcel size of 0.80 ha (1.98 acres) in the revised development concept is consistent with the Residential One District (R-1) land use common in Bearspaw and meets the intended development character for the area, as expressed in the existing Bearspaw Area Structure Plan.



Exhibit A.1: Initial development concept submitted in March 2017



55 LOTS

	CONCEPTUAL SCHEME PLANNING AREA	63.10 HA (155.92 AC)
	RESIDENTIAL ONE DISTRICT	44.09 HA (108.95 AC)
	OPEN SPACE / PATHWAYS (MR)	6.33 HA (15.64 AC)
	PUBLIC UTILITY LOT (PUL)	5.50 HA (13.59 AC)
	ROAD RIGHT OF WAYS	7.18 HA (17.74 AC)

Average lot size: 1.98 ac



Exhibit A.2: Revised development concept submitted June 2018



Exhibit A.3: Aerial photo of the site, 64% of existing vegetation to be retained.

The development applications for Indigo Hills are supported with a set of technical studies that validate its feasibility and insertion into local area infrastructure networks:

Transportation

A Transportation Impact Assessment (TIA) was prepared by Bunt and Associates Engineering and submitted with the application. Alberta Transportation has indicated that a construction project on Lochend Road is currently scheduled and the improvements indicated in **Exhibit A.4** have been identified.

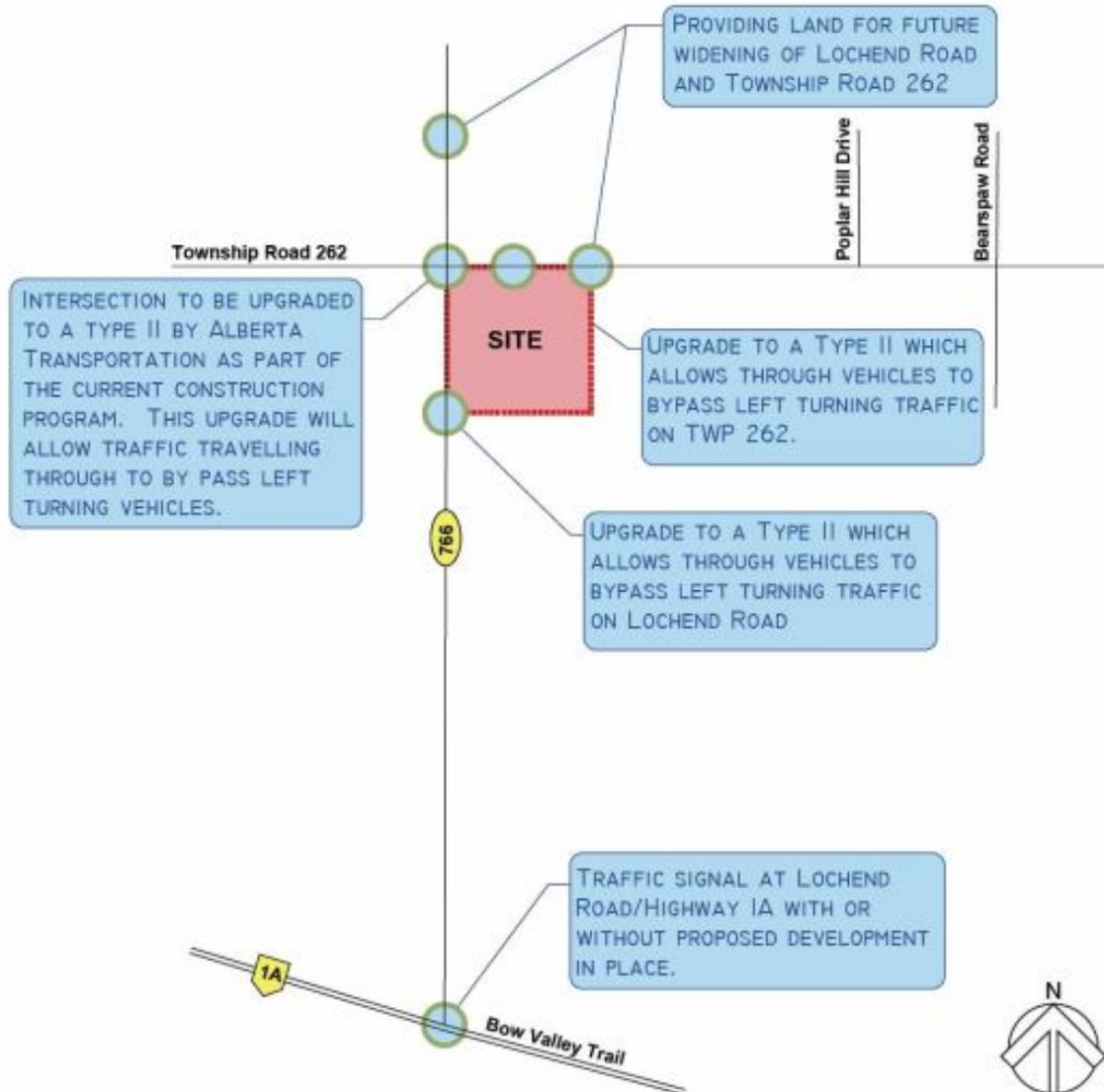


Exhibit A.4: Transportation improvements identified in the area

Stormwater Management

The stormwater management system has been designed to utilize existing low lying areas and drainage courses, with the capacity to contain the 1:100-year storm event. Beyond this, the system has been designed to contain 0.3 m freeboard, having the capacity to retain up to 1:200-year storm events, almost completely containing stormwater on the existing site. Responding to concerns of adjacent landowners, the pre-development flow-through of 4,825 m³ will be managed to a post-development flow-through of 0 m³. These flows can be seen in **Exhibit A.5**.



Exhibit A.5: Pre vs Post-development stormwater flows

Water

Indigo Hills will be provided with potable water by a connection to the Rocky View Water Co-op (RVWC). There is an existing watermain located along TWP Road 262 and Lochend Road. RVWC has confirmed that capacity for full build-out is available.

Wastewater

Wastewater will be managed onsite using a communal wastewater system that uses the ORENCO® AdvanTex® Decentralized Wastewater Treatment System technology, successfully tested in Rocky View County and in other sites in Alberta.

Shallow Utilities

Shallow utilities will be provided, including electrical power, telephone, and natural gas within easements along the front of each property. All shallow utilities are available in the immediate area with sufficient capacities to service the site.

3 Engagement Record

Engagement and consultation with the Bearspaw community and key stakeholders about the proposed Indigo Hills Conceptual Scheme was facilitated through the following events and media:

- Circulation of applications PL20170033/34/35 by Rocky View County.
- An open House held at the Lions Club of Bearspaw on May 24, 2018, advertised through mail out of invitation postcards to residents within 2 km of the site and an ad in the Rocky View Weekly.
- Circulation of amended Conceptual Scheme by Rocky View County.

- An open House held at the Lions Club of Bearspaw on June 26, 2018, advertised through mail out of invitation postcards to residents within 2 km of the site and an ad in the Rocky View Weekly.
- The Indigo Hills website <http://www.indigohills.ca>
- The placing of Public Notice Signs about the proposed development application on the site.

3.1 Circulation of Application PL20170033/34/35

Rocky View County Planning Services issued two circulation packages for review by community residents and institutional stakeholders (copies included in **Appendix B**):

- March 22, 2017: initial application
- June 20, 2018: revised application

3.2 Open House

Two open houses were held to inform Bearspaw area residents about the proposed Indigo Hills development on May 24, 2017 (5pm-8pm) and June 26, 2017 (5pm-8pm). Both open houses were held at the Lions Club of Bearspaw, located at 25240 Nagway Road, Calgary, AB T3R 1A1. Invitation postcards were sent to a total of 473 addresses identified within a 2 km radius from the project site, as per requirements by Rocky View County Planning Services. Additionally, ads were placed in the Rocky View Weekly newspaper prior to both open houses to alert area residents about the events. Copies of postcard invitations mailed out and newspaper ads are included in **Appendix C**.

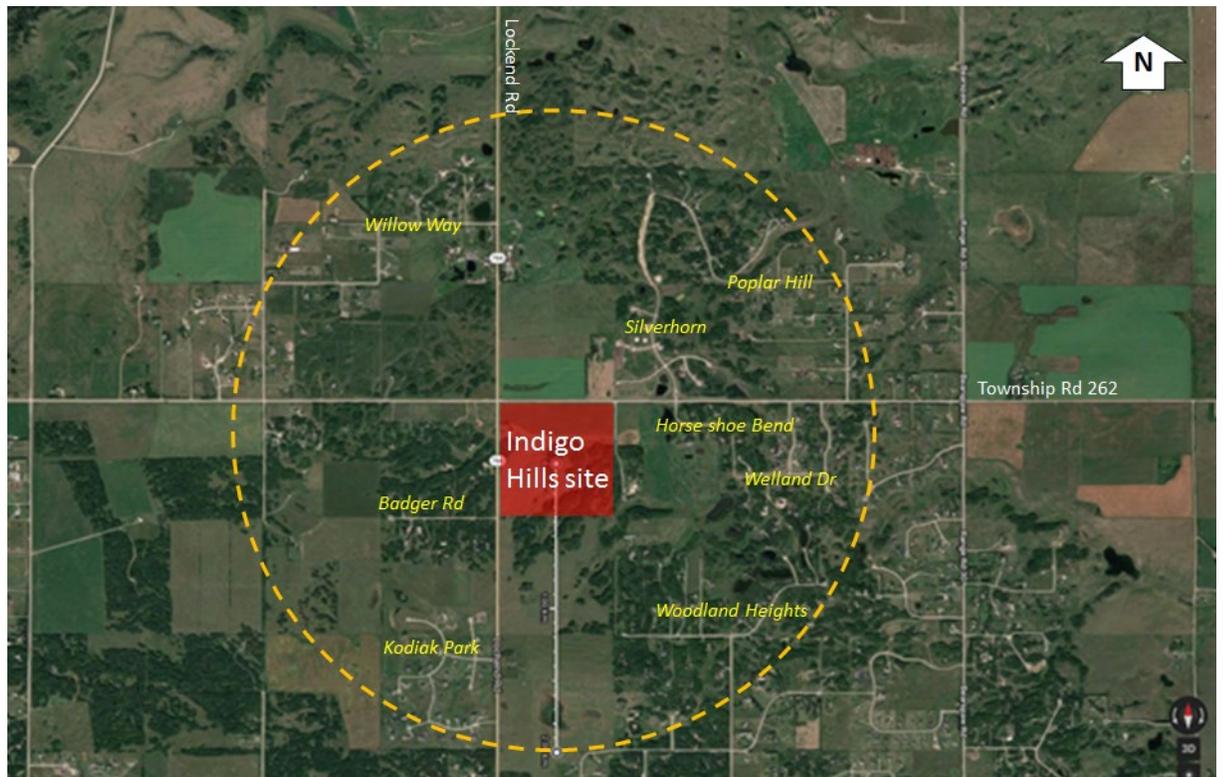


Exhibit A.6: Communities included in the engagement area for Indigo Hills



Exhibit A.7: May 24 Open House and Information Session for Indigo Hills

3.3 Project Website

The developer group set up a website to share information about the project and the application process. The website address is the following: <http://www.indigohills.ca>.

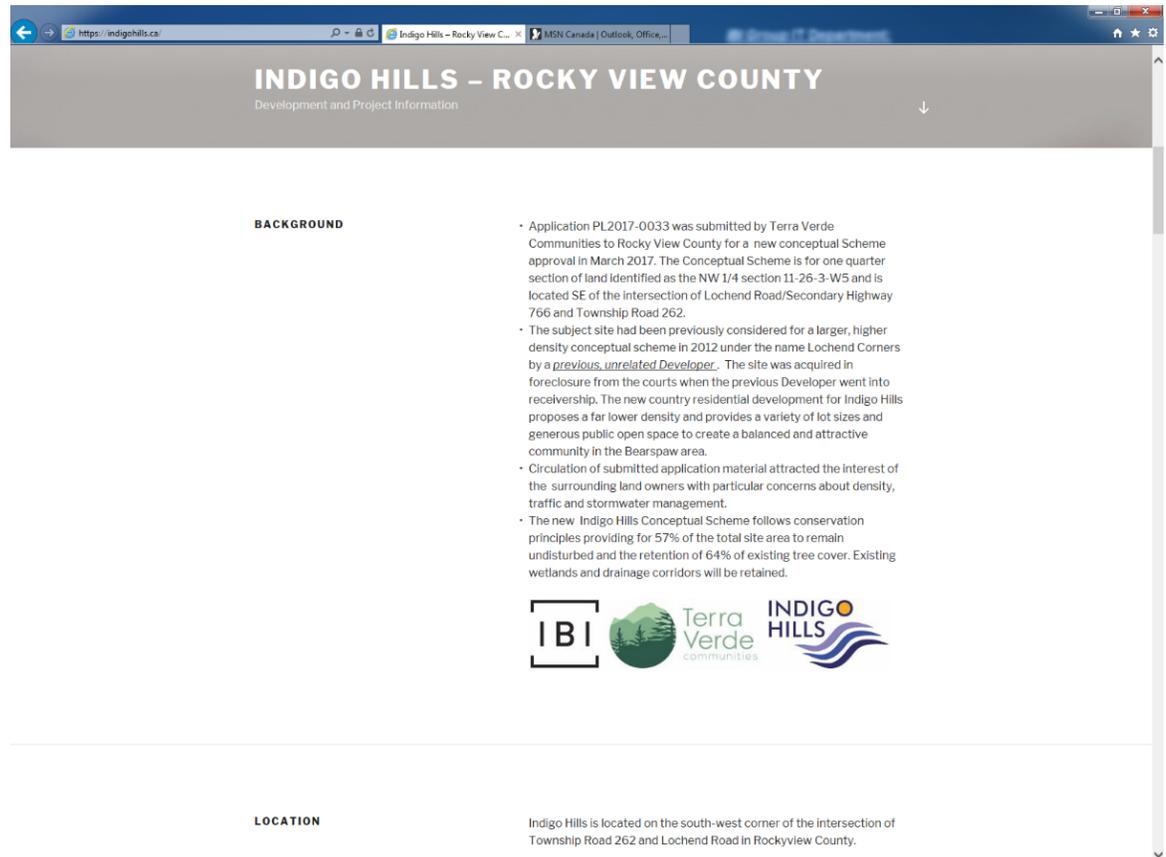


Exhibit A.8: Screenshot of the Indigo Hills project website

3.4 Public Notice Signs

Given the re-circulation of the file, the application was subject to a new RVC circulation policy that was not in place at the time of the original circulation. The new policy requires an advertising sign notifying the public of the development proposal to be placed along the road frontage of the subject lands concurrent with the circulation.

A statutory declaration must also be completed and returned at the end of the 21 day sign maintenance period. Copies of the signs placed on site and of the statutory declaration are included in **Appendix D**.



Exhibit A.9: Public Notice signs placed on north and west boundaries of the Indigo Hills site

3.5 Summary of Comments Received

Comments received from Bearspaw area residents that attended the open houses reflected their appreciation of the reduced scale and density of the proposed development for Indigo Hills and their liking of the intended conservation approach that fit appropriately with the existing character of the community. A few expressed some questions about the transportation improvements, the retention of existing trees and vegetation, and the perceived density prevailing in the area.

Appendix B – Circulation Notices Issued by Rocky View County



Wednesday, March 22, 2017

1986766 Alberta Ltd
800, 517 - 10 Avenue SW
Calgary, AB
T2R 0A8

File Number: 06711002 & 06711030
Application Number: PL20170033/34/35
Division 8

TO THE LANDOWNER

Take notice that an application(s) has been received by the Planning Services Department of Rocky View County.

Where is the land?

Located at the southeast junction of Township Road 262 and Secondary Highway 766.

What is the applicant proposing?

Conceptual Scheme: To adopt the Indigo Hills Conceptual Scheme to provide a policy framework to guide future redesignation, subdivision and development proposals within the NW-11-26-03-W05M. <http://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Planning/UnderReview/ProposedCS/Proposed-CS-Indigo-Hills.pdf>

Minor Area Structure Plan Amendment: To amend the Bearspaw Area Structure Plan to include the proposed Indigo Hills Conceptual Scheme.

Redesignation: To amend Section 49 of Land Use Bylaw C-4841-97, being Silverhorn Residential District (R-S), in order to accommodate a new purpose and intent, smaller parcel sizes on lands outside the boundaries of the Silverhorn Conceptual Scheme, to include Accessory Dwelling Units as a discretionary use, and to rename the district to Residential Conservation District (R-C).

To redesignate the subject lands from Ranch and Farm District (RF) to Residential Conservation District (R-C) in order to facilitate the creation of eighty (80) single-detached homes on lots ranging from ± 0.416 hectares (± 1.03 acres) to ± 0.623 hectares (± 1.54 acres) in size, three (3) Public Utility Lots, together with open space and utility servicing.

Please see the map attached to this notice for more information.

How do I comment?

As your property is adjacent to, or in the immediate vicinity of the land subject to the application, we are notifying you in the event that you may wish to provide comments.

If you have any comments, please reference the file number and application number and send your comments to the attention of the Planning Services Department Rocky View County, 911-32nd Ave. NE, Calgary, AB T2E 6X6.

PLEASE REPLY PRIOR TO: Wednesday, April 12, 2017

County Contact: Paul Simon **E-mail:** PSimon@rockyview.ca

Phone: 403.520.6285

Other application details and notes:

Applicant(s): IBI Group (Samuel Alatorre)

Owner(s): 1986766 Alberta Ltd

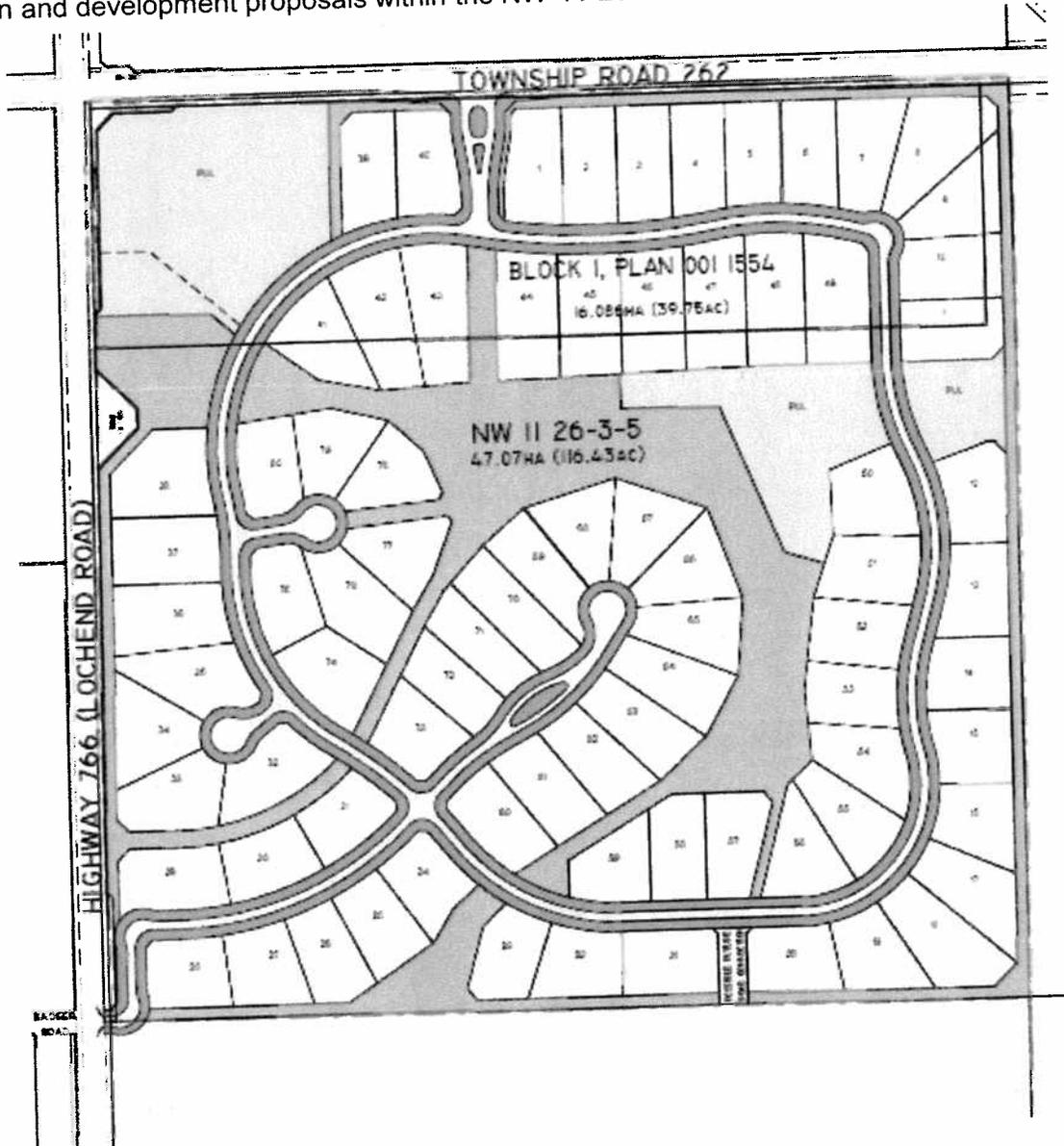
Size: ± 63.2 hectares (± 156.18 acres)

Legal: Within NW-11-26-03-W05M and Block 1 Plan 0011554, NW-11-26-03-W05M

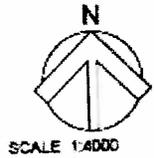
Notes:

- 1. Any comments on an area structure plan, conceptual scheme, master site development plan or redesignation application should address whether the proposed use(s) is compatible with the other existing uses in your neighbourhood. Any comments on a subdivision application should address technical matters only, such as parcel size, access, provision of water, disposal of sewage, etc.**
- 2. Please be advised that any written submissions submitted in response to this notification is considered a matter of public record and will become part of the official record. Submissions received may be provided to the applicant, or interested parties, prior to a scheduled council meeting, subject to the provisions of the *Freedom of Information and Protection of Privacy Act*. Please note that your response is considered consent to the distribution of your submission.**

Conceptual Scheme Proposal: To adopt the Indigo Hills Conceptual Scheme, by amendment to the Bears paw Area Structure Plan, to provide a policy framework to guide future redesignation, the subdivision and development proposals within the NW-11-26-03-W05M.



- CONCEPTUAL SCHEME PLANNING AREA
- RESIDENTIAL
- OPEN SPACE / PATHWAYS (MR)
- PUBLIC UTILITY LOT (PUL)
- ROADS

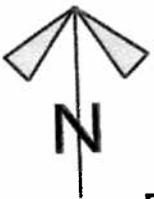


20122340_Strip-Crui-Cont-8 Drawings-8/16/17/Conceptual Scheme 102340-CS-8045.dwg

DEVELOPMENT PROPOSAL

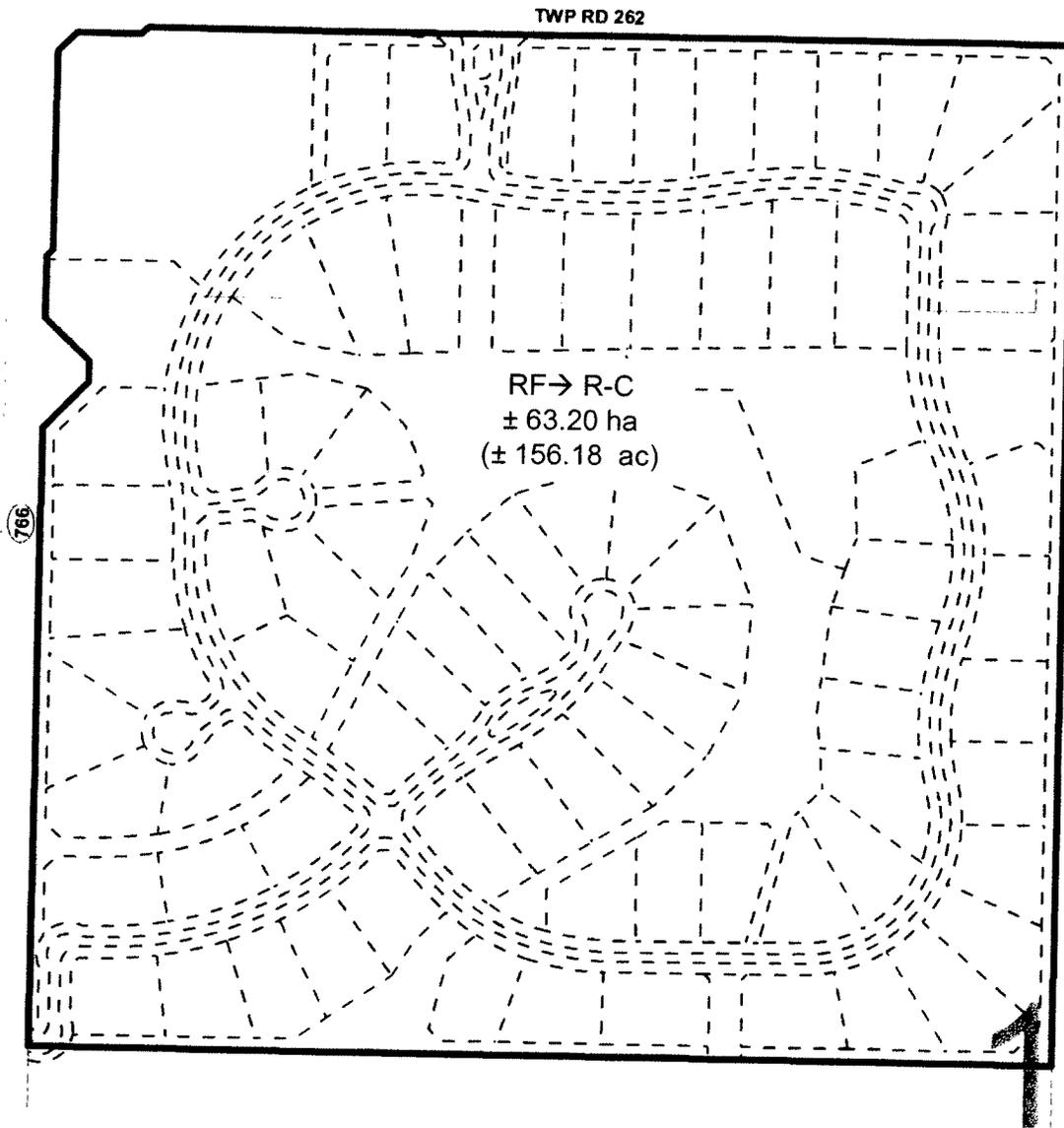
NW-11-26-03-W05M

Date: March 8, 2017 Division # 8 File: 06711002/30



Redesignation Proposal: To amend Section 49 of Land Use Bylaw C-4841-97, being Silverhorn Residential District (R-S), in order to accommodate a new purpose and intent, smaller parcel sizes on lands outside the boundaries of the Silverhorn Conceptual Scheme, to include Accessory Dwelling Units as a discretionary use, and to rename the district to Residential Conservation District (R-C).

To redesignate the subject lands from Ranch and Farm District (RF) to Residential Conservation District (R-C) in order to facilitate the creation of eighty (80) single-detached homes on lots ranging from ± 0.416 hectares (± 1.03 acres) to ± 0.623 hectares (± 1.54 acres) in size, three (3) Public Utility Lots, together with open space and utility servicing.



DEVELOPMENT PROPOSAL

NW-11-26-03-W05M

Date: March 8, 2017

Division # 8

File: 06711002/30

Wednesday, June 20, 2018

File Number: 06711002 & 06711030
Application Number: PL20170033/34/35
Division 8

****This is a re-circulation notice of a file previously sent March 22, 2017.**

TO THE LANDOWNER

Take notice that an application(s) has been received by the Planning Services Department of Rocky View County.

Where is the land?

Located at the southeast junction of Township Road 262 and Secondary Highway 766.

What is the applicant proposing?

Conceptual Scheme: To adopt the Indigo Hills Conceptual Scheme to provide a policy framework to guide future redesignation, subdivision and development proposals within the NW-11-26-03-W05M.

<http://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Planning/UnderReview/ProposedCS/Proposed-CS-Indigo-Hills.pdf>

Minor Area Structure Plan Amendment: To amend the Bears paw Area Structure Plan to include the proposed Indigo Hills Conceptual Scheme.

Redesignation: To redesignate the subject lands from Ranch and Farm District (RF) to Residential One District (R-1) in order to facilitate the creation of fifty-five (55) single-detached homes on lots no less than \pm 0.80 hectares (\pm 1.98 acres) in size, three (3) Public Utility Lots, together with open space and utility servicing. Please see the map attached to this notice for more information.

How do I comment?

As your property is adjacent to, or in the immediate vicinity of the land subject to the application, we are notifying you in the event that you may wish to provide comments.

If you have any comments, please reference the file number and application number and send your comments to the attention of the Planning Services Department Rocky View County, 911-32nd Ave. NE, Calgary, AB T2E 6X6.

PLEASE REPLY PRIOR TO: Thursday, July 12, 2018

County Contact: Paul Simon

E-mail: PSimon@rockyview.ca

Phone: 403.520.6285

Other application details and notes:

Applicant(s): IBI Group (Samuel Alatorre)
Owner(s): 1986766 Alberta Ltd
Size: \pm 63.2 hectares (\pm 156.18 acres)
Legal: Within NW-11-26-03-W05M and Block 1 Plan 0011554, NW-11-26-03-W05M

Notes:

- 1. Any comments on an area structure plan, conceptual scheme, master site development plan or redesignation application should address whether the proposed use(s) is compatible with the other existing uses in your neighbourhood. Any comments on a subdivision application should address technical matters only, such as parcel size, access, provision of water, disposal of sewage, etc.**
- 2. Please be advised that any written submissions submitted in response to this notification is considered a matter of public record and will become part of the official record. Submissions received may be provided to the applicant, or interested parties, prior to a scheduled council meeting, subject to the provisions of the *Freedom of Information and Protection of Privacy Act*. Please note that your response is considered consent to the distribution of your submission.**

Wednesday, June 20, 2018

****This is a re-circulation notice of a file previously sent March 22, 2017.**

In accordance with the Municipal Government Act, we are requesting your comments, recommendations and/or requirements with respect to this Redesignation. In order that the application may be considered by administration, we would appreciate receiving your reply by the date stated. If we have not received a response by this date, it will be assumed that you have no comments or objections regarding this application.

The information regarding this proposal is as follows:

Application Number: PL20170033/34/35
Roll Number: 06711002 & 06711030
Division: 8
Applicant(s): IBI Group (Samuel Alatorre)
Owner(s): 1986766 Alberta Ltd
Proposal: **Conceptual Scheme:** To adopt the Indigo Hills Conceptual Scheme to provide a policy framework to guide future redesignation, subdivision and development proposals within the NW-11-26-03-W05M.
<http://www.rockyview.ca/Portals/0/Files/BuildingPlanning/Planning/UnderReview/ProposedCS/Proposed-CS-Indigo-Hills.pdf>
Minor Area Structure Plan Amendment: To amend the Bearspaw Area Structure Plan to include the proposed Indigo Hills Conceptual Scheme.
Redesignation: To redesignate the subject lands from Ranch and Farm District (RF) to Residential One District (R-1) in order to facilitate the creation of fifty-five (55) single-detached homes on lots no less than \pm 0.80 hectares (\pm 1.98 acres) in size, three (3) Public Utility Lots, together with open space and utility servicing.
Location: Located at the southeast junction of Township Road 262 and Secondary Highway 766
Reserves: Municipal Reserves outstanding comprise 10% of the parent parcel.
Size: \pm 63.2 hectares (\pm 156.18 acres)
Legal: NW-11-26-03-W05M and Block 1, Plan 0011554 within NW-11-26-03-W05M
County Contact: Paul Simon
Please Reply Prior To: Thursday, July 12, 2018

Thank you for your attention to this matter.

Please reply to the attention of:

Paul Simon
Phone: 403.520.6285
Fax: 403.277.5977
E-Mail: PSimon@rockyview.ca
Planning Services

Note: Please include our Application Number and our Roll Number in your response. It is not necessary to return this package with your reply.



20170033

FOR OFFICE USE ONLY	
Date of Receipt 03/02/2017	File Number 06A11002/030
Fee Submitted \$5,500.00	Accepted by AP

PLANNING SERVICES FORM 1 LOCAL PLAN APPLICATION

Please note that the information provided in these forms is crucial to the assessment of your Application. Further, that in making this Application you are certifying the accuracy of the information contained in the pages of this form and any other material submitted with your application. Erroneous or inaccurate information provided in these forms or within the material submitted with your application may prejudice the validity of the Application and/or any decision issued regarding the Application. This form is to be completed in full wherever applicable by the registered owner of the land that is the subject of the application or by a person authorized to act on the registered owner's behalf.

NATURE OF PROPOSED APPLICATION

- Area Structure Plan (Minor Amendment) Conceptual Scheme or Concept Plan
 Master Site Development Plan Other Land use redesignation

1. APPLICANT / AGENT

Applicant / Agent IBI Group
 Mailing Address 500 - Meredith Block; 611 Meredith Road NE
Calgary, AB Postal Code T2E 2W5
 Telephone (B) 403-270-5600 (H) _____ Fax _____
 Email samuel.alatorre@ibigroup.com
 Owner same as applicant

2. OWNER

Registered Owner 1986766 Alberta Ltd. / Terra Verde Developments
 Mailing Address 2307 12 Ave NW
Calgary, AB Postal Code T2N 1K1
 Telephone (B) _____ (H) _____ Fax _____
 Email _____

3. LEGAL DESCRIPTION AND AREA OF LAND TO BE SUBDIVIDED

NW 11-026-03-W5M and Block 1, Plan 0011554
 All / part of the _____ ¼ section _____ township _____ range _____ west of _____ meridian
 Being all / parts of lot _____ block _____ Registered Plan Number _____ Certificate of Title Number _____
 Municipal Address (if applicable) _____
 Total Area of the above parcel of land to be subdivided is 63.156 hectares (156.18 acres)

PLANNING SERVICES FORM 1

4. LOCATION OF LAND

- (a) The land is situated in the municipality of **ROCKY VIEW COUNTY**. YES NO
- (b) Is the land situated immediately adjacent to the municipal boundary? YES NO
If "yes", the adjoining municipality is _____
- (c) Is the land situated within 0.8 kilometres of the right-of-way of a highway? YES NO
If "yes", the highway is Number _____
- (d) Does the proposed parcel contain or is it bounded by a river, stream, lake or other body of water, or by a canal or drainage ditch? YES NO
If "yes", state its name _____
- (e) Are there any oil or gas wells on or within 100 metres of the subject property(s)? YES NO
- (f) Is the proposed parcel within 1.5 kilometres of a sour gas facility? YES NO
- (g) Is the sour gas facility active, abandoned, or currently being reclaimed (h) Is there an abandoned oil or gas well or pipeline on the property? YES NO

5. EXISTING AND PROPOSED USE OF LAND

- Describe:
- (a) Existing use of the land Ranch and Farm (RF)
- (b) Proposed use of the land Silverhorn District (R-S) / Public utility lot (PUL)
- (c) The designated use of the land as classified under a Land Use Bylaw C-4841-97

6. PHYSICAL CHARACTERISTICS OF LAND

- (a) Describe the nature of the topography of the land (flat, rolling, steep, mixed):
The Indigo Hills planning area consist of farm land with rolling and hilly terrain
- (b) Describe the nature of the vegetation and water on the land (brush, shrubs, tree stands, sloughs, creeks, etc.) Grasslands, schrublands, Aspen Groves, cultivation and wetlands woodlots,
- (c) Describe the kind of soil on the land (sandy, loam, clay, etc.) Glaciofluvial and surficial deposits

7. EXISTING BUILDINGS ON THE LAND

Describe any buildings (historical or otherwise), and any structures on the land whether or not they are to be demolished or moved: There are no historical buildings on site.

8. WATER AND SEWER SERVICES

If the proposed development is to be served by other than a water distribution system and a wastewater collection system, describe the manner of providing water and sewage disposal:

To be connected to the Rockyview Water Co-Op regional water system. Orenco system to be in place for treatment of sanitary sewage.

PLANNING SERVICES FORM 1

9. PROPOSED LOTS

- (a) Number of parcels ultimately proposed 80
- (b) Size of parcels ultimately proposed Average lot size 0.66 ha (1.6 acres)

10. MUNICIPAL RESERVE STATUS

- (a) Disposition of Municipal Reserve, please check appropriate box:
- | | |
|--|---|
| <input type="checkbox"/> Deferral | <input checked="" type="checkbox"/> If dedicated, area of Reserves and designation |
| <input type="checkbox"/> Deferral to balance | <input type="checkbox"/> Cash in lieu of land, value to be determined by appraisal. |

11. MANDATORY SUPPORTING INFORMATION – LOCAL PLAN

For the purposes of this checklist a Local Plan is defined as a Conceptual Scheme, Master Site Development Plan, Outline Plan, an Area Structure Plan, Local Area Plan or another document set out in the County Plan. A Local Plan Application typically constitutes an application for adoption of a Master Site Development Plan, Conceptual Scheme (or Concept Plan) or an Area Structure Plan Amendment (minor amendment). An amendment to an Area Structure Plan determined by the County to constitute a major amendment requires the direction of Council considered in accordance with the Area Structure Plan Priority Policy.

General requirements

- Application forms.
- Authorization from owner of the parcel for the making of the application.
- A copy (hardcopy and digital copy) of the proposed Local Plan or Local Plan Amendment (identifying proposed general location of existing and proposed buildings and uses, and showing any proposed subdivision layout).
- The items identified in the relevant County Plan, Area Structure Plan and/or other Local Plan.
- Payment of Fees.
- Land title for all properties affected by the Local Plan (must be within 30 days of the date of application).
- Description of the use or uses proposed for the land that is the subject of the application.
- A detailed assessment of the proposed development against the relevant Statutory Plan and any relevant Local Plans.
- Signed appraisal agreement and time extension agreement (if applicable)

PLANNING SERVICES FORM 1

Master Site Development Plan

The requirements for a Master Site Development Plan are set out in the relevant Statutory Plans or Local Plans. The requirements for Master Site Development Plans associated with Aggregate Extraction are detailed in the County Plan.

Conceptual Scheme

The requirements for a Conceptual Scheme or Concept Plan are set out in the relevant Statutory Plans or prior approvals issued regarding the development of land.

Area Structure Plan Amendment

An Area Structure Plan amendment (minor amendment) may be pursued by way of a Local Plan Application. Prior to proceeding with such an application, the Applicant must possess correspondence from the County identifying that the proposed development is considered to fall within the category of minor amendment. It should be noted that upon detailed application review, a minor amendment may be reclassified as a major amendment subject to the Area Structure Plan policy consideration process.

Terms, conditions and additional notes regarding redesignation applications

The following terms, conditions and additional notes are not limiting on Council or the County in the requirement of supporting information for an application or the imposition of conditions on a future approval.

- (a) **It should be noted that all information provided with an application is available for public review and comment.**
- (b) Applicants must be aware that at subdivision or development permit stage:
1. The Subdivision Authority or Development Authority may include any condition necessary to satisfy a Land Use Bylaw provision, a County Plan, Area Structure Plan, Conceptual Scheme, or Master Site Development Plan policy or County Servicing Standard.
 2. Where on-site works are proposed the relevant Authority may, by condition, require the provision of a Construction Management Plan.
 3. The relevant Authority may impose any condition to meet a requirement of the Municipal Government Act or Subdivision and Development Regulation.
 4. As a condition of approval, the relevant Authority may include the requirement to update technical reports submitted with the application.
 5. The relevant Authority will impose requirements for the payment of levies associated with Bylaws for transportation, wastewater, water supply and stormwater:
 - i. Transportation Offsite Levy Bylaw;
 - ii. Water and Wastewater Offsite Levy Bylaw; and
 - iii. Such other Bylaws as may be in force or come into force and be applicable to development or activities on or services provided to the subject land from time to time.
 6. The relevant Authority will determine any oversizing requirements for services and infrastructure required to be constructed as part of the proposed development. The County will determine Cost Recovery arrangements through preparation and execution of documents prior to endorsement of a plan or survey for registration.

PLANNING SERVICES FORM 1

7. The relevant Authority will determine any outstanding municipal reserve dedications, cash-in-lieu payments or deferrals where applicable.
- (c) *Technical reports* are defined as any report or any information regarding a matter identified in the Municipal Government Act, Subdivision and Development Regulations, Statutory Plan, County Policy, Servicing Standards or Bylaw.
 - (d) Additional technical reports may be required after the time of application, based upon the ongoing assessment of the application.
 - (e) All costs of development are borne by the landowner or developer including, but not limited to, all on and off-site construction works, infrastructure development, securities, levies, contributions, reserve payments, additional fees associated the preparation and review of reports and technical assessments, endorsement fees imposed by the County, registration fees and such other costs as may be associated with the development of the land and the registration of any and all documents to create separate title for proposed parcels. Further, that it is the landowner's and developer's responsibility to identify and consider all costs of development.
 - (f) The applicant and landowner acknowledge that not providing the information required in this form or failing to provide accurate information may prejudice the assessment of the application.
 - (g) The applicant and landowner acknowledge that the County including individual staff members have not provided an advisory role with respect to the preparation and making of this application and that the decision to make the application is entirely that of the applicant and landowner.

12. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I Samuel Alatorre, IBJ hereby certify that I am the registered owner
(Print Full Name) I am authorized to act on behalf of the registered owner

and that the information given on this form and the material provided with this application is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application. Further, I have read, understood and accept the contents, statements and requirements contained and referenced in this document – **LOCAL PLAN APPLICATION PLANNING SERVICES FORM 1**.

Address 500 - 611 Meredith Rd NE, Calgary, AB T2E 2W5(Signed) _____

Phone Number 403- 270-5600 Date January 19, 2017

13. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter my land for the purpose of conduction a site inspection in connection with my application for subdivision approval.

Applicant / Owner's Signature



20170034

FOR OFFICE USE ONLY	
Date of Receipt 03/02/2017	File Number 06A11002/030
Fee Submitted \$6,500.00	Accepted by AP

PLANNING SERVICES FORM 1 LOCAL PLAN APPLICATION

Please note that the information provided in these forms is crucial to the assessment of your Application. Further, that in making this Application you are certifying the accuracy of the information contained in the pages of this form and any other material submitted with your application. Erroneous or inaccurate information provided in these forms or within the material submitted with your application may prejudice the validity of the Application and/or any decision issued regarding the Application. This form is to be completed in full wherever applicable by the registered owner of the land that is the subject of the application or by a person authorized to act on the registered owner's behalf.

NATURE OF PROPOSED APPLICATION

- Area Structure Plan (Minor Amendment)
 Conceptual Scheme or Concept Plan
 Master Site Development Plan
 Other Land use redesignation

1. APPLICANT / AGENT

Applicant / Agent IBI Group
 Mailing Address 500 - Meredith Block; 611 Meredith Road NE
Calgary, AB Postal Code T2E 2W5
 Telephone (B) 403-270-5600 (H) _____ Fax _____
 Email samuel.alatorre@ibigroup.com
 Owner same as applicant

2. OWNER

Registered Owner 1986766 Alberta Ltd. / Terra Verde Developments
 Mailing Address 2307 12 Ave NW
Calgary, AB Postal Code T2N 1K1
 Telephone (B) _____ (H) _____ Fax _____
 Email _____

3. LEGAL DESCRIPTION AND AREA OF LAND TO BE SUBDIVIDED

NW 11-026-03-W5M and Block 1, Plan 0011554
 All / part of the _____ ¼ section _____ township _____ range _____ west of _____ meridian
 Being all / parts of lot _____ block _____ Registered Plan Number _____ Certificate of Title Number _____
 Municipal Address (if applicable) _____
 Total Area of the above parcel of land to be subdivided is 63.156 hectares (156.18 acres)

PLANNING SERVICES FORM 1

4. LOCATION OF LAND

- (a) The land is situated in the municipality of **ROCKY VIEW COUNTY**. YES NO
- (b) Is the land situated immediately adjacent to the municipal boundary? YES NO
If "yes", the adjoining municipality is _____
- (c) Is the land situated within 0.8 kilometres of the right-of-way of a highway? YES NO
If "yes", the highway is Number _____
- (d) Does the proposed parcel contain or is it bounded by a river, stream, lake or other body of water, or by a canal or drainage ditch? YES NO
If "yes", state its name _____
- (e) Are there any oil or gas wells on or within 100 metres of the subject property(s)? YES NO
- (f) Is the proposed parcel within 1.5 kilometres of a sour gas facility? YES NO
- (g) Is the sour gas facility active, abandoned, or currently being reclaimed (h) Is there an abandoned oil or gas well or pipeline on the property? YES NO

5. EXISTING AND PROPOSED USE OF LAND

- Describe: (a) Existing use of the land Ranch and Farm (RF)
- (b) Proposed use of the land Silverhorn District (R-S) / Public utility lot (PUL)
- (c) The designated use of the land as classified under a Land Use Bylaw C-4841-97

6. PHYSICAL CHARACTERISTICS OF LAND

- (a) Describe the nature of the topography of the land (flat, rolling, steep, mixed):
The Indigo Hills planning area consist of farm land with rolling and hilly terrain
- (b) Describe the nature of the vegetation and water on the land (brush, shrubs, tree stands, sloughs, creeks, etc.) Grasslands, schrublands, Aspen Groves, cultivation and wetlands
- (c) Describe the kind of soil on the land (sandy, loam, clay, etc.) Glaciofluvial and surficial deposits

7. EXISTING BUILDINGS ON THE LAND

Describe any buildings (historical or otherwise), and any structures on the land whether or not they are to be demolished or moved: There are no historical buildings on site.

8. WATER AND SEWER SERVICES

If the proposed development is to be served by other than a water distribution system and a wastewater collection system, describe the manner of providing water and sewage disposal:

To be connected to the Rockyview Water Co-Op regional water system. Orenco system to be in place for treatment of sanitary sewage.

PLANNING SERVICES FORM 1

9. PROPOSED LOTS

- (a) Number of parcels ultimately proposed 80
- (b) Size of parcels ultimately proposed Average lot size 0.66 ha (1.6 acres)

10. MUNICIPAL RESERVE STATUS

- (a) Disposition of Municipal Reserve, please check appropriate box:
- Deferral If dedicated, area of Reserves and designation
- Deferral to balance Cash in lieu of land, value to be determined by appraisal.

11. MANDATORY SUPPORTING INFORMATION – LOCAL PLAN

For the purposes of this checklist a Local Plan is defined as a Conceptual Scheme, Master Site Development Plan, Outline Plan, an Area Structure Plan, Local Area Plan or another document set out in the County Plan. A Local Plan Application typically constitutes an application for adoption of a Master Site Development Plan, Conceptual Scheme (or Concept Plan) or an Area Structure Plan Amendment (minor amendment). An amendment to an Area Structure Plan determined by the County to constitute a major amendment requires the direction of Council considered in accordance with the Area Structure Plan Priority Policy.

General requirements

- Application forms.
- Authorization from owner of the parcel for the making of the application.
- A copy (hardcopy and digital copy) of the proposed Local Plan or Local Plan Amendment (identifying proposed general location of existing and proposed buildings and uses, and showing any proposed subdivision layout).
- The items identified in the relevant County Plan, Area Structure Plan and/or other Local Plan.
- Payment of Fees.
- Land title for all properties affected by the Local Plan (must be within 30 days of the date of application).
- Description of the use or uses proposed for the land that is the subject of the application.
- A detailed assessment of the proposed development against the relevant Statutory Plan and any relevant Local Plans.
- Signed appraisal agreement and time extension agreement (if applicable)

PLANNING SERVICES FORM 1

Master Site Development Plan

The requirements for a Master Site Development Plan are set out in the relevant Statutory Plans or Local Plans. The requirements for Master Site Development Plans associated with Aggregate Extraction are detailed in the County Plan.

Conceptual Scheme

The requirements for a Conceptual Scheme or Concept Plan are set out in the relevant Statutory Plans or prior approvals issued regarding the development of land.

Area Structure Plan Amendment

An Area Structure Plan amendment (minor amendment) may be pursued by way of a Local Plan Application. Prior to proceeding with such an application, the Applicant must possess correspondence from the County identifying that the proposed development is considered to fall within the category of minor amendment. It should be noted that upon detailed application review, a minor amendment may be reclassified as a major amendment subject to the Area Structure Plan policy consideration process.

Terms, conditions and additional notes regarding redesignation applications

The following terms, conditions and additional notes are not limiting on Council or the County in the requirement of supporting information for an application or the imposition of conditions on a future approval.

- (a) **It should be noted that all information provided with an application is available for public review and comment.**
- (b) Applicants must be aware that at subdivision or development permit stage:
 1. The Subdivision Authority or Development Authority may include any condition necessary to satisfy a Land Use Bylaw provision, a County Plan, Area Structure Plan, Conceptual Scheme, or Master Site Development Plan policy or County Servicing Standard.
 2. Where on-site works are proposed the relevant Authority may, by condition, require the provision of a Construction Management Plan.
 3. The relevant Authority may impose any condition to meet a requirement of the Municipal Government Act or Subdivision and Development Regulation.
 4. As a condition of approval, the relevant Authority may include the requirement to update technical reports submitted with the application.
 5. The relevant Authority will impose requirements for the payment of levies associated with Bylaws for transportation, wastewater, water supply and stormwater:
 - i. Transportation Offsite Levy Bylaw;
 - ii. Water and Wastewater Offsite Levy Bylaw; and
 - iii. Such other Bylaws as may be in force or come into force and be applicable to development or activities on or services provided to the subject land from time to time.
 6. The relevant Authority will determine any oversizing requirements for services and infrastructure required to be constructed as part of the proposed development. The County will determine Cost Recovery arrangements through preparation and execution of documents prior to endorsement of a plan or survey for registration.

PLANNING SERVICES FORM 1

7. The relevant Authority will determine any outstanding municipal reserve dedications, cash-in-lieu payments or deferrals where applicable.
- (c) *Technical reports* are defined as any report or any information regarding a matter identified in the Municipal Government Act, Subdivision and Development Regulations, Statutory Plan, County Policy, Servicing Standards or Bylaw.
 - (d) Additional technical reports may be required after the time of application, based upon the ongoing assessment of the application.
 - (e) All costs of development are borne by the landowner or developer including, but not limited to, all on and off-site construction works, infrastructure development, securities, levies, contributions, reserve payments, additional fees associated the preparation and review of reports and technical assessments, endorsement fees imposed by the County, registration fees and such other costs as may be associated with the development of the land and the registration of any and all documents to create separate title for proposed parcels. Further, that it is the landowner's and developer's responsibility to identify and consider all costs of development.
 - (f) The applicant and landowner acknowledge that not providing the information required in this form or failing to provide accurate information may prejudice the assessment of the application.
 - (g) The applicant and landowner acknowledge that the County including individual staff members have not provided an advisory role with respect to the preparation and making of this application and that the decision to make the application is entirely that of the applicant and landowner.

12. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I Samuel Alatorre, IBJ hereby certify that I am the registered owner
(Print Full Name) I am authorized to act on behalf of the registered owner

and that the information given on this form and the material provided with this application is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application. Further, I have read, understood and accept the contents, statements and requirements contained and referenced in this document – **LOCAL PLAN APPLICATION PLANNING SERVICES FORM 1**.

Address 500 - 611 Meredith Rd NE, Calgary, AB T2E 2W5(Signed)

Phone Number 403- 270-5600 Date January 19, 2017

13. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter my land for the purpose of conduction a site inspection in connection with my application for subdivision approval.

Applicant / Owner's Signature



ROCKY VIEW COUNTY
Cultivating Communities

20170035

PLANNING SERVICES FORM 2.6
REDESIGNATION RESIDENTIAL
PURPOSE APPLICATION

FOR OFFICE USE ONLY	
Date of Receipt 03/02/2017	File Number 06711030/002
Fee Submitted \$31,360.00	Accepted by AP

Please note that the information provided in these forms is crucial to the assessment of your Application. Further, that in making this Application you are certifying the accuracy of the information contained in the pages of this form and any other material submitted with your application. Erroneous or inaccurate information provided in these forms or within the material submitted with your application may prejudice the validity of the Application and/or any decision issued regarding the Application. This form is to be completed in full wherever applicable by the registered owner of the land that is the subject of the application or by a person authorized to act on the registered owner's behalf.

NATURE OF PROPOSED APPLICATION

- Land Use Redesignation New Direct Control Bylaw
 Direct Control Bylaw (Site Specific Amendment) Textual Amendments to the Land Use Bylaw

1. APPLICANT / AGENT

Applicant / Agent IBI Group
Mailing Address 500 - Meredith Block; 611 Meredith Road NE
Calgary, AB Postal Code T2E 2W5
Telephone (B) 403-270-5600 (H) _____ Fax _____
Email samuel.alatorre@ibigroup.com

Owner Same As Applicant

2. OWNER

Registered Owner 1986766 Alberta Ltd. / Terra Verde Developments
Mailing Address 2307 12 Ave NW
Calgary, AB Postal Code T2N 1K1
Telephone (B) _____ (H) _____ Fax _____

3. LEGAL DESCRIPTION AND AREA OF LAND

All / part of the _____ NW 11-026-03-W5M and Block 1, Plan 0011554
_____ ¼ section _____ township _____ range _____ west of _____ meridian
Being all / parts of lot _____ block _____ Registered Plan Number _____ Certificate of Title Number _____
Municipal Address (if applicable) _____
Total Area of the above parcel of land to be subdivided is 63.156 hectares (156.18 acres)

PLANNING SERVICES FORM 2.6

4. LOCATION OF LAND

- (a) The land is situated in the municipality of **ROCKY VIEW COUNTY**. YES
- (b) Is the land situated immediately adjacent to the municipal boundary? YES NO
If "yes", the adjoining municipality is _____
- (c) Is the land situated within 0.8 kilometres of the right-of-way of a highway? YES NO
If "yes", the highway is Number _____
- (d) Does the proposed parcel contain or is it bounded by a river, stream, lake or other body of water, or by a canal or drainage ditch? YES NO
If "yes", state its name _____
- (e) Are there any oil or gas wells on or within 100 metres of the subject property(s)? YES NO
- (f) Is the proposed parcel within 1.5 kilometres of a sour gas facility? YES NO
- (g) Is the sour gas facility active, abandoned, or currently being reclaimed?
- (h) Is there an abandoned oil or gas well or pipeline on the property? YES NO

5. EXISTING AND PROPOSED USE OF LAND

- Describe: (a) Existing use of the land Ranch and Farm (RF)
- (b) Proposed use of the land Residential zoned for Silverhorn Residential district (R-S)
- (c) The designated use of the land as classified under a Land Use Bylaw C-4841-97
- (d) The proposed use of the land as classified under a Land Use Bylaw R-S

6. PHYSICAL CHARACTERISTICS OF LAND (WHERE APPROPRIATE)

- (a) Describe the nature of the topography of the land (flat, rolling, steep, mixed)
The Indigo Hills planning area consist of farm land with rolling and hilly terrain
- (b) Describe the nature of the vegetation and water on the land (brush, shrubs, tree stands, woodlots etc., sloughs, creeks, etc.) Grasslands, schrublands, Aspen Groves, cultivation and wetlands
- (c) Describe the kind of soil on the land (sandy, loam, clay, etc.) Glaciofluvial and surficial deposits

7. EXISTING BUILDINGS ON THE LAND

Describe **any** buildings (historical or otherwise), and any structures on the land whether or not they are to be demolished or moved There are no historical buildings on site.

8. WATER AND SEWER SERVICES

If the proposed development is to be served by other than a water distribution system and a wastewater collection system, describe the manner of providing water and sewage disposal.
To be connected to the Rockyview Water Co-Op regional water system. Orenco system to be in place for treatment of sanitary sewage.

9. PROPOSED LOTS

- (a) Number of parcels ultimately proposed 80
- (b) Size of parcels ultimately proposed Average lot size 0.66 ha (1.6 acres)

REDESIGNATION APPLICATION

PLANNING SERVICES FORM 2.6

February 2015, Version 1.2

PLANNING SERVICES FORM 2.6

10. MUNICIPAL RESERVE STATUS

(a) Disposition of Municipal Reserve, please check appropriate box:

- | | |
|--|---|
| <input type="checkbox"/> Deferral | <input checked="" type="checkbox"/> If dedicated, area of Reserves and designation |
| <input type="checkbox"/> Deferral to balance | <input type="checkbox"/> Cash in lieu of land, value to be determined by appraisal. |

PLANNING SERVICES FORM 2.6

11. MANDATORY SUPPORTING INFORMATION – REDESIGNATION

PART A: General requirements

- Application forms.
- Authorization from owner of the parcel for the making of the application.
- Proposed plan of development (identifying proposed general location of existing buildings and uses and buildings and uses proposed in the future, and showing any proposed subdivision layout).
- A copy (hardcopy and digital copy) of any proposed bylaw amendments in the form of a Rocky View County Bylaw – where the redesignation proposes a Direct Control Bylaw or amendments to the existing Land Use Bylaw.
- Payment of fees.
- Land title for all properties affected by the application must be within 30 days of the date of application.
- Description of the use or uses proposed for the land that is the subject of the application.
- A detailed assessment of the proposed development against the relevant Statutory Plan and any relevant Local Plans.
- Any other technical reports determined to be necessary in order to assess the suitability of land for redesignation including those items identified within the County Servicing Standards.

Applications preceded by an earlier application:

In many instances, a redesignation application is preceded by one or a number of applications which affect the development of land, set the higher level strategic intent associated with amendments to Area Structure Plans or the adoption of Local Plans (Conceptual Schemes and Master Site Development Plans). In these cases, particularly in the case of Local Plan preparation there are a range of technical documents which may have already been required and provided. However, it should be noted that, owing to the passage of time between applications, the introduction of new policy or the introduction of new technical standards, updated versions of previously provided technical reports may be required. Further, it should be noted that preceding applications may have introduced requirements or expectations for further technical reports to be provided as part of a redesignation applications. These matters should be addressed accordingly.

It should be noted that this checklist is a general list of the technical reports required to be provided and there may be occasions where additional information is required.

PLANNING SERVICES FORM 2.6

PART B: For redesignation of land for Residential Purposes (other than residential first parcel out or farmstead)

Wastewater

- Where the County determines that the subject land is in proximity to a piped wastewater system, the Applicant shall provide evidence that the system has sufficient capacity to accommodate the proposed development in accordance with Alberta Environment Sustainable Resource Development (AESRD) requirements.

OR

- Where the County determines that a regional or decentralized wastewater system is required, the Applicant shall provide a written conceptual submission regarding prepared by a suitably qualified person outlining the proposed treatment and disposal system.

Water supply

- Where the County determines that the subject land is in proximity to a piped water supply system, the Applicant shall provide evidence that the system has sufficient capacity to accommodate the proposed development in accordance with Alberta Environment Sustainable Resource Development requirements.

OR

Where the Applicant proposes that a regional or decentralized water supply system, the Applicant shall provide a conceptual submission prepared by a suitably qualified person outlining the proposed water supply system.

Water supply and wastewater treatment and disposal (no piped services)

Where the County has determined that a piped water supply system is not available for connection and a regional or decentralized system is either not proposed or not required, and there are 6 or more lots in the quarter section the Applicant shall provide a Supply Evaluation (phase 1) in accordance with the County Servicing Standards.

- Where the County has determined that a piped wastewater system is not available for connection and a regional or decentralized system is either not proposed or not required, the Applicant shall provide a written statement regarding wastewater treatment and disposal proposed for the development.

Stormwater management

- A statement from a suitably qualified stormwater Engineer (P.Eng) regarding the necessity for a detailed stormwater management report or plan including the general rationale for this position. If the statement indicates that a Site Specific Stormwater Implementation Plan (where the development involves fewer than 10 lots in the ultimate form of the development) or Stormwater Management Report (where the development involves 10 or more lots in the ultimate form of the development) is required, the Plan / Report with recommendations regarding any required works to manage stormwater shall be provided including identification of downstream conveyance requirements.

Traffic Impacts

PLANNING SERVICES FORM 2.6

- A statement from a suitably qualified traffic engineer (P.Eng) regarding the necessity for a Traffic Impact Assessment (TIA) including the general rationale for this position. Should the statement identify the requirement for the preparation of a TIA, then a TIA shall be prepared. Notwithstanding the preceding comments, a TIA shall be prepared in the following circumstances:

- The County requires preparation of a TIA in order to process the application;

Other matters

Any other technical reports determined to be necessary in order to assess the suitability of land for development including those items identified within the County Servicing Standards.

PLANNING SERVICES FORM 2.6

Terms, conditions and additional notes regarding redesignation applications

The following terms, conditions and additional notes are not limiting on Council or the County in the requirement of supporting information for an application or the imposition of conditions on a future approval.

- (a) *Boundary realignments*: requirement for applications regarding boundary realignments do not typically demand additional technical studies, unless the application is considered to significantly reduce the size of one of the parcels the subject of the application such that technical considerations need to be addressed (for example, a residential lot is reduced in size as a result of redesignation and boundary realignment for R-2 to R-1 demanding a higher level of proof for servicing). However, the County reserves the right to request additional technical reports if it is considered that previous servicing (including wastewater, stormwater, traffic and water supply) arrangements are insufficient.
- (b) **It should be noted that all information provided for an application is available for public review and comment.**
- (c) Applicants must be aware that at subdivision or development permit stage:
 - 1. The Subdivision Authority or Development Authority may include any condition necessary to satisfy a Land Use Bylaw provision, a County Plan, Area Structure Plan, Conceptual Scheme, or Master Site Development Plan policy or County Servicing Standard.
 - 2. Where on-site works are proposed the relevant Authority may, by condition, require the provision of a Construction Management Plan.
 - 3. The relevant Authority may impose any condition to meet a requirement of the Municipal Government Act or Subdivision and Development Regulation.
 - 4. As a condition of approval, the relevant Authority may include the requirement to update technical reports submitted with the application.
 - 5. The relevant Authority will impose requirements for the payment of levies associated with Bylaws for transportation, wastewater, water supply and stormwater:
 - i. Transportation Offsite Levy Bylaw;
 - ii. Water and Wastewater Offsite Levy Bylaw; and
 - iii. Such other Bylaws as may be in force or come into force and be applicable to development or activities on or services provided to the subject land from time to time.
 - 6. The relevant Authority will determine any oversizing requirements for services and infrastructure required to be constructed as part of the proposed development. The County will determine Cost Recovery arrangements through preparation and execution of documents prior to endorsement of a plan of survey for registration.
 - 7. The relevant Authority will determine any outstanding municipal reserve dedications, cash-in-lieu payments or deferrals where applicable.

PLANNING SERVICES FORM 2.6

- (d) *Technical reports* are defined as any report or any information regarding a matter identified in the Municipal Government Act, Subdivision and Development Regulations, Statutory Plan, County Policy, Servicing Standards or Bylaw.
- (e) Additional technical reports may be required after the time of application, based upon the ongoing assessment of the application.
- (f) All costs of development are borne by the landowner or developer including, but not limited to, all on and off-site construction works, infrastructure development, securities, levies, contributions, reserve payments, additional fees associated the preparation and review of reports and technical assessments, endorsement fees imposed by the County, registration fees and such other costs as may be associated with the development of the land and the registration of any and all documents to create separate title for proposed parcels. Further, that it is the landowner's and developer's responsibility to identify and consider all costs of development.
- (g) The applicant and landowner acknowledge that not providing the information required in this form or failing to provide accurate information may prejudice the assessment of the application.
- (h) The applicant and landowner acknowledge that the County including individual staff members have not provided an advisory role with respect to the preparation and making of this application and that the decision to make the application is entirely that of the applicant and landowner.

12. REGISTERED OWNER OR PERSON ACTING ON HIS BEHALF

I Samuel Alatone (B) hereby certify that I am the registered owner
(Print Full Name) I am authorized to act on behalf
of the registered owner

and that the information given on this form and the material provided with this application is full and complete and is, to the best of my knowledge, a true statement of the facts relating to this application. Further, I have read, understood and accept the contents, statements and requirements contained and referenced in this document – **REDESIGNATION APPLICATION PLANNING SERVICES FORM 2.6.**

Address Suite 500, 411 Meredith Rd. NE (Signed) 
Phone Number 403 270 5600 Date January 19, 2017

13. RIGHT OF ENTRY

I hereby authorize Rocky View County to enter my land for the purpose of conducting a site inspection in connection with my application.

Applicant / Owner's Signature



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0035 691 633 5;3;26;11;NW 161 220 537

LEGAL DESCRIPTION

MERIDIAN 5 RANGE 3 TOWNSHIP 26
SECTION 11
QUARTER NORTH WEST
CONTAINING 64.3 HECTARES (159 ACRES) MORE OR LESS
EXCEPTING THEREOUT:

PLAN	NUMBER	HECTARES	(ACRES)	MORE OR LESS
ROAD	1448LK	0.417	1.03	
ROAD	9912401	0.413	1.02	
SUBDIVISION	0011554	16.22	40.08	
ROAD	1311506	0.18	0.44	PUBLIC WORK

EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 131 124 559

REGISTERED OWNER(S)					
REGISTRATION	DATE (DMY)	DOCUMENT	TYPE	VALUE	CONSIDERATION
161 220 537	16/09/2016	ORDER			SEE INSTRUMENT

OWNERS

1986766 ALBERTA LTD.
OF 800, 517-10TH AVENUE SW
CALGARY
ALBERTA T2R 0A8

ENCUMBRANCES, LIENS & INTERESTS			
REGISTRATION	NUMBER	DATE (D/M/Y)	PARTICULARS
	801 057 265	17/04/1980	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

LIMITED.

171 004 227 06/01/2017 CAVEAT
RE : TRANSFER OF LAND
CAVEATOR - HER MAJESTY THE QUEEN IN RIGHT OF
ALBERTA
AS REPRESENTED BY MINISTER OF TRANSPORTATION
BOX 314
3RD FLOOR, ADMINISTRATION BUILDING
909 - 3RD AVENUE NORTH
LETHBRIDGE
ALBERTA T1H0H5

TOTAL INSTRUMENTS: 002

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 11 DAY OF
JANUARY, 2017 AT 10:39 A.M.

ORDER NUMBER: 32094401

CUSTOMER FILE NUMBER: 102342sa



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0035 691 641 0011554;1 161 220 537 +1

LEGAL DESCRIPTION

PLAN 0011554
BLOCK 1
CONTAINING 16.22 HECTARES (40.08 ACRES) MORE OR LESS
EXCEPTING THEREOUT:

PLAN	NUMBER	HECTARES	ACRES	MORE OR LESS
ROAD	1311506	0.134	0.33	PUBLIC WORK

EXCEPTING THEREOUT ALL MINES AND MINERALS

ATS REFERENCE: 5;3;26;11;NW
ESTATE: FEE SIMPLE

MUNICIPALITY: ROCKY VIEW COUNTY

REFERENCE NUMBER: 131 124 559 +1

REGISTERED OWNER(S)
REGISTRATION DATE (DMY) DOCUMENT TYPE VALUE CONSIDERATION

161 220 537 16/09/2016 ORDER SEE INSTRUMENT

OWNERS

1986766 ALBERTA LTD.
OF 800, 517-10TH AVENUE SW
CALGARY
ALBERTA T2R 0A8

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
801 057 265	17/04/1980	UTILITY RIGHT OF WAY GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY LIMITED.

TOTAL INSTRUMENTS: 001

(CONTINUED)

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 11 DAY OF
JANUARY, 2017 AT 10:39 A.M.

ORDER NUMBER: 32094401

CUSTOMER FILE NUMBER: 102342sa

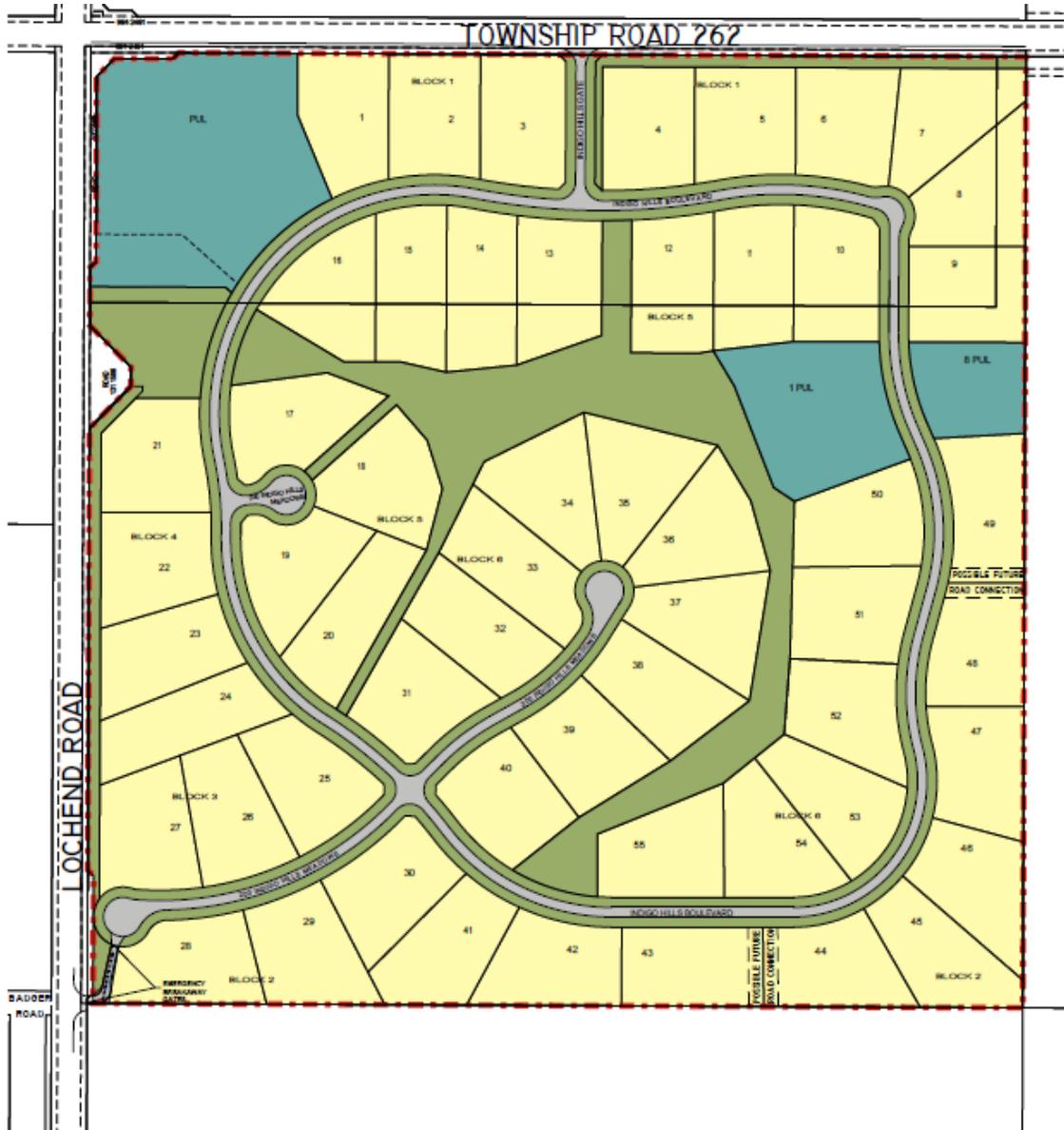


END OF CERTIFICATE

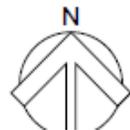
THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

Conceptual Scheme Proposal: To adopt the Indigo Hills Conceptual Scheme to provide a policy framework to guide future redesignation, subdivision and development proposals within the NW-11-26-03-W05M.



	CONCEPTUAL SCHEME PLANNING AREA	63.10 HA (155.92 AC)
	RESIDENTIAL ONE DISTRICT	44.09 HA (108.95 AC)
	OPEN SPACE / PATHWAYS (MR)	6.33 HA (15.64 AC)
	PUBLIC UTILITY LOT (PUL)	5.50 HA (13.59 AC)
	ROAD RIGHT OF WAYS	7.18 HA (17.74 AC)



DEVELOPMENT PROPOSAL

NW-11-26-03-W05M

Date: June 15, 2018

Division # 8

File: 06711002/30



Redesignation Proposal: To redesignate the subject lands from Ranch and Farm District (RF) to Residential One District (R-1) in order to facilitate the creation of fifty-five (55) single-detached homes on lots no less than ± 0.80 hectares (± 1.98 acres) in size, three (3) Public Utility Lots, together with open space and utility servicing.

TWP RD 262

RF \rightarrow R-1
 ± 63.20 ha
(± 156.18 ac)

766

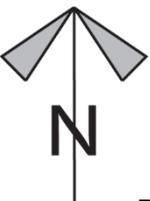
DEVELOPMENT PROPOSAL

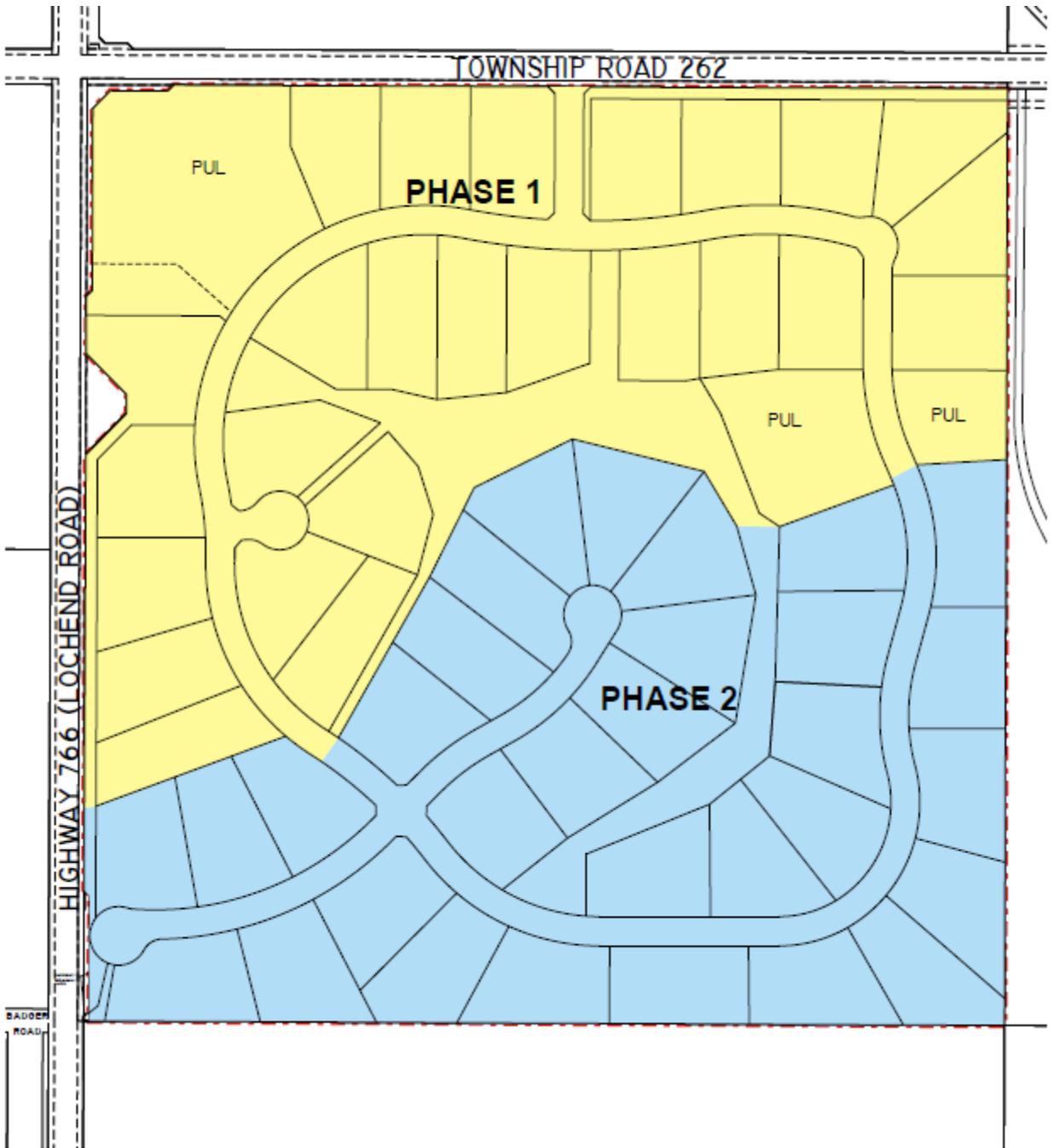
NW-11-26-03-W05M

Date: June 15, 2018

Division # 8

File: 06711002/30





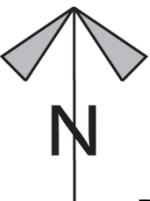
DEVELOPMENT PROPOSAL

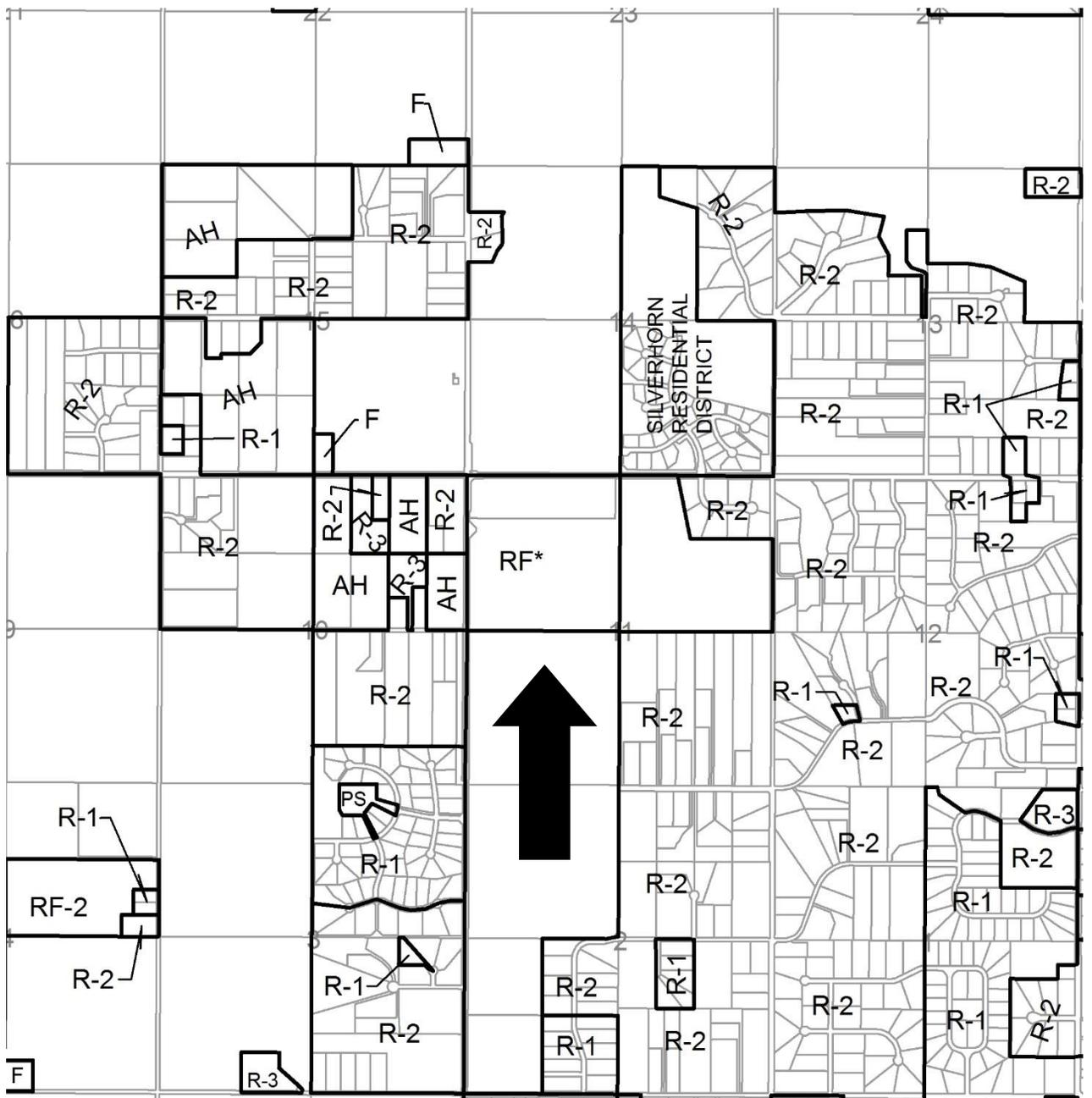
NW-11-26-03-W05M

Date: June 15, 2018

Division # 8

File: 06711002/30





Ranch and Farm	B-1 Highway Business
RF2 Ranch and Farm Two	B-2 General Business
RF3 Ranch and Farm Three	B-3 Limited Business
AH Agricultural Holding	B-4 Recreation Business
F Farmstead	B-5 Agricultural Business
R-1 Residential One	B-6 Local Business
R-2 Residential Two	NRI Natural Resource Industrial
R-3 Residential Three	HR-1 Hamlet Residential Single Family
DC Direct Control	HR-2 Hamlet Residential (2)
PS Public Service	HC Hamlet Commercial
	AP Airport

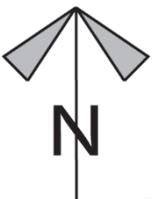
LAND USE MAP

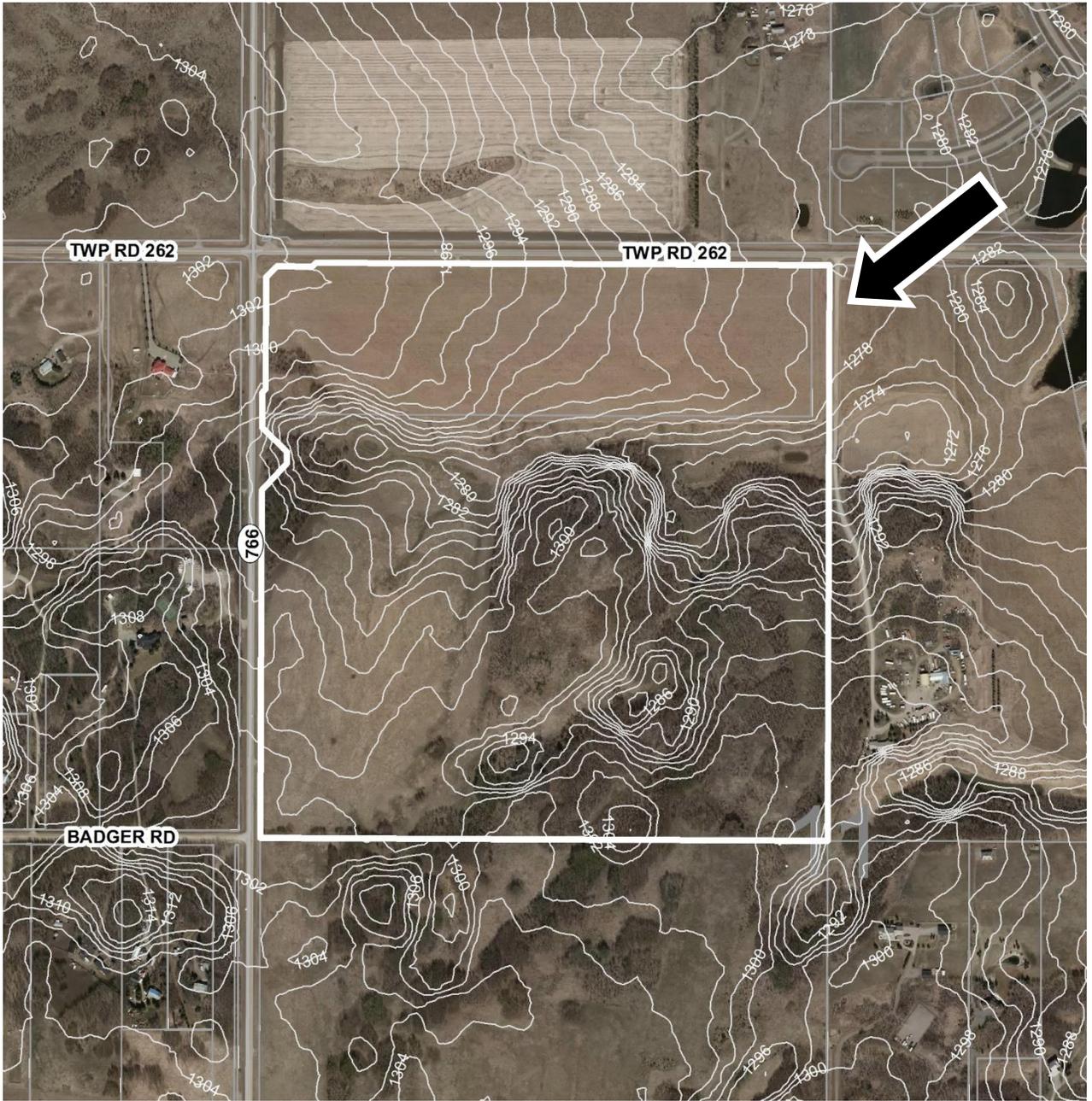
NW-11-26-03-W05M

Date: June 15, 2018

Division # 8

File: 06711002/30





Contours are generated using 10m grid points, and depict general topographic features of the area. Detail accuracy at a local scale cannot be guaranteed. They are included for reference use only.

TOPOGRAPHY
Contour Interval 2 M

NW-11-26-03-W05M

Date: June 15, 2018

Division # 8

File: 06711002/30



TWP RD 262

766



Note: Post processing of raw aerial photography may cause varying degrees of visual distortion at the local level.

AIR PHOTO

Spring 2016

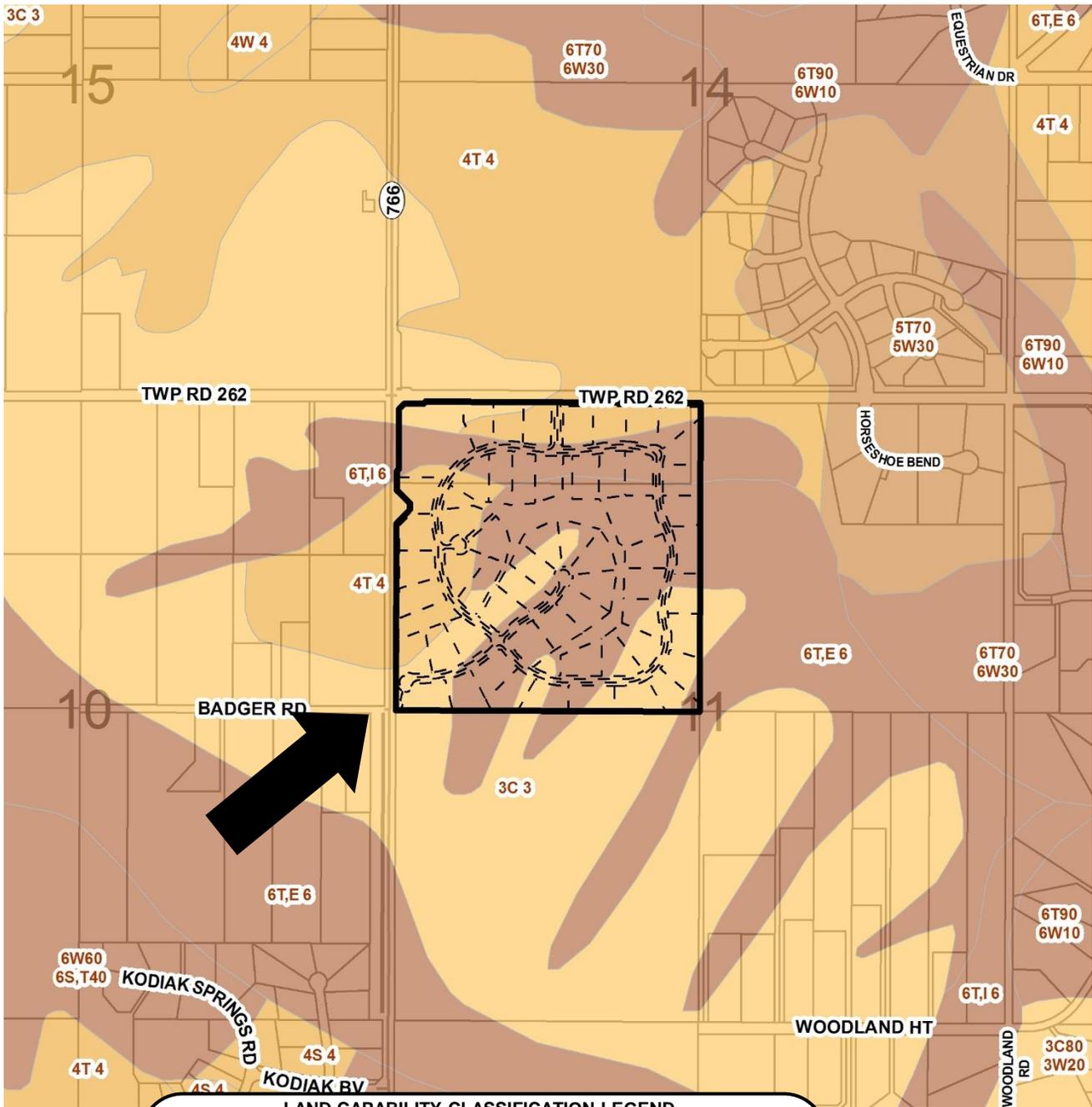
NW-11-26-03-W05M

Date: June 15, 2018

Division # 8

File: 06711002/30





LAND CAPABILITY CLASSIFICATION LEGEND
Limitations refer to cereal, oilseeds and tame hay crops

CLI Class	Limitations	
1 - No significant limitation	B - brush/tree cover	N - high salinity
2 - Slight limitations	C - climate	P - excessive surface stoniness
3 - Moderate limitations	D - low permeability	R - shallowness to bedrock
4 - Severe limitations	E - erosion damage	S - high sodicity
5 - Very severe limitations	F - poor fertility	T - adverse topography
6 - Production is not feasible	G - Steep slopes	U - prior earth moving
7 - No capability	H - temperature	V - high acid content
	I - flooding	W - excessive wetness/poor drainage
	J - field size/shape	X - deep organic deposit
	K - shallow profile development	Y - slowly permeable
	M - low moisture holding, adverse texture	Z - relatively impermeable

SOIL MAP

NW-11-26-03-W05M

Date: June 15, 2018

Division # 8

File: 06711002/30



Legend – Plan numbers

- First two numbers of the Plan Number indicate the year of subdivision registration.
- Plan numbers that include letters were registered before 1973 and do not reference a year

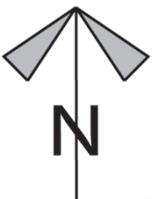
HISTORIC SUBDIVISION MAP

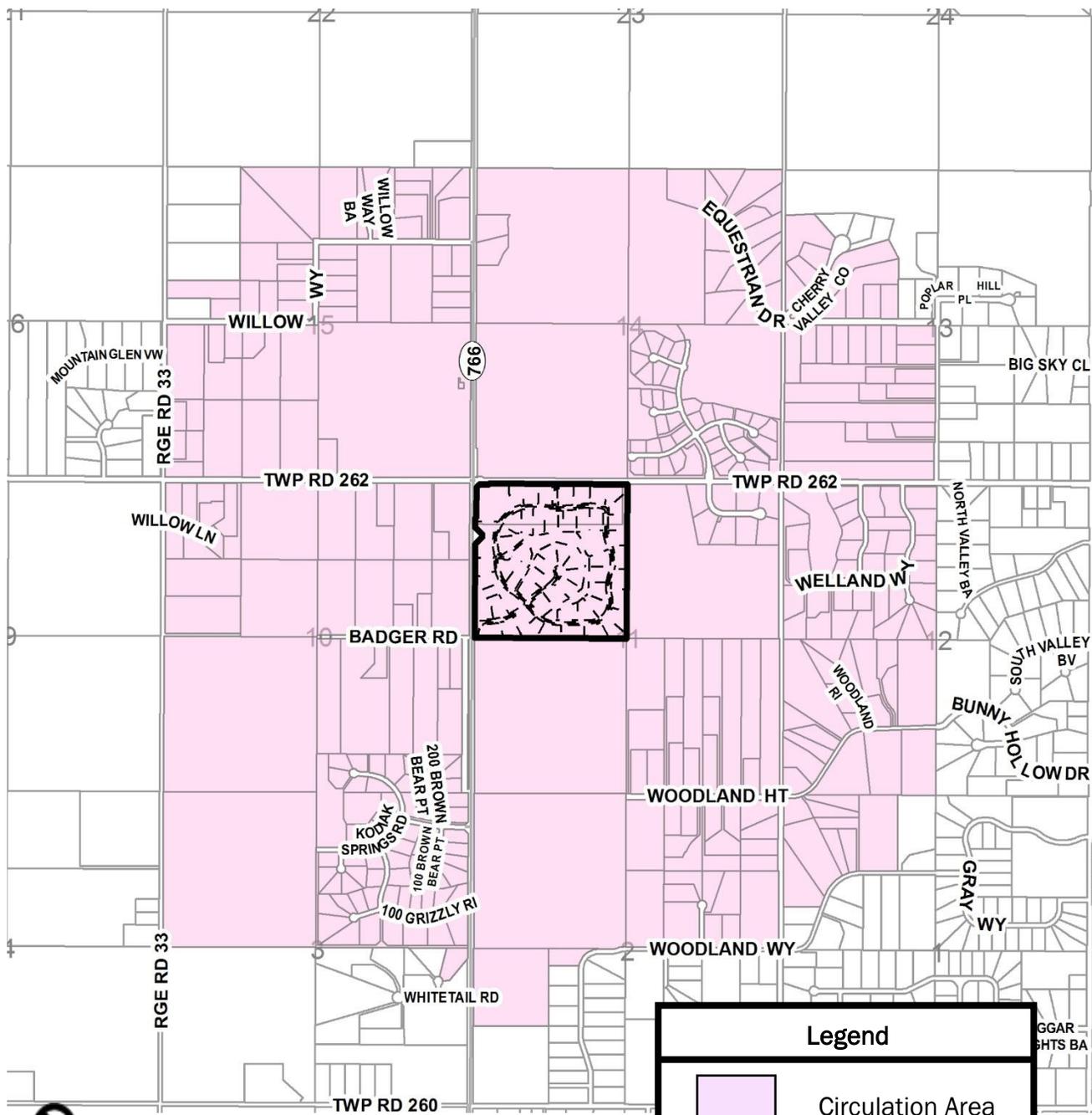
NW-11-26-03-W05M

Date: June 15, 2018

Division # 8

File: 06711002/30





Legend	
	Circulation Area
	Subject Lands

LANDOWNER CIRCULATION AREA

NW-11-26-03-W05M

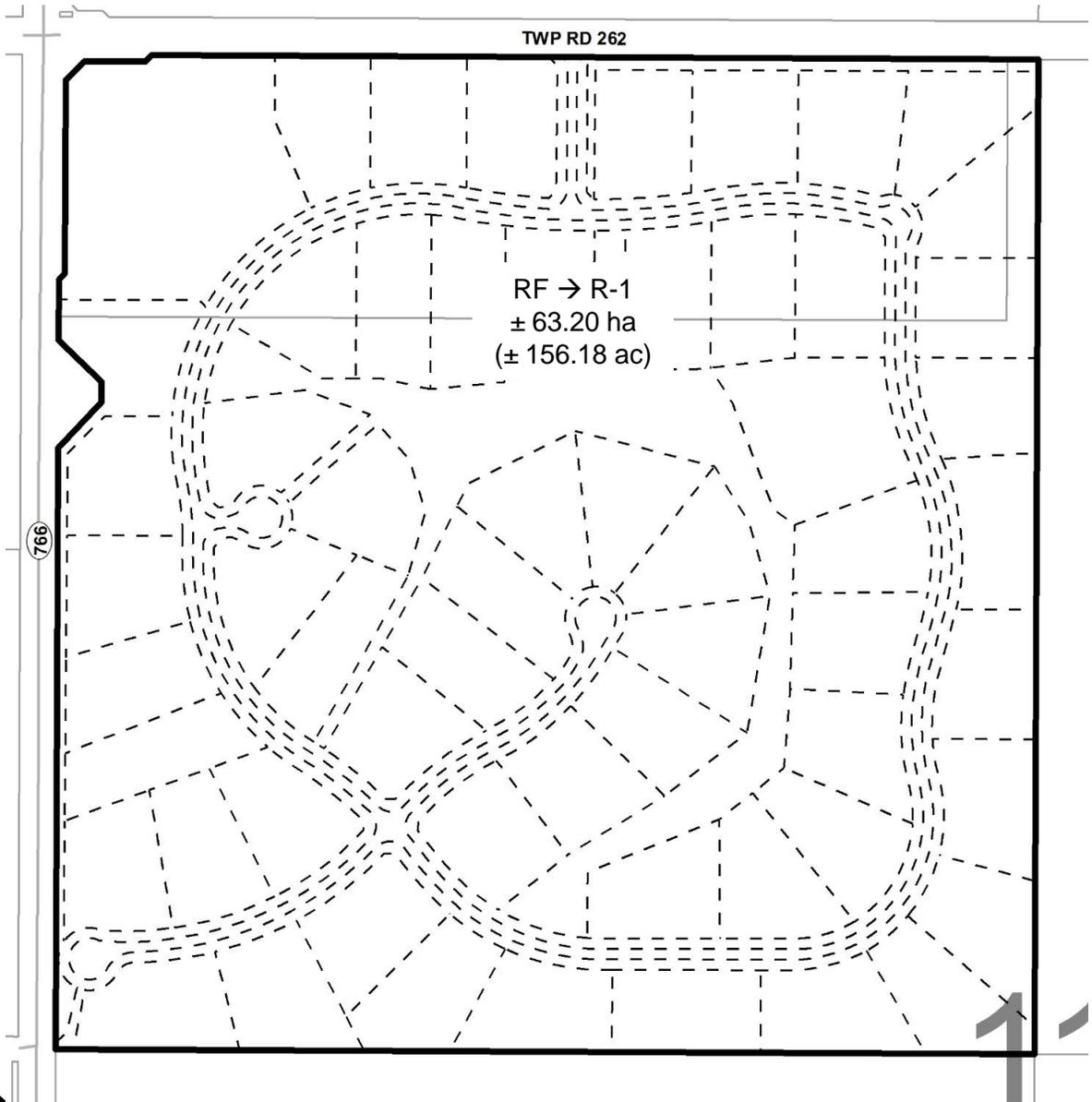
Date: June 18, 2018

Division # 8

File: 06711002/30

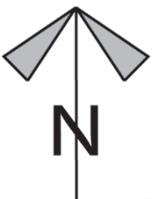
Redesignation Proposal: To redesignate the subject lands from Ranch and Farm District (RF) to Residential One District (R-1) in order to facilitate the creation of fifty-five (55) single-detached homes on lots no less than ± 0.80 hectares (± 1.98 acres) in size, three (3) Public Utility Lots, together with open space and utility servicing.

Conceptual Scheme Proposal: To adopt the Indigo Hills Conceptual Scheme to provide a policy framework to guide future redesignation, subdivision and development proposals within the NW-11-26-03-W05M.



DEVELOPMENT PROPOSAL

NW-11-26-03-W05M



Date: June 15, 2018

Division # 8

File: 06711002/30

Appendix C – Open House Postcard Invitations and Newspaper Ads

OPEN HOUSE INVITATIONS MAY 24, 2018




You are invited to attend an open house to review and discuss the revised Conceptual Scheme, land use redesignation and minor amendment to the Bears paw ASP.

Please join us at the **Open House** to share your thoughts with us. There will be opportunities to review materials, speak one-on-one with representatives from the developer and provide your comments.

OPEN HOUSE
INDIGO HILLS CONCEPTUAL SCHEME, LAND USE REDESIGNATION AND AMENDMENT TO BEARSPAW AREA STRUCTURE PLAN
TERRA VERDE DEVELOPMENTS

MAY 24, 2018
5:00PM – 8:00PM

Lions Club of Bears paw
(25240 Nagway Road, Calgary, AB T3R 1A1)





FRONT




The purpose of the application is to:

- (A) Adopt the revised Indigo Hills Conceptual Scheme to provide policy framework to guide future redesignation, subdivision and development proposals within the subject lands.
- (B) Amend the Bears paw Area Structure Plan to include the proposed Indigo Hills Conceptual Scheme.
- (C) To redesignate the subject lands from Ranch and Farm District (RF) to Residential One District (R1) in order to facilitate the creation of fifty five (55) single-detached homes on lots with a minimum area of 0.80ha (1.98 acres) in size, three (3) Public Utility Lots, together with open space and utility servicing.



ADDITIONAL INFORMATION

Parcel Size: +/- 63.2 hectares (+/- 156.18 acres)
Legal Address: NW-11-26-03-W05M
Block 1 Plan 0011554

Applicant's Contact Information:
IBI Group,
611 Meredith Road NE, Suite 500
Calgary AB T2E 2W5
403-270-5600 Fax: 403-270-5610
Email: samuel.alatorre@ibigroup.com

Company the Applicant Represents:
Terra Verde Developments
Rocky View County Contact:
Jessica Anderson Phone: 403-520-8184
E-mail: janderson@rockyview.ca



BACK

OPEN HOUSE INVITATIONS JUNE 26, 2018




You are invited to attend an open house to review and discuss the revised Conceptual Scheme, Land Use Redesignation and Minor Amendment to the Bears paw ASP.

Please join us at the **Open House** to share your thoughts with us. There will be opportunities to review materials, speak one-on-one with representatives from the developer and provide your comments.

OPEN HOUSE
INDIGO HILLS CONCEPTUAL SCHEME, LAND USE REDESIGNATION AND AMENDMENT TO BEARSPAW AREA STRUCTURE PLAN

JUNE 26, 2018
5:00 PM – 8:00 PM

Lions Club of Bears paw
25240 Nagway Road
Calgary, AB T3R 1A1





FRONT




The purpose of the application is to:

- 1 Adopt the revised Indigo Hills Conceptual Scheme to provide policy framework to guide future redesignation, subdivision and development proposals within the subject lands.
- 2 Amend the Bears paw Area Structure Plan to include the proposed Indigo Hills Conceptual Scheme.
- 3 To redesignate the subject lands from Ranch and Farm District (RF) to Residential One District (R1) in order to facilitate the creation of fifty five (55) single-detached homes on lots with a minimum area of 0.80ha (1.98 acres) in size, three (3) Public Utility Lots, together with open space and utility servicing.



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Applicant's Contact Information:
IBI Group, 611 Meredith Road NE, Suite 500
Calgary AB T2E 2W5
403-270-5600 Fax: 403-270-5610
Email: samuel.alatorre@ibigroup.com

Company the Applicant Represents:
Terra Verde Developments
Rocky View County Contact:
Paul Simon Phone: 403-520-6285
E-mail: psimon@rockyview.ca



BACK

New programs and services for Veterans

VETERANS AFFAIRS CANADA
Contributor

Veteran looking for a new career, interested in career guidance or who need help getting on the right path for post-military life now have a new resource from Veterans Affairs Canada.

Do your career goals mean more education? The Education and Training Benefit can provide the funding needed to achieve education and career goals. Veterans released since April 1, 2006, who served at least six years may be eligible for this benefit. Whether you are furthering your education journey or beginning a new one, this is the place to start.

A meaningful career is an

important part of well-being. The Career Transition Services program has been redesigned to support veterans the whole way: from career counselling and coaching, job search and resume building, all the way to interview preparation and job placement assistance.

Veterans of the Canadian Armed Forces who were medically-released within the last 120 days, or who have a health problem resulting from military service that is making it difficult to adjust, may qualify for rehabilitation services. Our purpose is to ensure improved health to the fullest extent possible and adjust to life at home, in the community or at work.

Access to the Veteran Family

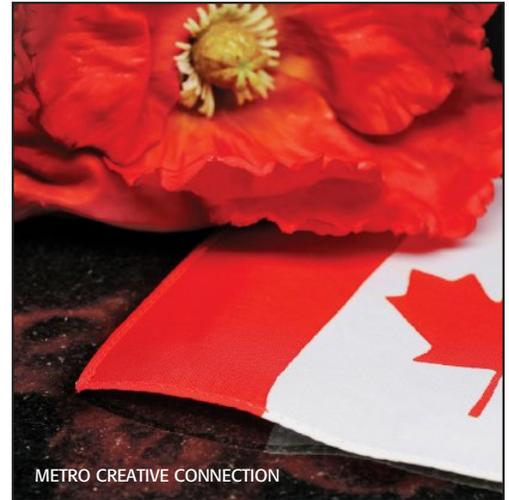
Program is now available across all Military Family Resource Centres.

The newly introduced Caregiver Recognition Benefit provides a caregiver with \$1,000 a month, tax-free.

Applying for these benefits is easy and takes just a few steps. Register for a My VAC account anytime at veterans.gc.ca and search "register for My VAC."

You served your country with honour and are ready for what's next. Our mission, at Veterans Affairs Canada, is to support you and your family through the next phase of your life.

To learn more about these programs and how they may help you or your family, please visit veterans.gc.ca



METRO CREATIVE CONNECTION

Letters

Disappointed in Summit Gravel pit decision

Dear Editor,

It is such a disappointment to bring in a largely new Rocky View County (RVC) council and then get the same old results. With all the gravel underlying RVC, one wouldn't think it necessary to develop a mine only metres from a set of springs con-

sidered nationally significant, and a tiny, 67-acre provincial park that had 80,000 car visits last year alone. This park's unique qualities all derive from those springs that will undoubtedly be impacted by a mine on their aquifer.

From reports in the local papers, there was no consideration by coun-

cil of the environmental impact the Summit mine will have on this unique piece of RVC real estate. In fact, council even voted to lift restrictions on developing a small part of the lease previously listed as ecologically sensitive. Despite the efforts of Couns. Crystal Kissel and Samantha Wright,

RVC voted to streamline the steps to full mine approval.

Apparently, it is a matter of, "to hell with the environment when 25 cents/tonne royalty rates are at stake."

VIVIAN PHARIS
Cochrane

Agriculture Services:

Get Set to Grow Workshops

Riparian Lands Management

Are you a farmer, rancher, or acreage owner with a "riparian area" – land that borders some sort of water feature? Do you have a stream running through your property, a small pond out back, or even just a wet spot in your cropland? If you do, then the next question is: are you managing your riparian areas to their full potential?

Join us for a two-day workshop that will take you through assessing the health, benefits, and potential uses of the riparian areas on your property. The course includes a background on riparian areas; a visit to a local property where you'll learn how to conduct a site assessment; and an in-class workshop where you can develop a plan for your own property, receive advice from instructors, and hear feedback from fellow participants.

May 31 and June 1, 2018
Crossfield Municipal Library (1210 Railway Street, Crossfield)
8:30 a.m. to 4 p.m.
Fee: \$20 (includes lunch, snacks, and refreshments)

Register online at www.rockyview.ca/AgEvents.
The deadline to register is May 25, 2018

This is a joint workshop, hosted by Rocky View County, Alberta Woodlot Extension Society, Cows and Fish, and Foothills Forage and Grazing Association.

01022018 Rocky View County

IBI GROUP
500 - Meredith Block,
611 Meredith Road NE
Calgary AB T2E 2W5 Canada
tel 403 270 5600
fax 403 270 5610
ibigroup.com

TERRA VERDE COMMUNITIES

INDIGO HILLS

INDIGO HILLS CONCEPTUAL SCHEME, LAND USE REDESIGNATION AND AMENDMENT TO BEARSPAW AREA STRUCTURE PLAN

You are invited to attend an open house to review and discuss the revised Conceptual Scheme, land use redesignation and minor amendment to the Bearspaw ASP.

The Open House is scheduled for Thursday, May 24, 2018, 5pm-8pm, at the Lions Club of Bearspaw (25240 Nagway Road, Calgary, AB T3R 1A1).

If you are unable to attend, please contact **Samuel Alatorre** at **403-270-5600** or email **samuel.alatorre@ibigroup.com**. We would be happy to schedule a meeting with you at your convenience.

Parcel Size: +- 63.2 hectares (+- 156.18 acres)
Legal Address: NW-11-26-03-W05M and Block 1 Plan 0011554
Company the Applicant Represents: Terra Verde Developments
Rocky View County Contact: Jessica Anderson Phone: 403-520-8184 E-mail: janderson@rockyview.ca

ADDITIONAL INFORMATION



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 Company the Applicant Represents: Terra Verde Developments
 Rocky View County Contact: Paul Simon P: 403-520-6285 E: psimon@rockyview.ca



2 for 1

SAVE \$14

PRESENT THIS COUPON!

Purchase a Two (2) or Three (3) Piece Joey's Fish & Chips*
 AND Two beverages and receive a Free 2-Pc Joey's Fish & Chips*.
*Joey's Fish & Chips is Wild Alaska Pollock.



Offer available at the restaurant below. Cannot be combined with other offers or promotions. Expires June 28, 2018.

311 - 800 Veterans Blvd.
 Airdrie, AB, 403.945.3008





Your Newspaper:

A Living Textbook



An unreliable Internet connection is like being up a creek without a paddle.

PLANS FROM

\$49⁹⁹

month¹

Faster LTE Internet has come to town with speeds up to 25 Mbps!²

Installation fees apply and vary by contract term, call dealer for details.

Call 1-877-739-0684 to speak to a live agent or a local Xplornet dealer near you.

Mobiltec (403) 237-9393	Jolee Electronics 1-877-565-3372
-----------------------------------	--



XPLORNET

Connect to what matters

1-877-739-0684

¹\$49.99 pricing refers to the package with speeds up to 5 Mbps. Monthly service fee includes rental cost of equipment, except Xplornet Wi-Fi Router. Taxes apply. Offer valid until July 31, 2018 for new customers and is subject to change at any time. ²Actual speed online may vary with your technical configuration, Internet traffic, server and other factors. Traffic Management Policy applies. For Traffic Management Policies see xplornet.com/legal. "Faster LTE Internet" means faster as compared to Xplornet non-LTE service. Packages subject to availability. A router is required for multiple users. Xplornet® is a trademark of Xplornet Communications Inc. © 2018 Xplornet Communications Inc.



BREAKFAST AND BEATS - BEN SHERICK/Rocky View Publishing
 Pete Knight Days kicked off with a free pancake breakfast at the Crossfield Community Centre June 8, featuring music by the Blake Reid Band (left). A hungry little guest filled her plate (right).

WANTED

by Rocky View County

Paint/Household Hazardous Waste



Also wanted:



Ag Plastics Wire Rinsed Pesticide Containers Tires E-Waste

018-0305 © Rocky View County

Unwanted waste messing up your property? Turn it in at a County Ag Roundup.

Between June 27 and September 26, on Wednesdays from 9:00 a.m. to 3:00 p.m., Rocky View County is holding nine **Ag Roundups for your agricultural and household waste**. To learn more and find the date, time, and location most convenient to you, visit www.rockyview.ca/Roundups or call **403-230-1401**.



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 Company the Applicant Represents: Terra Verde Developments
 Rocky View County Contact: Paul Simon P: 403-520-6285 E: psimon@rockyview.ca

Appendix D – Public Notice Sign and Statutory Declaration

PUBLIC NOTICE

Development Application

Proposal: To adopt the **Indigo Hills** conceptual scheme and redesignate lands from ***Ranch and Farm District to Residential One District*** to accommodate country residential development.

File Number: PL20170033/34/35

To learn more,
note the file number and contact:

Planning Services

403-230-1401

development@rockyview.ca



ROCKY VIEW COUNTY

Statutory Declaration

For public notice signs, in accordance with Policy C-327

I/We, ELVIN KAPPOLICH of
IBI GROUP, in the Province of Alberta do solemnly declare that:

1. That a public notice sign was displayed on
(NW/NE/SW/SE) 11-26-03-W5M, Lot _____, Block _____,
Plan _____, comprising of 156 acres more or less, in accordance with
Rocky View County Policy C-327.
2. That the sign was removed after the signage maintenance period ended.

AND we make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of "The Canada Evidence Act".

DECLARED before me at the City
of Calgary, in the Province of Alberta,
this 26 day of July, 2018.

Marilyn Patricia Darlene Krysovaty
Commissioner of Oaths

MARILYN PATRICIA DARLENE KRYSOWATY
A Commissioner for Oaths
In and for Alberta
My Commission Expires March 18, 2021

Elvin Kappolich
ELVIN KAPPOLICH